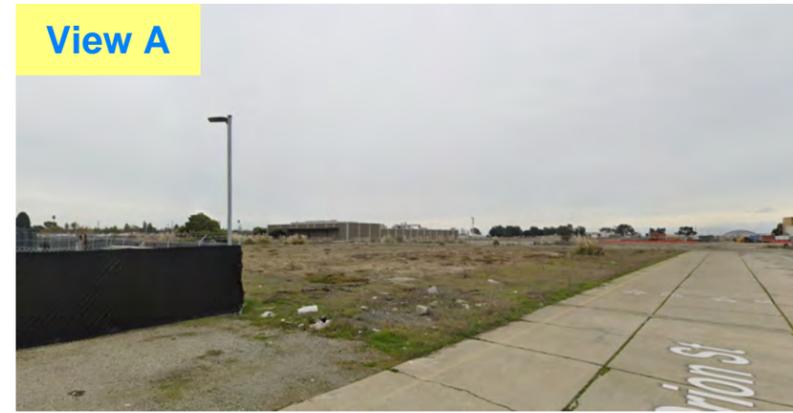


Aerial View



View A



View B



View C

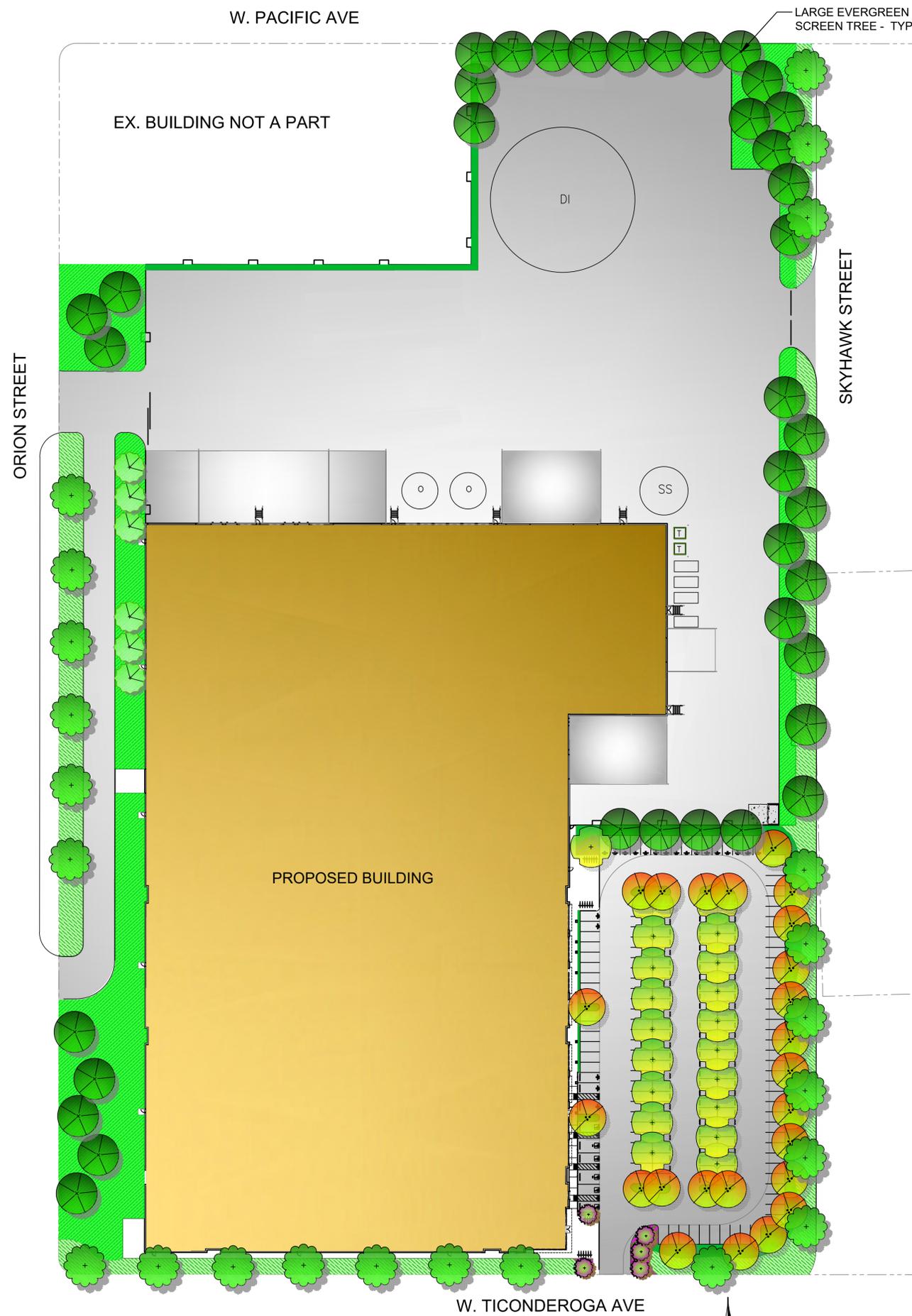


View D



W Ticonderoga Ave & Orion Street
Alameda, CA





- LANDSCAPE LEGEND**
- LARGE EVERGREEN TREE - BRISBANE BOX
 - DECIDUOUS STREET TREE - SEEDLESS KENTUCKY COFFEE TREE
 - LARGE DECIDUOUS SHADE TREE: CHINESE PISTACHE AND FRONTIER ELM
 - MEDIUM BROADLEAF EVERGREEN TREE - FRUITLESS OLIVE
 - FLOWERING ACCENT TREE - NATCHEZ CRAPE MYRTLE
 - LOW TO MEDIUM SHRUBS FLOWERING w/ ACCENT PERENNIALS & GRASSES WITH BARK MULCH
 - LOW PLANTING 1' - 4' TALL WITH BARK MULCH
 - PROJECT ACCENT PLANTING FLOWERING SHRUBS & GROUND-COVERS, PERENNIAL ACCENT WITH BARK MULCH
 - SCREEN PLANTING TALL SCREEN SHRUBS 8' + WITH BARK MULCH

LANDSCAPE CALCULATIONS

TOTAL SITE AREA: 574,724 S.F.
 TOTAL LANDSCAPE AREA PROVIDED 15% = 87,075 S.F.
 PARKING SPACES PROVIDED = 206
 PARKING AREA TREES REQUIRED 1/4 SPACES = 52
 PARKING AREA TREES PROVIDED = 52

WATER EFFICIENT LANDSCAPE

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE 2015 WATER EFFICIENT LANDSCAPE ORDINANCE AND SHALL SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE

