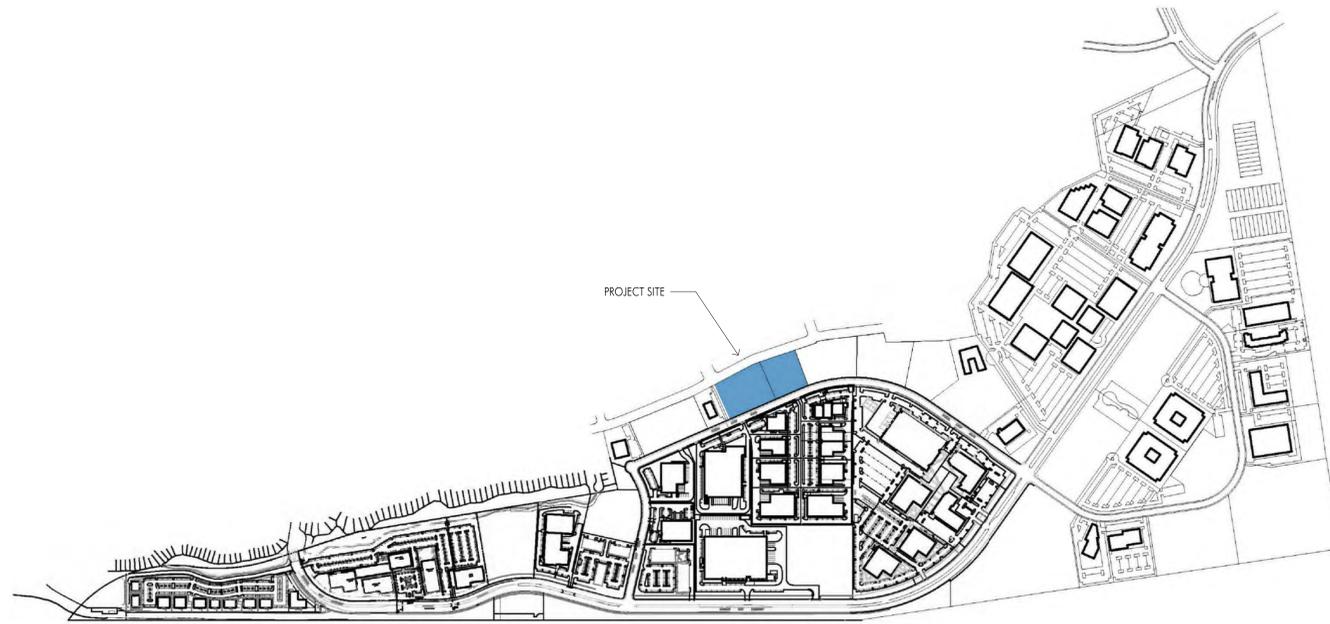


NORTH LOOP CENTER 3 - DEVELOPMENT PLAN



VICINITY MAP



DEVELOPER
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SRMERNST
development partners

FORGE

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925-245-8796 fax
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415-331-2013 fax
aphillips@apdw.com

KIER & WRIGHT
CIVIL ENGINEERS & SURVEYORS, INC.

**APRIL PHILIPS
DESIGN WORKS**

SCOPE OF WORK

CONSTRUCTION OF TWO NEW INDUSTRIAL BUILDING TOTALING 64,700 S.F. (BUILDING C = 35,300 S.F. AND BUILDING D = 29,400 S.F.) ON VACANT LAND. PROJECT ALSO INCLUDES ASSOCIATED PARKING AND UTILITIES.

DRAWING INDEX

ISSUED WITH REVISIONS
ISSUED
R=REFERENCE DRAWING

GENERAL INFORMATION

G0.0-CD COVER SHEET
G0.1 BUILDING & CAMPUS RENDERINGS

DESIGN PACKAGE

A1.0-CD DEVELOPMENT PLAN
A1.1-CD SITE PLAN - BUILDING C & D
A2.0-CD BUILDING C - PLANS
A2.1-CD BUILDING C - ELEVATIONS
A2.2-CD BUILDING C - SECTIONS & DETAILS
A2.0-CD BUILDING D - PLANS
A2.1-CD BUILDING D - ELEVATIONS
A2.2-CD BUILDING D - SECTIONS & DETAILS
A3.0 BUILDING IMAGERY

CIVIL PACKAGE

C1.0-CD COVER SHEET
C2.0-CD TOPOGRAPHIC SURVEY
C3.0-CD PRELIMINARY GRADING & DRAINAGE PLAN
C4.0-CD PRELIMINARY UTILITY PLAN
C5.0-CD STORM WATER QUALITY CONTROL PLAN
C6.0-CD TRUCK ACCESS PLAN
C6.1-CD FIRE TRUCK CIRCULATION PLAN

LANDSCAPE PACKAGE

L1.0-CD OVERALL SITE PLAN
L1.1-CD MATERIALS & PLANTING
L1.2-CD LEGEND & LANDSCAPE IMAGERY
L1.3-CD PRELIMINARY DETAILS

ELECTRICAL PACKAGE

E1.1-CD SITE PHOTOMETRICS

NO.	DESCRIPTION	DATE	STATUS
1	PLANNING	JAN 25, 2018	
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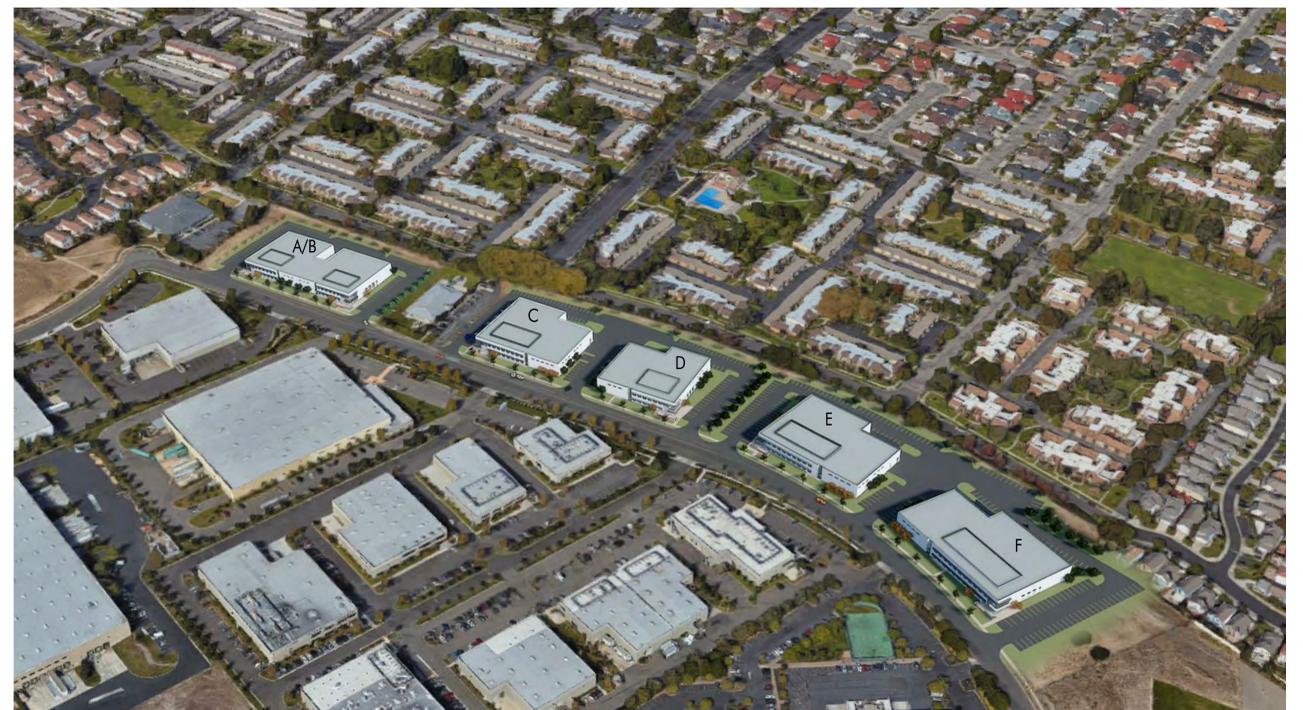
1 TYPICAL BUILDING ENTRANCE AND PATIO
1/2" = 1'-0"



2 WEST BOUND APPROACH ON NORTH LOOP ROAD
1/2" = 1'-0"



3 FACING NORTH ON NORTH LOOP ROAD
1/2" = 1'-0"



4 NORTH LOOP CENTER PHASE 3 CAMPUS VIEW
1/2" = 1'-0"

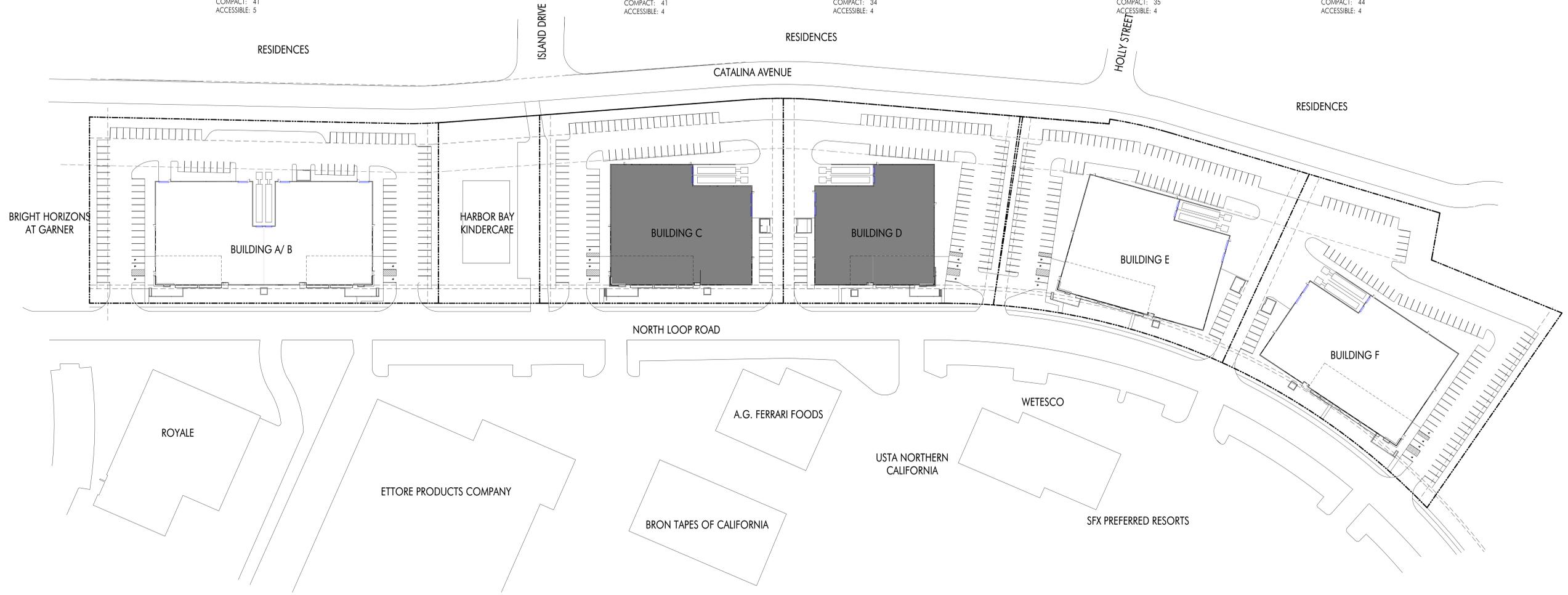
BUILDING A/B
 GROSS SITE AREA: 122,278 SF/ 2.80 AC
 NET SITE AREA: 122,278 SF/ 2.80 AC
 1ST FLOOR: 41,000 SF
 MEZZANINE: 6,000 SF
 BUILDING AREA 47,000 SF
 FAR: .384
 PROVIDED PARKING: 114 (2.5/ 1K)
 STANDARD: 73
 COMPACT: 41
 ACCESSIBLE: 5

BUILDING C
 GROSS SITE AREA: 92,177 SF/ 2.11 AC
 NET SITE AREA: 89,545 SF/ 2.06 AC
 1ST FLOOR: 30,500 SF
 MEZZANINE: 4,800 SF
 BUILDING AREA 35,300 SF
 FAR: .382
 PROVIDED PARKING: 86 (2.5/ 1K)
 STANDARD: 45
 COMPACT: 41
 ACCESSIBLE: 4

BUILDING D
 GROSS SITE AREA: 84,639 SF/ 1.94 AC
 NET SITE AREA: 84,639 SF/ 1.94 AC
 1ST FLOOR: 25,400 SF
 MEZZANINE: 4,000 SF
 BUILDING AREA 29,400 SF
 FAR: .347
 PROVIDED PARKING: 78 (2.8/ 1K)
 STANDARD: 44
 COMPACT: 34
 ACCESSIBLE: 4

BUILDING E
 GROSS SITE AREA: 101,275 SF/ 2.32 AC
 NET SITE AREA: 101,275 SF/ 2.32 AC
 1ST FLOOR: 32,200 SF
 MEZZANINE: 5,200 SF
 BUILDING AREA 37,400 SF
 FAR: .369
 PROVIDED PARKING: 95 (2.6/ 1K)
 STANDARD: 60
 COMPACT: 35
 ACCESSIBLE: 4

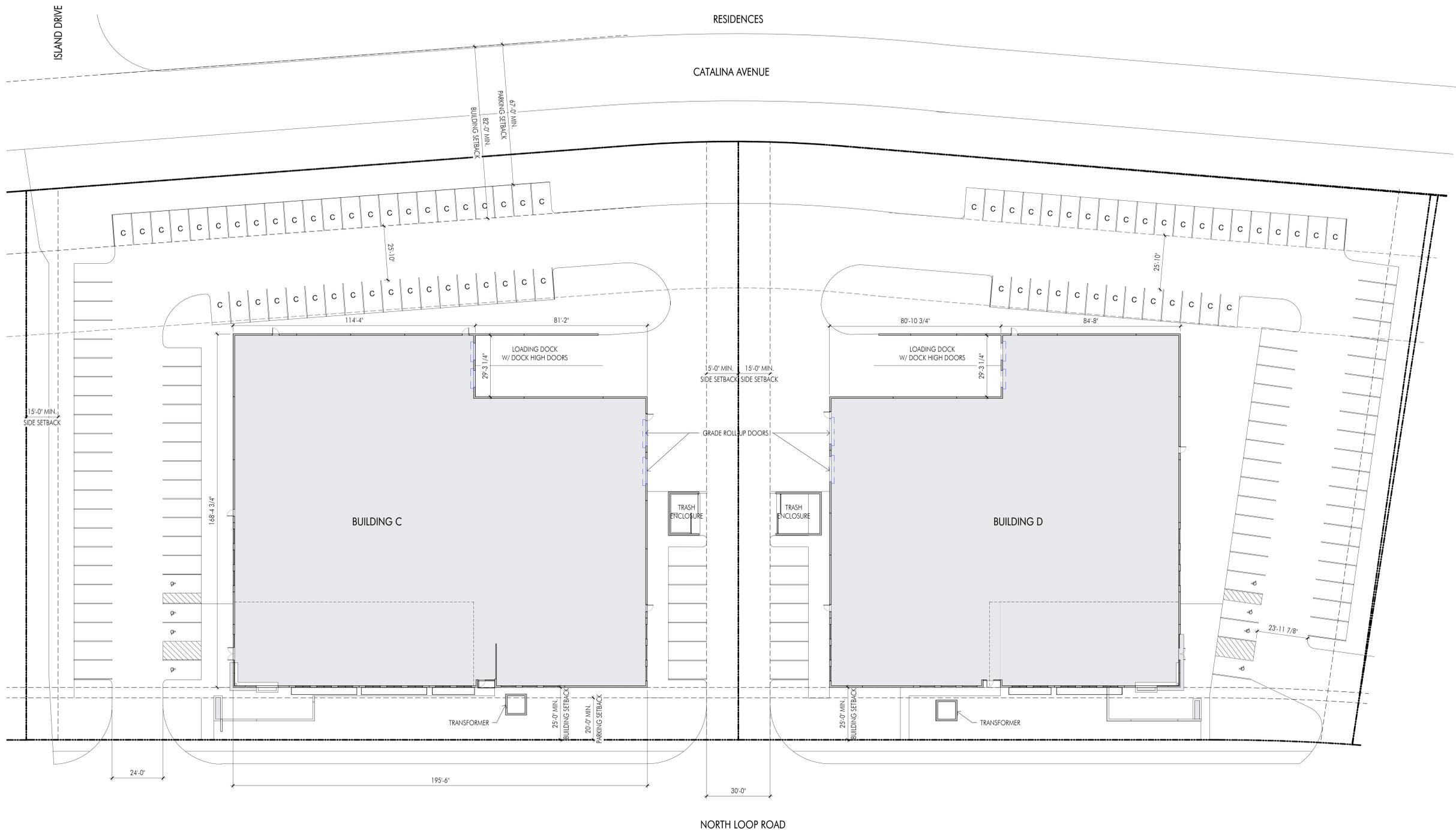
BUILDING F
 GROSS SITE AREA: 112,137 SF/ 2.57 AC
 NET SITE AREA: 112,137 SF/ 2.57 AC
 1ST FLOOR: 32,800 SF
 MEZZANINE: 5,200 SF
 BUILDING AREA 38,000 SF
 FAR: .338
 PROVIDED PARKING: 97 (2.6/ 1K)
 STANDARD: 53
 COMPACT: 44
 ACCESSIBLE: 4



SITE INFORMATION AND BUILDING TOTALS
 SITE: 512,506 S.F. / 11.77 ACRES
 COVERAGE: 161,700 S.F. / 512,506 S.F. = 32%
 BUILDING: 187,100 S.F. / .365 FAR
 PROVIDED PARKING: 470

TYPICAL PARKING DIMENSIONS
 DRIVE AISLES 24'-0" TYPICAL AND 30'-0" AT TRUCK ACCESS AISLES
 STANDARD SPACES 9'-0" WIDE X 18'-0" DEEP WITH 1'-6" OVERHANG
 COMPACT SPACES 8'-6" WIDE X 15'-0" DEEP WITH 1'-6" OVERHANG





BUILDING C
 GROSS SITE AREA: 92,177 SF/ 2.11 AC
 NET SITE AREA: 89,545 SF/ 2.06 AC
 1ST FLOOR: 30,500 SF
 MEZZANINE: 4,800 SF
 BUILDING AREA: 35,300 SF
 FAR: .382
 PROVIDED PARKING: 86 (2.5/ 1K)
 STANDARD: 45
 COMPACT: 41
 ACCESSIBLE: 4

SITE INFORMATION AND BUILDING TOTALS
 SITE: 512,506 S.F. / 11.77 ACRES
 COVERAGE: 161,700 S.F. / 512,506 S.F. = 32%
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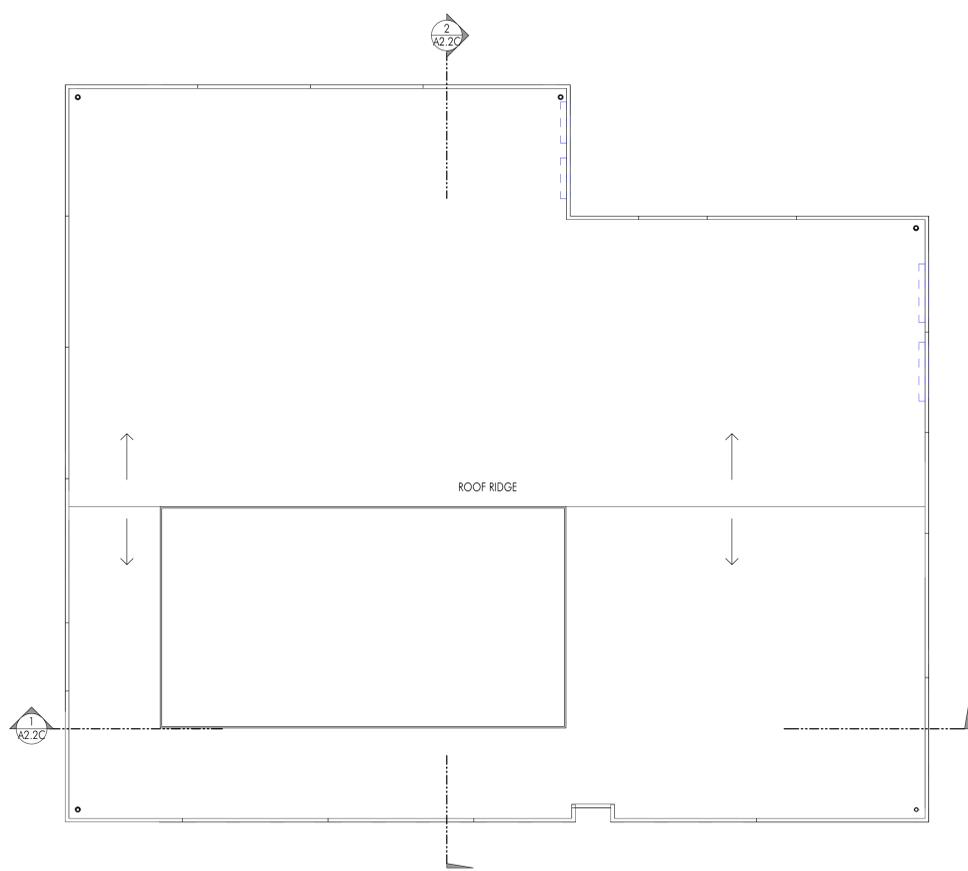
TYPICAL PARKING DIMENSIONS
 DRIVE AISLES: 24'-0" TYPICAL AND 30'-0" AT TRUCK ACCESS AISLES
 STANDARD SPACES: 9'-0" WIDE X 18'-0" DEEP WITH 1'-6" OVERHANG
 COMPACT SPACES: 8'-6" WIDE X 15'-0" DEEP WITH 1'-6" OVERHANG

BICYCLE PARKING
 SHORT-TERM PARKING WILL BE PROVIDED OUTSIDE AND LONG-TERM PARKING WILL BE LOCATED INSIDE THE BUILDING AND FUTURE TENANT WILL NEED TO ACCOMMODATE FOR

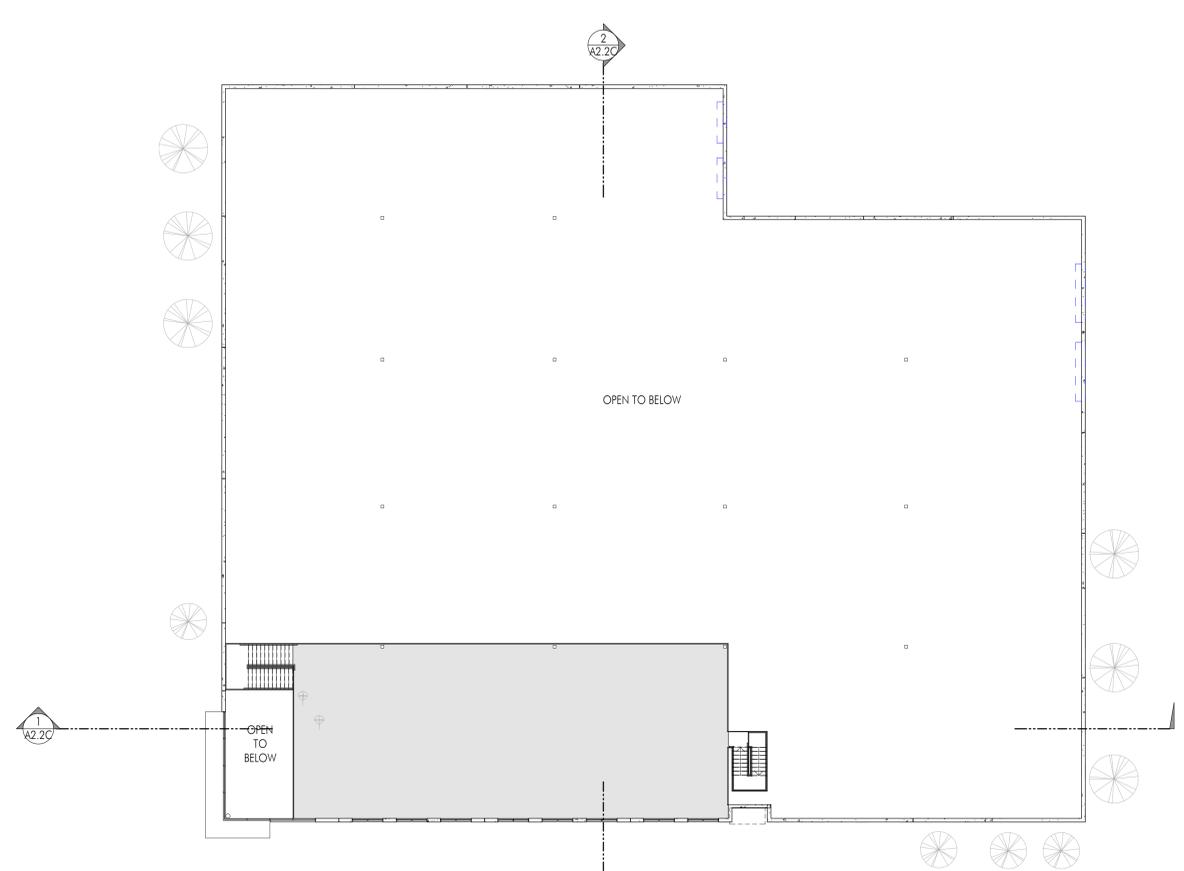
KEY BOX
 A KEY BOX (KNOX BOX) SHALL BE INSTALLED AT A LOCATION APPROVED BY THE FIRE CODE OFFICIAL. KEY BOX TO CONTAIN KEYS TO ENTER THE BUILDING FOR IMMEDIATE ACCESS FOR LIFE-SAVING OR FIRE-FIGHTING PURPOSES. KEYS TO BE PLACED WITHIN THE BOX ARE TO INCLUDE THE EXTERIOR DOOR KEY(S), ELECTRICAL ROOM KEY, ELEVATOR EQUIPMENT ROOM KEY, ELEVATOR OPERATIONS KEY, FIRE ALARM CONTROL PANEL ROOM KEY, FIRE ALARM CONTROL PANEL KEY, AND THE FIRE SPRINKLER RISER ROOM KEY.

BUILDING D
 GROSS SITE AREA: 84,639 SF/ 1.94 AC
 NET SITE AREA: 84,639 SF/ 1.94 AC
 1ST FLOOR: 25,400 SF
 MEZZANINE: 4,000 SF
 BUILDING AREA: 29,400 SF
 FAR: .347
 PROVIDED PARKING: 78 (2.8/ 1K)
 STANDARD: 44
 COMPACT: 34
 ACCESSIBLE: 4





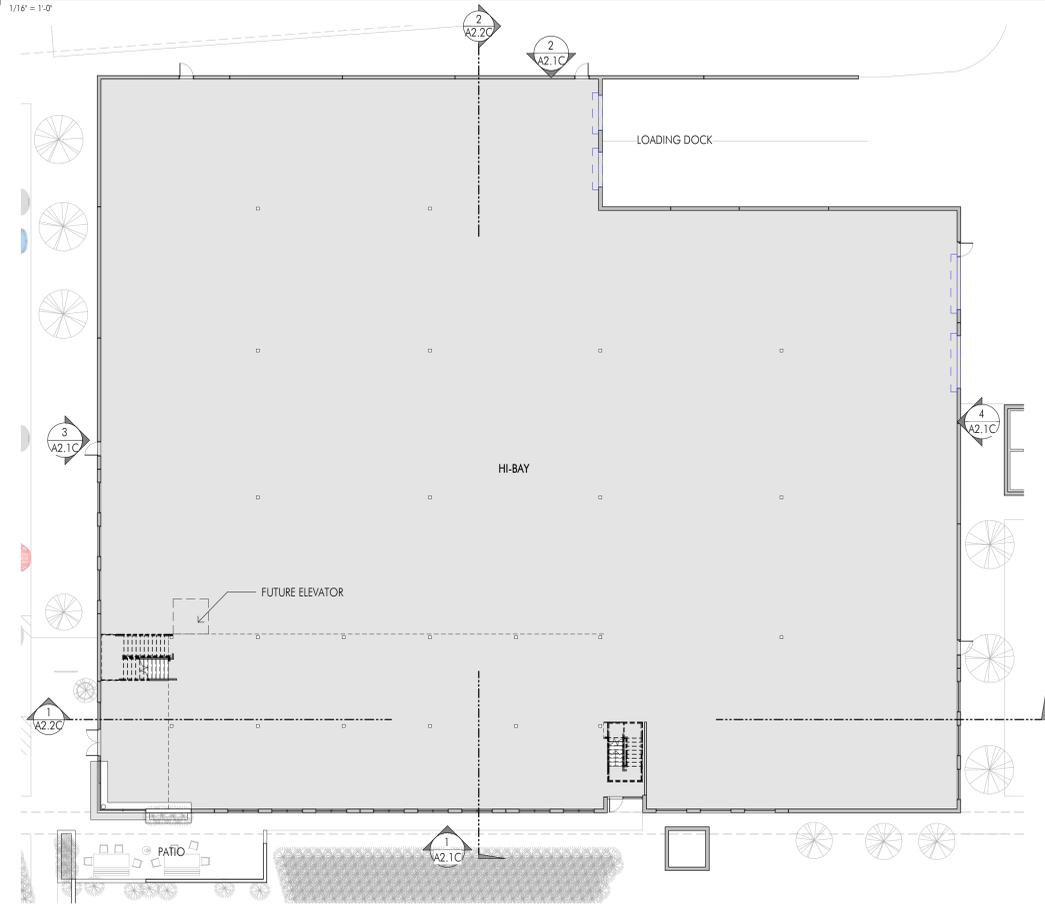
1 BUILDING C - ROOF
1/16" = 1'-0"



2 BUILDING C - MEZZANINE
1/16" = 1'-0"



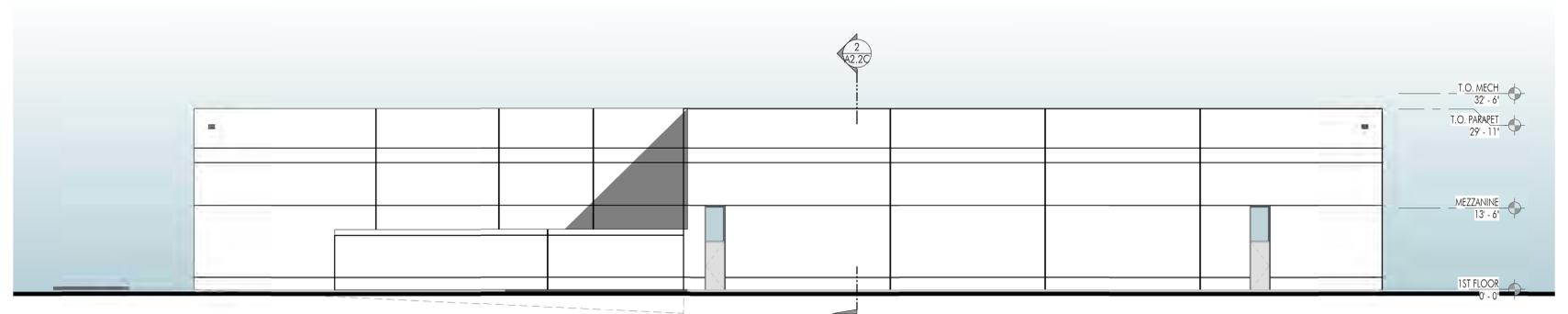
3 BUILDING C - ENTRY
1/2" = 1'-0"