B. Hatch

BARBARA M. HATCH RLA, ASLA

ALL IRRIGATION PERMANENT SHALL BE AUTOMATIC TIMER CONTROLLED. PERMANENTLY IRRIGATED SHRUBS AND TREES SHALL BE DRIPBUBBLER IRRIGATED.
 AUTOMATIC CONTROLLER ET DATA, REPEAT CYCLING
 IRRIGATION ZONES PER PLANT WATER REQUIREMENTS
 RAIN SENSORTO BE SPECIFIED
 SLOPES LESS THAN 5' IN HEIGHT
 SOIL AMENDMENTS TO BE INCORPORATED
 PLANTER SURFACE AREAS TO BE MULCHED
 WATER USAGE TO MEET STATE WATER EFFICIENT LANDSCAPE STANDARD

PLANT LIST

SYM. NO.	BOTANICAL NAME	COMMON NAME	SIZE	WATER REGIME	MATURE HABIT
				HYDROZONE	H X W
TREES					
	OLEA EUROPAEA 'SWAN HILL'	FRUITLESS OLIVE	24" BOX	L	20' X 25'
	PISTACIA C. 'KEITH DAVEY'	CHINESE PISTACHE	24" BOX	L	50' X 40'
	ULMUS 'FRONTIER'	FRONTIER ELM	24" BOX	L	50' X 60'
	LAGERSTROEMIA X 'NATCHEZ'	NATCHEZ CRAPE MYRTLE	24" BOX	L	15' X 15'
	QUERCUS SHUMARD	SHUMARD OAK	24" BOX	L	70' X 50'
	GYMNOCLADUS DIOICA 'ESPRESSO'	SEEDLESS KENTUCKY COFFEE	24" BOX	M	60' X 35'
	CEDRUS DEODARA	DEODAR CEDAR	24" BOX	L	60' X 35'
EVERGREEN SCREENING SHRUBS					
	DODONEA VISCOSA	HOPBUSH	5 GAL.	L	10' X 10'
	HEMEROMELES ARBUTIFOLIA	TOYON	5 GAL.	VL	8' X 12' PLANT
	ARBUTUS U. 'COMPACTA'	DW. STRAWBERRY	5 GAL.	L	8' X 10' PLANT
	ARCTOSTAPHYLOS 'PARADISE'	PENINSULAR MANZANITA	5 GAL.	L	8' X 8' PLANT
GRASSES					
	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL.	L	3' X 3'
	LOMANDRA 'LOMLON'	LIME TUFF LOMANDRA	1 GAL.	L	3' X 3'
DROUGHT TOLERANT SHRUBS					
	OLEA 'LITTLE OLLIE'	DW. FRUITLESS OLIVE	5 GAL.	L	6' X 6'
	NERIUM OLEANDER 'PETITE SALMON'	PETITE OLEANDER	5 GAL.	L	5' X 5'
	RHAMNUS C. 'MOUND SAN BRUNO'	COFFEEBERRY	5 GAL.	L	4' X 5'
	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL.	L	3' X 4'
	ROSMARINUS O. 'TUSCAN BLUE'	UPRIGHT ROSEMARY	5 GAL.	L	4' X 4'
	CISTUS X 'SKANBERGII'	SKANBURG ROCKROSE	5 GAL.	L	3' X 5'
	SALVIA C. 'POZO BLUE'	CLEVELAND SAGE	5 GAL.	L	3' X 3'
	COTONEASTER 'LOWFAST'	COTONEASTER	5 GAL.	L	1' X 6'
	CALLISTEMON 'LITTLE JOHN'	DW. CALLISTEMON	5 GAL.	L	3' X 5'
	SANTOLINA CHAMAECYPARISSUS	LAVENDER COTTON	5 GAL.	L	2' X 5'
	WESTRINGIA F. 'MORNING LIGHT'	COAST ROSEMARY	5 GAL.	L	3' X 3'
	AGAVE VICTORIAE - REGINAE	QUEEN VICTORIA AGAVE	5 GAL.	L	3' X 2'
	AGAVE ATTENUATA	BLUE GLOW AGAVE	5 GAL.	L	2.5' X 2.5'
PERENNIALS					
	TULBAGHIA V. 'TRICOLOR'	SOCIETY GARLIC	1 GAL.	L	1' X 1.5'
	ACHILLEA 'MOONSHINE'	YARROW	1 GAL.	L	2' X 2'
	DIETES IRIDIODES	FORT NIGHT LILY	1 GAL.	L	3' X 3'
	EUPHORBIA CHARACIAS WULFENII	EVERGREEN SPURGE	1 GAL.	L	2' X 2'

NOTE: ROOT BARRIERS SHALL BE INSTALLED PER TREE PLANTING DETAIL SHEET L3.1 WHERE TREES ARE WITHIN 10' OF PAVEMENT.

PRELIMINARY LANDSCAPE PLAN

SCALE: 1" = 50'-0"



hpa inc.
 600 grand avenue, - ste. #302
 oakland, ca
 94610
 Tel : 949-863-1770
 E-Mail : hpa@hparchs.com



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 Landscape Architects, Inc.
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 Reno, NV.
 p: 775 829 1364
 email: bhatch00@charter.net

Owner:
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 Pacific Fusion Corporation
 101 California Street, Suite 1000
 San Francisco, CA 94111
 Tel : 510-656-1900
 ATTN: Mario Tjia

Project:
 W. Ticonderoga
 Ave. & Orion St.

Alameda, CA

Consultants:

CIVIL	BKF
STRUCTURAL	-
MECHANICAL	-
PLUMBING	-
ELECTRICAL	GREEN DESIGN
LANDSCAPE	-
FIRE	-
SOILS	-

TITLE

PRELIMINARY LANDSCAPE PLAN

Project Number: 24042
 Drawn By: KH
 Date: 04/23/2025

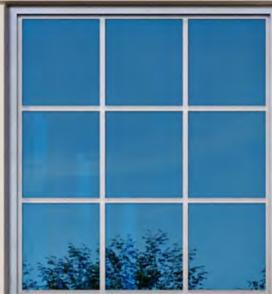
Revision:
 1ST SUBMITTAL 04/23/25

Sheet:

LC1

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W. TICONDEROGA AVE. & ORION ST

ALAMEDA, CALIFORNIA

GENERAL	
DAB-A0.1	TITLE SHEET
ARCHITECTURAL	
DAB-A1.1	OVERALL SITE PLAN
DAB-A2.1	OVERALL FLOOR PLAN
DAB-A3.1	ELEVATIONS
DAB-A3.2	ELEVATIONS
DAB-A3.3	ELEVATIONS
CIVIL	
C1.0	EXISTING CONDITION PLAN
C2.0	PRELIMINARY SITE PLAN
C3.0	PRELIMINARY STORMWATER MANAGEMENT PLAN
C3.1	PRELIMINARY STORMWATER MANAGEMENT DETAILS
LANDSCAPE	
LC1	PRELIMINARY LANDSCAPE PLAN

SHEET INDEX



VICINITY MAP



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600 grand avenue, - ste. #302
oakland, ca
94610
Tel : 949-863-1770
E-Mail : hpa@hparchs.com



Owner:
PACIFIC FUSION
Pacific Fusion
6082 Stewart Blvd
Fremont, CA 94538
ATTN: Courtney Richardson

Project:
W. Ticonderoga
Ave. & Orion St.
Alameda, CA

Consultants:

CIVIL	BKF
STRUCTURAL	-
MECHANICAL	-
PLUMBING	-
ELECTRICAL	GREEN DESIGN
LANDSCAPE	-
FIRE	-
SOILS	-

PROPERTY OWNER

PACIFIC FUSION
6208 STEWART BLVD
FREMONT, CA 94538
CONTACT: COURTNEY RICHARDSON

APPLICANT'S REPRESENTATIVE

HINES WEST LLC
101 CALIFORNIA STREET, SUITE 1900
SAN FRANCISCO, CA 94111
CONTACT: MARIO TUA

ARCHITECT

HPA, INC.
600 GRAND AVE, STE 302
OAKLAND, CA 94610
CONTACT: JUN LEE
PHONE: 510-590-2126

CIVIL

BKF ENGINEERS
1646 N. CALIFORNIA BOULEVARD, STE 400
WALNUT CREEK, CA 94596
TEL: 925-940-2207
ATTN: CHRISTOPHER MILLS

LANDSCAPE

GREEN DESIGN
1464 POPPINJAY DRIVE,
RENO, NEVADA 89509
CONTACT: BARBARA HATCH
PHONE: 775-829-1364

PROJECT REPRESENTATIVES

ADDRESS OF THE PROPERTY

TBD, NEC W TICONDEROGA AVENUE AND ORION STREET

ZONING

ENTERPRISE-1 (AP-E1)

LEGAL DESCRIPTION

SEE CIVIL PLANS

PROJECT DATA

BUILDING OCCUPANCY:	B, F-1, S-1
CONSTRUCTION TYPE:	III - B
FIRE SPRINKLERS:	YES (ESFR)
PROPOSED BUILDING HEIGHT:	100' (MAX) PER CBC 503.1.1
ACTUAL STORIES:	1 STORY
ALLOWABLE STORIES:	2 STORIES
ACTUAL AREA:	225,417 S.F.
ALLOWABLE AREA (BASIC):	B = 76,000 S.F. S1+ = 70,000 S.F. F1 = 48,000 S.F.
ACTUAL AREA INCREASED ALLOWABLE	UNLIMITED PER CBC 507.1 60" MIN. YARD OR 40" REDUCED YARD ON 4 SIDES

TABULATION

SITE AREA	BUILDING	NOT A PART	TOTAL
In s.f.	573,971	623,494	1,197,465 s.f.
In acres	13.18	14.31	27.49 ac
BUILDING AREA			
Office:	41,640		41,640 s.f.
Industrial	183,777		183,777 s.f.
TOTAL	225,417		225,417 s.f.
FLOOR AREA RATIO			
Maximum		TBD	
Actual	0.39		0.19
AUTO PARKING REQUIRED			
Industrial & Office: 2.5/1,000 s.f.(Maximum)	564		564 stalls
EV REQUIRED			
EV Parking (EV Capable + EVCS)	72		72 stalls
- EV Capable (conduits only)	[51]		
- EVCS (EV ready)	[21]		
- Standard EVCS	19		
- ADA EV Standard w/ EVCS (9' x 18' + 5' Aisle)	1		
- ADA EV Van w/ EVCS (12' x 18' + 5' Aisle)	1		
AUTO PARKING PROVIDED			
Standard (8'-6" x 18'-0")	36		36 stalls
Compact (8'-0" x 15'-0")	88		88 stalls
Accessible Standard (9' x 18' + 5' Aisle)	4		4 stalls
Accessible Van (12' x 18' + 5' Aisle)	2		2 stalls
EV Parking (EV Capable + EVCS)	72		72 stalls
- EV Capable (conduits only)	[51]		
- EVCS (EV ready)	[21]		
- Standard EVCS	19		
- ADA EV Standard w/ EVCS (8'-6" x 18' + 5' Aisle)	1		
- ADA EV Van w/ EVCS (12' x 18' + 5' Aisle) EVCS	1		
TOTAL	202		202 stalls
TRAILER PARKING PROVIDED			
Trailer (10' x 53')	4		4 stalls
ZONING ORDINANCE FOR CITY			
Zoning Description - Enterprise-1 (AP-E1)			
MAXIMUM BUILDING HEIGHT ALLOWED			
Height-100'			
SETBACKS			
Front	Building 20' max	Parking 25'	