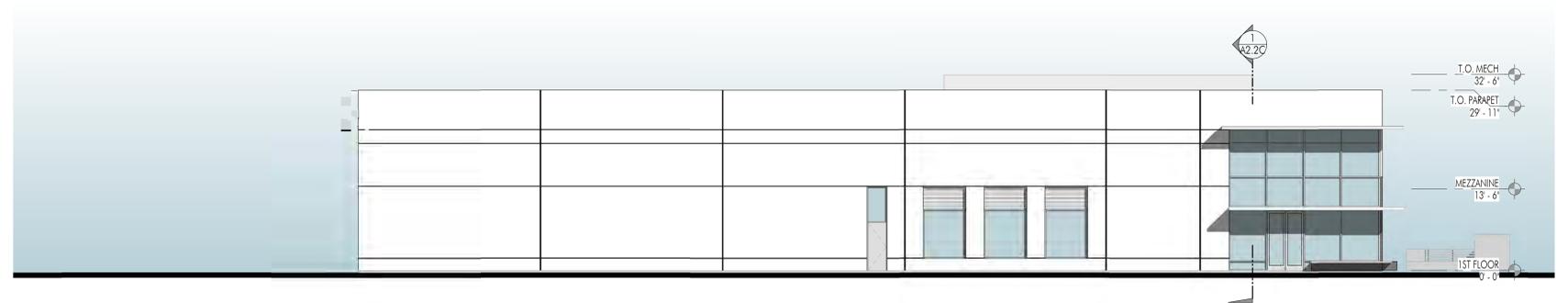
4 BUILDING C - FIRST FLOOR PLAN
1/16" = 1'-0"



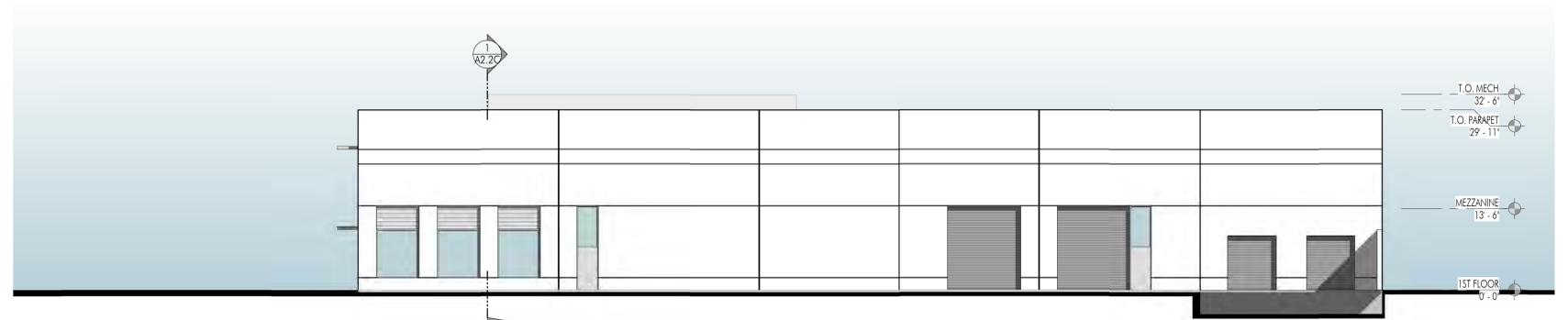
1 BUILDING C - SOUTH ELEVATION
3/32" = 1'-0"



2 BUILDING C - NORTH ELEVATION
3/32" = 1'-0"

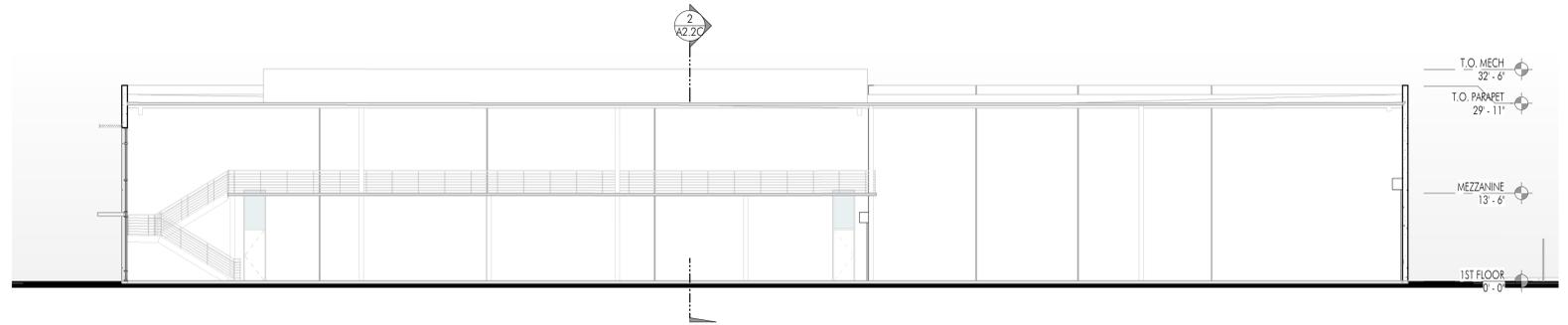


3 BUILDING C - WEST ELEVATION
3/32" = 1'-0"

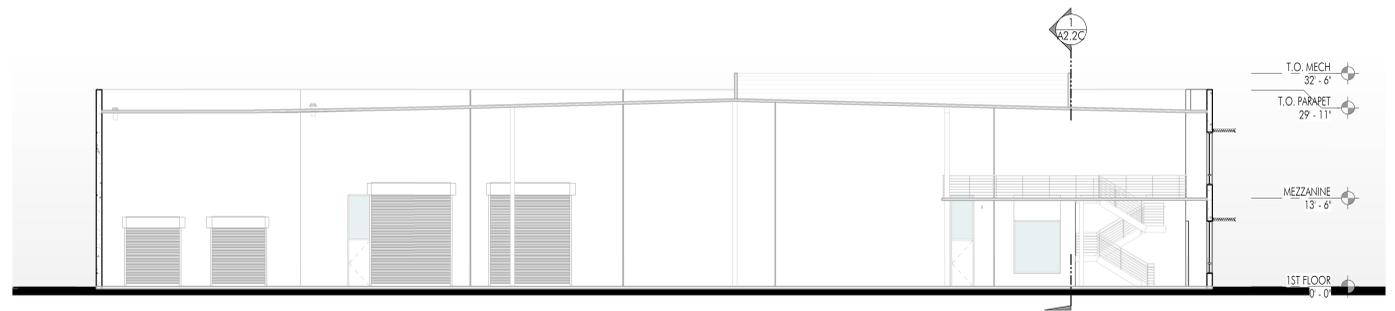


4 BUILDING C - EAST ELEVATION
3/32" = 1'-0"

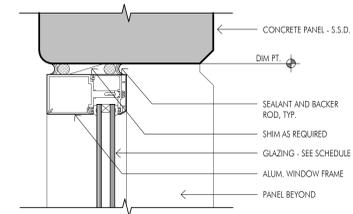
GRAPHIC LEGEND			
	PAINTED CONCRETE PANEL		ALUMINUM SUNSHADE
	BOARDFORMED CONCRETE		GRADE DOOR TO MATCH PAINTED CONCRETE PANEL
	HIGH PERFORMANCE DUAL PANE GLAZING WITH CLEAR ANODIZED ALUMINUM FRAME		METAL INFIL PANEL



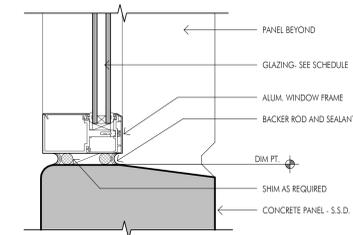
1 PLANNING_LONGITUDINAL BLDG SECTION
3/32" = 1'-0"



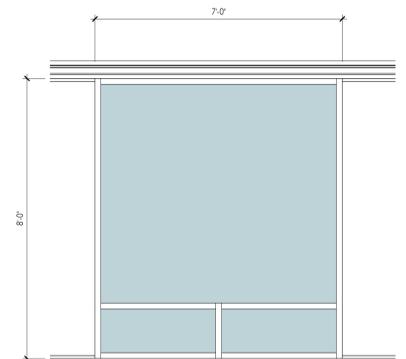
2 PLANNING_TRANSVERSE BLDG SECTION
3/32" = 1'-0"



4 WINDOW HEAD AT CONC. PANEL, TYP.
3" = 1'-0"

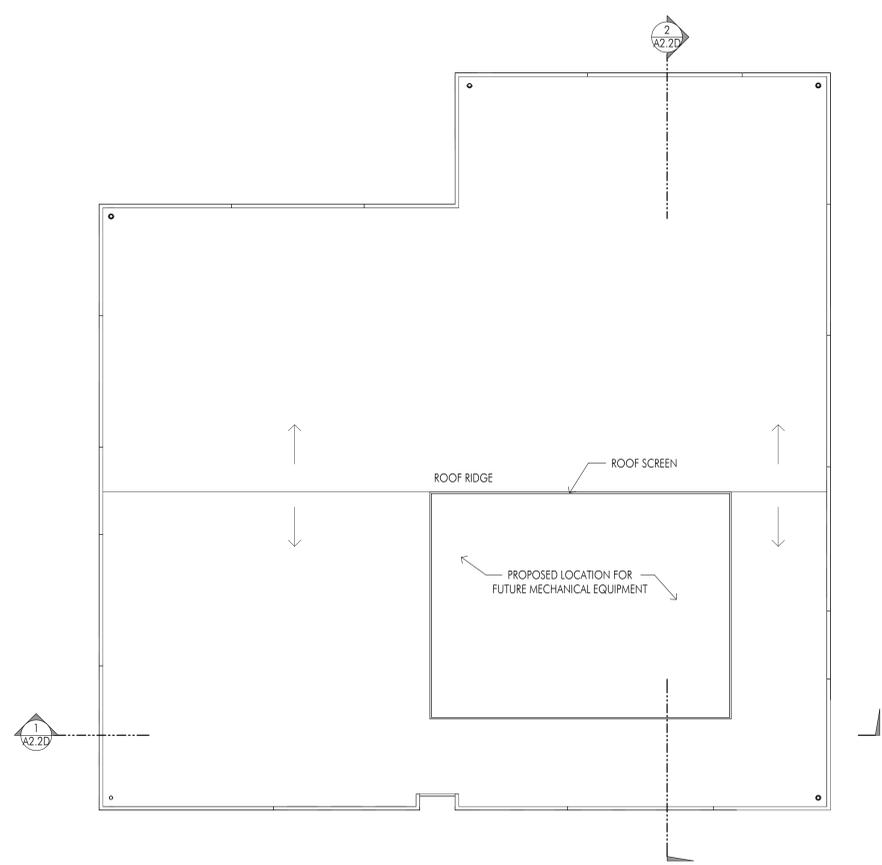


5 WINDOW SILL AT CONC. PANEL, TYP.
3" = 1'-0"

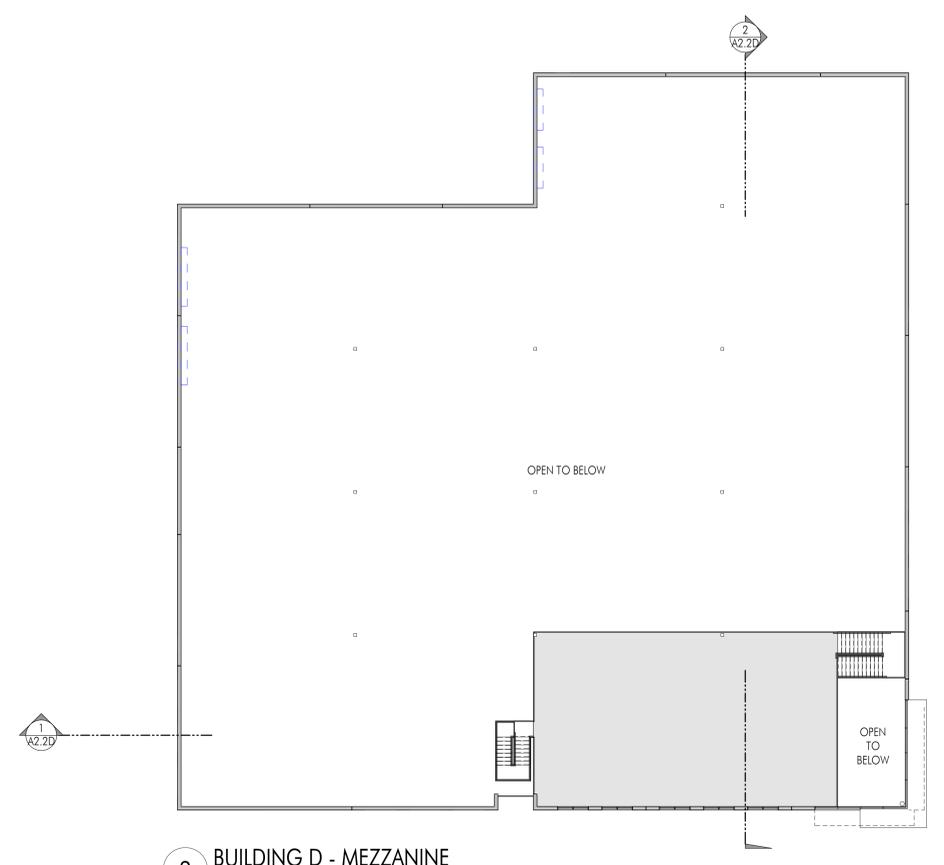


3 WINDOW ELEVATION, TYP.
1/2" = 1'-0"

GRAPHIC LEGEND			
	PAINTED CONCRETE PANEL		ALUMINUM SUNSHADE
	BOARDFORMED CONCRETE		GRADE DOOR TO MATCH PAINTED CONCRETE PANEL
	HIGH PERFORMANCE DUAL PANE GLAZING WITH CLEAR ANODIZED ALUMINUM FRAME		METAL INFIL PANEL



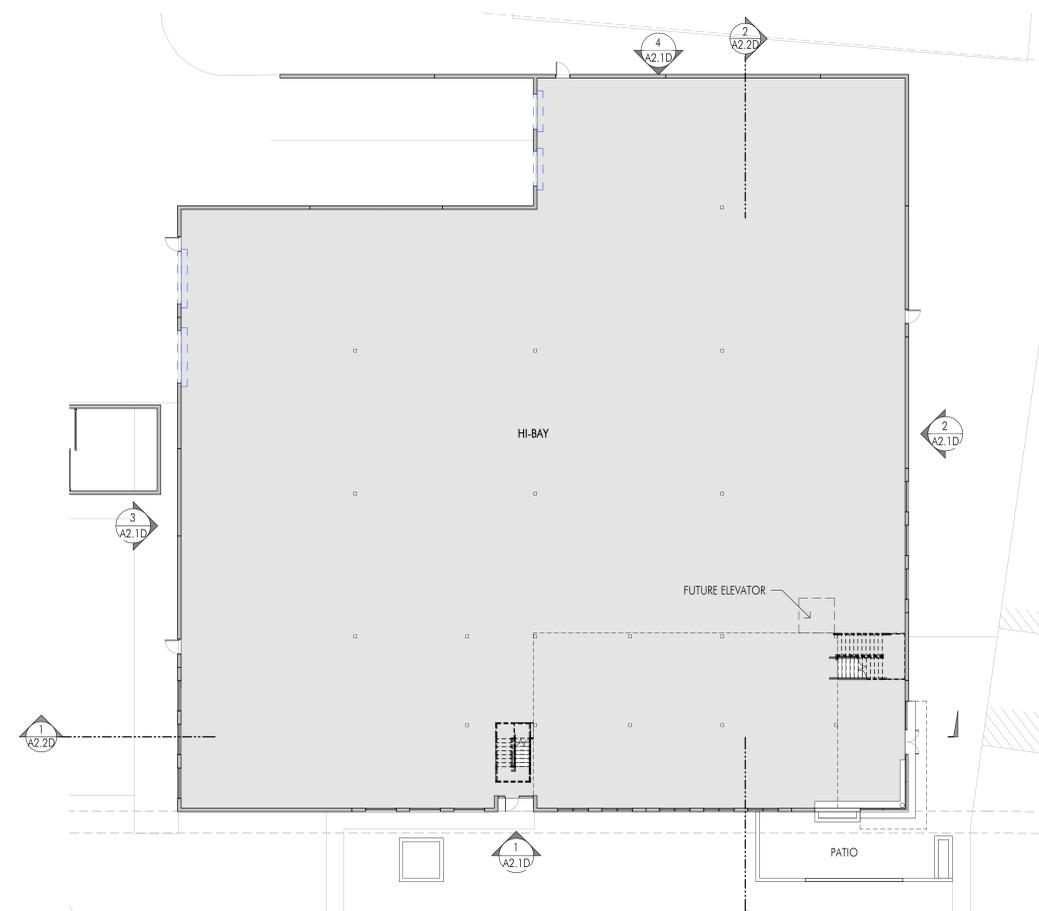
1 BUILDING D - ROOF
1/16" = 1'-0"



2 BUILDING D - MEZZANINE
1/16" = 1'-0"



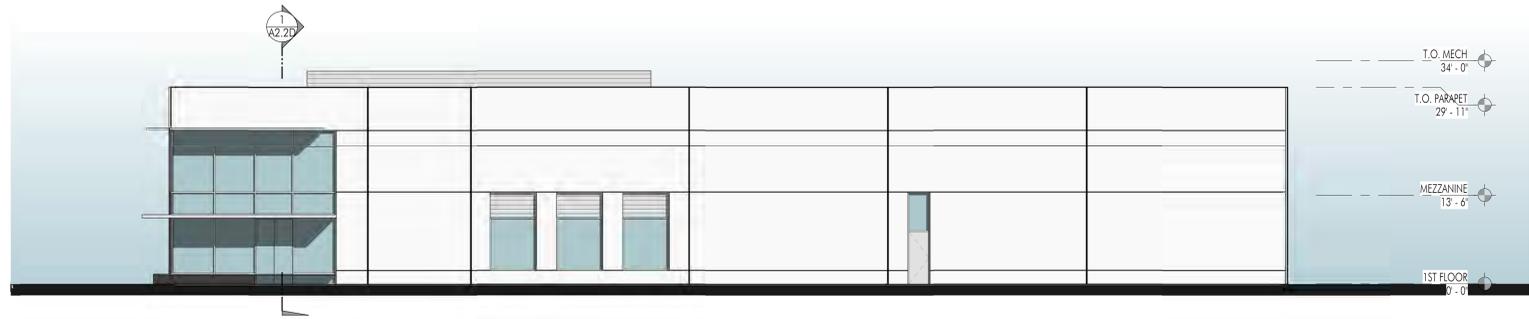
4 BUILDING D ENTRY
1/2" = 1'-0"



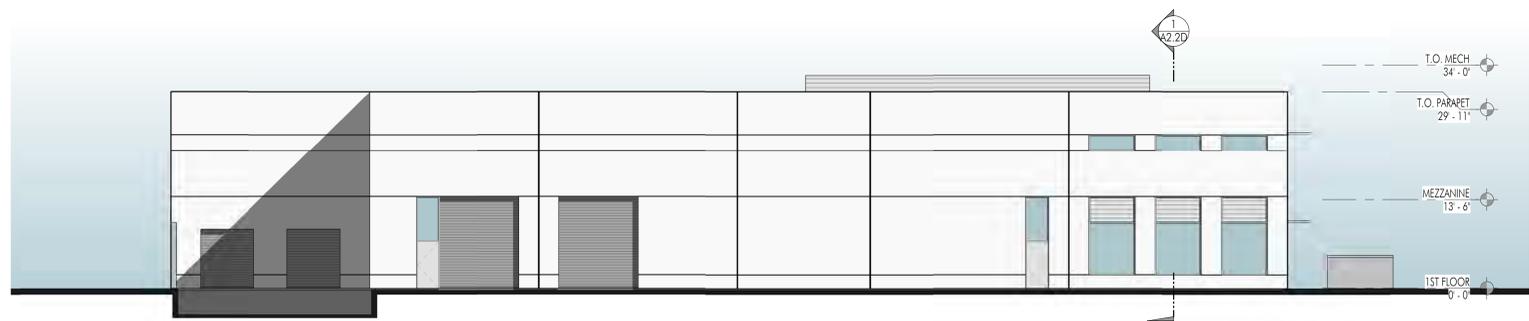
3 BUILDING D - FIRST FLOOR PLAN
1/16" = 1'-0"



1 BUILDING D - SOUTH ELEVATION
3/32" = 1'-0"

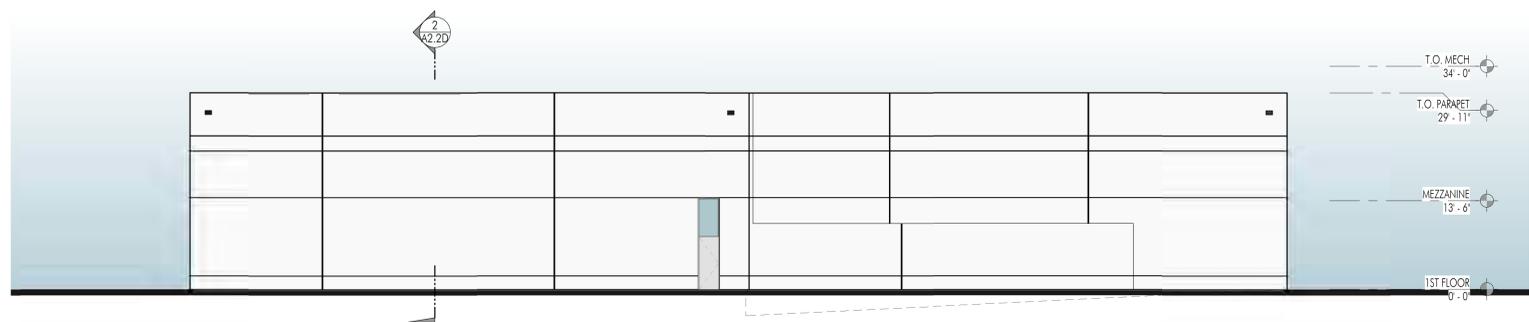


2 BUILDING D - EAST ELEVATION
3/32" = 1'-0"

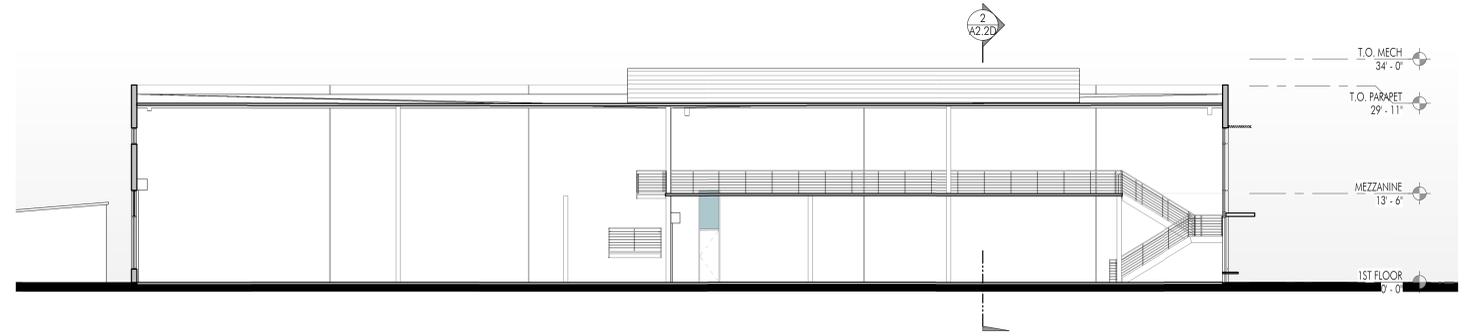


3 BUILDING D - WEST ELEVATION
3/32" = 1'-0"

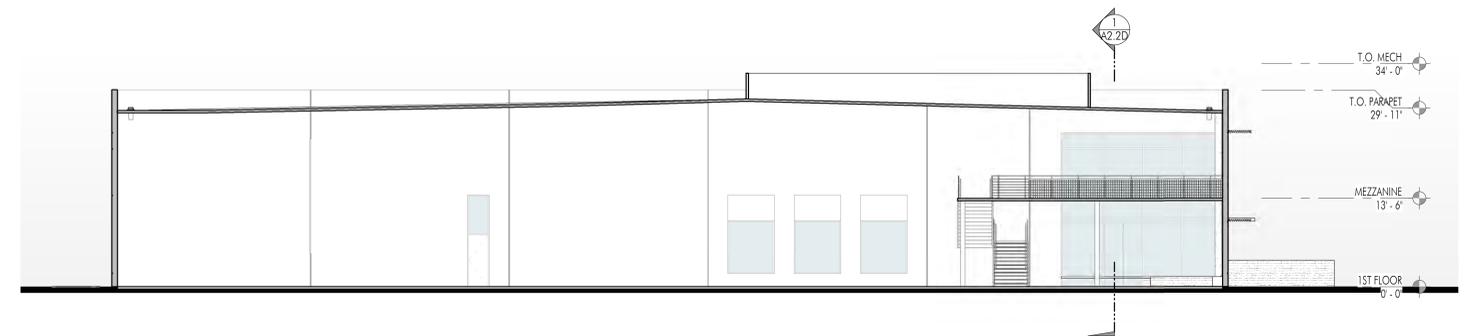
GRAPHIC LEGEND			
	PAINTED CONCRETE PANEL		ALUMINUM SUNSHADE
	BOARDFORMED CONCRETE		GRADE DOOR TO MATCH PAINTED CONCRETE PANEL
	HIGH PERFORMANCE DUAL PANE GLAZING WITH CLEAR ANODIZED ALUMINUM FRAME		METAL INFIL PANEL



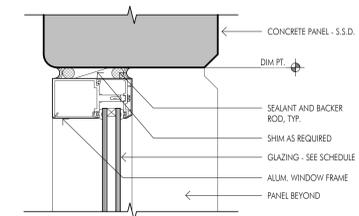
4 BUILDING D - NORTH ELEVATION
3/32" = 1'-0"



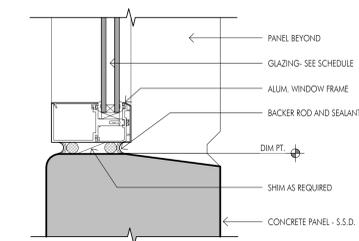
1 LONGITUDINAL SECTION
3/32" = 1'-0"



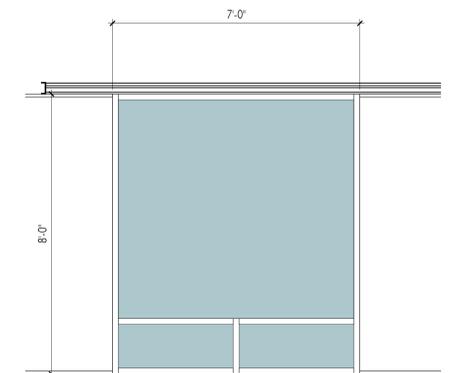
2 TRANSVERSE SECTION
3/32" = 1'-0"



4 WINDOW HEAD AT CONC. PANEL, TYP.
3" = 1'-0"



5 WINDOW SILL AT CONC. PANEL, TYP.
3" = 1'-0"



3 WINDOW ELEVATION, TYP.
1/2" = 1'-0"

GRAPHIC LEGEND			
	PAINTED CONCRETE PANEL		ALUMINUM SUNSHADE
	BOARDFORMED CONCRETE		GRADE DOOR TO MATCH PAINTED CONCRETE PANEL
	HIGH PERFORMANCE DUAL PANE GLAZING WITH CLEAR ANODIZED ALUMINUM FRAME		METAL INFIL PANEL

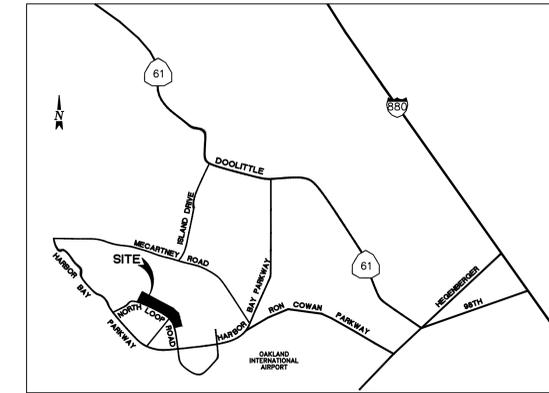


PRELIMINARY SITE IMPROVEMENT PLANS

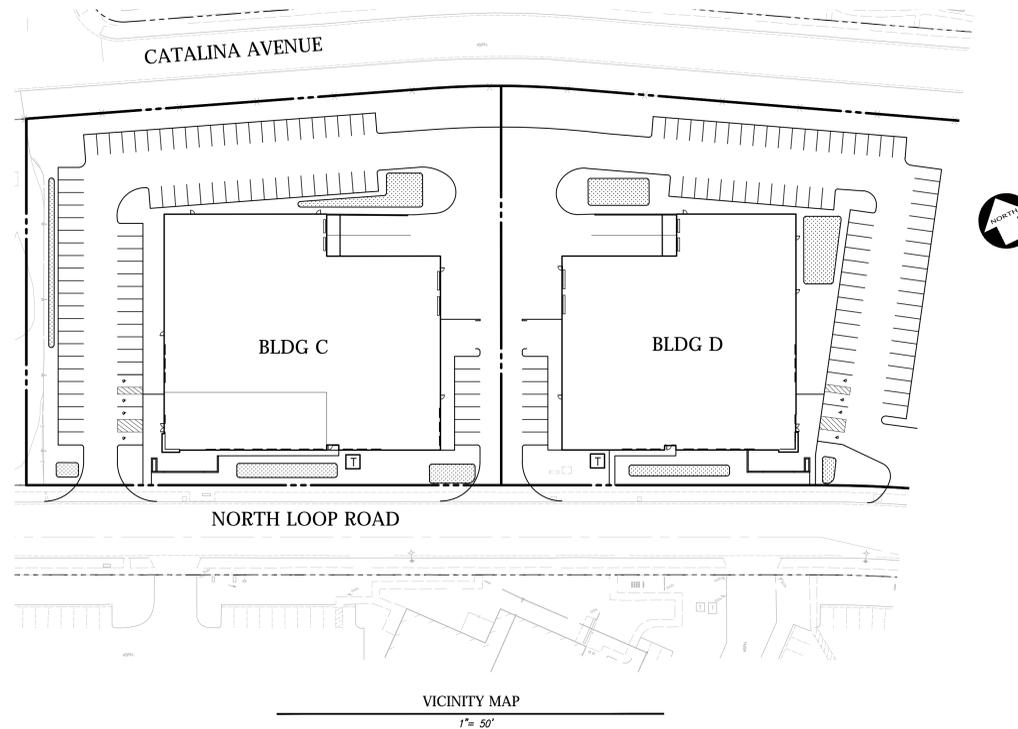
OF
NORTH LOOP ROAD - BUILDINGS C & D
FOR
SRMERNST

ALAMEDA,

CALIFORNIA



VICINITY MAP
NOT TO SCALE



VICINITY MAP
1" = 50'

SHEET INDEX

SHEET	DESCRIPTION
CIVIL	
C1.0	COVER SHEET
C2.0	TOPOGRAPHIC SURVEY
C3.0	PRELIMINARY GRADING & DRAINAGE PLAN
C4.0	PRELIMINARY UTILITY PLAN
C5.0	STORM WATER QUALITY CONTROL PLAN
C6.0	TRUCK ACCESS PLAN
C6.1	FIRE TRUCK CIRCULATION PLAN

NO.	REVISION	DATE	BY	NO.	REVISION
1	PLANNING PACKAGE	12/11/2017	ZS	1	
2				2	
3				3	
4				4	

KIER & WRIGHT
CIVIL ENGINEERS & SURVEYORS, INC.
2850 Collier Canyon Road
Livermore, California 94551
Phone (925) 245-8788
Fax (925) 245-8796

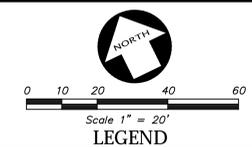


CALIFORNIA
COVER SHEET
OF
NORTH LOOP ROAD - BUILDINGS C & D
FOR
SRMERNST

DATE	JAN. 25, 2018
SCALE	
DESIGNER	DGR
JOB NO.	A17646
SHEET	C1.0
OF	7 SHEETS



Know what's below.
Call before you dig.