PROJECT DATA & CODE SUMMARY

TITLE TITLE SHEET

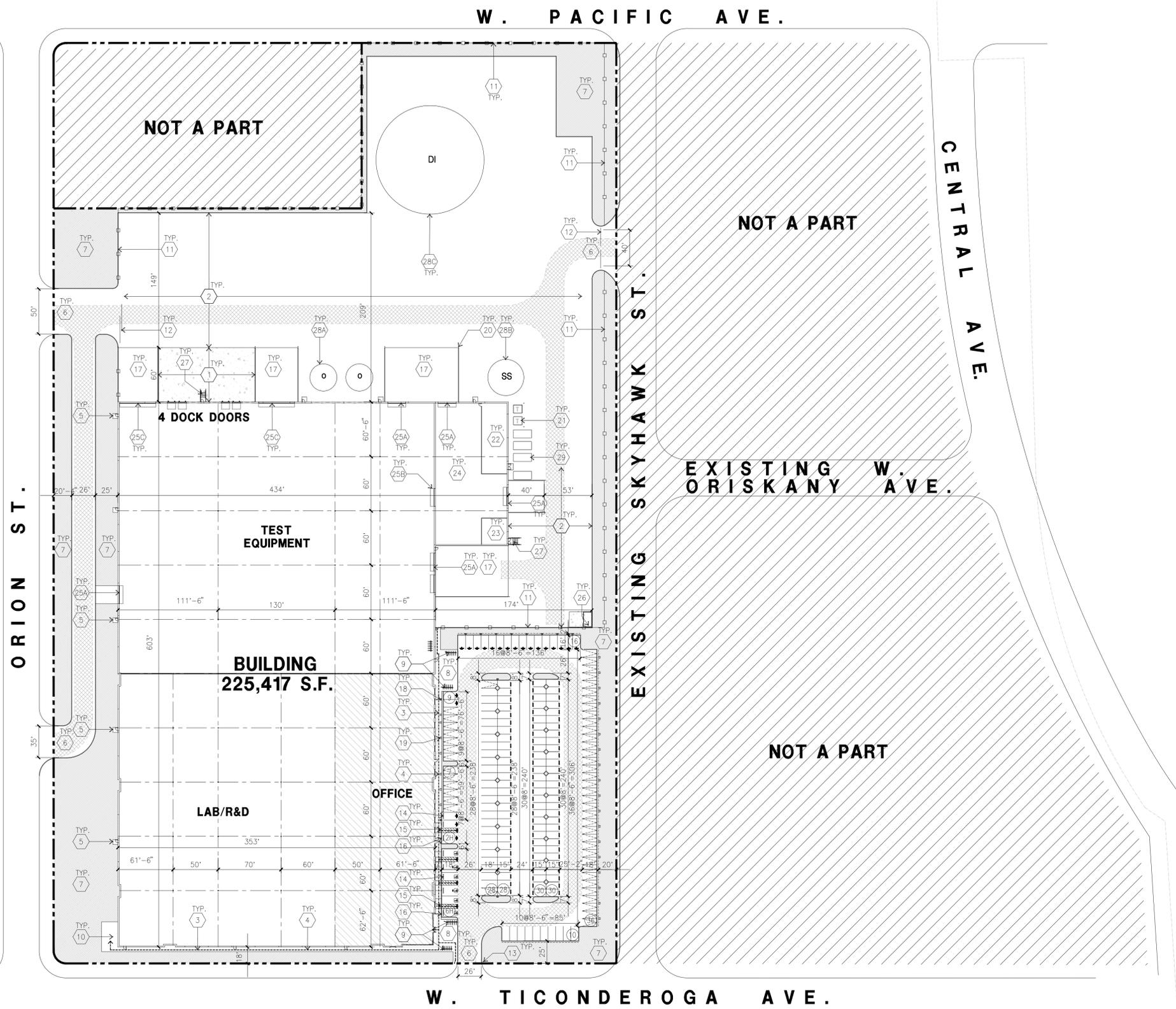
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Drawn By: KT
Date: 04/23/2025

Revision:
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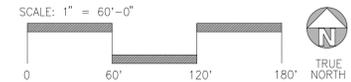
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OVERALL SITE PLAN
scale: 1" = 60'-0" **A**



SITE PLAN GENERAL NOTES

1. THE SITE PLAN BASED ON THE SOILS REPORT PREPARED BY
2. IF SOILS ARE EXPANSIVE IN NATURE, USE STEEL REINFORCING FOR ALL SITE CONCRETE
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
4. SEE "C" PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES
5. PROVIDE STRUCTURAL CALCULATION AND CONSTRUCTION ANCHORAGE DETAIL FOR TRANSFORMER PRIOR TO INSTALLATION.
6. SEE "C" DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. SEE "C" DRAWINGS.
8. CONTRACTOR TO REFER TO "C" DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. SEE "C" DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY W/ 1:20 MAX. SLOPE. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH
11. U.N.O. PROVIDE KNOX BOXES AT ALL OFFICE ENTRANCES.
12. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
13. ON-SITE FIRE MAIN, FIRE SPRINKLER, AND SPRINKLER MONITORING SYSTEM SHALL BE SUBMITTED SEPARATELY TO THE FIRE DEPARTMENT FOR REVIEW AND PERMITTING.
14. ALL VERTICAL MOUNTING POLES OF FENCING SHALL BE CAPPED.
15. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB
16. ALL INTERIOR AND EXTERIOR WALK SURFACES TO BE NON-SLIP TYPE

SITE PLAN GENERAL NOTES

- CONCRETE PAVING. SEE "C" DRWGS. FOR THICKNESS
- STANDARD PARKING STALL 8.5' X 18' (16' WITH 2' OVERHANG)
- STANDARD PARKING STALL W/ EVCS INSTALLED
- STANDARD PARKING STALL W/ CONDUITS ONLY
- TRAILER PARKING (10' X 53')
- LANDSCAPED AREA
- NON-ACCESSIBLE PATH
- COMPACT PARKING STALL 8' X 15' (13' WITH 2' OVERHANG)
- ACCESSIBLE PARKING STALL (9' X 18')
- ACCESSIBLE AISLE
- ACCESSIBLE PARKING (VAN) STALL (12' X 18') + 5' W/ ACCESSIBLE AISLE
- BICYCLE PARKING LONG-TERM / SHORT-TERM
- PATH OF TRAVEL. MINIMUM WIDTH TO BE 4'. SLOPE NOT TO EXCEED 5% IN THE DIRECTION OF TRAVEL AND CROSS SLOPE NOT TO EXCEED 2%. SEE CIVIL FOR GRADING PLAN

SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT.
- 2 ASPHALT CONCRETE (AC) PAVING
- 3 ACCESSIBLE PATH OF TRAVEL
- 4 CONCRETE WALKWAY, MEDIUM BROOM FINISH.
- 5 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH SLOPE TO BE 1/4" : 12" MAX.
- 6 DRIVEWAY APRONS
- 7 LANDSCAPE.
- 8 HARDSCAPE AT ENTRANCE.
- 9 BIKE RACKS.
- 10 OUTDOOR BREAK AREA.
- 11 8"H WROUGHT IRON FENCE.
- 12 8"H METAL GATE.
- 13 ACCESSIBLE ENTRY SIGN.
- 14 PRE-CAST CONC. WHEEL STOP.
- 15 TRUNCATED DOMES.
- 16 ACCESSIBLE PARKING STALL SIGN.
- 17 CONCRETE RAMP WITH CONCRETE GUARD WALL.
- 18 ELECTRIC VEHICLE CHARGER.
- 19 CONC PAD AND CONDUIT FOR FUTURE EV CHARGER
- 20 CONC. FILLED GUARD POST 6" DIA. U.N.O. 48" H.
- 21 APPROXIMATE LOCATION OF TRANSFORMER.
- 22 ELECTRICAL ROOM.
- 23 FIRE PUMP ROOM.
- 24 UTILITY ROOM
- 25A 20' x 20' DRIVE-IN DOOR
- 25B 20' x 15' DRIVE-IN DOOR
- 25C 40' x 20' DRIVE-IN DOOR
- 26 TRASH ENCLOSURE.
- 27 EXTERIOR METAL STAIR.
- 28A STORAGE TANKS, 15' TALL, 30' DIAMETER
- 28B STORAGE TANKS, 30' TALL, 40' DIAMETER
- 28C STORAGE TANKS, 26' TALL, 120' DIAMETER
- 29 9'X9'X20' CONTAINERS



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Owner:
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Pacific Fusion
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Fremont, CA 94538
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Project:
W. Ticonderoga Ave. & Orion St.