LEGEND

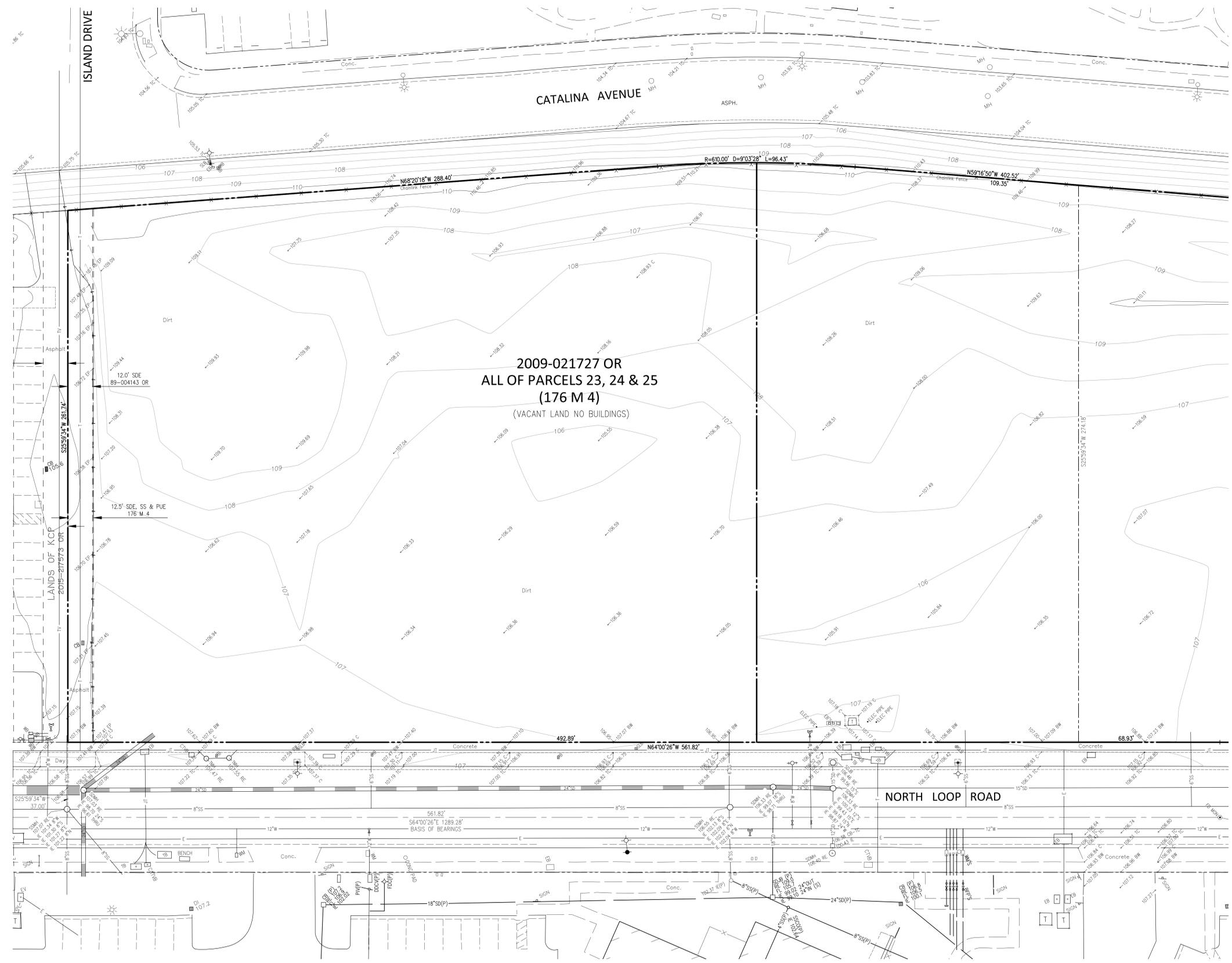
[Symbol]	BUILDING LINE
[Symbol]	CENTERLINE
[Symbol]	CONCRETE/BLOCK/RETAINING WALL
[Symbol]	CONCRETE CURB
[Symbol]	CONCRETE CURB & GUTTER
[Symbol]	CONTOUR LINE
[Symbol]	DRIVEWAY
[Symbol]	EASEMENT LINE
[Symbol]	EDGE OF PAVEMENT
[Symbol]	ELECTRIC LINE
[Symbol]	FENCE LINE
[Symbol]	JOINT TRENCH
[Symbol]	LOT LINE
[Symbol]	MONUMENT/MONUMENT LINE
[Symbol]	OVERHEAD POWER LINE
[Symbol]	PROPERTY LINE
[Symbol]	SANITARY SEWER-MANHOLE & CLEANOUT
[Symbol]	SANITARY SEWER-MANHOLE & VALVE
[Symbol]	SIDEWALK
[Symbol]	SPOT ELEVATION
[Symbol]	STORM DRAIN-MANHOLE & CATCH BASIN
[Symbol]	TELEPHONE LINE
[Symbol]	WATER LINE & VALVE
[Symbol]	ELECTROLIER
[Symbol]	FIRE DEPARTMENT CONNECTION
[Symbol]	FIRE HYDRANT
[Symbol]	POST INDICATOR VALVE
[Symbol]	POWER POLE/JOINT POLE
[Symbol]	TRANSFORMER
[Symbol]	TRAFFIC SIGN
[Symbol]	UTILITY BOX
[Symbol]	WATER VALVE

ABBREVIATIONS

ARV	AIR RELEASE VALVE
BFPD	BACK FLOW PREVENTION DEVICE
BTM	BOTTOM
BSCK	BACK-SIGHT CHECK
BW	BACK OF WALK
C	CONCRETE
CB	CATCH BASIN
CTVB	CABLE TV BOX
DWY	DRIVEWAY
E	EAST
EB	ELECTRIC BOX
ELEC	ELECTRIC LINE
EP	EDGE OF PAVEMENT
EV	ELECTRICAL VAULT
FD	FOUND
FDC	FIRE DEPARTMENT CONNECTION
FH	FIRE HYDRANT
FL	FLOW LINE
GV	GAS VALVE
IB	IRRIGATION BOX
IE	INVERT ELEVATION
JT	JOINT TRENCH
LIP	LIP OF GUTTER
MON	MONUMENT
N	NORTH
NE	NORTH EAST
P	POST INDICATOR VALVE
PV	POST INDICATOR VALVE
PM	PARCEL MAP
PUE	PUBLIC UTILITY EASEMENT
RE	REAR ELEVATION
S	SOUTH
SDE	STORM DRAIN EASEMENT
SDMB	STORM DRAIN MANHOLE BOX
SDMH	STORM DRAIN MANHOLE
SE	SOUTH EAST
SL	STREET LIGHT
SL	STREET LIGHT
SLB	STREET LIGHT BOX
SP	STAND PIPE
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
SW	SOUTH WEST
TB	TELEPHONE BOX
TC	TOP OF CURB
TMH	TELEPHONE MANHOLE
TRANS	TRANSFORMER
W	WEST
WB	WATER BOX
WM	WATER METER
WV	WATER VALVE

NOTES

- THIS PLOT WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY CHICAGO TITLE INSURANCE COMPANY, DATED JUNE 26, 2017, ORDER NUMBER 58209852-582-LE-KD. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID PRELIMINARY TITLE REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.
- ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
- THIS SURVEY DOES NOT SHOW THE LOCATIONS OF THE FOLLOWING UNDERGROUND UTILITY LINES DUE TO THE FACT THAT THE CLIENT HAS NOT FURNISHED KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC. WITH ANY PLANS THAT DELINEATE THEIR LOCATIONS: GAS LINES, CABLE TELEVISION LINES, NITROGEN LINES, (IF ANY) FIBER OPTIC LINES. (IF ANY). ALL PARTIES SHOULD CONSIDER THIS SURVEY AS PRELIMINARY WITH REGARD TO THE LOCATION OF THE UTILITY FACILITIES. UPON RECEIPT OF THIS INFORMATION KIER & WRIGHT WILL UPDATE THIS SURVEY AND REISSUE IT.
- THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR ALAMEDA COUNTY, CALIFORNIA, MAP NUMBER 06001C0251G FOR COMMUNITY NUMBER 060002 (CITY OF ALAMEDA), WITH AN EFFECTIVE DATE OF AUGUST 3, 2009, AS BEING LOCATED IN FLOOD ZONE "X-UNSHADED".
ACCORDING TO FEMA THE DEFINITION OF ZONE "X-UNSHADED" IS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
FEMA BASE FLOOD ELEVATIONS ARE BASED ON NAVD88 DATUM. SEE BENCHMARK NOTE FOR DATUM CONVERSIONS.
- BENCHMARK:
SUT SQUARE AT THE TOP OF CURB AT THE EAST RETURN AT THE NORTHEAST CORNER OF HARBOR BAY PARKWAY AND "A" ROAD. ELEVATION = 105.70 FEET (CITY OF ALAMEDA DATUM)
ELEVATIONS SHOWN HEREON ARE BASED ON CITY OF ALAMEDA DATUM. TO CONVERT TO NAVD88 DATUM SUBTRACT 93.76 FEET FROM ALL ELEVATIONS SHOWN HEREON. DATUM CONVERSION WAS OBTAINED FROM FIELD VALUES COLLECTED ON NGS STATIONS TAKEN FROM THE NGS WEBSITE: (<https://www.ngs.noaa.gov/DATASHEETS/>)
- BASIS OF BEARINGS:
THE BEARING OF SOUTH 64° 00' 26" EAST TAKEN ON THE MONUMENT LINE OF NORTH LOOP ROAD AS SHOWN ON THAT CERTAIN PARCEL MAP NUMBER 9286 FILED FOR RECORD ON MARCH 13, 2007, IN BOOK 296 OF MAPS AT PAGE 55, OFFICIAL RECORDS OF ALAMEDA COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.
- CORNER RECORD NOTE:
THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FLING OF FIRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.



[Signature]
 PREPARED BY OR UNDER THE SUPERVISION OF
 RODNEY A. STEWART II P.L.S. 9225
 LICENSE EXPIRES: 9-30-19

11/09/2017
 DATE



NO.	REVISION	DATE	BY
1	PLANNING PACKAGE	12/11/2017	ZS
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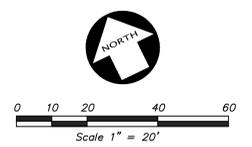
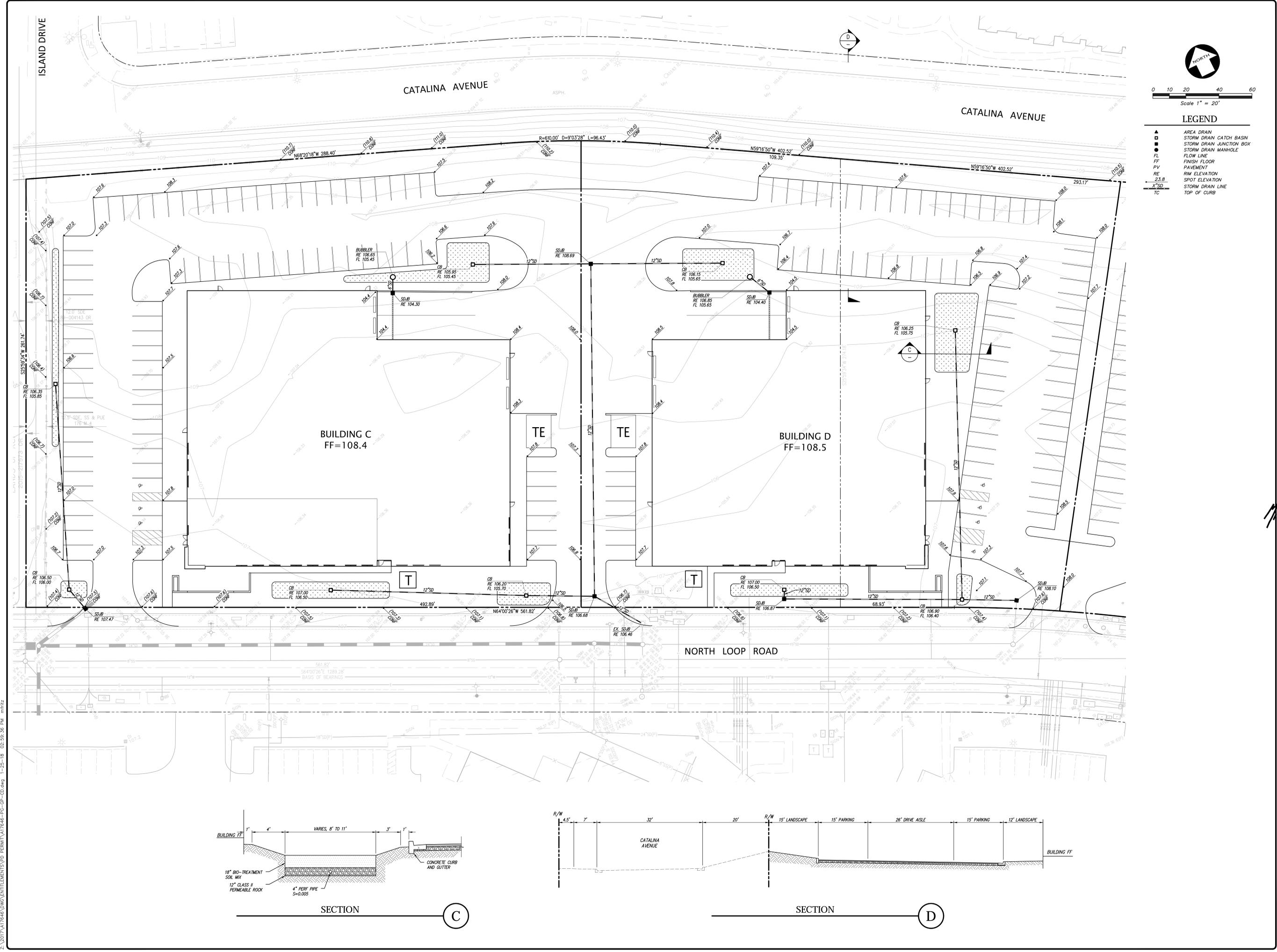
TOPOGRAPHIC SURVEY
OF
NORTH LOOP ROAD - BUILDINGS C & D
FOR
SRMERST

CALIFORNIA

ALAMEDA.

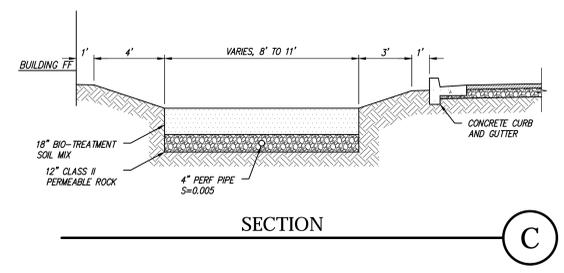
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 SCALE
 DESIGNER DGR
 JOB NO. A17646
 SHEET C2.0
 OF 7 SHEETS

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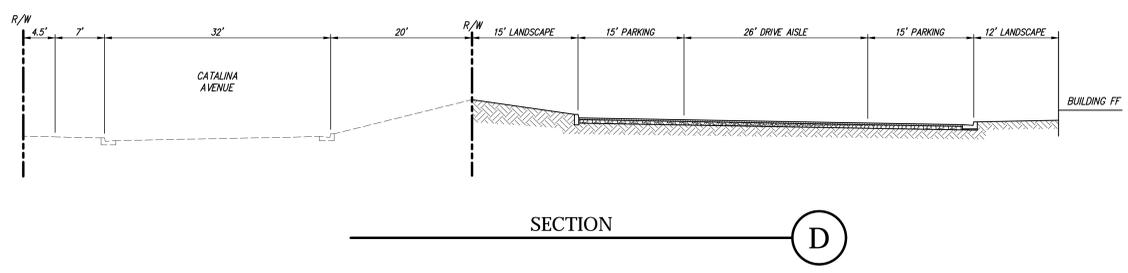


LEGEND

- ▲ AREA DRAIN
- STORM DRAIN CATCH BASIN
- STORM DRAIN JUNCTION BOX
- STORM DRAIN MANHOLE
- FLOW LINE
- FINISH FLOOR
- PAVEMENT
- RIM ELEVATION
- SPOT ELEVATION
- STORM DRAIN LINE
- TC TOP OF CURB



SECTION C



SECTION D

NO.	BY	REVISION	DATE	DESCRIPTION

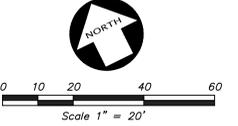
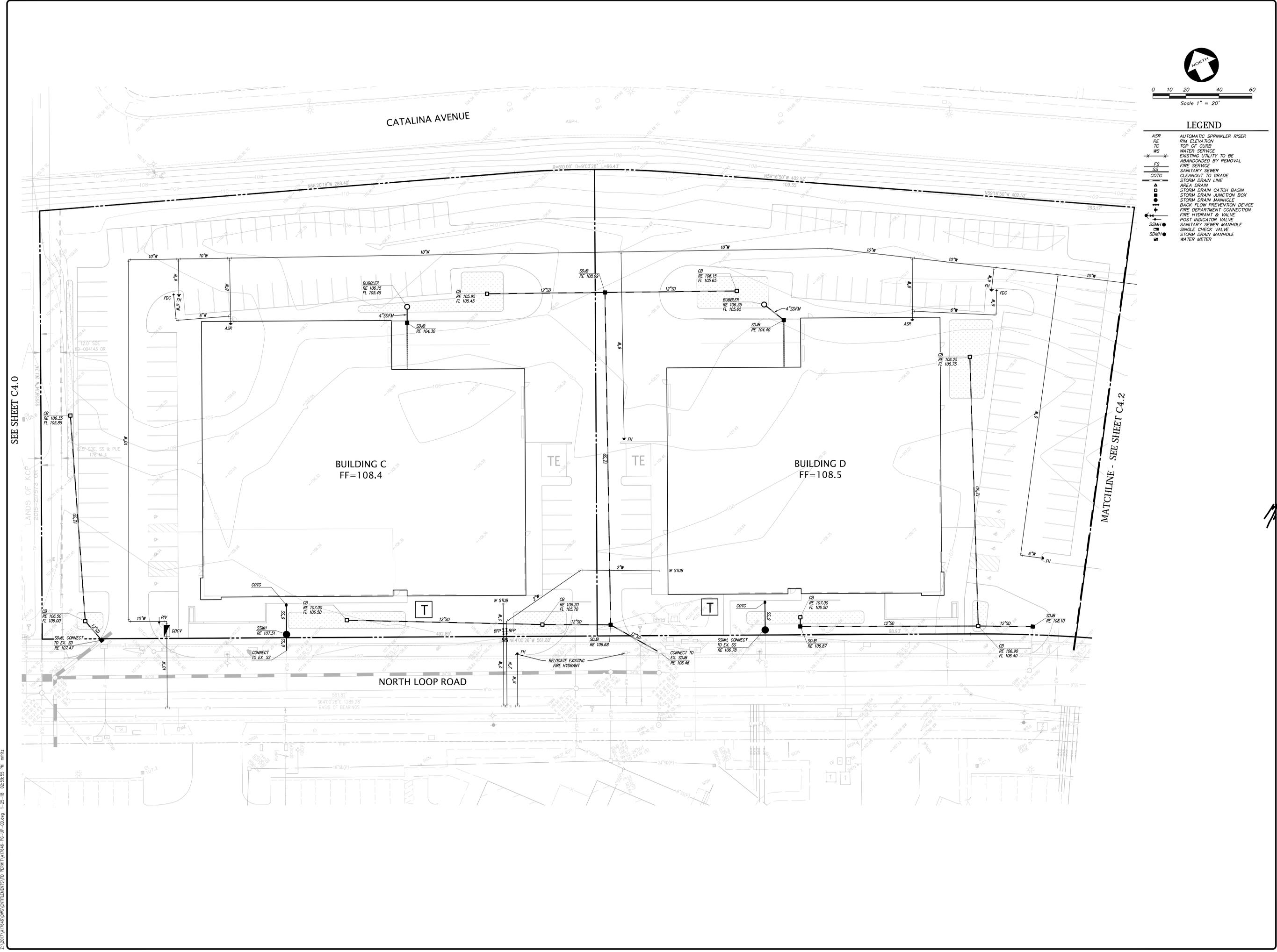
KIER & WRIGHT
 CIVIL ENGINEERS & SURVEYORS, INC.
 2850 Collier Canyon Road
 Livermore, California 94551
 Phone (925) 245-8788
 Fax (925) 245-8796

REGISTERED PROFESSIONAL ENGINEER
 CIVIL ENGINEERING
 No. 55838
 STATE OF CALIFORNIA

PRELIMINARY GRADING PLAN
 OF
NORTH LOOP ROAD - BUILDINGS C & D
 FOR
SRMERST
 ALAMEDA, CALIFORNIA

DATE	JAN. 25, 2018
SCALE	AS SHOWN
DESIGNER	DGR
JOB NO.	A17646
SHEET	C3.0
OF	7 SHEETS

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LEGEND

ASR	AUTOMATIC SPRINKLER RISER
RE	FIN ELEVATION
TC	TOP OF CURB
WS	WATER SERVICE
---	EXISTING UTILITY TO BE ABANDONED BY REMOVAL
FS	FIRE SERVICE
SS	SANITARY SEWER
COTG	CLEANOUT TO GRADE
---	STORM DRAIN LINE
---	AREA DRAIN
▲	STORM DRAIN CATCH BASIN
□	STORM DRAIN JUNCTION BOX
□	STORM DRAIN MANHOLE
□	BACK FLOW PREVENTION DEVICE
+	FIRE DEPARTMENT CONNECTION
+	FIRE HYDRANT & VALVE
+	POST INDICATOR VALVE
○	SANITARY SEWER MANHOLE
○	SINGLE CHECK VALVE
○	STORM DRAIN MANHOLE
○	WATER METER

SEE SHEET C4.0

MATCHLINE - SEE SHEET C4.2

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KIER & WRIGHT
 CIVIL ENGINEERS & SURVEYORS, INC.
 2850 Collier Canyon Road
 Livermore, California 94551
 Phone (925) 245-8788
 Fax (925) 245-8796

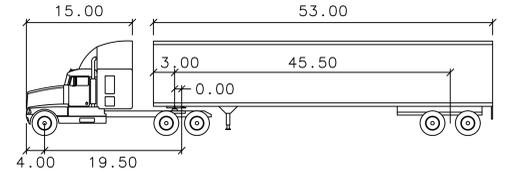
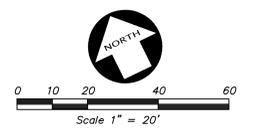
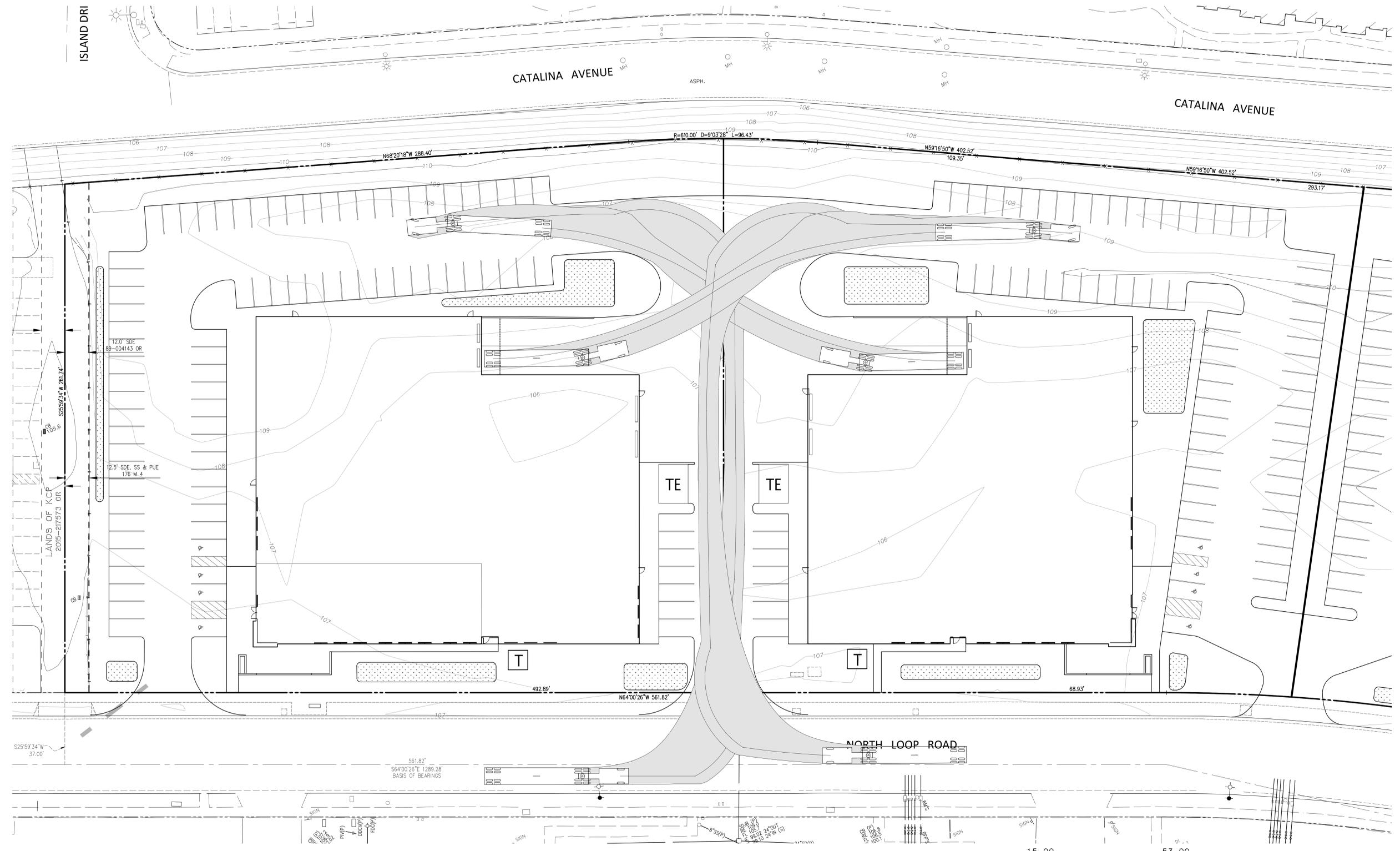
Mark S. Wright
 REGISTERED PROFESSIONAL ENGINEER
 No. 55838
 STATE OF CALIFORNIA

PRELIMINARY UTILITY PLAN
 OF
NORTH LOOP ROAD - BUILDINGS C & D
 FOR
SRMERST
 ALAMEDA, CALIFORNIA

DATE: JAN. 25, 2018
 SCALE:
 DESIGNER: DGR
 JOB NO.: A17646
 SHEET: **C4.0**
 OF 7 SHEETS

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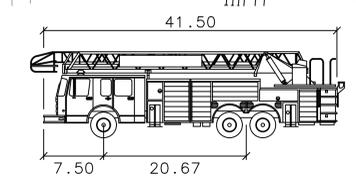
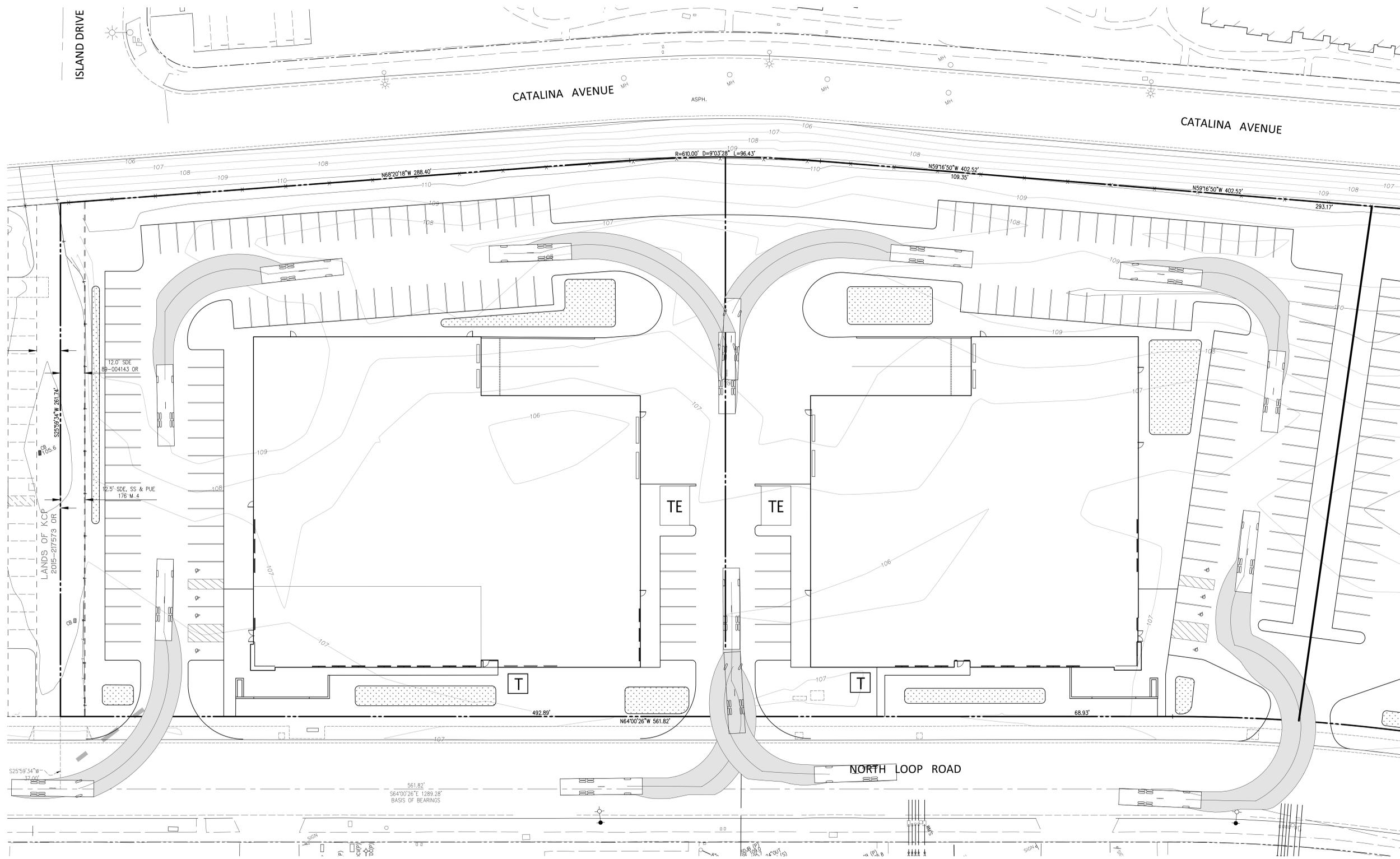
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WB-67		feet	
Tractor Width	:8.00	Lock to Lock Time	:6.0
Trailer Width	:8.50	Steering Angle	:28.4
Tractor Track	:8.00	Articulating Angle	:75.0
Trailer Track	:8.50		