Alameda, CA

Consultants:
CIVIL BKF
STRUCTURAL -
MECHANICAL -
PLUMBING -
ELECTRICAL GREEN DESIGN
LANDSCAPE -
FIRE -
SOILS -

TITLE OVERALL SITE PLAN

Project Number: 24042
Drawn By: KT
Date: 04/23/2025

Revision:
1ST SUBMITTAL 04/23/25

Sheet:

DAB-A1.1

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KEYNOTES - FLOOR PLAN

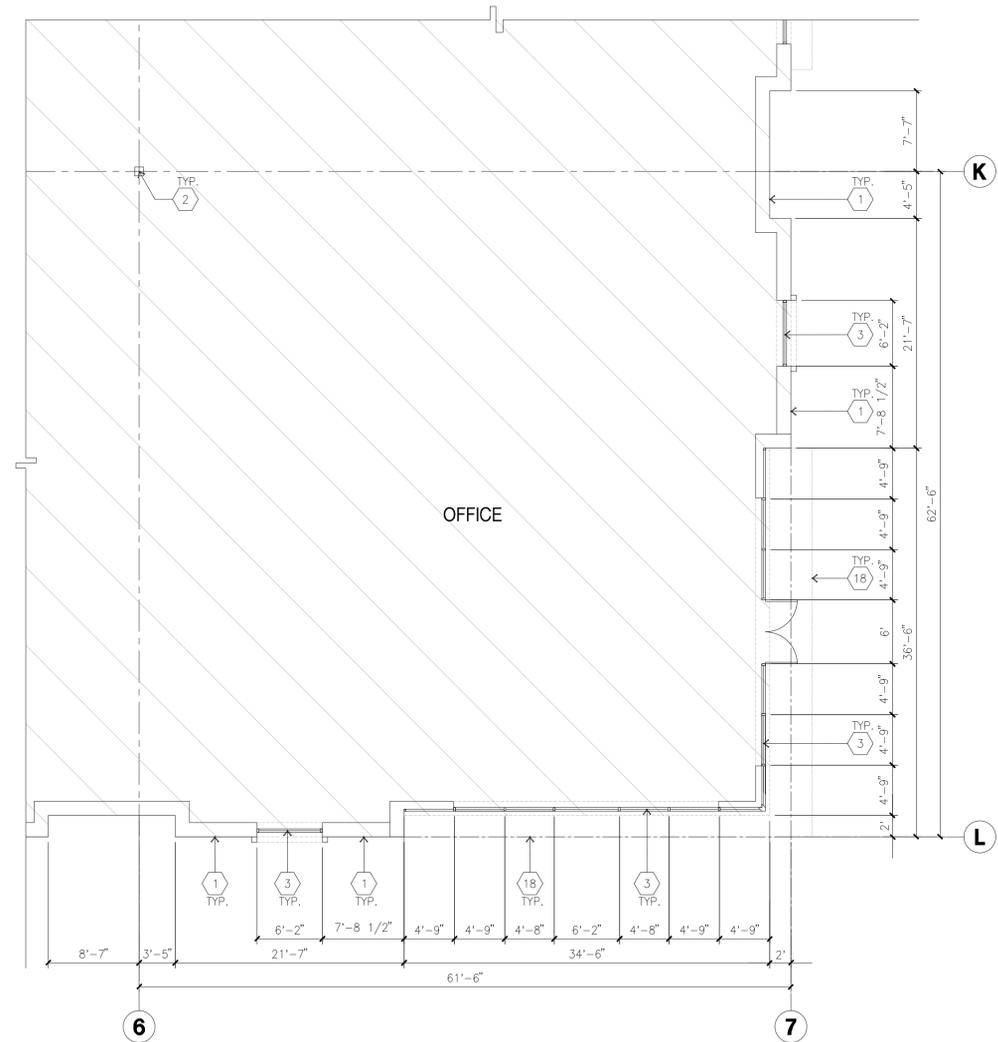
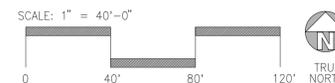
- (1) CONCRETE TILT-UP PANEL.
- (2) STRUCTURAL STEEL COLUMN.
- (3) TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE ENLARGED PLANS AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- (4) CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL OR BUILDING WALL ON BOTH SIDES OF RAMP.
- (5) 9' X 10' DOCK DOOR. SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- (6) EXTERIOR METAL STAIR.
- (7) 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" : 12" MAX.
- (8) 4'X8' METAL LOUVER.
- (9) DOCK DOOR BUMPER.
- (10) 20' X 20' DRIVE THRU. SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- (10A) 20' X 15' DRIVE THRU. SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- (10B) 40' X 20' DRIVE THRU. SECTIONAL O.H., STANDARD GRADE. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- (11) 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR. DESIGNED TO RESIST CITY REQUIRED WIND SPEED.
- (12) CONC. FILLED GUARD POST. 6" DIA. U.N.O.. 48"H.
- (13) EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPER.
- (14) Z GUARD.
- (15) ELECTRICAL ROOM.
- (16) FIRE PUMP ROOM.
- (17) UTILITY ROOM.
- (18) METAL CANOPY ABOVE.
- (19) KNOCK OUT PANEL.
- (20) BIKE RACK.

GENERAL NOTES - FLOOR PLAN

1. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
2. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
3. INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL GYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
4. THE BUILDING FLOOR SLAB IS FLAT. SEE CIVIL.
5. SLOPE FOUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS. SEE "S" DRAWINGS FOR FOUR STRIP LOCATION.
6. PROVIDE 6" DIA. CONCRETE BOLLARD AT ALL FIRE RISER AND UNPROTECTED INTERIOR ROOF DRAIN.
7. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
8. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
9. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET A5.1. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
10. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
11. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN HARDWARE.
12. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
13. PROVIDE FIRE EXTINGUISHERS AT LOCATIONS DETERMINED BY FIRE DEPARTMENT.
14. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
15. AFFIX AN INTERNATIONAL ACCESSIBILITY SYMBOL ON ALL ACCESSIBLE ENTRANCES PER CBC 11B-216.6
16. ALL INTERIOR AND EXTERIOR WALKING SURFACES TO BE NON-SLIP TYPE.



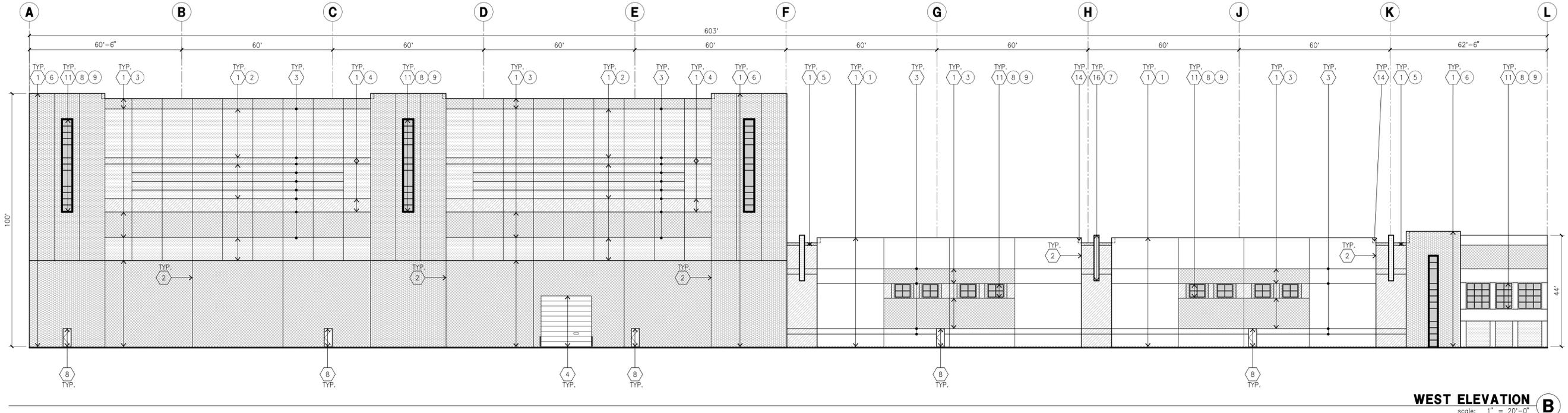
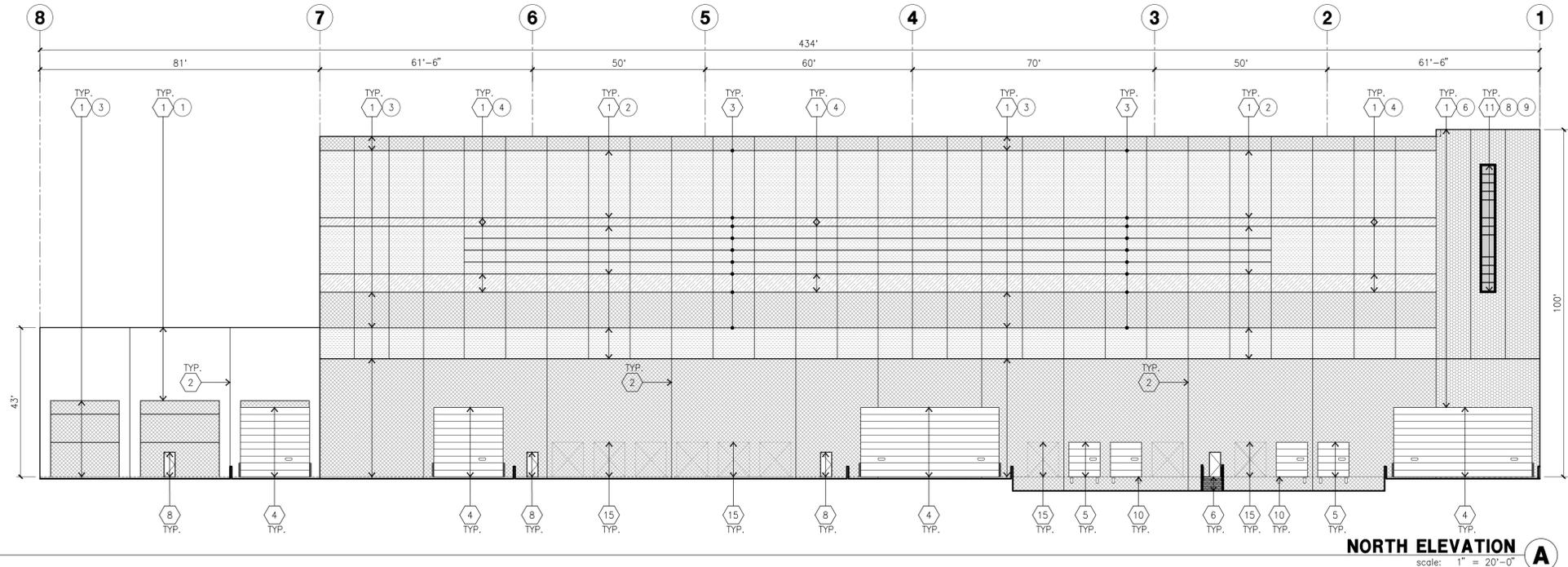
OVERALL FLOOR PLAN
scale: 1" = 40'-0"



ENLARGED FLOOR PLAN
scale: 1/8" = 1'-0"



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KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP OR PRECAST PANEL (PAINTED). FINISH GRADE VARIES. SEE "C" DRAWINGS. WATERPROOF ALL WALLS WHERE EXTERIOR GRADE IS HIGHER THAN FINISH FLOOR AND EXPOSED TO THE WEATHER. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN.
- 2 PANEL JOINT.
- 3 PANEL REVEAL - ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O.
- 4 OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 5 OVERHEAD DOOR @ DOCK HIGH. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
- 6 EXTERIOR METAL STEEL STAIR.
- 7 METAL LOUVER. PAINT TO MATCH BUILDING COLOR.
- 8 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- 9 EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS.
- 10 DOCK BUMPER.
- 11 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING.
- 12 METAL CANOPY
- 13 FUTURE ROOF EQUIPMENT
- 14 PARAPET RETURN
- 15 KNOCK OUT PANEL
- 16 ALUMINUM DECORATIVE FEATURE

GENERAL NOTES - ELEVATIONS

1. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
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3. T.O.P. EL.= TOP OF PARAPET ELEVATION.
4. F.F.= FINISH FLOOR ELEVATION.
5. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS SHALL BE DESIGNED TO RESIST - MPH. EXPOSURE "C" WINDS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
6. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
7. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
8. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE. PROVIDE 1" DIAMETER HOLES AT CONCRETE WALL.
9. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
10. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON
11. ALL ROLL-UP DOORS AND SERVICE DOORS TO BE PAINTED TO MATCH BUILDING COLOR
12. WHERE GLAZING CROSSES THE PANEL JOINT AND A SINGLE MULLION SHALL BE PROVIDED, DOUBLE MULLIONS ARE NOT AN ACCEPTABLE ALTERNATE.