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<p>KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC. 2850 Collier Canyon Road Livermore, California 94551 Phone (925) 245-8788 Fax (925) 245-8796</p>																					
<p>TRUCK ACCESS PLAN OF NORTH LOOP ROAD - BUILDINGS C & D FOR SRMERNST</p>																					
<p>ALAMEDA, CALIFORNIA</p>																					
<table border="0" style="width: 100%;"> <tr> <td>DATE</td> <td>JAN. 25, 2018</td> </tr> <tr> <td>SCALE</td> <td></td> </tr> <tr> <td>DESIGNER</td> <td>DGR</td> </tr> <tr> <td>JOB NO.</td> <td>A17646</td> </tr> <tr> <td>SHEET</td> <td>C6.0</td> </tr> <tr> <td>OF</td> <td>7 SHEETS</td> </tr> </table>										DATE	JAN. 25, 2018	SCALE		DESIGNER	DGR	JOB NO.	A17646	SHEET	C6.0	OF	7 SHEETS
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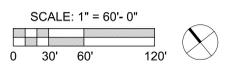
STANDARD FIRE TRUCK		feet
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Track		: 8.33
Lock to Lock Time		: 7.0
Steering Angle		: 30.8

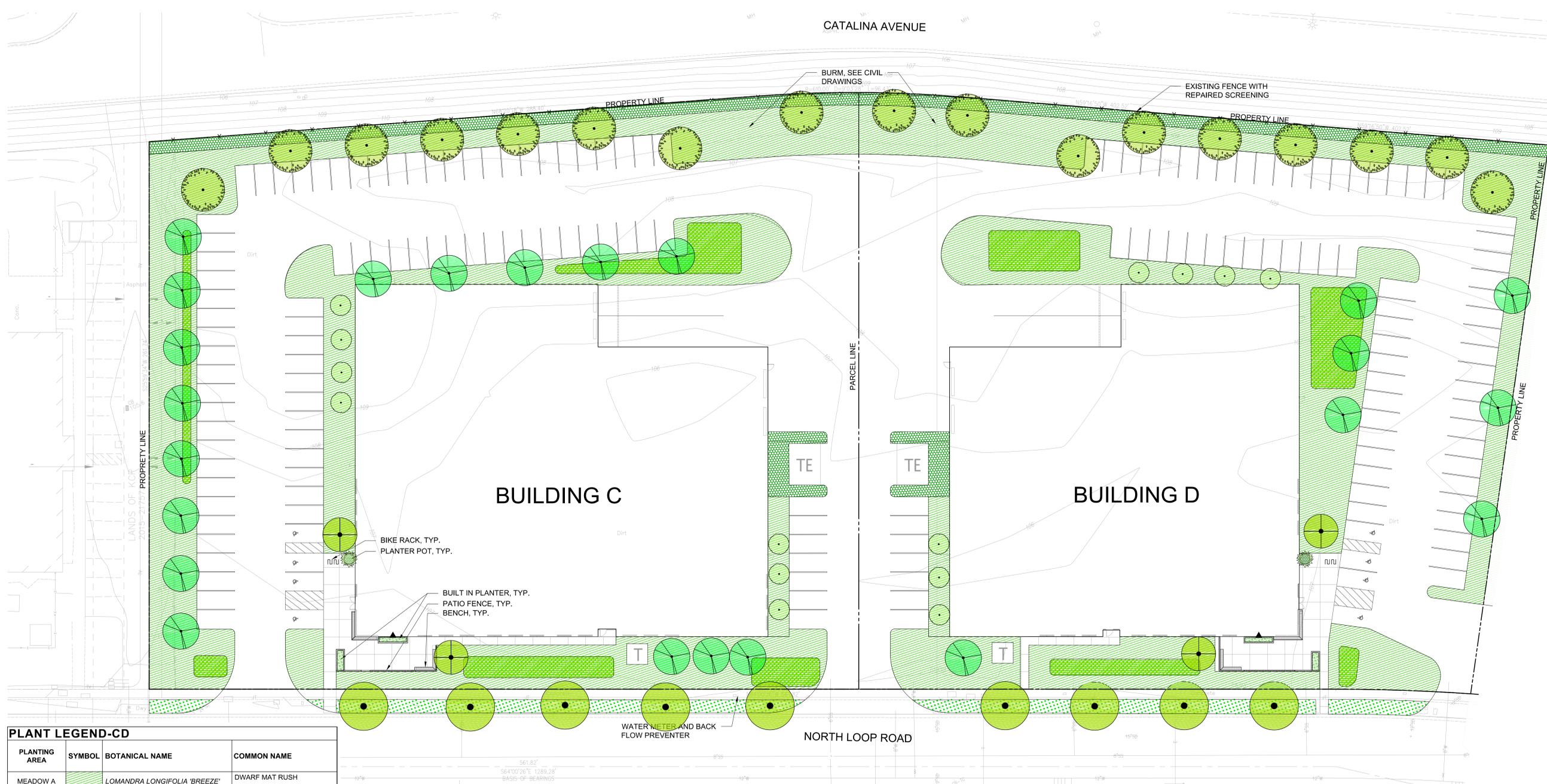
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KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC. 2850 Collier Canyon Road Livermore, California 94551 Phone (925) 245-8788 Fax (925) 245-8796					
FIRE TRUCK CIRCULATION PLAN OF NORTH LOOP ROAD - BUILDINGS C & D FOR SRMERNST ALAMEDA, CALIFORNIA					
DATE	JAN. 25, 2018				
SCALE					
DESIGNER	DGR				
JOB NO.	A17646				
SHEET	C6.1				
OF	7 SHEETS				



TABLE OF CONTENTS

- L1.0-CD OVERALL SITE PLAN
- L1.1-CD MATERIALS & PLANTING
- L1.2-CD LEGEND & LANDSCAPE IMAGERY
- L1.3-CD PRELIMINARY DETAILS



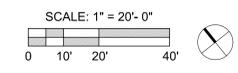


PLANT LEGEND-CD

PLANTING AREA	SYMBOL	BOTANICAL NAME	COMMON NAME
MEADOW A		LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH
INFILTRATION AREA		CHONDROPETALUM TECTORUM JUNCUS PATENS	THATCHING REED CALIFORNIA GRAY RUSH
PLANTERS		COREOPSIS LANCEOLATA PENNISETUM ALOPECUROIDES 'LITTLE BUNNY' FICUS PUMILA	TICKSEED DWARF FOUNTAIN GRASS CREEPING FIG VINE
PLANTER POTS		BAMBUSA MULTIPLEX 'ALPHONSE KARR'	BAMBOO
EVERGREEN SLOPE		WESTRINGIA FRUTICOSA	COASTAL ROSEMARY
PARKWAY TURF ALTERNATIVE		FESTUCA RUBRA 'MOLATE'	'MOLATE' CREEPING RED FESCUE
BLDG PERIMETER TREES		CUPRESSOCYPARIS LELANDII	LELAND CYPRESS
STREET TREES		PLATANUS X ACERFOLIA	LONDON PLANE
SCREEN & BLDG PERIMETER		MELALUCA QUINQUENERVIA	CAJEPUT TREE
PARKING LOT TREES		TRISTANIA CONFERTA	BRISBANE BOX
ACCENT TREES		OLEA EUROPAEA 'WILSONII'	MULTI-TRUNK FRUITLESS OLIVE TREE
VINE		FICUS PUMILA	CREEPING FIG

MATERIALS LEGEND

SYMBOL	DESCRIPTION
	SPECIAL CONCRETE PAVING
	BENCH
	BIKE RACK
	CONCRETE WALL/PLANTER
	FENCE
	PLANTER POT



PLANT LEGEND-CD

PLANTING AREA	SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS	SIZE	O.C.	QTY.	IRRIGATION TYPE / IRRIGATION EFFICIENCY	NOTES
MEADOW A		LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	L	1 GAL	24"	37386 SF.	DRIP/0.85	TRIANGULAR PLANTING
INFILTRATION AREA		CHONDROPETALUM TECTORUM JUNCUS PATENS	THATCHING REED CALIFORNIA GRAY RUSH	L	5 GAL 1 GAL	30" O.C. 24" O.C.	5424 SF.	SUB-IRRIGATION	FULL CHONDROPETALUMS
PLANTERS		COREOPSIS LANCEOLATA PENNISETUM ALOPECUROIDES 'LITTLE BUNNY' FICUS PUMILA	TICKSEED DWARF FOUNTAIN GRASS CREEPING FIG VINE	L/M	1 GAL	2'-0"	107 SF.	DRIP/0.85	TRIANGULAR PLANTING; FINAL SELECTION TO BE PROVIDED IN FIELD WITH LA.
PLANTER POTS		BAMBUSA MULTIPLEX 'ALPHONSE KARR'	BAMBOO	M	15 GAL	3'-0"	2	BUBBLER	
EVERGREEN SLOPE		WESTRINGIA FRUTICOSA	COASTAL ROSEMARY	L	5 GAL	5'-0"	4995 SF.	DRIP/0.85	TRIANGULAR PLANTING; TO BE LAID OUT IN FIELD AND APPROVED BY LA.
PARKWAY TURF ALTERNATIVE		FESTUCA RUBRA 'MOLATE'	'MOLATE' CREEPING RED FESCUE	L	---	SEE PLAN	3116 SF.	DRIP/0.85 (INLINE)	SOD
BLDG PERIMETER TREES		CUPRESSOCYPARIS LELANDII	LELAND CYPRESS	M	24" BOX	SEE PLAN	14	BUBBLER	
STREET TREES		PLATINUS X ACERFOLIA	LONDON PLANE	M	24" BOX	SEE PLAN	9	BUBBLER	FULL, MATCH
SCREEN & BLDG PERIMETER		MELALUCA QUINQUENERVIA	CAJEPUT TREE	L	36" BOX	SEE PLAN	23	BUBBLER	MATCH SIZE AND CANOPY; MULTI-TRUNK
PARKING LOT TREES		TRISTANIA CONFERTA	BRISBANE BOX	M	36" BOX	SEE PLAN	17	BUBBLER	FULL, MATCH
ACCENT TREES		OLEA EUROPAEA 'WILSONII'	MULTI-TRUNK FRUITLESS OLIVE TREE	L	36" BOX	SEE PLAN	4	BUBBLER	MULTI-TRUNK SPECIMENS; MIN. 3 TRUNK LEADERS
VINE		FICUS PUMILA	CREEPING FIG	M	1 GAL	SEE PLAN	2	DRIP	

WATER-USE RATING NOTE:

WUCOLS IV CATEGORIES OF WATER NEEDS:

WATER USE CLASSIFICATION OF LANDSCAPE SPECIES BY UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION, CALIFORNIA DEPARTMENT OF RESOURCES, US BUREAU OF RECLAMATION, JANUARY 2014.

MATERIALS LEGEND

SYMBOL	DESCRIPTION	AREA	QTY.	NOTES
	SPECIAL CONCRETE PAVING	3516 S.F.	—	NATURAL GRAY CONCRETE; TOPCAST FINISH AT PATIO, BROOM FINISH AT WALKWAYS.
	BENCH	—	6	CUSTOM WOOD
	BIKE RACK	—	4	FLO BIKE RACK; STAINLESS STEEL; WWW.LANDSCAPEFORMS.COM
	CONCRETE WALL/PLANTER	—	4	CUSTOM, CAST IN PLACE CONCRETE
	FENCE	44' L.F.	—	CUSTOM WOOD
	PLANTER POT	—	2	KORNEGAY DUNE SERIES DS-40;

GENERAL NOTES

- PROPERTY LINE ADJUSTED TO SHOW LIMIT OF WORK AND CONSTRUCTION EDGES. CONSTRUCT TO LIMIT OF WORK
- SQUARE FOOTAGE & QUANTITIES REPRESENT AVERAGES AND ARE APPROXIMATE TO BE USED FOR PRICING ONLY. QUANTITIES AND SPACING WILL VARY IN FIELD LAYOUT. SEE SPECS FOR ADDITIONAL INFORMATION.
- PLANTING TO BE BAY-FRIENDLY. ALLOW FOR 6" OF COMPOST & ORGANIC SOIL AMENDMENT FOR ALL PLANTING AREAS PLUS A 3" MIN. THICK LAYER OF BARK CHIP MULCH ON TOP. USE SONOMA COMPOST IN PETALUMA. WWW.SONOMACOMPOST.COM. SEE SPECS.
- FOR GRADING SEE CIVIL PLANS
- ALL TREES AND SHRUBS TO BE STAKED WITH FLAGS IN FIELD FOR REVIEW BY LANDSCAPE ARCHITECT BEFORE PLANTING.
- SOIL FOR ALL INFILTRATION (BIORETENTION) AREAS SHALL BE 18" AMENDED NATIVE MATERIAL WITH 5"-10" MAX/HR PER. RATE PER SOIL SPECIFICATIONS LOCATED IN APPENDIX L OF THE C.3 TECHNICAL GUIDANCE HANDBOOK (VERSION 4.0). SEE SHEET C8.1. CONTRACTOR TO SUBMIT A SAMPLE OF AMENDED NATIVE MATERIAL TO LANDSCAPE ARCHITECT AND CIVIL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- ALL PLANTING IN INFILTRATION (BIORETENTION) AREAS SHALL HAVE A MIN. OF 3" THICK LAYER OF BARK CHIP MULCH COVERING THE INFILTRATION (BIORETENTION) SOIL MIX LAYER.

WATER USE EVALUATION:

MAXIMUM APPLIED WATER ALLOWANCE (MAWA):
 MAWA = (ET_o) (0.62) [(ETAF X TLA) + ((1-ETAF) X SLA)]
 = (41.8)(0.62)[(0.45 X 50,532ft²) + (0.55 X 0 ft²)]
 = (25.92in/year)(22,739.4 ft³)
 = 589,405 gallons/year

ESTIMATED TOTAL WATER USE (ETWU):

ETWU HYDROZONE 1 = (ET_o)(0.62)(ETAF)(AREA)
 = (41.8)(0.62)(.25)(49386)
 = 319,972
 ETWU HYDROZONE 2 = (41.8)(0.62)(.62)(1146)
 = 18,414
TOTAL = 338,386 gallons/year

SUMMARY:

MAXIMUM APPLIED WATER ALLOWANCE (MAWA):
589,405 gallons/year
 ESTIMATED TOTAL WATER USE (ETWU):
338,386 gallons/year

LANDSCAPE PERCENTAGE:

TOTAL SITE AREA:
176,793 SQ FT
 TOTAL LANDSCAPE AREA
53,996 SQ FT
 TOTAL LANDSCAPE PERCENTAGE:
31%

3D MODEL VIEWS AT ENTRY AND TENANT PATIO



LANDSCAPE CHARACTER IMAGERY

LANDSCAPE FORMS FLO BIKE RACK



MEADOW



BIOSWALE

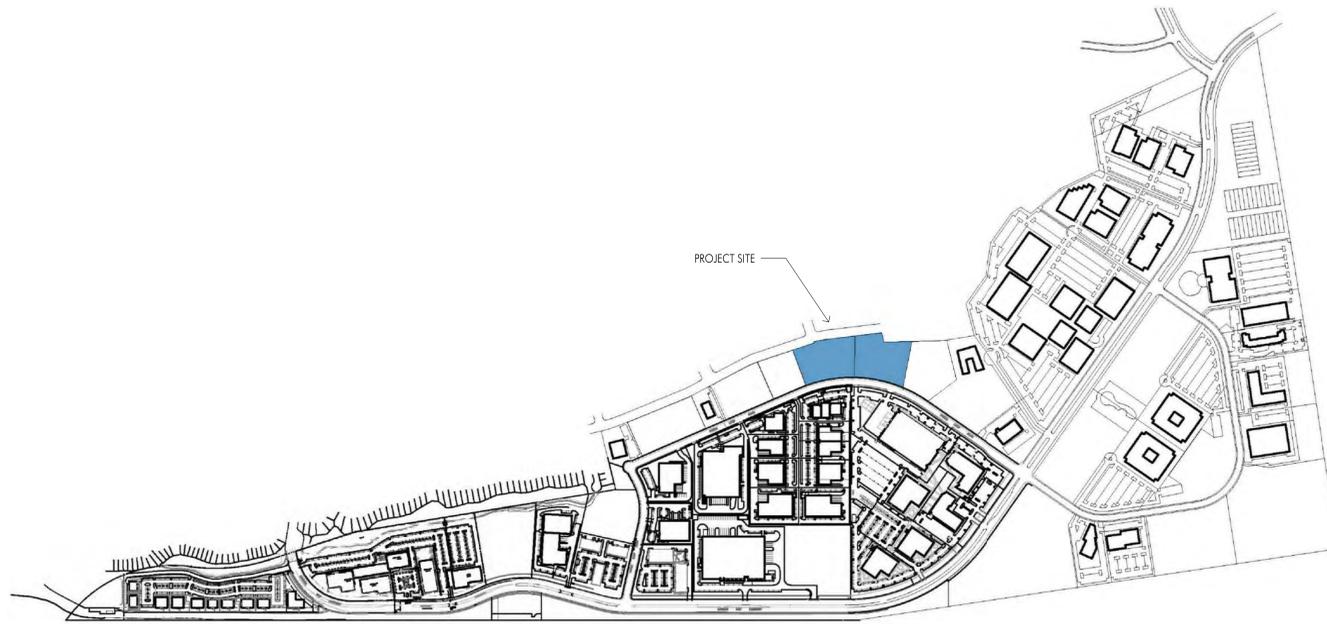


BAMBOO ACCENT

NORTH LOOP CENTER 3 - DEVELOPMENT PLAN



VICINITY MAP



DEVELOPER
SRM Ernst
2220 Livingston Street, Suite 208
Oakland, CA 94606
Joe Ernst
510-219-5376
510-380-7056 fax
jernst@srmernst.com

ARCHITECT
FORGE
500 Montgomery Street
San Francisco, CA 94111
Terri Emery
415-434-0320
415-434-2409 fax
terri@forge-ef.com

SRMERNST
development partners

FORGE

CIVIL ENGINEER
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Livermore, CA 94551
Garrett Readler
925-245-8788
925-245-8796 fax
greadler@kierwright.com

LANDSCAPE ARCHITECT
April Phillips Design Works, Inc.
30 Mount Tallac Court
San Rafael, CA 94903
April Phillips
415-331-2784
415-331-2013 fax
aphillips@apdw.com

KIER & WRIGHT
CIVIL ENGINEERS & SURVEYORS, INC.

**APRIL PHILIPS
DESIGN WORKS**

SCOPE OF WORK

CONSTRUCTION OF TWO NEW INDUSTRIAL BUILDING TOTALING 75,400 S.F. (BUILDING E = 36,800 S.F. AND BUILDING F = 38,000 S.F.) ON VACANT LAND. PROJECT ALSO INCLUDES ASSOCIATED PARKING AND UTILITIES.

DRAWING INDEX

ISSUED WITH REVISIONS
ISSUED
R=REFERENCE DRAWING

GENERAL INFORMATION

G0.0EF COVER SHEET
G0.1 BUILDING & CAMPUS RENDERINGS

DESIGN PACKAGE

A1.0EF DEVELOPMENT PLAN
A1.1EF SITE PLAN - BUILDING E & F
A2.0E BUILDING E - PLANS
A2.1E BUILDING E - ELEVATIONS
A2.2E BUILDING E - SECTIONS & DETAILS
A2.0F BUILDING F - PLANS
A2.1F BUILDING F - ELEVATIONS
A2.2F BUILDING F - SECTIONS & DETAILS
A3.0 BUILDING IMAGERY

CIVIL PACKAGE

C1.0-EF COVER SHEET
C2.0-E TOPOGRAPHIC SURVEY
C2.1-F TOPOGRAPHIC SURVEY
C3.0-E PRELIMINARY GRADING & DRAINAGE PLAN
C3.1-F PRELIMINARY GRADING & DRAINAGE PLAN
C4.0-E PRELIMINARY UTILITY PLAN
C4.1-F PRELIMINARY UTILITY PLAN
C5.0-EF STORM WATER QUALITY CONTROL PLAN
C6.0-EF TRUCK ACCESS PLAN
C6.1-EF FIRE TRUCK CIRCULATION PLAN

LANDSCAPE PACKAGE

L1.0-EF OVERALL SITE PLAN
L1.1-EF MATERIALS & PLANTING
L1.2-EF LEGEND & LANDSCAPE IMAGERY
L1.3-EF PRELIMINARY DETAILS

ELECTRICAL PACKAGE

E1.1-EF SITE PHOTOMETRICS

PLANNING JAN 25, 2018



1 TYPICAL BUILDING ENTRANCE AND PATIO
1/2" = 1'-0"



2 WEST BOUND APPROACH ON NORTH LOOP ROAD
1/2" = 1'-0"



3 FACING NORTH ON NORTH LOOP ROAD
1/2" = 1'-0"



4 NORTH LOOP CENTER PHASE 3 CAMPUS VIEW
1/2" = 1'-0"

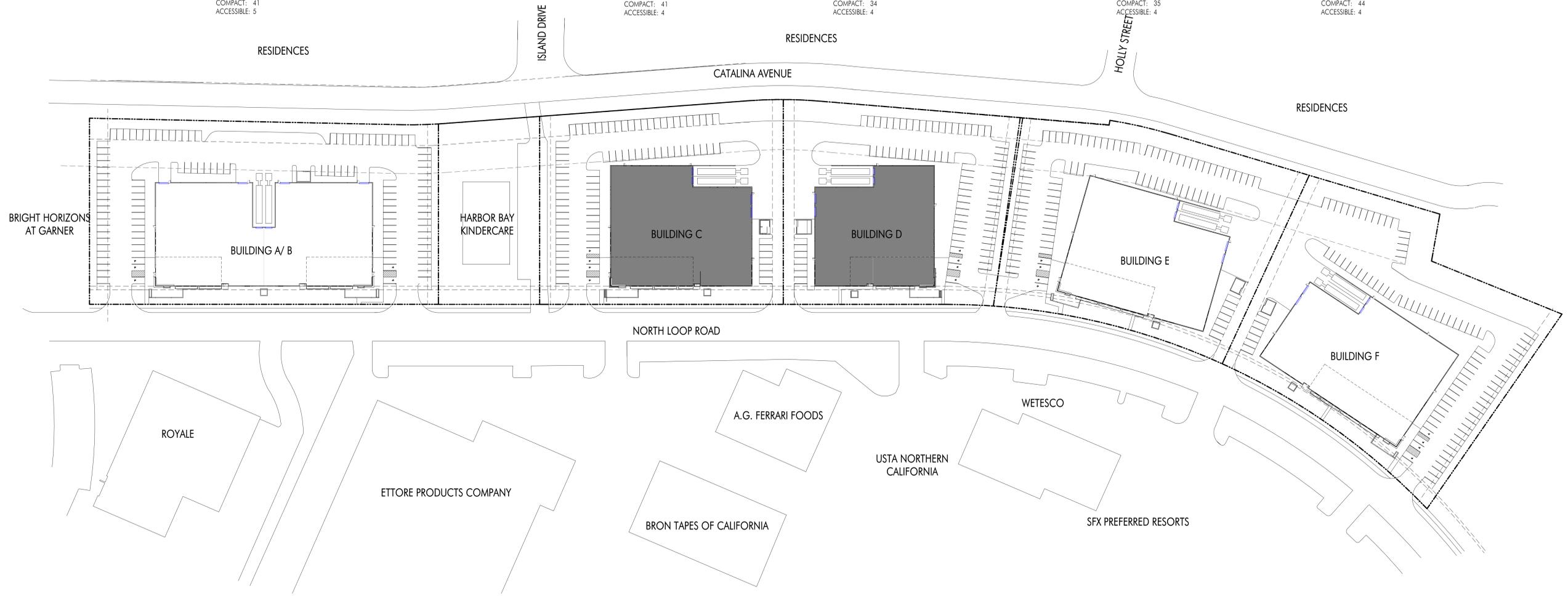
BUILDING A/B
 GROSS SITE AREA: 122,278 SF/ 2.80 AC
 NET SITE AREA: 122,278 SF/ 2.80 AC
 1ST FLOOR: 41,000 SF
 MEZZANINE: 6,000 SF
 BUILDING AREA 47,000 SF
 FAR: .384
 PROVIDED PARKING: 114 (2.5/ 1K)
 STANDARD: 73
 COMPACT: 41
 ACCESSIBLE: 5

BUILDING C
 GROSS SITE AREA: 92,177 SF/ 2.11 AC
 NET SITE AREA: 89,545 SF/ 2.06 AC
 1ST FLOOR: 30,500 SF
 MEZZANINE: 4,800 SF
 BUILDING AREA 35,300 SF
 FAR: .382
 PROVIDED PARKING: 86 (2.5/ 1K)
 STANDARD: 45
 COMPACT: 41
 ACCESSIBLE: 4

BUILDING D
 GROSS SITE AREA: 84,639 SF/ 1.94 AC
 NET SITE AREA: 84,639 SF/ 1.94 AC
 1ST FLOOR: 25,400 SF
 MEZZANINE: 4,000 SF
 BUILDING AREA 29,400 SF
 FAR: .347
 PROVIDED PARKING: 78 (2.8/ 1K)
 STANDARD: 44
 COMPACT: 34
 ACCESSIBLE: 4

BUILDING E
 GROSS SITE AREA: 101,275 SF/ 2.32 AC
 NET SITE AREA: 101,275 SF/ 2.32 AC
 1ST FLOOR: 32,200 SF
 MEZZANINE: 5,200 SF
 BUILDING AREA 37,400 SF
 FAR: .369
 PROVIDED PARKING: 95 (2.6/ 1K)
 STANDARD: 60
 COMPACT: 35
 ACCESSIBLE: 4

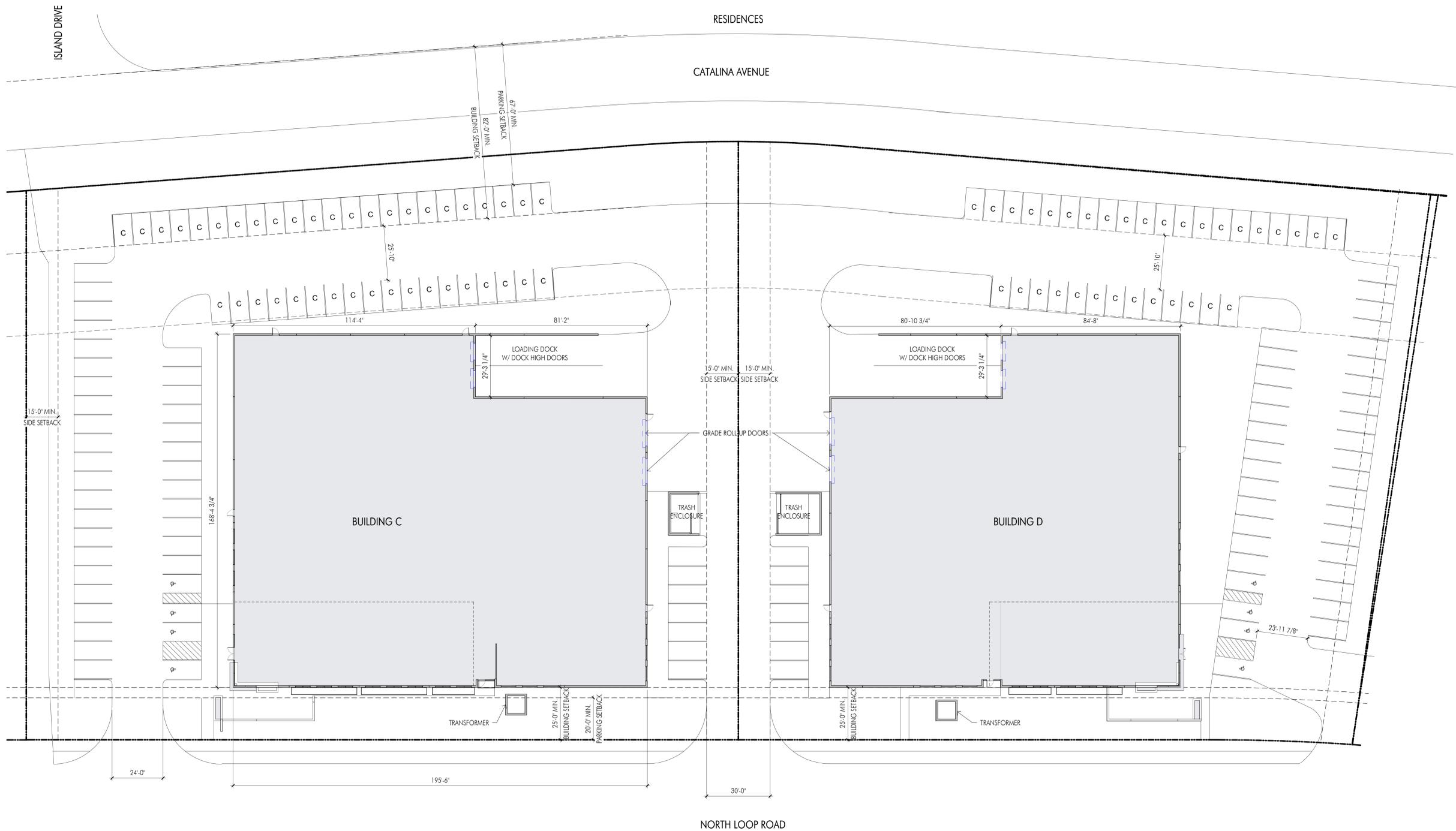
BUILDING F
 GROSS SITE AREA: 112,137 SF/ 2.57 AC
 NET SITE AREA: 112,137 SF/ 2.57 AC
 1ST FLOOR: 32,800 SF
 MEZZANINE: 5,200 SF
 BUILDING AREA 38,000 SF
 FAR: .338
 PROVIDED PARKING: 97 (2.6/ 1K)
 STANDARD: 53
 COMPACT: 44
 ACCESSIBLE: 4



SITE INFORMATION AND BUILDING TOTALS
 SITE: 512,506 S.F. / 11.77 ACRES
 COVERAGE: 161,700 S.F. / 512,506 S.F. = 32%
 BUILDING: 187,100 S.F. / .365 FAR
 PROVIDED PARKING: 470

TYPICAL PARKING DIMENSIONS
 DRIVE AISLES 24'-0" TYPICAL AND 30'-0" AT TRUCK ACCESS AISLES
 STANDARD SPACES 9'-0" WIDE X 18'-0" DEEP WITH 1'-6" OVERHANG
 COMPACT SPACES 8'-6" WIDE X 15'-0" DEEP WITH 1'-6" OVERHANG