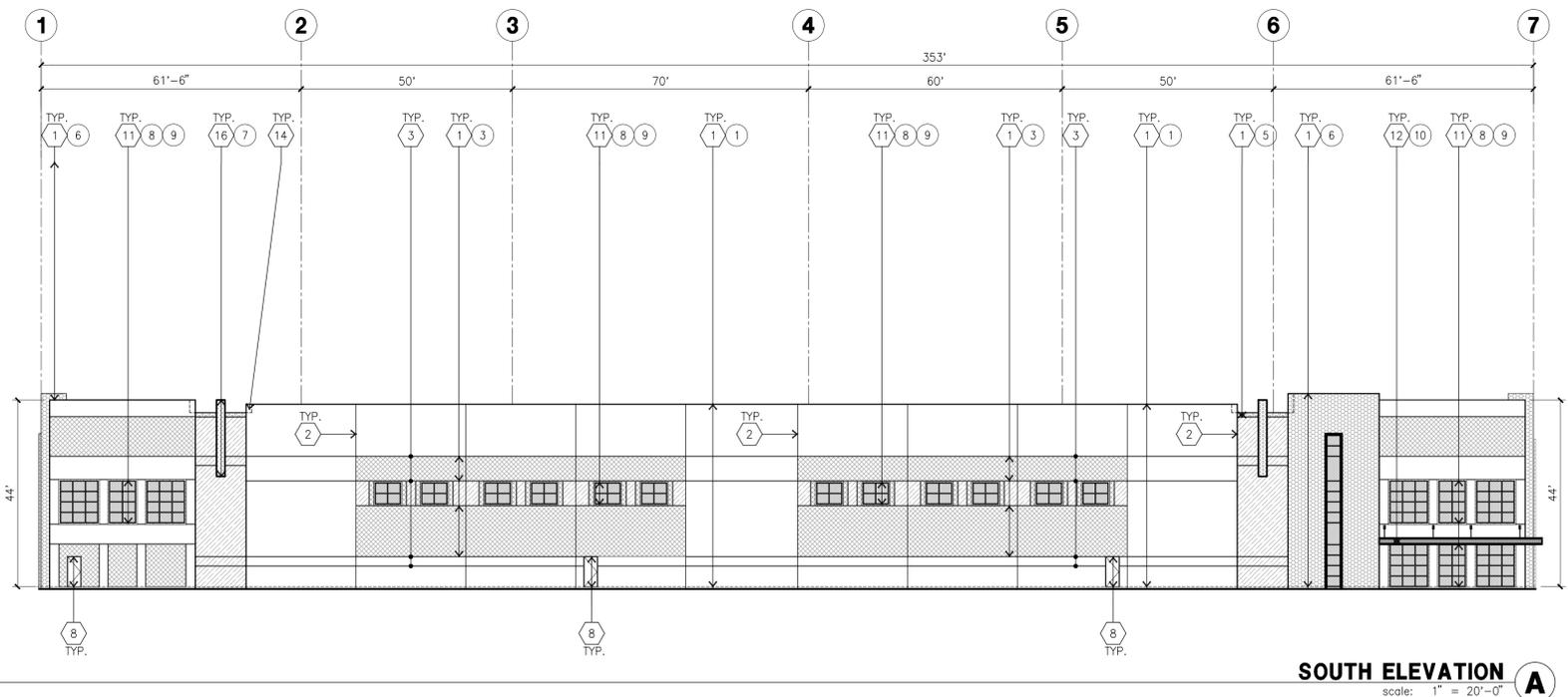
ELEVATION COLOR LEGEND/SCHED.

- 1 CONCRETE TILT-UP OR PRECAST PANEL COLOR : SW 9166 DRIFT OF MIST
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- 10 CANOPY MATERIAL : SW 7067 CITY SCAPE

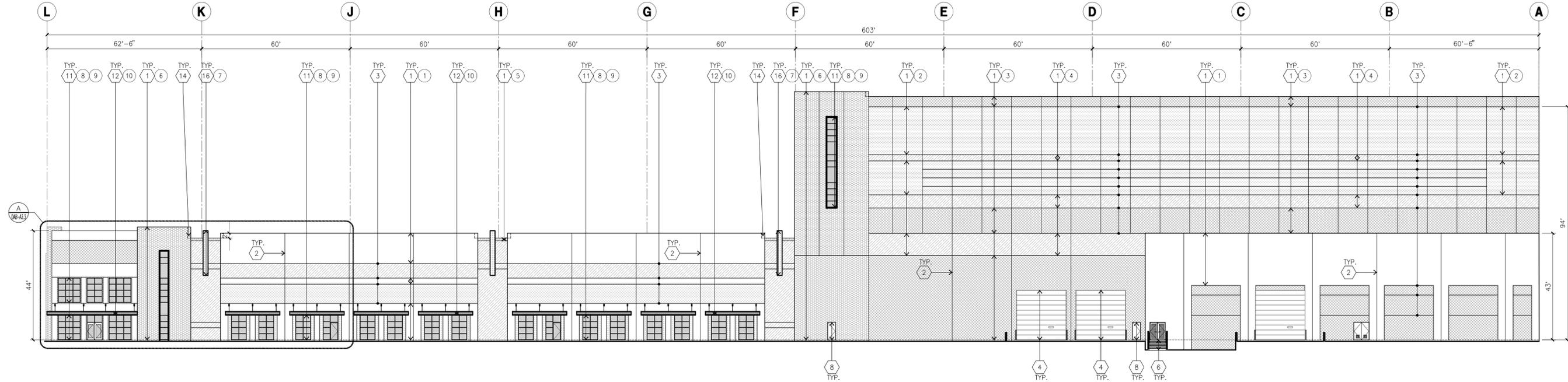
GLAZING LEGEND

- NOTE: ALL EXTERIOR AND INTERIOR GLAZING SHALL BE TEMPERED.
- | | | | |
|----|--------------------------|----|-------------------------------------|
| IV | INSULATED VISION GLASS | SC | SPANDREL GLASS WITH CONCRETE BEHIND |
| V | SINGLE LITE VISION GLASS | | |
- IV : INSULATED VISION GLASS
1/4" VISTACOOL PACIFICA + 1/4" SOLARBAN 60 CLEAR
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES
U: 0.27 SHGC: 0.21 VLT: 26%
MINIMUM VT TO BE 0.42 PER 2016 CEC TABLE 140.3-B
- SC : SPANDREL WITH CONCRETE BEHIND
1/4" VISTACOOL PACIFICA WITH WARM GRAY OPACICOAT PAINTED ON REFLECTIVE.
INSTALLED ON CONCRETE.
- V : VISION GLASS
1/4" VISTACOOL PACIFICA
- MULLIONS : CLEAR ANODIZED.