BUILDING C
 GROSS SITE AREA: 92,177 SF/ 2.11 AC
 NET SITE AREA: 89,545 SF/ 2.06 AC
 1ST FLOOR: 30,500 SF
 MEZZANINE: 4,800 SF
 BUILDING AREA: 35,300 SF
 FAR: .382
 PROVIDED PARKING: 86 (2.5/ 1K)
 STANDARD: 45
 COMPACT: 41
 ACCESSIBLE: 4

SITE INFORMATION AND BUILDING TOTALS
 SITE: 512,506 S.F. / 11.77 ACRES
 COVERAGE: 161,700 S.F. / 512,506 S.F. = 32%
 BUILDING: 187,100 S.F. / .365 FAR
 PROVIDED PARKING: 470

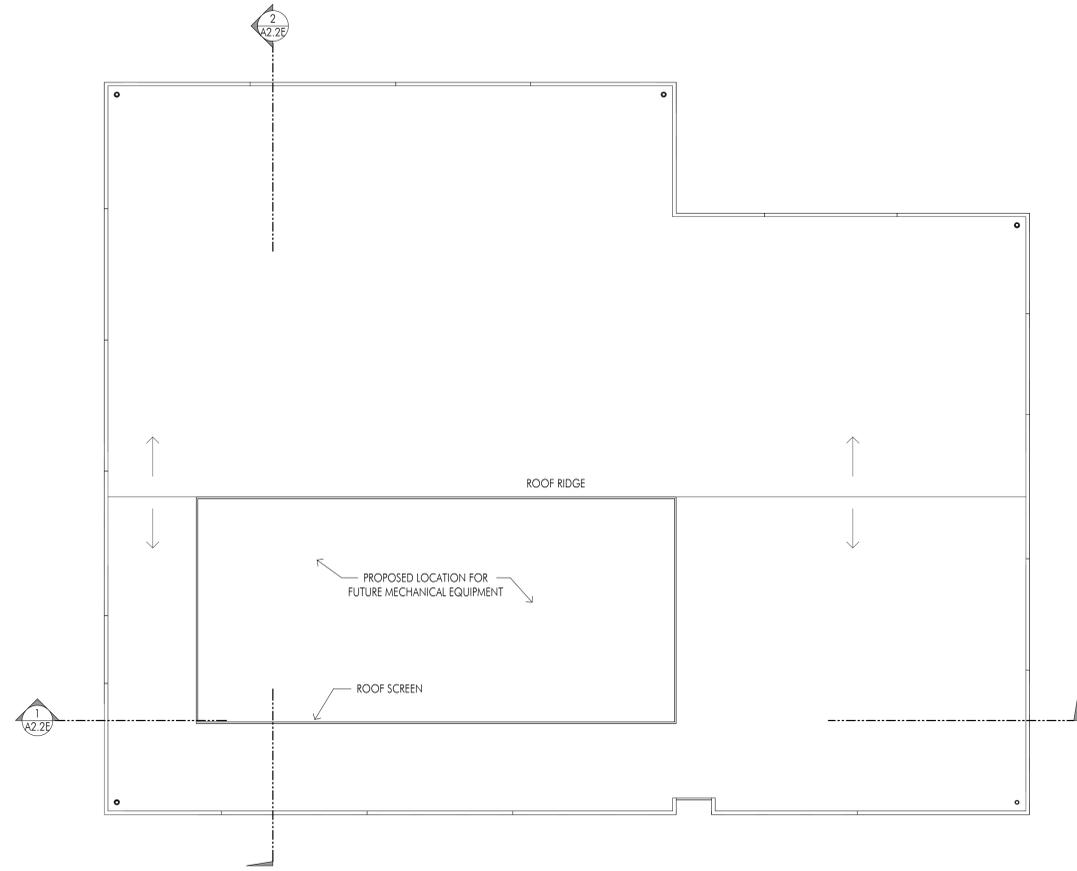
TYPICAL PARKING DIMENSIONS
 DRIVE AISLES: 24'-0" TYPICAL AND 30'-0" AT TRUCK ACCESS AISLES
 STANDARD SPACES: 9'-0" WIDE X 18'-0" DEEP WITH 1'-6" OVERHANG
 COMPACT SPACES: 8'-6" WIDE X 15'-0" DEEP WITH 1'-6" OVERHANG

BICYCLE PARKING
 SHORT-TERM PARKING WILL BE PROVIDED OUTSIDE AND LONG-TERM PARKING WILL BE LOCATED INSIDE THE BUILDING AND FUTURE TENANT WILL NEED TO ACCOMMODATE FOR

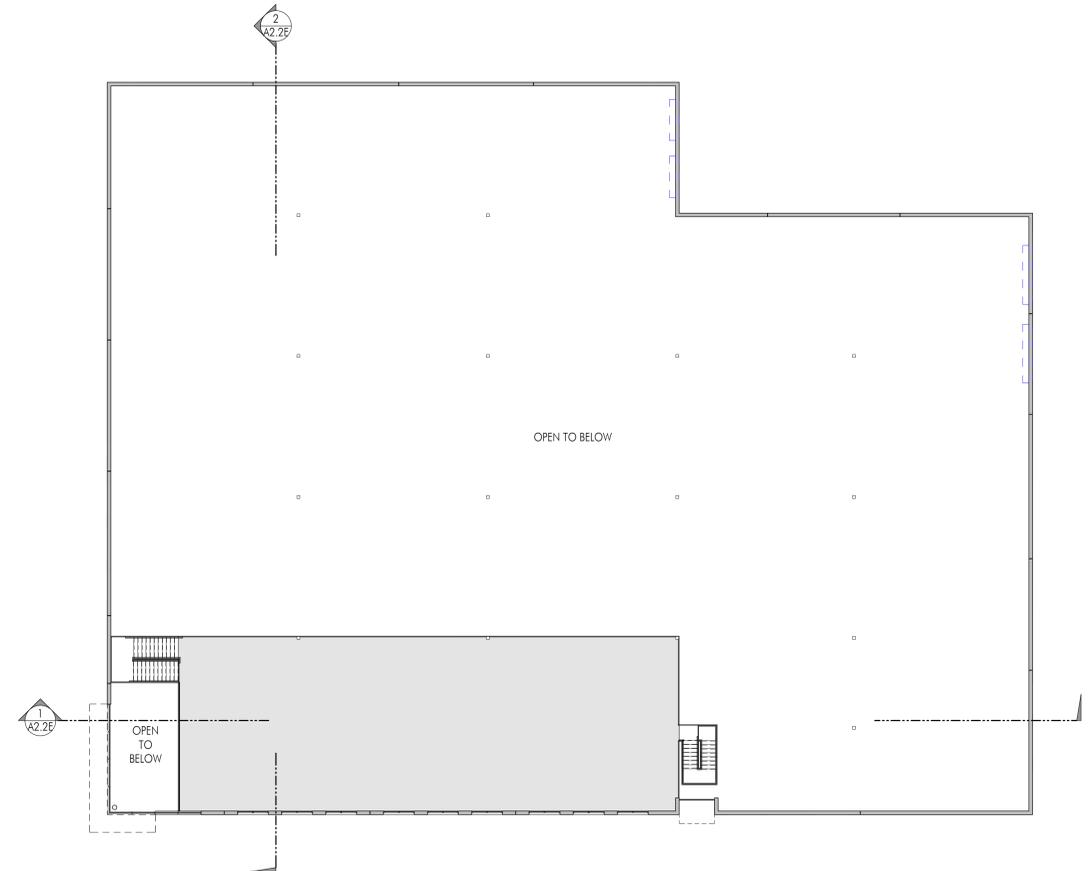
KEY BOX
 A KEY BOX (KNOX BOX) SHALL BE INSTALLED AT A LOCATION APPROVED BY THE FIRE CODE OFFICIAL. KEY BOX TO CONTAIN KEYS TO ENTER THE BUILDING FOR IMMEDIATE ACCESS FOR LIFE-SAVING OR FIRE-FIGHTING PURPOSES. KEYS TO BE PLACED WITHIN THE BOX ARE TO INCLUDE THE EXTERIOR DOOR KEY(S), ELECTRICAL ROOM KEY, ELEVATOR EQUIPMENT ROOM KEY, ELEVATOR OPERATIONS KEY, FIRE ALARM CONTROL PANEL ROOM KEY, FIRE ALARM CONTROL PANEL KEY, AND THE FIRE SPRINKLER RISER ROOM KEY.

BUILDING D
 GROSS SITE AREA: 84,639 SF/ 1.94 AC
 NET SITE AREA: 84,639 SF/ 1.94 AC
 1ST FLOOR: 25,400 SF
 MEZZANINE: 4,000 SF
 BUILDING AREA: 29,400 SF
 FAR: .347
 PROVIDED PARKING: 78 (2.8/ 1K)
 STANDARD: 44
 COMPACT: 34
 ACCESSIBLE: 4





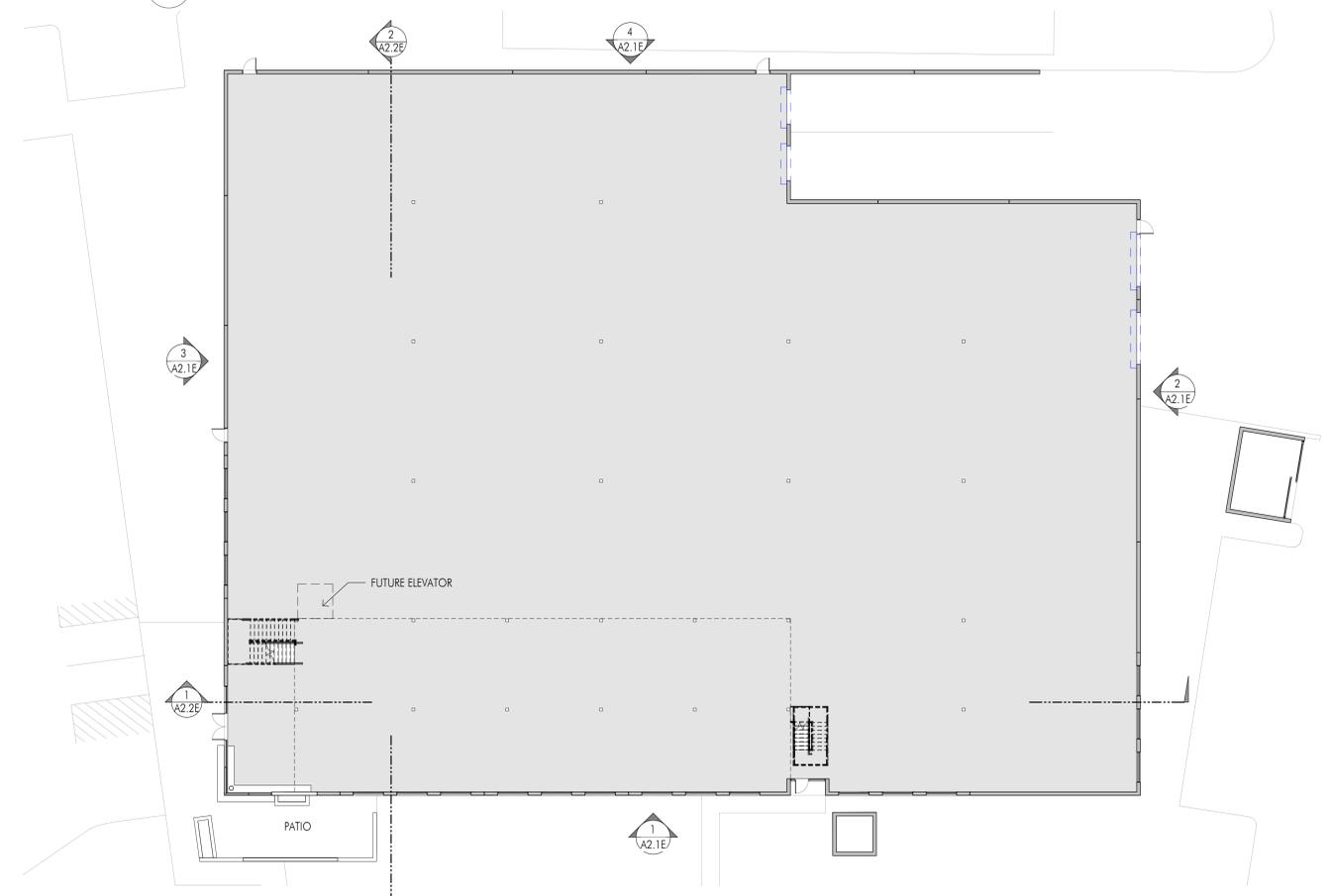
1 BUILDING E - ROOF
1/16" = 1'-0"



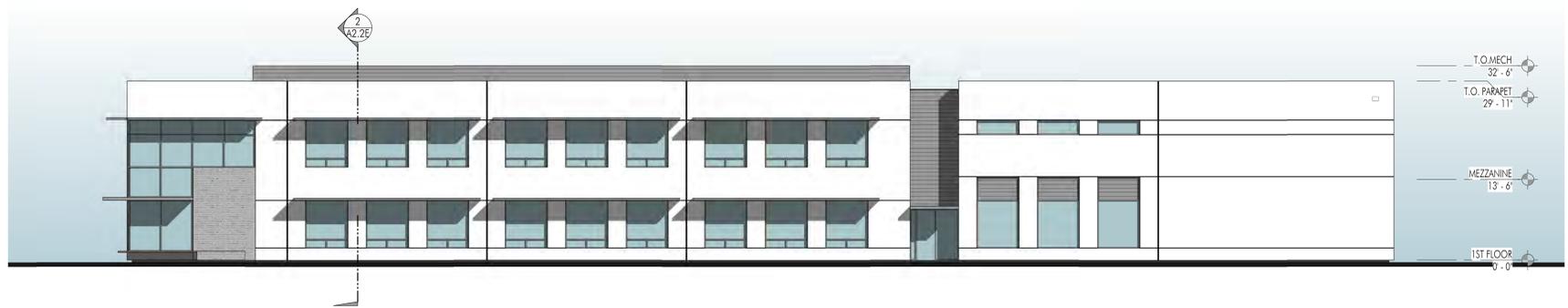
2 BUILDING E - MEZZANINE
1/16" = 1'-0"



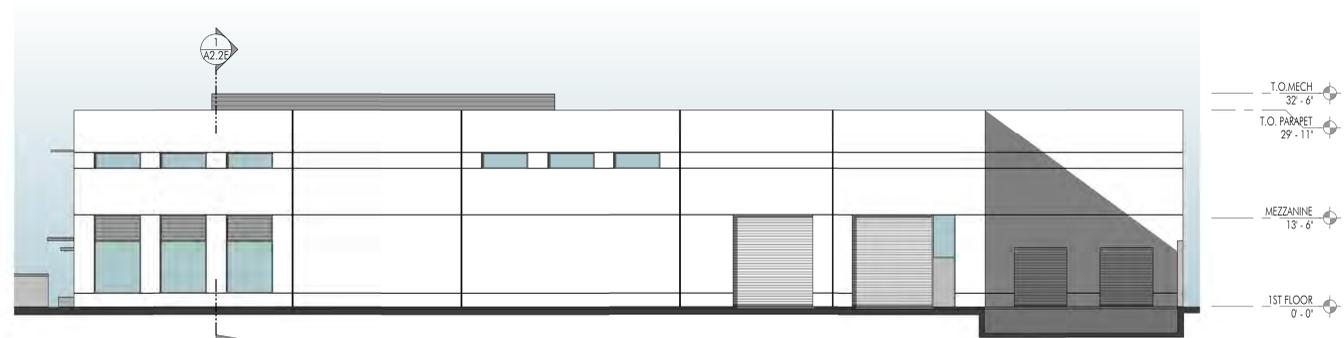
4 BUILDING E ENTRY
1/2" = 1'-0"



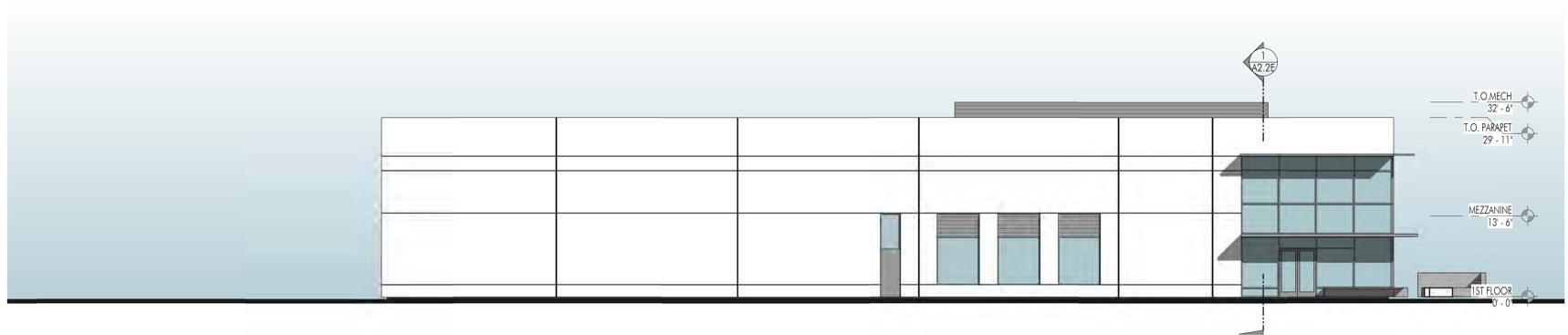
3 BUILDING E - FIRST FLOOR PLAN
1/16" = 1'-0"



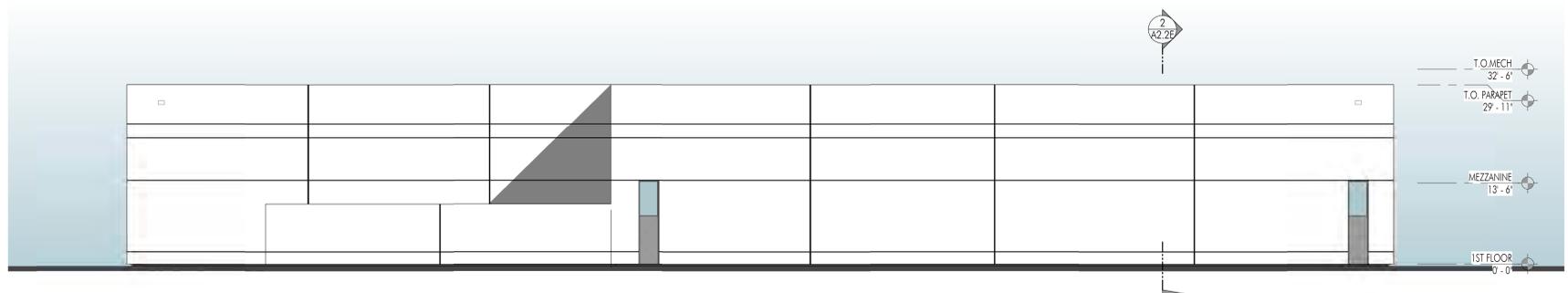
1 BUILDING E - SOUTH ELEVATION
3/32" = 1'-0"



2 BUILDING E - EAST ELEVATION
3/32" = 1'-0"

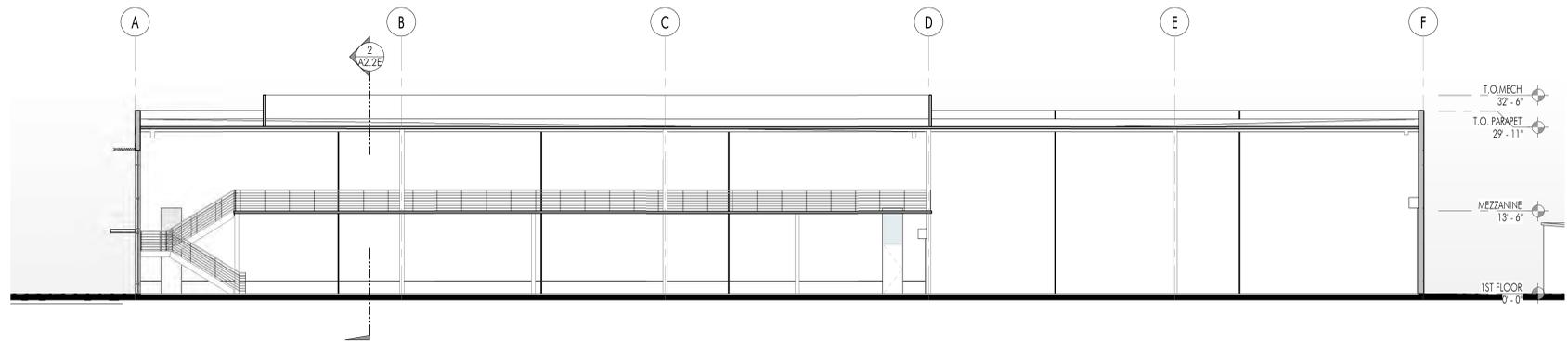


3 BUILDING E - WEST ELEVATION
3/32" = 1'-0"

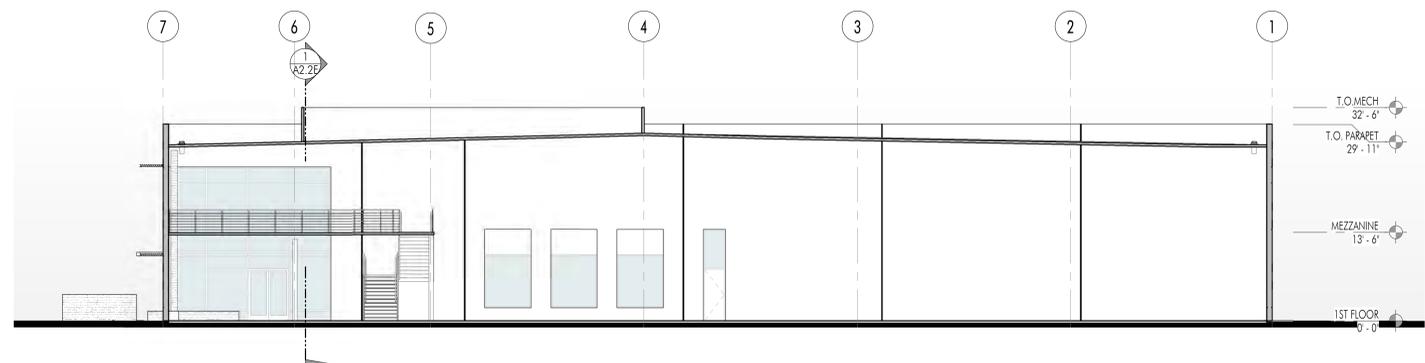


4 BUILDING E - NORTH ELEVATION
3/32" = 1'-0"

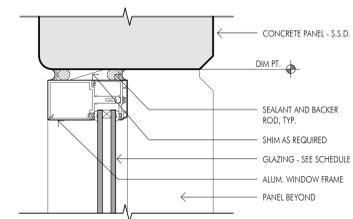
GRAPHIC LEGEND			
	PAINTED CONCRETE PANEL		ALUMINUM SUNSHADE
	BOARDFORMED CONCRETE		GRADE DOOR TO MATCH PAINTED CONCRETE PANEL
	HIGH PERFORMANCE DUAL PANE GLAZING WITH CLEAR ANODIZED ALUMINUM FRAME		METAL INFILL PANEL



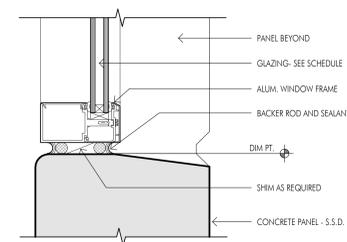
1 LONGITUDINAL SECTION
3/32" = 1'-0"



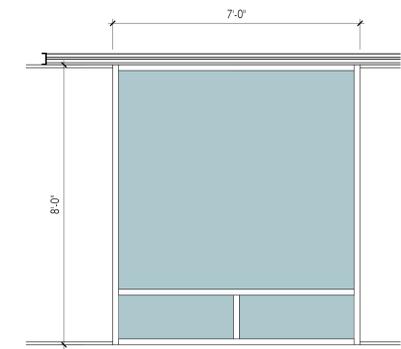
2 TRANSVERSE SECTION
3/32" = 1'-0"



4 WINDOW HEAD AT CONC. PANEL, TYP.
3" = 1'-0"

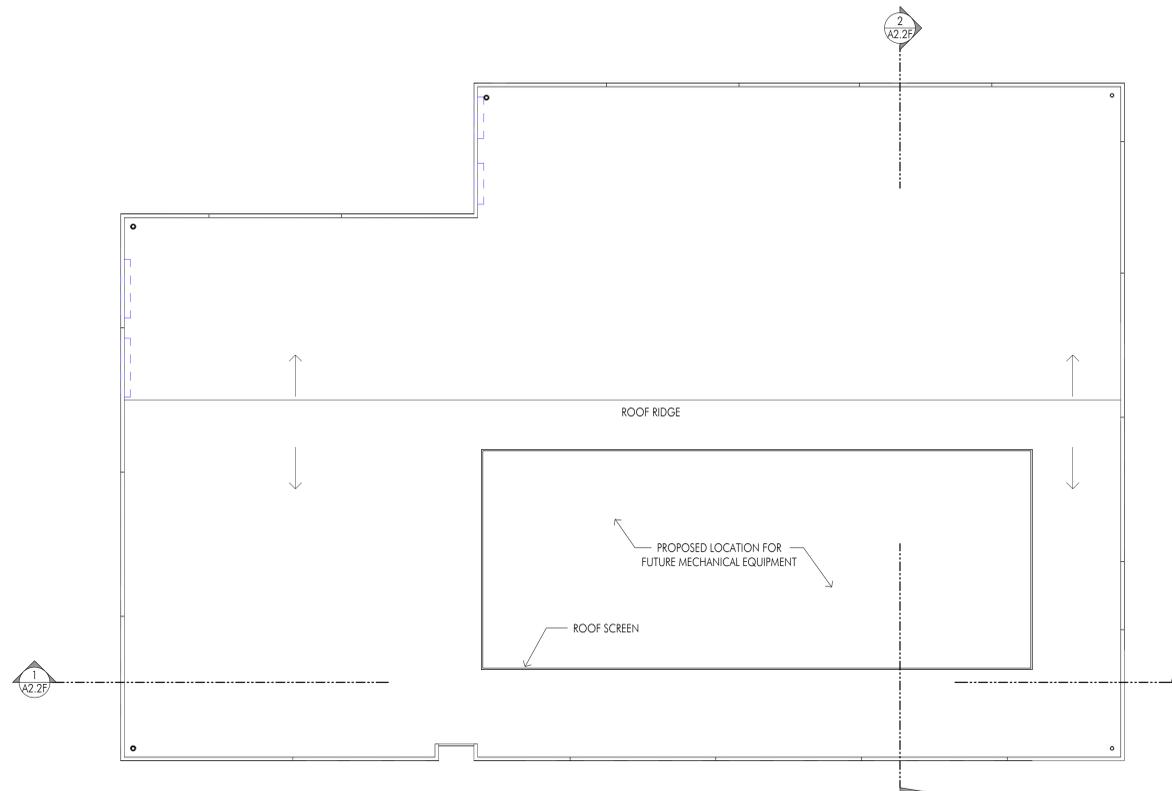


5 WINDOW SILL AT CONC. PANEL, TYP.
3" = 1'-0"

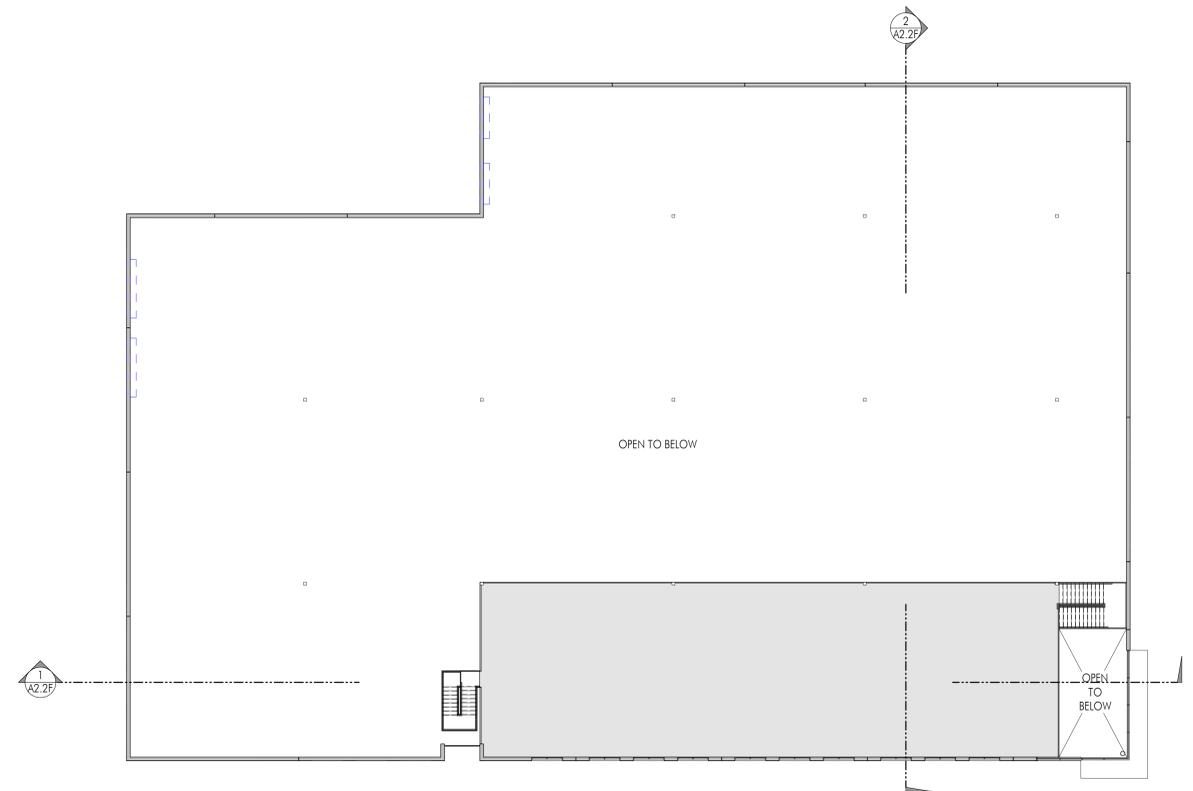


3 WINDOW ELEVATION, TYP.
1/2" = 1'-0"

GRAPHIC LEGEND			
	PAINTED CONCRETE PANEL		ALUMINUM SUNSHADE
	BOARDFORMED CONCRETE		GRADE DOOR TO MATCH PAINTED CONCRETE PANEL
	HIGH PERFORMANCE DUAL PANE GLAZING WITH CLEAR ANODIZED ALUMINUM FRAME		METAL INFIL PANEL



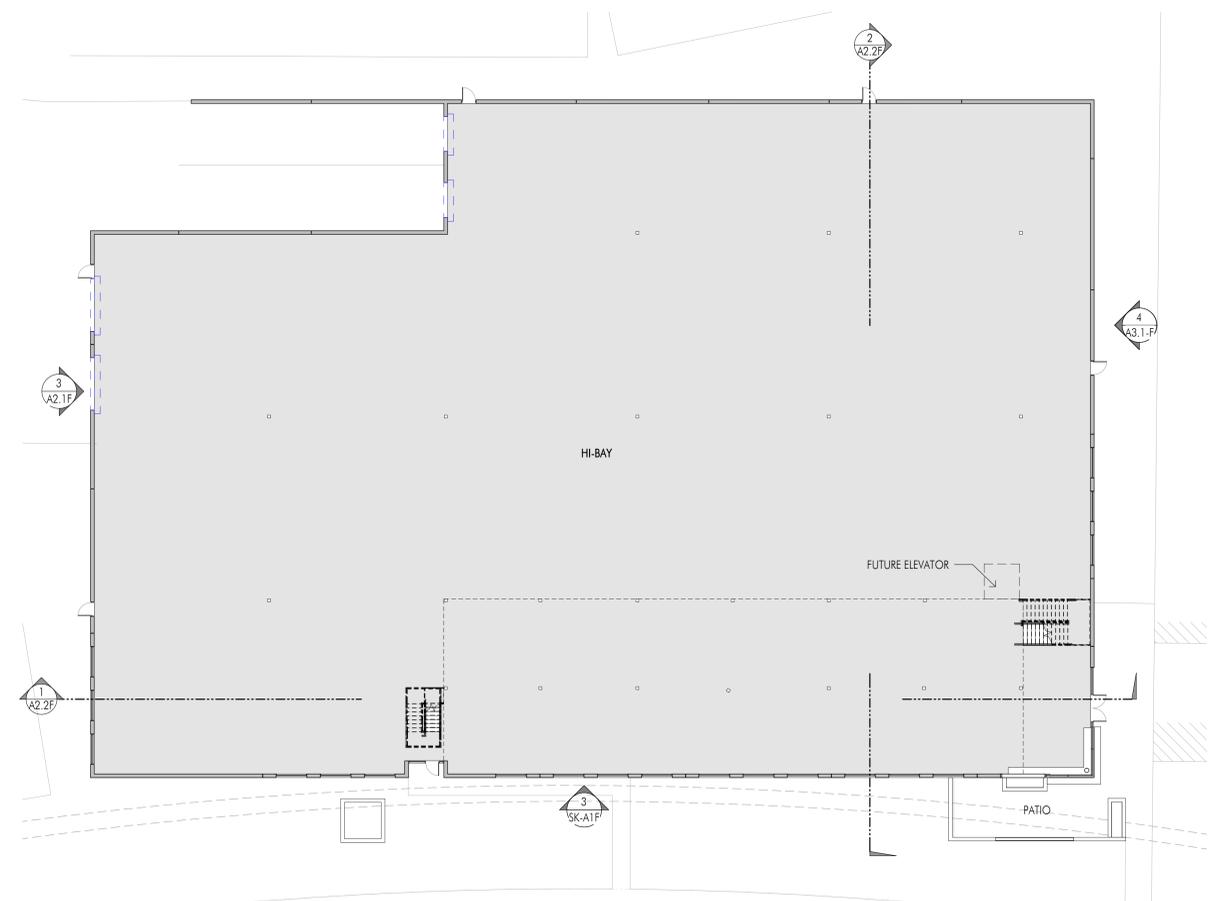
1 BUILDING F - ROOF
1/16" = 1'-0"



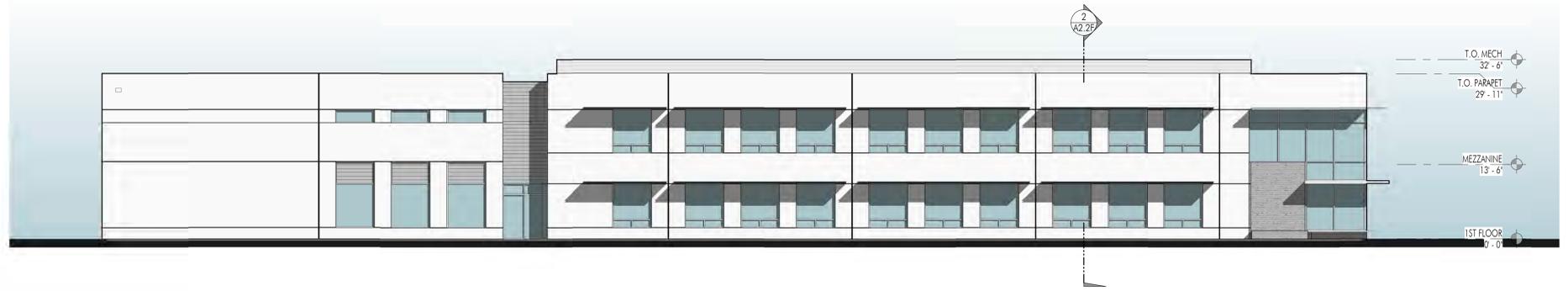
2 BUILDING F - MEZZANINE
1/16" = 1'-0"



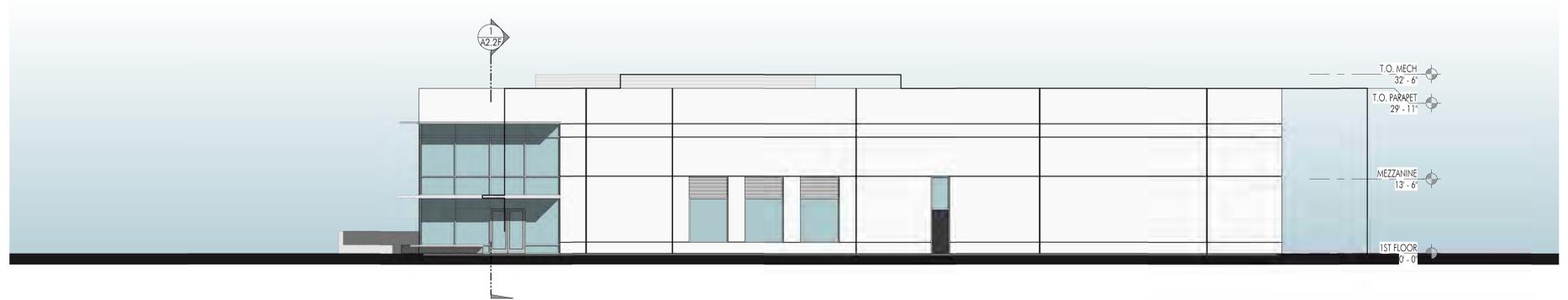
4 BUILDING F ENTRY
1/2" = 1'-0"



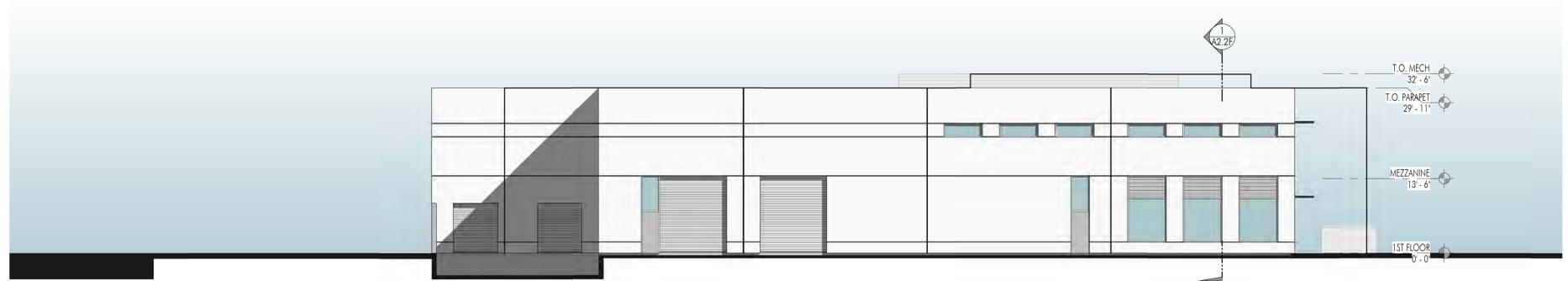
3 BUILDING F - FIRST FLOOR PLAN
1/16" = 1'-0"



1 BUILDING F - SOUTH ELEVATION
3/32" = 1'-0"

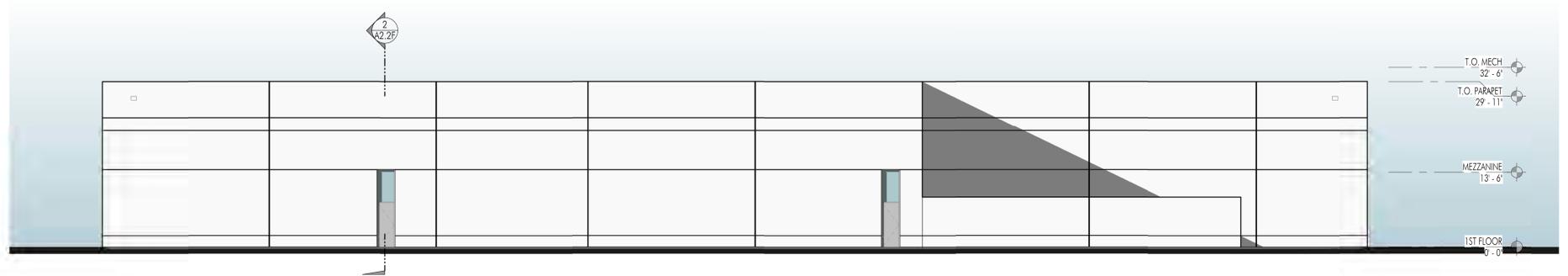


2 BUILDING F - EAST ELEVATION
3/32" = 1'-0"

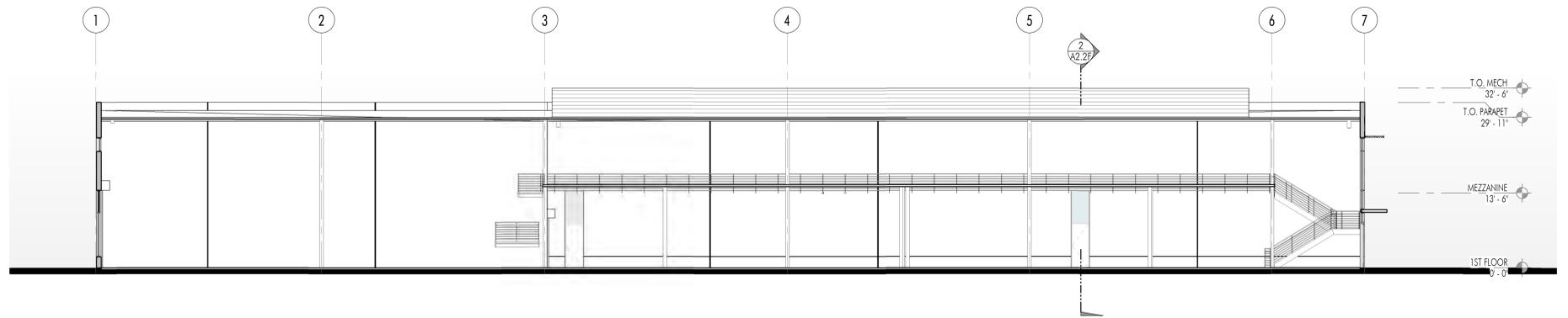


3 BUILDING F - WEST ELEVATION
3/32" = 1'-0"

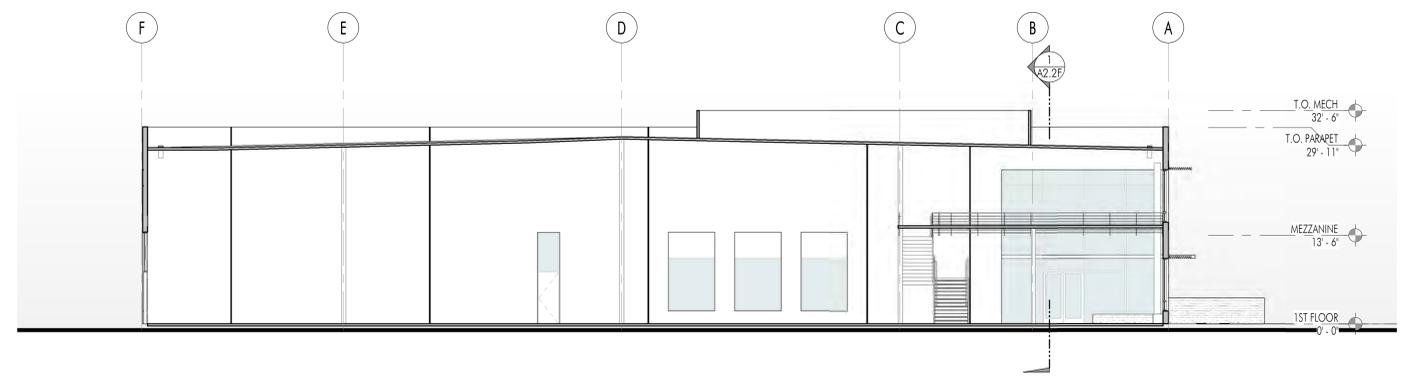
GRAPHIC LEGEND			
	PAINTED CONCRETE PANEL		ALUMINUM SUNSHADE
	BOARDFORMED CONCRETE		GRADE DOOR TO MATCH PAINTED CONCRETE PANEL
	HIGH PERFORMANCE DUAL PANE GLAZING WITH CLEAR ANODIZED ALUMINUM FRAME		METAL PANEL INFILL



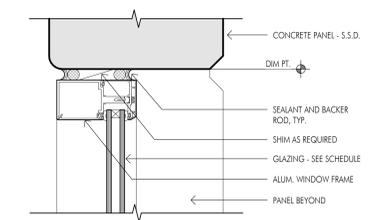
4 BUILDING F - NORTH ELEVATION
3/32" = 1'-0"



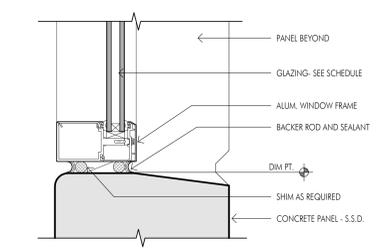
1 LONGITUDINAL SECTION
3/32" = 1'-0"



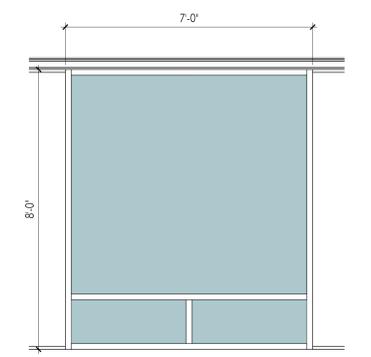
2 TRANSVERSE SECTION FACING EAST
3/32" = 1'-0"



4 WINDOW HEAD AT CONT. PANEL, TYP.
3" = 1'-0"



5 WINDOW SILL AT CONC. PANEL, TYP.
3" = 1'-0"



3 WINDOW ELEVATION, TYP.
1/2" = 1'-0"

GRAPHIC LEGEND			
	PAINTED CONCRETE PANEL		ALUMINUM SUNSHADE
	BOARDFORMED CONCRETE		GRADE DOOR TO MATCH PAINTED CONCRETE PANEL
	HIGH PERFORMANCE DUAL PANE GLAZING WITH CLEAR ANODIZED ALUMINUM FRAME		METAL PANEL INFILL



PRELIMINARY SITE IMPROVEMENT PLANS

OF

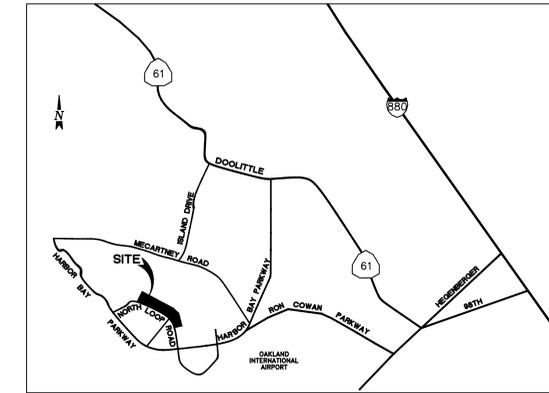
NORTH LOOP ROAD - BUILDINGS E & F

FOR

SRMERNST

ALAMEDA,

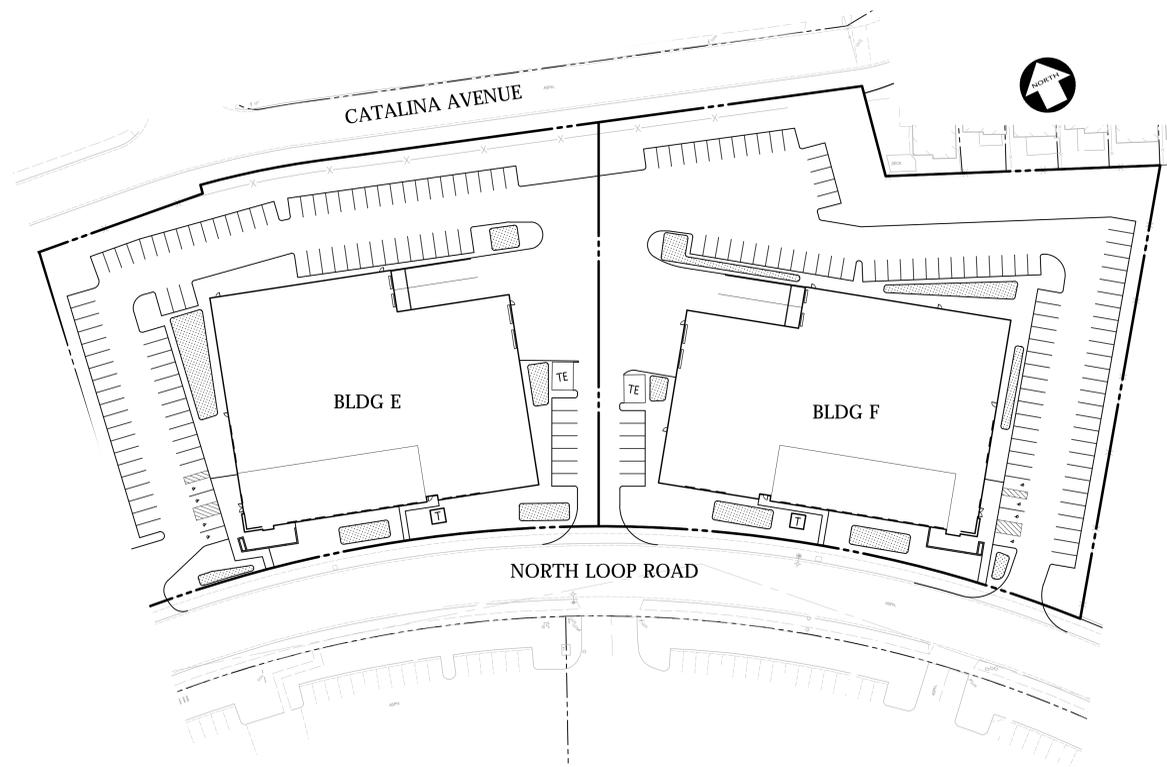
CALIFORNIA



VICINITY MAP
NOT TO SCALE

SHEET INDEX

SHEET	DESCRIPTION
CIVIL	
C1.0	COVER SHEET
C2.0	TOPOGRAPHIC SURVEY
C2.1	TOPOGRAPHIC SURVEY
C3.0	PRELIMINARY GRADING & DRAINAGE PLAN
C3.1	PRELIMINARY GRADING & DRAINAGE PLAN
C4.0	PRELIMINARY UTILITY PLAN
C4.1	PRELIMINARY UTILITY PLAN
C5.0	STORM WATER QUALITY CONTROL PLAN
C6.0	TRUCK ACCESS PLAN
C6.1	FIRE TRUCK CIRCULATION PLAN



VICINITY MAP
1" = 50'

NO.	REVISION	DATE	BY	NO.	REVISION
1	PLANNING PACKAGE	12/11/2017	ZS	1	
2				2	
3				3	
4				4	
5				5	

KIER & WRIGHT
 CIVIL ENGINEERS & SURVEYORS, INC.
 2850 Collier Canyon Road
 Livermore, California 94551
 Phone (925) 245-8788
 Fax (925) 245-8796



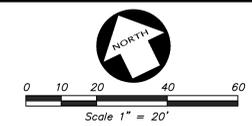
COVER SHEET
 OF
 NORTH LOOP ROAD - BUILDINGS E & F
 FOR
 SRMERNST
 ALAMEDA, CALIFORNIA

DATE	JAN. 25, 2018
SCALE	
DESIGNER	DGR
JOB NO.	A17646
SHEET	C1.0
OF	10 SHEETS



Know what's below.
Call before you dig.

Z:\2017\A17646\DWG\ENTITLEMENTS\PP_PERMIT\A17646-PP-E.dwg / 10/2018 8:38:14 AM mhflz



LEGEND

	BUILDING LINE
	CENTERLINE
	CONCRETE/BLOCK/RETAINING WALL
	CONCRETE CURB
	CONCRETE CURB & GUTTER
	CONTOUR LINE
	DRIVEWAY
	EASEMENT LINE
	EDGE OF PAVEMENT
	ELECTRIC LINE
	FENCE LINE
	JOINT TRENCH
	LOT LINE
	MONUMENT/MONUMENT LINE
	OVERHEAD POWER LINE
	PROPERTY LINE
	SANITARY SEWER-MANHOLE & CLEANOUT
	SIDEWALK
	SPOT ELEVATION
	STORM DRAIN-MANHOLE & CATCH BASIN
	TELEPHONE LINE
	WATER LINE & VALVE
	ELECTROLINER
	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT
	POST INDICATOR VALVE
	POWER POLE/JOINT POLE
	TRANSFORMER
	TRAFFIC SIGN
	TREE
	UTILITY BOX
	WATER VALVE

ABBREVIATIONS

ARV	AIR RELEASE VALVE
BFPD	BACK FLOW PREVENTION DEVICE
BTM	BOTTOM
BSCK	BACK-SIGHT CHECK
BW	BACK OF WALK
C	CONCRETE
CB	CATCH BASIN
CTB	CABLE TV BOX
DWY	DRIVEWAY
E	EAST
EB	ELECTRIC BOX
ELEC	ELECTRIC LINE
EP	EDGE OF PAVEMENT
EV	ELECTRICAL VAULT
FD	FOUND
FDC	FIRE DEPARTMENT CONNECTION
FH	FIRE HYDRANT
FL	FLOW LINE
GV	GAS VALVE
IB	IRRIGATION BOX
IE	INVERT ELEVATION
JT	JOINT TRENCH
LIP	LIP OF GUTTER
MON	MONUMENT
N	NORTH
NE	NORTH EAST
P	POST INDICATOR VALVE
PIV	POST INDICATOR VALVE
PM	PUBLIC UTILITY EASEMENT
PUE	PUBLIC UTILITY EASEMENT
RE	REVERSE ELEVATION
S	SOUTH
SDE	STORM DRAIN EASEMENT
SDMB	STORM DRAIN MANHOLE BOX
SDMH	STORM DRAIN MANHOLE
SE	SOUTH EAST
SL	STREET LIGHT
SLB	STREET LIGHT BOX
SP	STAND PIPE
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
SW	SOUTH WEST
TB	TELEPHONE BOX
TC	TOP OF CURB
TMH	TELEPHONE MANHOLE
TRANS	TRANSFORMER
W	WEST
WB	WATER BOX
WM	WATER METER
WV	WATER VALVE

NOTES

- THIS PLOT WAS PREPARED FROM INFORMATION FURNISHED IN A PRELIMINARY TITLE REPORT, PREPARED BY CHICAGO TITLE INSURANCE COMPANY, DATED JUNE 26, 2017, ORDER NUMBER 58209852-582-LE-KD. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID PRELIMINARY TITLE REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.
- ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
- THIS SURVEY DOES NOT SHOW THE LOCATIONS OF THE FOLLOWING UNDERGROUND UTILITY LINES DUE TO THE FACT THAT THE CLIENT HAS NOT FURNISHED KIER & WRIGHT CIVIL ENGINEERS & SURVEYORS, INC. WITH ANY PLANS THAT DELINEATE THEIR LOCATIONS: GAS LINES, CABLE TELEVISION LINES, NITROGEN LINES, (IF ANY) FIBER OPTIC LINES. (IF ANY) PARTIES SHOULD CONSIDER THIS SURVEY AS PRELIMINARY WITH REGARD TO THE LOCATION OF THE UTILITY FACILITIES. UPON RECEIPT OF THIS INFORMATION KIER & WRIGHT WILL UPDATE THIS SURVEY AND REISSUE IT.
- THE SUBJECT PROPERTY IS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR ALAMEDA COUNTY, CALIFORNIA, MAP NUMBER 06001C0251G FOR COMMUNITY NUMBER 060002 (CITY OF ALAMEDA), WITH AN EFFECTIVE DATE OF AUGUST 3, 2009, AS BEING LOCATED IN FLOOD ZONE "X-UNSHADED".
ACCORDING TO FEMA THE DEFINITION OF ZONE "X-UNSHADED" IS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
FEMA BASE FLOOD ELEVATIONS ARE BASED ON NAVD88 DATUM. SEE BENCHMARK NOTE FOR DATUM CONVERSIONS.
- BENCHMARK:
CUT SQUARE AT THE TOP OF CURB AT THE EAST RETURN AT THE NORTHEAST CORNER OF HARBOR BAY PARKWAY AND "A" ROAD. ELEVATION = 105.70 FEET (CITY OF ALAMEDA DATUM)
ELEVATIONS SHOWN HEREON ARE BASED ON CITY OF ALAMEDA DATUM. TO CONVERT TO NAVD88 DATUM SUBTRACT 93.76 FEET FROM ALL ELEVATIONS SHOWN HEREON. DATUM CONVERSION WAS OBTAINED FROM FIELD VALUES COLLECTED ON NGS STATIONS TAKEN FROM THE NGS WEBSITE: (<https://www.ngs.noaa.gov/DATASHEETS/>).
- BASIS OF BEARINGS:
THE BEARING OF SOUTH 64° 00' 26" EAST TAKEN ON THE MONUMENT LINE OF NORTH LOOP ROAD AS SHOWN ON THAT CERTAIN PARCEL MAP NUMBER 9286 FILED FOR RECORD ON MARCH 13, 2007, IN BOOK 296 OF MAPS AT PAGE 55, OFFICIAL RECORDS OF ALAMEDA COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.
- CORNER RECORD NOTE:
THE DEVELOPER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FLING OF PRE-CONSTRUCTION AND POST-CONSTRUCTION CORNER RECORDS FOR ANY MONUMENTS OR PROPERTY CORNERS SHOWN HEREON THAT MAY BE DESTROYED DURING IMPROVEMENTS TO THE SUBJECT PROPERTY AS DEFINED IN SECTION 8771(B) OF THE PROFESSIONAL LAND SURVEYORS ACT.

[Signature]
 PREPARED BY OR UNDER THE SUPERVISION OF
 RODNEY A. STEWART J.P.L.S. 9225
 LICENSE EXPIRES: 9-30-19



SEE SHEET C2.1

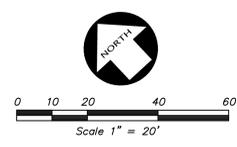
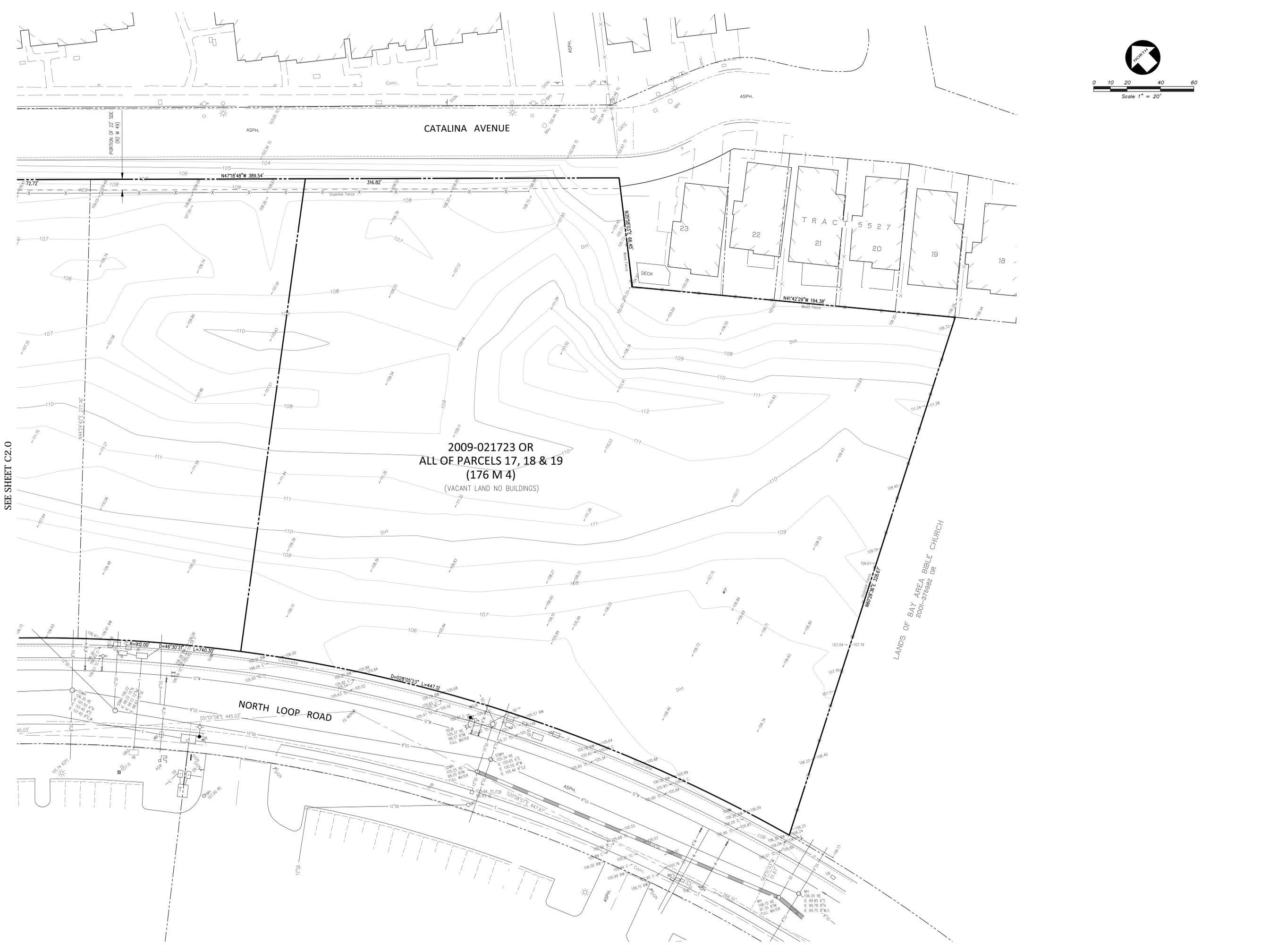
NO.	REVISION	DATE	BY
1	PLANNING PACKAGE	12/11/2017	ZS
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8			
9			
10			

TOPOGRAPHIC SURVEY
 OF
NORTH LOOP ROAD - BUILDINGS E & F
 FOR
SRMERST

ALAMEDA, CALIFORNIA

DATE	JAN. 25, 2018
SCALE	
DESIGNER	DGR
JOB NO.	A17646
SHEET	C2.0
OF	10 SHEETS

Z:\2017\17646\DWG\ENTITLEMENTS\PP_FERMIT\17646-PP-C-ENG_1/10/2018.dwg & 36'x44' MH.mifz



SEE SHEET C2.0

2009-021723 OR
ALL OF PARCELS 17, 18 & 19
(176 M 4)
(VACANT LAND NO BUILDINGS)

NO.	REVISION	PLANNING PACKAGE	12/11/2017
BY	ZS		
NO.			
REVISION			

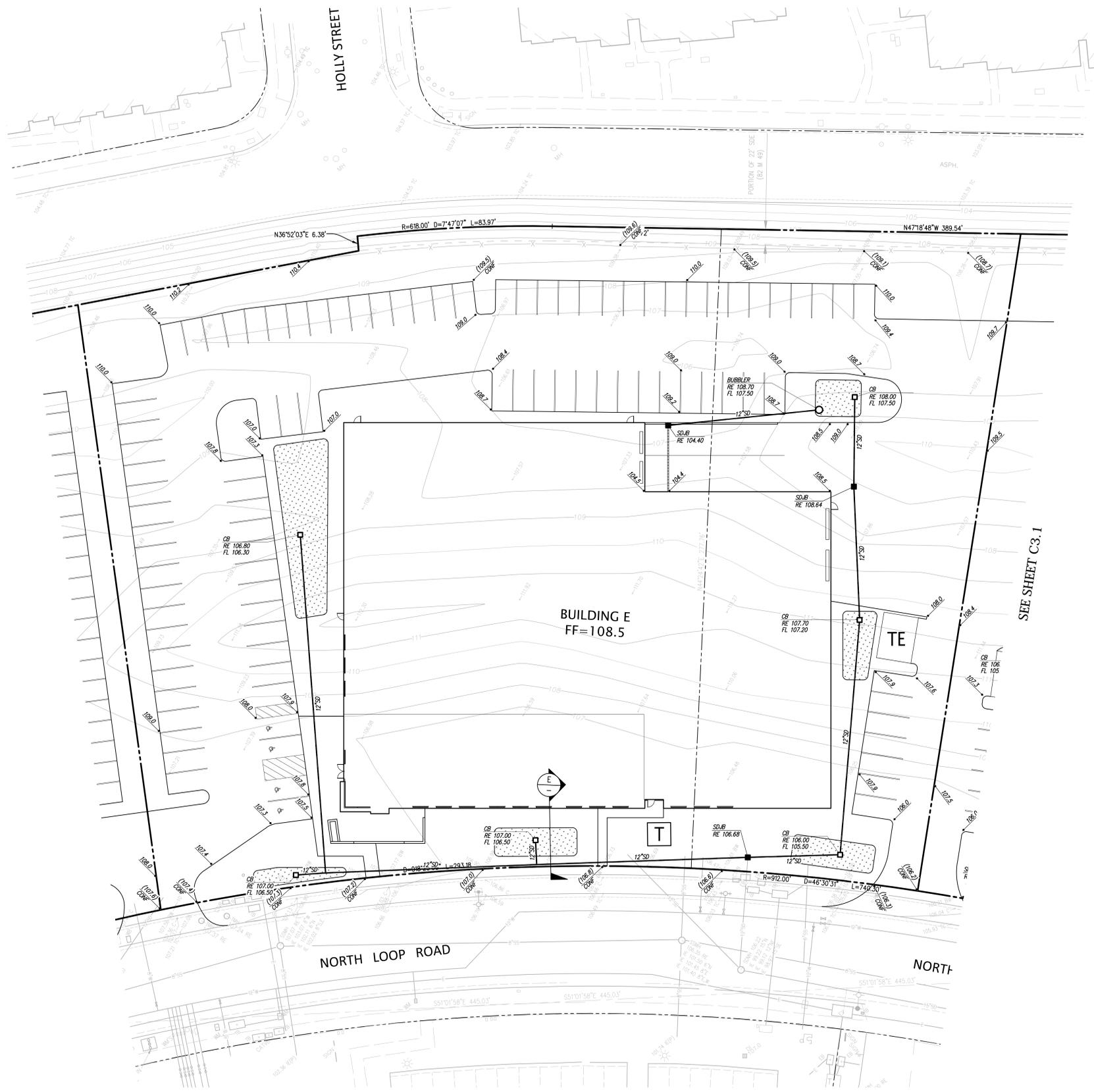
KIER & WRIGHT
CIVIL ENGINEERS & SURVEYORS, INC.
2850 Collier Canyon Road
Livermore, California 94551
Phone (925) 245-8788
Fax (925) 245-8796

TOPOGRAPHIC SURVEY
OF
NORTH LOOP ROAD - BUILDINGS E & F
FOR
SRMERNST
ALAMEDA, CALIFORNIA

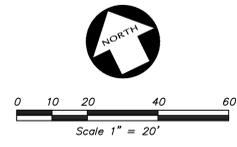
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SCALE	
DESIGNER	DGR
JOB NO.	A17646
SHEET	C2.1
OF	10 SHEETS

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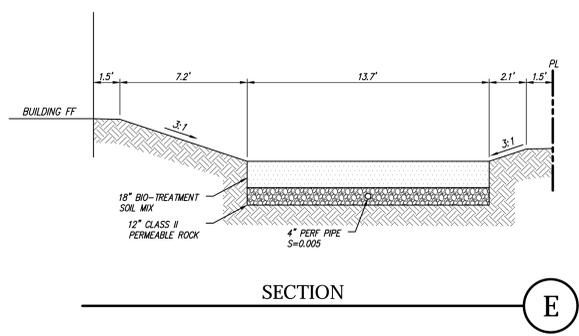


SEE SHEET C3.1



LEGEND

▲	AREA DRAIN
■	STORM DRAIN CATCH BASIN
□	STORM DRAIN JUNCTION BOX
●	STORM DRAIN MANHOLE
—	FLOW LINE
FF	FINISH FLOOR
PV	PAVEMENT
RE	RIM ELEVATION
23.8	SPOT ELEVATION
X'SD	STORM DRAIN LINE
TC	TOP OF CURB



NO.	BY	NO.	REVISION
	ZS		

PLANNING PACKAGE 12/11/2017

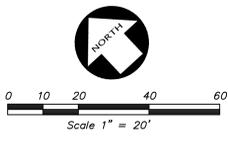
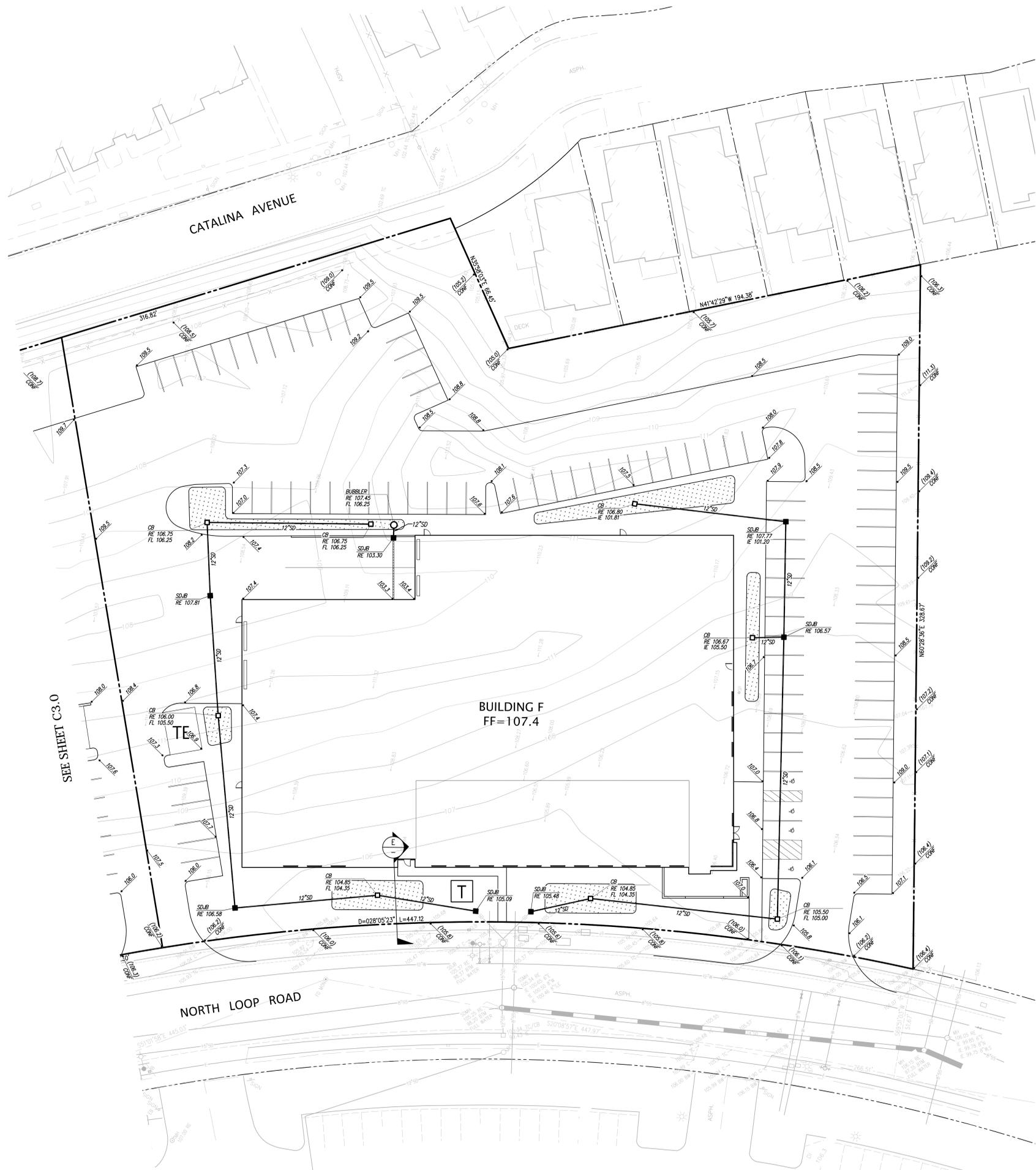
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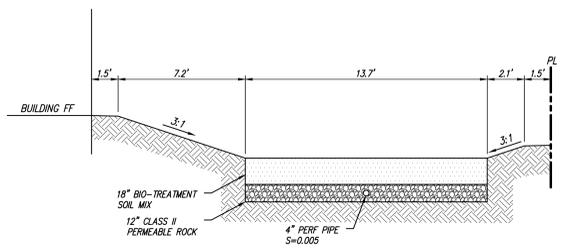
PRELIMINARY GRADING AND DRAINAGE PLAN
 OF
NORTH LOOP ROAD - BUILDINGS E & F
 FOR
SRMERST
 ALAMEDA, CALIFORNIA

DATE	JAN. 25, 2018
SCALE	
DESIGNER	DGR
JOB NO.	A17646
SHEET	C3.0
OF	10 SHEETS

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- LEGEND**
- ▲ AREA DRAIN
 - STORM DRAIN CATCH BASIN
 - STORM DRAIN JUNCTION BOX
 - STORM DRAIN MANHOLE
 - FL FLOW LINE
 - FF FINISH FLOOR
 - PV PAVEMENT
 - RE RIM ELEVATION
 - 23.0 SPOT ELEVATION
 - 12"SD STORM DRAIN LINE
 - TC TOP OF CURB



SEE SHEET C3.0

NO.	BY	REVISION	DATE	DESCRIPTION

NO.	BY	REVISION	DATE	DESCRIPTION

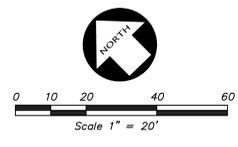
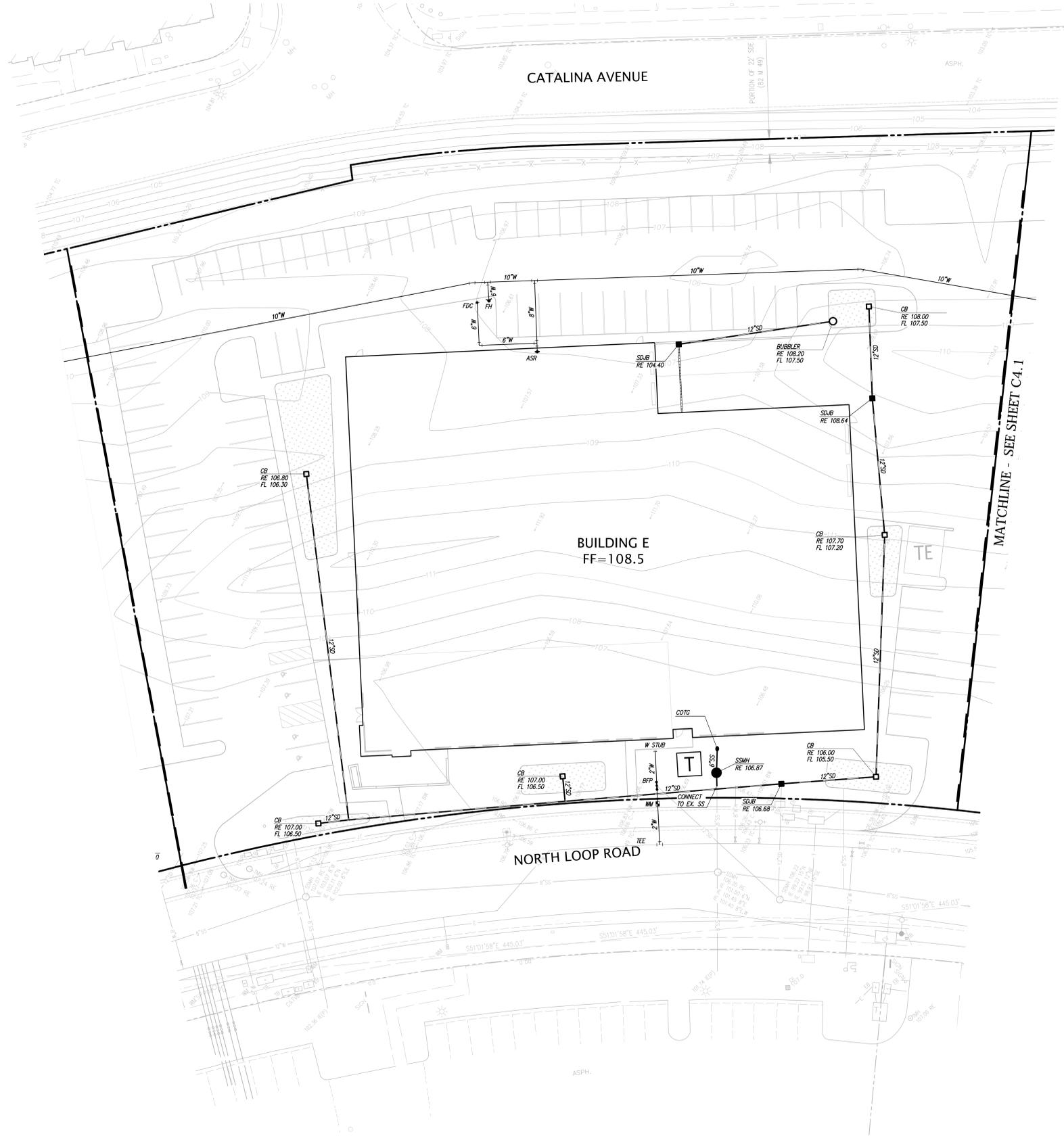
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Michael J. Wright
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF CALIFORNIA
 No. 55838

PRELIMINARY GRADING AND DRAINAGE PLAN
 OF
NORTH LOOP ROAD - BUILDINGS E & F
 FOR
SRMERST
 ALAMEDA, CALIFORNIA

DATE	JAN. 25, 2018
SCALE	
DESIGNER	DGR
JOB NO.	A17646
SHEET	C3.1
OF	10 SHEETS

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LEGEND

ASR	AUTOMATIC SPRINKLER RISER
RE	RIM ELEVATION
TC	TOP OF CURB
WS	WATER SERVICE
---	EXISTING UTILITY TO BE ABANDONED BY REMOVAL
FS	FIRE SERVICE
SS	SANITARY SEWER
COTG	CLEANOUT TO GRADE
---	STORM DRAIN LINE
▲	AREA DRAIN
□	STORM DRAIN CATCH BASIN
○	STORM DRAIN JUNCTION BOX
○	STORM DRAIN MANHOLE
○	BACK FLOW PREVENTION DEVICE
○	FIRE DEPARTMENT CONNECTION
○	FIRE HYDRANT & VALVE
○	POST INDICATOR VALVE
○	SANITARY SEWER MANHOLE
○	SINGLE CHECK VALVE
○	STORM DRAIN MANHOLE
○	WATER METER

NO.	BY	REVISION
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2		12/11/2017

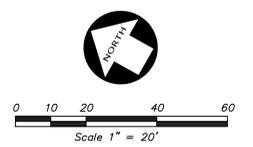
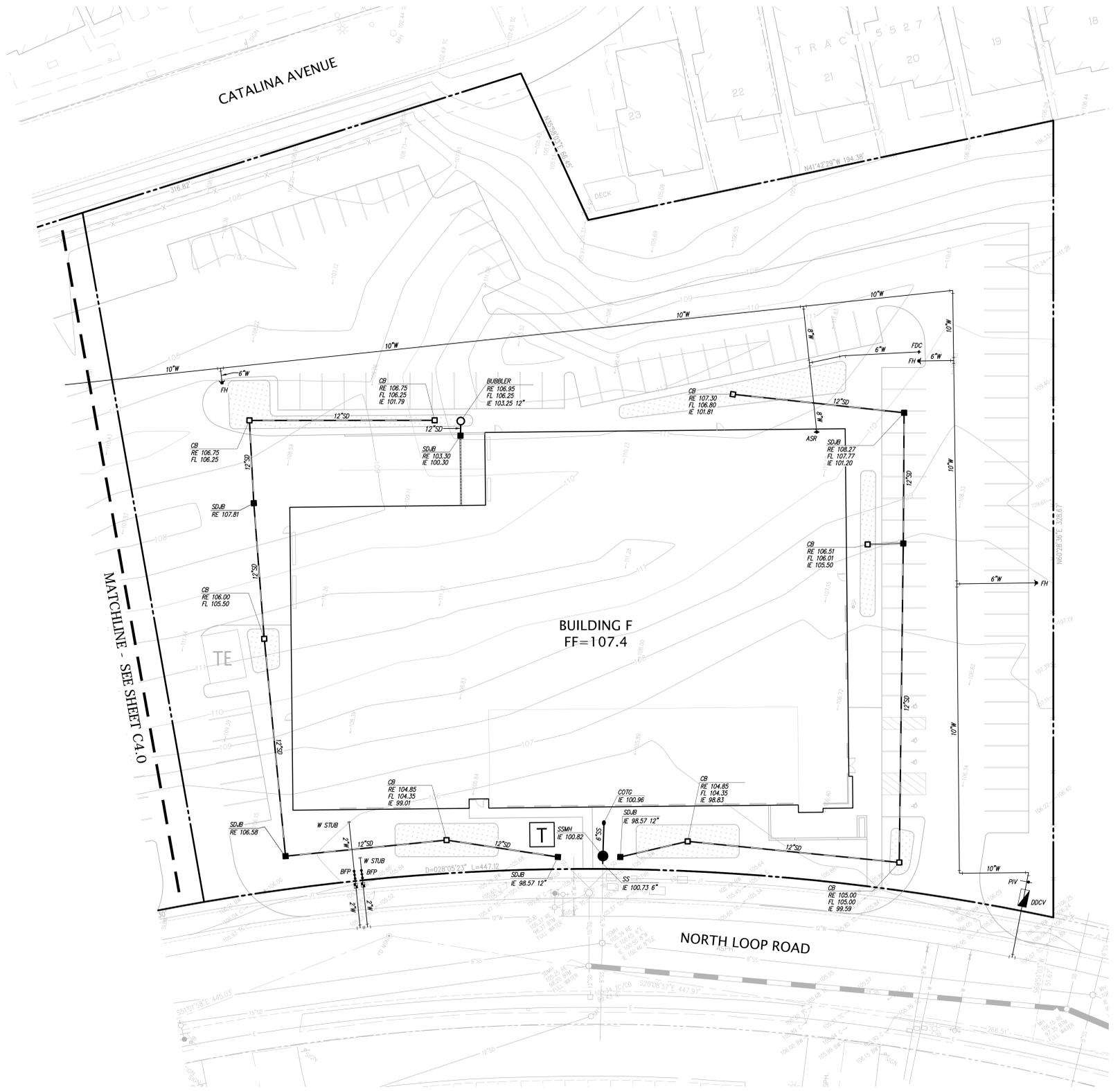
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PRELIMINARY UTILITY PLAN
 OF
NORTH LOOP ROAD - BUILDINGS E & F
 FOR
SRMERNST
 ALAMEDA, CALIFORNIA

DATE	JAN. 25, 2018
SCALE	
DESIGNER	DGR
JOB NO.	A17646
SHEET	C4.0
OF	10 SHEETS

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LEGEND

ASR	AUTOMATIC SPRINKLER RISER
RE	RIM ELEVATION
TC	TOP OF CURB
WS	WATER SERVICE
---	EXISTING UTILITY TO BE ABANDONED BY REMOVAL
FS	FIRE SERVICE
SS	SANITARY SEWER
COTG	CLEANOUT TO GRADE
---	STORM DRAIN LINE
---	AREA DRAIN
▲	STORM DRAIN CATCH BASIN
□	STORM DRAIN JUNCTION BOX
○	STORM DRAIN MANHOLE
○	BACK FLOW PREVENTION DEVICE
○	FIRE DEPARTMENT CONNECTION
○	FIRE HYDRANT & VALVE
○	POST INDICATOR VALVE
○	SANITARY SEWER MANHOLE
○	SINGLE CHECK VALVE
○	STORM DRAIN MANHOLE
○	WATER METER

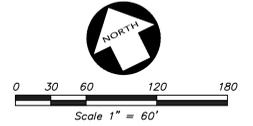
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1	PLANNING PACKAGE	12/11/2017
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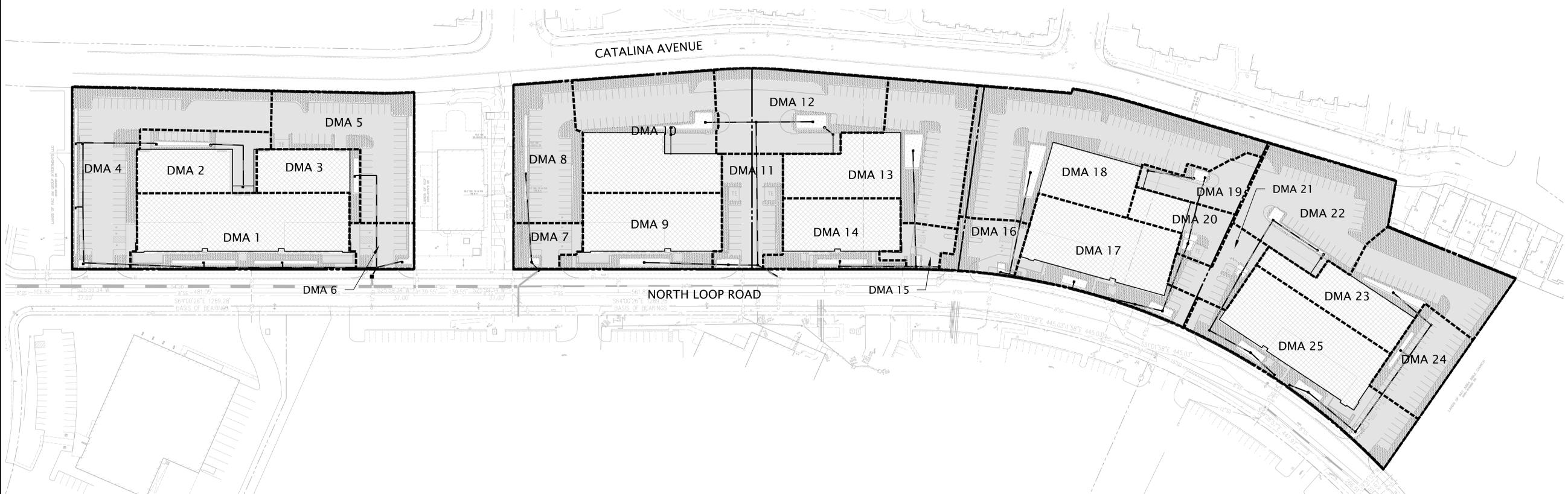
PRELIMINARY UTILITY PLAN
 OF
NORTH LOOP ROAD - BUILDINGS E & F
 FOR
SRMERST
 ALAMEDA, CALIFORNIA

DATE: JAN. 25, 2018
 SCALE:
 DESIGNER: DGR
 JOB NO.: A17646
 SHEET: **C4.1**
 OF 10 SHEETS



LEGEND

	DMA BOUNDARY
	LANDSCAPE AREA
	BUILDING
	IMPERVIOUS AREA
	BIO-RETENTION TREATMENT AREA



BIO-RETENTION SIZING CALCULATIONS

Area No.	Area (SF)	Area (AC)	Landscape (SF)	Landscape (AC)	Imperv. (SF)	Imperv. (AC)	Treatment Area* (SF)	Treatment Provided (SF)	Sizing Ratio (%)	Type of Planter
BUILDINGS A-B										
1	32,645	0.749	6,603	0.152	26,042	0.598	26,702	1,080	4.0%	Bio-Retention Planter
2	15,346	0.352	1,409	0.032	13,937	0.320	14,078	523	3.7%	Bio-Retention Planter
3	9,647	0.221	1,626	0.037	8,021	0.184	8,184	397	4.9%	Bio-Retention Planter
4	34,566	0.794	10,182	0.234	24,384	0.560	25,402	998	3.9%	Bio-Retention Planter
5	24,351	0.559	5,234	0.120	19,117	0.439	19,640	846	4.3%	Bio-Retention Planter
6	5,706	0.131	885	0.020	4,821	0.111	4,910	454	9.2%	Bio-Retention Planter
TOTAL	122,261	2.807	25,939	0.595	96,322	2.211	98,916	4,298	4.3%	
BUILDINGS C-D										
7	5,639	0.129	1,822	0.042	3,817	0.088	3,999	161	4.0%	Bio-Retention Planter
8	18,634	0.428	8,153	0.187	10,481	0.241	11,296	452	4.0%	Bio-Retention Planter
9	21,784	0.500	4,754	0.109	17,030	0.391	17,505	717	4.1%	Bio-Retention Planter
10	32,880	0.755	5,922	0.136	26,958	0.619	27,550	1,305	4.0%	Bio-Retention Planter
11	13,494	0.310	3,006	0.069	10,488	0.241	10,789	437	4.1%	Bio-Retention Planter
12	25,032	0.578	6,330	0.145	19,702	0.452	20,335	829	4.1%	Bio-Retention Planter
13	33,852	0.777	6,888	0.158	26,964	0.619	27,653	1,343	4.1%	Bio-Retention Planter
14	15,857	0.367	4,310	0.099	11,547	0.269	12,278	543	4.2%	Bio-Retention Planter
15	4,606	0.106	359	0.008	4,247	0.097	4,283	172	4.0%	Bio-Retention Planter
TOTAL	173,778	3.989	41,544	0.954	132,234	3.036	136,388	5,559	4.1%	
BUILDINGS E-F										
16	7,677	0.176	2,867	0.066	4,810	0.110	5,097	212	4.2%	Bio-Retention Planter
17	26,988	0.620	5,889	0.135	21,099	0.484	21,688	872	4.0%	Bio-Retention Planter
18	51,298	1.178	18,475	0.424	32,823	0.754	34,671	1,412	4.1%	Bio-Retention Planter
19	8,205	0.188	1,000	0.023	7,205	0.165	7,305	310	4.2%	Bio-Retention Planter
20	8,405	0.193	1,104	0.025	7,301	0.168	7,411	366	4.9%	Bio-Retention Planter
21	8,230	0.189	2,125	0.049	6,105	0.140	6,318	195	3.1%	Bio-Retention Planter
22	27,490	0.631	9,053	0.208	18,437	0.423	19,342	778	4.0%	Bio-Retention Planter
23	30,462	0.699	10,765	0.247	19,697	0.452	20,774	854	4.1%	Bio-Retention Planter
24	11,685	0.268	3,393	0.078	8,292	0.190	8,631	369	4.3%	Bio-Retention Planter
25	35,992	0.826	8,219	0.189	27,773	0.638	28,595	1,153	4.0%	Bio-Retention Planter
TOTAL	216,432	4.969	62,890	1.444	153,542	3.525	159,831	6,521	4.1%	

*: Total Treatment Area is equal to Impervious Area + 0.10 * Landscape Area.

NO.	BY	NO.	REVISION

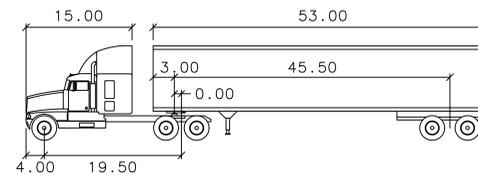
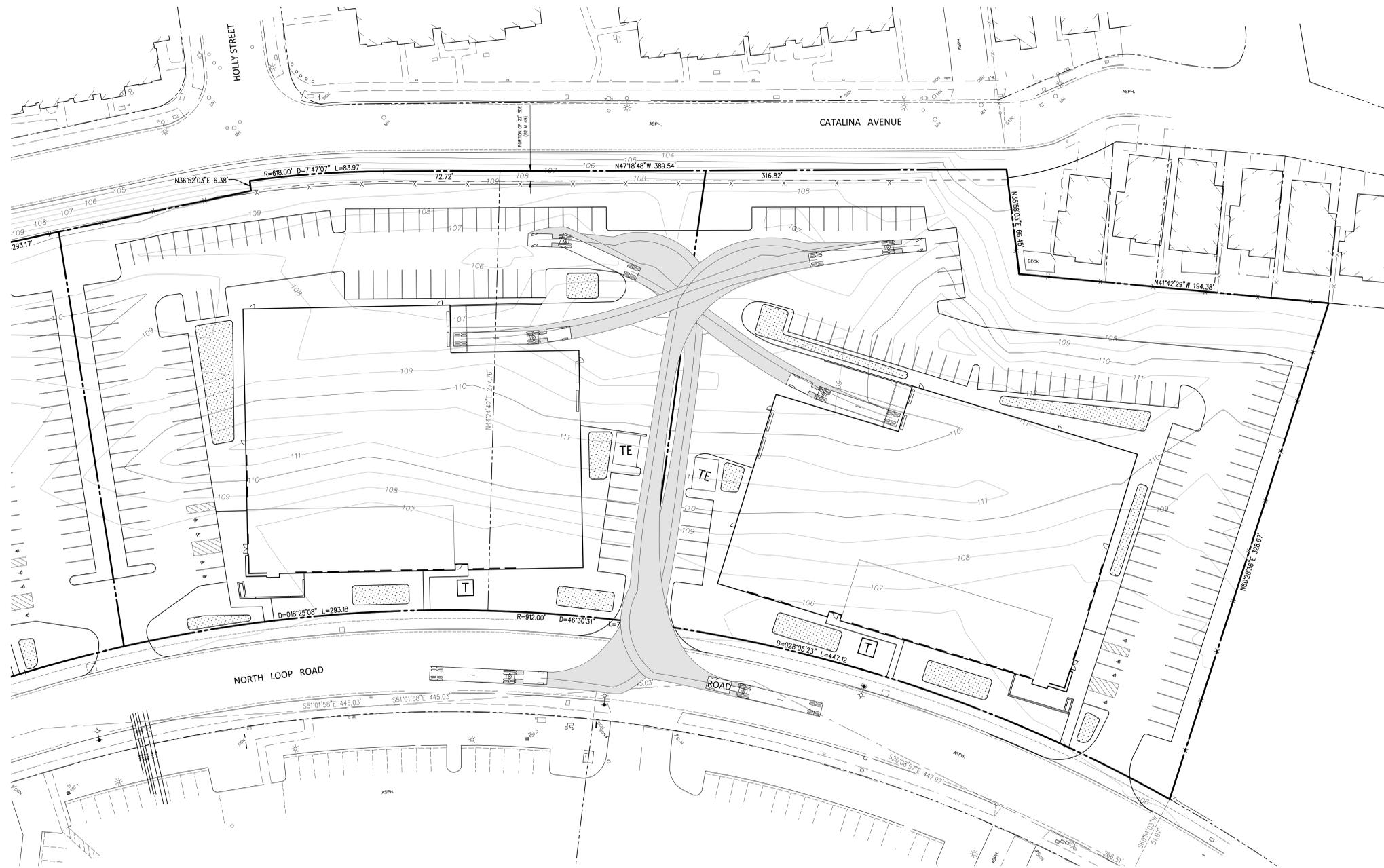
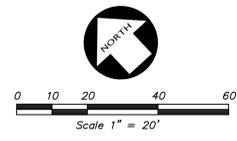
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PRELIMINARY STORM WATER QUALITY CONTROL PLAN
 OF
NORTH LOOP ROAD - BUILDINGS E & F
 FOR
SRMERNST
 ALAMEDA, CALIFORNIA

DATE	JAN. 25, 2018
SCALE	1" = 60'
DESIGNER	DGR
JOB NO.	A17646
SHEET	C5.0
OF	10 SHEETS

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WB-67	feet		
Tractor Width	:8.00	Lock to Lock Time	:6.0
Trailer Width	:8.50	Steering Angle	:28.4
Tractor Track	:8.00	Articulating Angle	:75.0
Trailer Track	:8.50		

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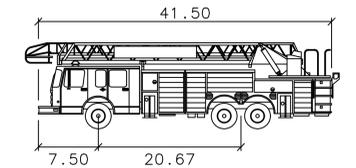
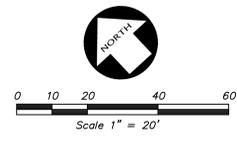


CALIFORNIA

TRUCK ACCESS PLAN
 OF
NORTH LOOP ROAD - BUILDINGS E & F
 FOR
SRMERNST

DATE	JAN. 25, 2018
SCALE	
DESIGNER	DGR
JOB NO.	A17646
SHEET	C6.0
OF	10 SHEETS

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STANDARD FIRE TRUCK feet
 Width : 8.33
 Track : 8.33
 Lock to Lock Time : 7.0
 Steering Angle : 30.8

NO.	BY	NO.	REVISION
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			12/11/2017

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FIRE TRUCK CIRCULATION PLAN
 OF
NORTH LOOP ROAD - BUILDINGS E & F
 FOR
SRMERNST
 ALAMEDA, CALIFORNIA

DATE JAN. 25, 2018
 SCALE
 DESIGNER DGR
 JOB NO. A17646
 SHEET **C6.1**
 OF 10 SHEETS

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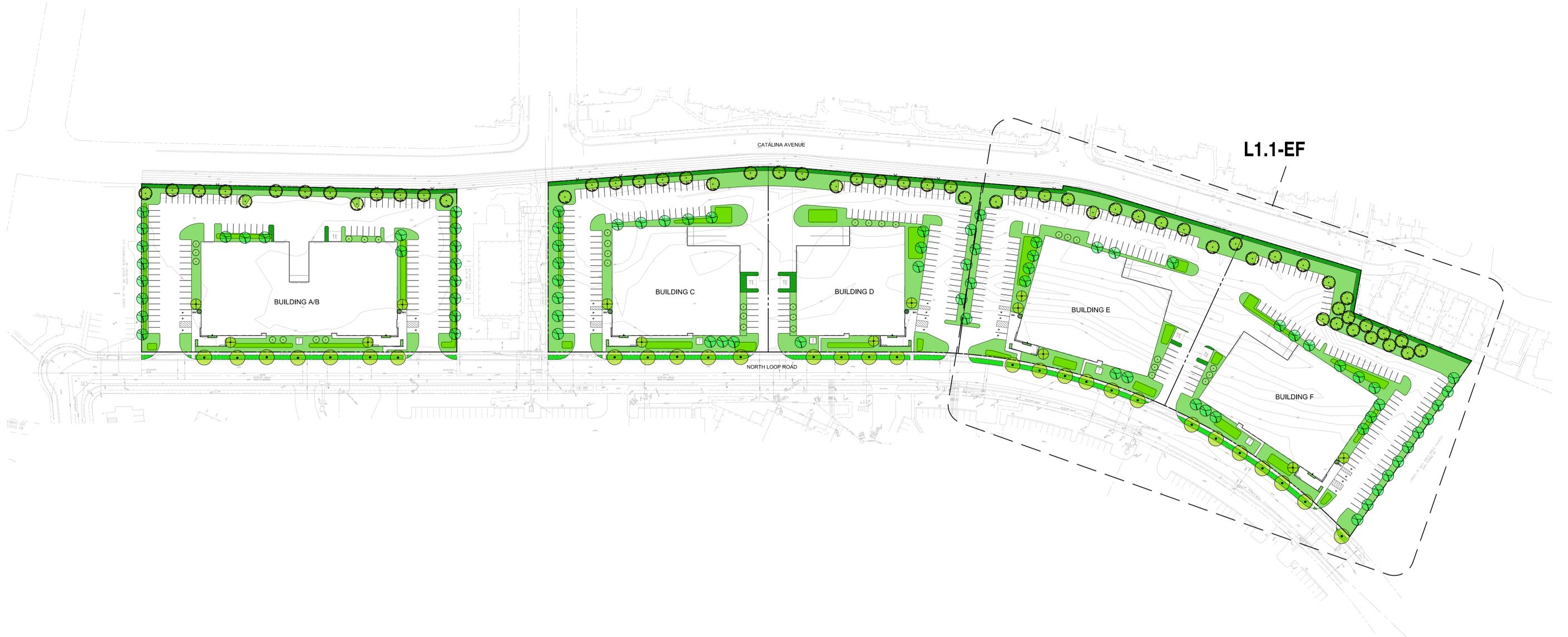
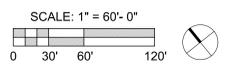


TABLE OF CONTENTS

- L1.0-EF OVERALL SITE PLAN
- L1.1-EF MATERIALS & PLANTING
- L1.2-EF LEGEND & LANDSCAPE IMAGERY
- L1.3-EF PRELIMINARY DETAILS



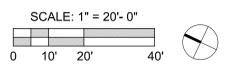


PLANT LEGEND-EF

PLANTING AREA	SYMBOL	BOTANICAL NAME	COMMON NAME
MEADOW A	[Symbol]	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH
INFILTRATION AREA	[Symbol]	CHONDROPETALUM TECTORUM JUNCUS PATENS	THATCHING REED CALIFORNIA GRAY RUSH
PLANTERS	[Symbol]	COREOPSIS LANCEOLATA PENNISETUM ALOPECUROIDES 'LITTLE BUNNY' FICUS PUMILA	TICKSEED DWARF FOUNTAIN GRASS CREEPING FIG VINE
PLANTER POTS	[Symbol]	BAMBUSA MULTIPLEX 'ALPHONSE KARR'	BAMBOO
EVERGREEN SLOPE	[Symbol]	WESTRINGIA FRUTICOSA	COASTAL ROSEMARY
PARKWAY TURF ALTERNATIVE	[Symbol]	FESTUCA RUBRA 'MOLATE'	'MOLATE' CREEPING RED FESCUE
BLDG PERIMETER TREES	[Symbol]	CUPRESSOCYPARIS LELANDII	LELAND CYPRESS
STREET TREES	[Symbol]	PLATINUS X ACERFOLIA	LONDON PLANE
SCREEN & BLDG PERIMETER	[Symbol]	MELALUCA QUINQUENERVIA	CAJEPUT TREE
PARKING LOT TREES	[Symbol]	TRISTANIA CONFERTA	BRISBANE BOX
ACCENT TREES	[Symbol]	OLEA EUROPAEA 'WILSONII'	MULTI-TRUNK FRUITLESS OLIVE TREE
VINE	[Symbol]	FICUS PUMILA	CREEPING FIG

MATERIALS LEGEND

SYMBOL	DESCRIPTION
[Symbol]	SPECIAL CONCRETE PAVING
[Symbol]	BENCH
[Symbol]	BIKE RACK
[Symbol]	CONCRETE WALL/PLANTER
[Symbol]	FENCE
[Symbol]	PLANTER POT



PLANT LEGEND-EF

PLANTING AREA	SYMBOL	BOTANICAL NAME	COMMON NAME	WUCOLS	SIZE	O.C.	QTY.	IRRIGATION TYPE / IRRIGATION EFFICIENCY	NOTES
MEADOW A		LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	L	1 GAL	24"	48211 SF.	DRIP/0.85	TRIANGULAR PLANTING
INFILTRATION AREA		CHONDROPETALUM TECTORUM JUNCUS PATENS	THATCHING REED CALIFORNIA GRAY RUSH	L	5 GAL 1 GAL	30" O.C. 24" O.C.	6654 SF.	SUB-IRRIGATION	FULL CHONDROPETALUMS
PLANTERS		COREOPSIS LANCEOLATA PENNISETUM ALOPECUROIDES 'LITTLE BUNNY' FICUS PUMILA	TICKSEED DWARF FOUNTAIN GRASS CREEPING FIG VINE	L/M	1 GAL	2'-0"	103 SF.	DRIP/0.85	TRIANGULAR PLANTING; FINAL SELECTION TO BE PROVIDED IN FIELD WITH LA.
PLANTER POTS		BAMBUSA MULTIPLEX 'ALPHONSE KARR'	BAMBOO	M	15 GAL	3'-0"	2	BUBBLER	
EVERGREEN SLOPE		WESTRINGIA FRUTICOSA	COASTAL ROSEMARY	L	5 GAL	5'-0"	5404 SF.	DRIP/0.85	TRIANGULAR PLANTING; TO BE LAID OUT IN FIELD AND APPROVED BY LA.
PARKWAY TURF ALTERNATIVE		FESTUCA RUBRA 'MOLATE'	'MOLATE' CREEPING RED FESCUE	L	---	SEE PLAN	3697 SF.	DRIP/0.85 (INLINE)	SOD
BLDG PERIMETER TREES		CUPRESSOCYPARIS LELANDII	LELAND CYPRESS	M	24" BOX	SEE PLAN	9	BUBBLER	
STREET TREES		PLATINUS X ACERFOLIA	LONDON PLANE	M	24" BOX	SEE PLAN	13	BUBBLER	FULL, MATCH
SCREEN & BLDG PERIMETER		MELALUCA QUINQUENERVIA	CAJEPUT TREE	L	36" BOX	SEE PLAN	36	BUBBLER	MATCH SIZE AND CANOPY; MULTI-TRUNK
PARKING LOT TREES		TRISTANIA CONFERTA	BRISBANE BOX	M	36" BOX	SEE PLAN	28	BUBBLER	FULL, MATCH
ACCENT TREES		OLEA EUROPAEA 'WILSONII'	MULTI-TRUNK FRUITLESS OLIVE TREE	L	36" BOX	SEE PLAN	5	BUBBLER	MULTI-TRUNK SPECIMENS; MIN. 3 TRUNK LEADERS
VINE		FICUS PUMILA	CREEPING FIG	M	1 GAL	SEE PLAN	2	DRIP	

WATER-USE RATING NOTE:

WUCOLS IV CATEGORIES OF WATER NEEDS:

WATER USE CLASSIFICATION OF LANDSCAPE SPECIES BY UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION, CALIFORNIA DEPARTMENT OF RESOURCES, US BUREAU OF RECLAMATION, JANUARY 2014.

MATERIALS LEGEND

SYMBOL	DESCRIPTION	AREA	QTY.	NOTES
	SPECIAL CONCRETE PAVING	3327 S.F.	—	NATURAL GRAY CONCRETE; TOPCAST FINISH AT PATIO, BROOM FINISH AT WALKWAYS.
	BENCH	—	6	CUSTOM WOOD
	BIKE RACK	—	4	FLO BIKE RACK; STAINLESS STEEL; WWW.LANDSCAPEFORMS.COM
	CONCRETE WALL/PLANTER	—	4	CUSTOM, CAST IN PLACE CONCRETE
	FENCE	42' L.F.	—	CUSTOM WOOD
	PLANTER POT	—	2	KORNEGAY DUNE SERIES DS-40;

GENERAL NOTES

- PROPERTY LINE ADJUSTED TO SHOW LIMIT OF WORK AND CONSTRUCTION EDGES. CONSTRUCT TO LIMIT OF WORK
- SQUARE FOOTAGE & QUANTITIES REPRESENT AVERAGES AND ARE APPROXIMATE TO BE USED FOR PRICING ONLY. QUANTITIES AND SPACING WILL VARY IN FIELD LAYOUT. SEE SPECS FOR ADDITIONAL INFORMATION.
- PLANTING TO BE BAY-FRIENDLY. ALLOW FOR 6" OF COMPOST & ORGANIC SOIL AMENDMENT FOR ALL PLANTING AREAS PLUS A 3" MIN. THICK LAYER OF BARK CHIP MULCH ON TOP. USE SONOMA COMPOST IN PETALUMA, WWW.SONOMACOMPOST.COM. SEE SPECS.
- FOR GRADING SEE CIVIL PLANS
- ALL TREES AND SHRUBS TO BE STAKED WITH FLAGS IN FIELD FOR REVIEW BY LANDSCAPE ARCHITECT BEFORE PLANTING.
- SOIL FOR ALL INFILTRATION (BIORETENTION) AREAS SHALL BE 18" AMENDED NATIVE MATERIAL WITH 5"-10" MAX/HR PER. RATE PER SOIL SPECIFICATIONS LOCATED IN APPENDIX L OF THE C.3 TECHNICAL GUIDANCE HANDBOOK (VERSION 4.0). SEE SHEET C8.1. CONTRACTOR TO SUBMIT A SAMPLE OF AMENDED NATIVE MATERIAL TO LANDSCAPE ARCHITECT AND CIVIL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- ALL PLANTING IN INFILTRATION (BIORETENTION) AREAS SHALL HAVE A MIN. OF 3" THICK LAYER OF BARK CHIP MULCH COVERING THE INFILTRATION (BIORETENTION) SOIL MIX LAYER.

WATER USE EVALUATION:

MAXIMUM APPLIED WATER ALLOWANCE (MAWA):
 MAWA = (ET_o)(0.62) [(ETAF x TLA) + ((1-ETAF) x SLA)]
 = (41.8)(0.62)[(0.45 x 63,508ft²) + (0.55 x 0 ft²)]
 = (25.92in/year)(28,578.6 ft²)
 = 740,757 gallons/year

ESTIMATED TOTAL WATER USE (ETWU):

ETWU HYDROZONE 1 = (ET_o)(0.62)(ETAF)(AREA)
 = (41.8)(0.62)(.25)(62091)
 = 402,288
 ETWU HYDROZONE 2 = (41.8)(0.62)(.62)(1417)
 = 22,768
TOTAL = 425,056 gallons/year

SUMMARY:

MAXIMUM APPLIED WATER ALLOWANCE (MAWA):
740,757 gallons/year
 ESTIMATED TOTAL WATER USE (ETWU):
425,056 gallons/year

LANDSCAPE PERCENTAGE:

TOTAL SITE AREA:
213,417 SQ FT
 TOTAL LANDSCAPE AREA:
66,641 SQ FT
 TOTAL LANDSCAPE PERCENTAGE:
31%

3D MODEL VIEWS AT ENTRY AND TENANT PATIO



LANDSCAPE CHARACTER IMAGERY



MEADOW



BIOSWALE



BAMBOO ACCENT

LANDSCAPE FORMS FLO BIKE RACK

Bay-Friendly Basics Landscape Checklist

This Bay-Friendly Basics Checklist is for all new construction and renovation of landscapes that are 2,500 square feet of irrigated area or greater and require a permit. The Bay-Friendly Basics represents the 9 required practices from the Bay-Friendly Landscape Scorecard. It is considered a minimum set of practices to improve the environmental performance of the landscape. Projects are recommended to meet all applicable measures on the checklist. For measures that are not applicable or are not in the project's scope of work, check "N/A" and make a note of why the measure does not apply to the project (attach additional sheets if necessary). For electronic copies of this checklist, and other Bay-Friendly Landscape resources, visit www.BayFriendly.org.

Project: North Loop Center Phase 3
Address: 1000 10th Street, San Francisco, CA 94601 Date: 11/20/2017

Tab No.	Measure & Requirement	Documentation	Notes
1	Mulch Requirement: All soil on site to be protected with a minimum of 3 inches of mulch after construction. Recommendation: Use recycled or otherwise mulch instead of landscape fabric. Trees identified for removal are chipped and used to use as much on-site storage space as possible. Reference: Bay-Friendly Landscape Guidelines, Practice 4.1, Bay-Friendly Guide to Plant Materials at www.BayFriendly.org . Provide sources of recycled mulch and other applications of mulch and information on street mulching.		
2	Amend the Soil with Compost Before Planting Requirement: Compost is specified as the soil amendment, at the rates indicated by a soil analysis to bring the soil organic matter content to a minimum of 7% by dry weight or 1 inch of compost if no report or soil analysis is available. If no report or soil analysis is available, the requirement is waived. Recommendation: Purchase compost from a producer who participates in the U.S. Composting Council's Bioregional Testing Assurance (BTA) program to ensure quality. Reference: Bay-Friendly Landscape Guidelines, Practice 4.1, Bay-Friendly Guide to Plant Materials at www.BayFriendly.org . U.S. Composting Council Standard Testing Assurance program evaluation and list of participating producers can be found at www.compostsource.org .		

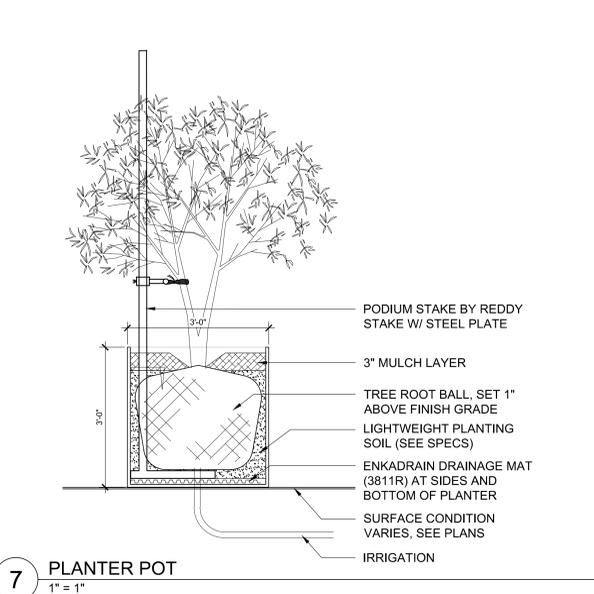
Version 2.1, December 2011 Page 1 of 4

Bay-Friendly Basics Landscape Checklist

Tab No.	Measure & Requirement	Documentation	Notes
3	Do Not Plant Invasive Plant Species Requirement: Exclude the plant species listed by CAL-IPC's Don't Plant List and the San Francisco Bay Area Invasive Plant List. Definition: An invasive species is defined as a species that is non-native or alien to the ecosystem under consideration and whose introduction or spread is likely to cause economic or environmental harm or harm to human health. Federal Executive Order 13131. Reference: Bay-Friendly Landscape Guidelines, Practice 2.1, Don't Plant A: Prohibited species for trees and plants available at www.bayfriendly.org .		
4	Grow drought tolerant CA native, Mediterranean or climate adapted plants Requirement: A minimum of 75% of the total number of plants in irrigated areas must be species that require no or little summer watering once established. Species should be adapted to the climate in which they will be planted, as referenced by a published plant reference. If there are gaps in coverage, the landscape designer must determine if the plant will require supplemental or otherwise watering based on site, soil and climate conditions and categorize the plant accordingly. Recommendation: California native or Mediterranean species are strongly recommended. Reference: Bay-Friendly Landscape Guidelines Practice 4.2, www.bayfriendly.org .		

Version 2.1, December 2011 Page 2 of 4

8 BF BASICS CHECKLIST



Bay-Friendly Basics Landscape Checklist

Tab No.	Measure & Requirement	Documentation	Notes
5	Reduce and Recycle Landscape Construction Waste Requirement: Over 50% of landscape construction and demolition waste by weight. Verify the contractor's waste management plan and recycling requirements in their specifications. Require contractor to review the waste management plan with subcontractors and to include contract language requiring subcontractors to comply with the plan. Prior to construction, complete a construction waste management plan. The City should provide a template, or one can be downloaded at www.BayFriendly.org . After construction, provide that waste management plan with backfill documentation. Materials were sent to a C&D Recycling facility, apply a facility average diversion rate of 60% to 70% to determine a calculated diversion rate and can provide you with documentation detailing the percentage of materials recycled at that facility (typically 50% to 60%). Reference: Department City, Builders' Guide to Reuse & Recycling, A Checklist for Construction and Demolition Materials and Waste Waste Management Plan for recycling C&D materials at www.BayFriendly.org .		
6	Choose & Locate Plants to Grow to Natural Size Requirement: Plants will be selected and plants spaced to allow them to grow to their natural size and shape. Pruning for structural integrity and health of plants is permitted. If additional plants are added in or adjacent to buildings, sidewalks or roads will be spaced between them and maximum mature plant spread according to a published reference book and will be in their planting area without significant overhang. Trees must meet the spacing requirements only other adjacent to buildings, in a row or other adjacent to other vertical structures. Trees are not subject to spacing requirements. Reference: Bay-Friendly Landscape Guidelines, Practice 2.1, Bay-Friendly Guide to Plant Materials at www.BayFriendly.org . U.S. Composting Council Standard Testing Assurance program evaluation and list of participating producers can be found at www.compostsource.org .		

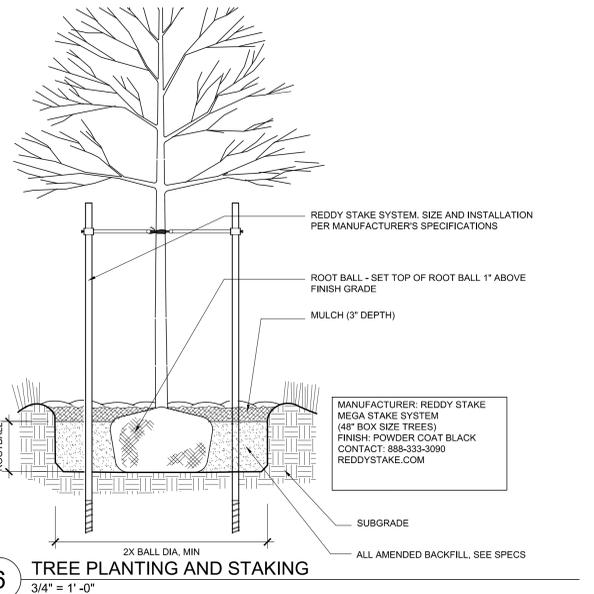
Version 2.1, December 2011 Page 3 of 4

Bay-Friendly Basics Landscape Checklist

Tab No.	Measure & Requirement	Documentation	Notes
7	Minimize the Irrigation Requirement: A maximum of 25% of total irrigated area is permitted to be used for sports or multiple use fields, including: - Sports fields with sports and multiple use fields identified. Include a statement about the purpose of multiple use fields. - Sports fields identified for the purpose of multiple use fields. Reference: Bay-Friendly Landscape Guidelines, Practice 4.3, Bay-Friendly Guide to Plant Materials at www.BayFriendly.org . U.S. Composting Council Standard Testing Assurance program evaluation and list of participating producers can be found at www.compostsource.org .		
8	Specify Weather-Based Irrigation Controllers Requirement: Specify weather-based irrigation controllers, and moisture based controllers or other self-adjusting irrigation controllers, shall be required for all irrigation systems. Reference: Bay-Friendly Landscape Guidelines, Practice 4.4, Bay-Friendly Guide to Plant Materials at www.BayFriendly.org .		
9	Sprinkler & Spray Heads are Not Specified for Areas Less Than 8 Feet Wide Requirement: Sprinkler and spray heads are not specified in areas less than or equal to 8 feet wide to prevent overwatering and runoff. Acceptable alternatives include drip, subsurface drip, bubblers or irrigation. Bubblers shall not exceed 15 gallons per minute per bubbler. Reference: Bay-Friendly Landscape Guidelines, Practice 4.5, Bay-Friendly Guide to Plant Materials at www.BayFriendly.org .		

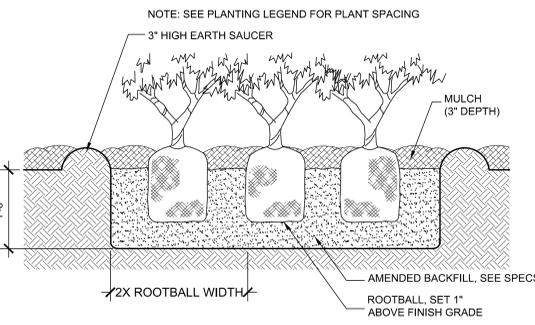
Version 2.1, December 2011 Page 4 of 4

6 TREE PLANTING AND STAKING

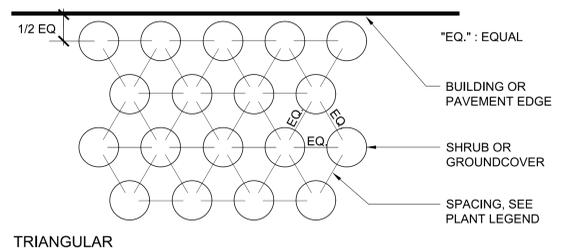
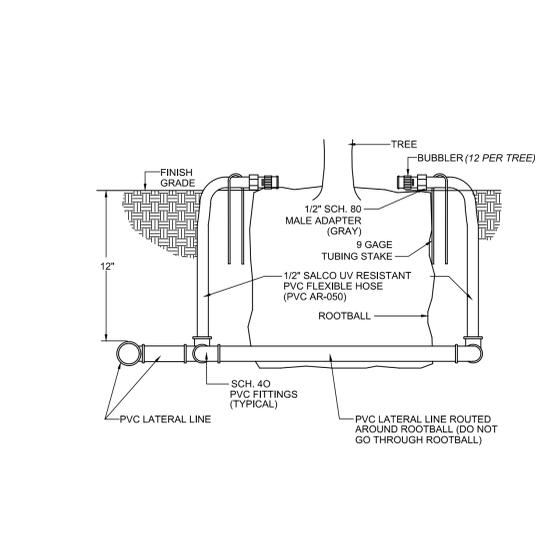


CUPRESSOCYPARIS LELANDII PLATANUS X ACERFOLIA MELALUCA QUINQUENERVIA TRISTANIA CONFERTA

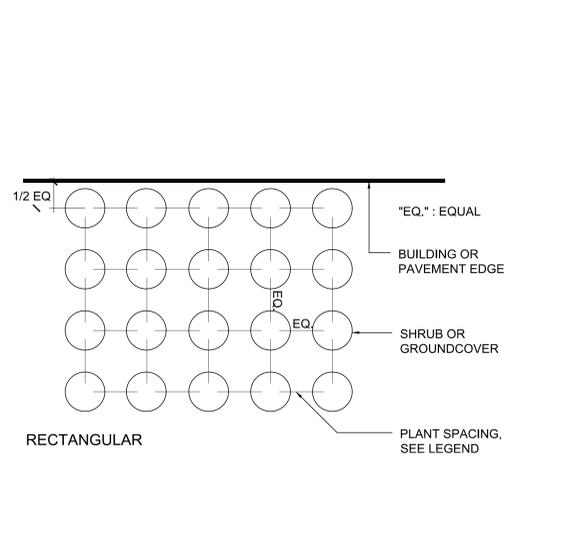
5 TREE IMAGERY
N.T.S.



4 SHRUB + GROUND COVER PLANTING
1" = 1"



2 TRIANGULAR SHRUB + GROUND COVER SPACING
1" = 1"



1 RECTANGULAR SHRUB + GROUND COVER SPACING
1" = 1"



Luminaire Schedule										
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	LLD	LDD	Description	Lum. Watts	Datasource Filename
	10	A	SINGLE	13188	0.850	0.944	0.900	Visionaire VMX-1-T4-64LC-7-3K-UNV_CLS - 18' & 25' Optical Height - Single	140	VMX-1_T4_64LC_7_3K-UNV_CLS.IES
	2	A-T2	SINGLE	12400	0.850	0.944	0.900	Visionaire VMX-1-T2-64LC-7-3K-UNV_CLS - 18' Optical Height - Single	140	VMX-1_T2_64LC_7_3K-UNV_CLS.IES
	4	D	SINGLE	4229	0.850	0.944	0.900	Visionaire VSC-1-T4-16LC-7-3K-UNV - 12' / 18' Optical Height - Wall Mount	36	VSC-1_T4_16LC_7_3K.IES
	2	E	SINGLE	2190	0.850	0.944	0.900	Visionaire VSC-1-T4-16LC-3-3K-UNV - 10' Optical Height - Wall Mount	18	VSC-1_T4_16LC_3_3K.IES

Calculation Summary										
Label	Description	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	# Pts	
StatArea_7	Building E - Typical Parking	Illuminance	Fc	1.61	4.35	0.33	4.88	13.18	252	
StatArea_8	Building E & F - Typical Parking	Illuminance	Fc	0.95	4.01	0.22	4.32	18.23	42	
StatArea_9	Building F - Typical Parking	Illuminance	Fc	1.73	7.45	0.19	9.11	39.21	282	

LIGHTING LAYOUT VERIFICATION

ALL VALUES SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES AT GRADE

PHOTOMETRIC DATA USED AS INPUT FOR THESE CALCULATIONS IS BASED ON ESTABLISHED IES PROCEDURES AND PUBLISHED LAMP RATINGS. FIELD PERFORMANCE WILL DEPEND ON ACTUAL LAMP, BALLAST, ELECTRICAL, AND SITE CHARACTERISTICS.

Calculations have been performed according to IES standards and good practice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.

ALR Associated Lighting Representatives, Inc.

ALR

ASSOCIATED LIGHTING REPRESENTATIVES, INC.
 7777 PARDEE LANE
 P.O. BOX 2265
 OAKLAND, CA 94621
 PHONE: (510) 638-0158 - FAX (510) 638-2908

REPORT FOR: BME ELECTRICAL CONTRACTORS, INC.; BARRY MCGRAW
 BY: APPLICATIONS ENGINEERING; JOHN A. RAMOS
 SALES REPRESENTATIVE: ALR; JON TEJADA



AGI32 VERSION 18.3
 AGI (C) 1999-2018 LIGHTING ANALYSTS, INC.
 10268 W. CENTENNIAL ROAD, SUITE 202
 LITTLETON, CO 80127

PROJECT DESCRIPTION			
NORTH LOOP CENTER - Building E & F ALAMEDA, CA			
DRAWING NO. / INPUT FILE 14958TEJ-D (Bldg E&F).DWG / .A32			
SCALE 1" = 30'	SHEET 1 OF 1	DATE 1 / 5 / 2018	REV 3