CAUTION: IF THIS SHEET IS NOT 24" X 36" IT IS A REDUCED PRINT



SOUTH ELEVATION A
scale: 1" = 20'-0"



EAST ELEVATION B
scale: 1" = 20'-0"

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP OR PRECAST PANEL (PAINTED). FINISH GRADE VARIES. SEE "C" DRAWINGS. WATERPROOF ALL WALLS WHERE EXTERIOR GRADE IS HIGHER THAN FINISH FLOOR AND EXPOSED TO THE WEATHER. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN.
- 2 PANEL JOINT.
- 3 PANEL REVEAL - ALL REVEALS TO HAVE A MAX. OF 3/8" CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O.
- 4 OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND.
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- 6 EXTERIOR METAL STEEL STAIR.
- 7 METAL LOUVER. PAINT TO MATCH BUILDING COLOR.
- 8 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- 9 EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS.
- 10 DOCK BUMPER.
- 11 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING.
- 12 METAL CANOPY
- 13 FUTURE ROOF EQUIPMENT
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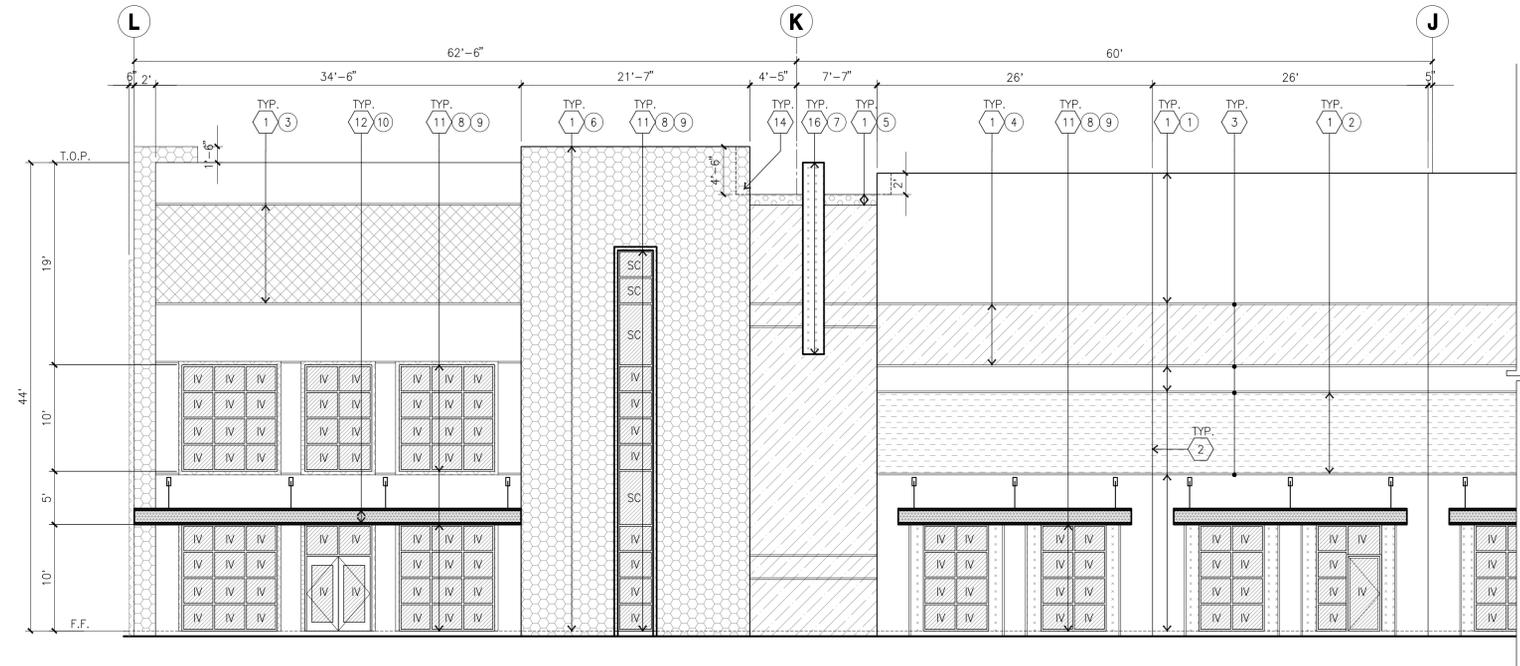
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 - MULLIONS : CLEAR ANODIZED.

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ENLARGED EAST ELEVATION A
scale: 1" = 20'-0"

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GLAZING LEGEND

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- | | |
|------------------------|-------------------------------------|
| INSULATED VISION GLASS | SPANDREL GLASS WITH CONCRETE BEHIND |
|------------------------|-------------------------------------|

- | |
|--------------------------|
| SINGLE LITE VISION GLASS |
|--------------------------|

IV : INSULATED VISION GLASS
1/4" VISTACOO PACIFICA + 1/4" SOLARBAN 60 CLEAR
1" INSULATED GLASS UNIT WITH 1/2" AIRSPACE AND 1/4" LITES
U: 0.27 SHGC: 0.21 VLT: 26%
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INSTALLED ON CONCRETE.

V : VISION GLASS
1/4" VISTACOO PACIFICA

MULLIONS : CLEAR ANODIZED.

TITLE ELEVATIONS

Project Number: 24042
Drawn By: KT
Date: 04/23/2025

Revision:
1ST SUBMITTAL 04/23/25

Sheet:

DAB-A3.3



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E-Mail : hpa@hparchs.com



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ATTN: Mario Tjia

Project:
W. Ticonderoga
Ave. & Orion St.

Alameda, CA

Consultants:

CIVIL	BKF
STRUCTURAL	-
MECHANICAL	-
PLUMBING	-
ELECTRICAL	GREEN DESIGN
LANDSCAPE	-
FIRE	-
SOILS	-

EXISTING CONDITIONS PLAN

Project Number: 20250211-10
Drawn By: JN
Date: 04/23/2025

Revision:
1ST SUBMITTAL 04/23/25

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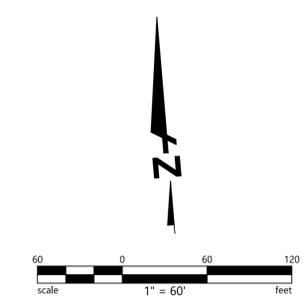
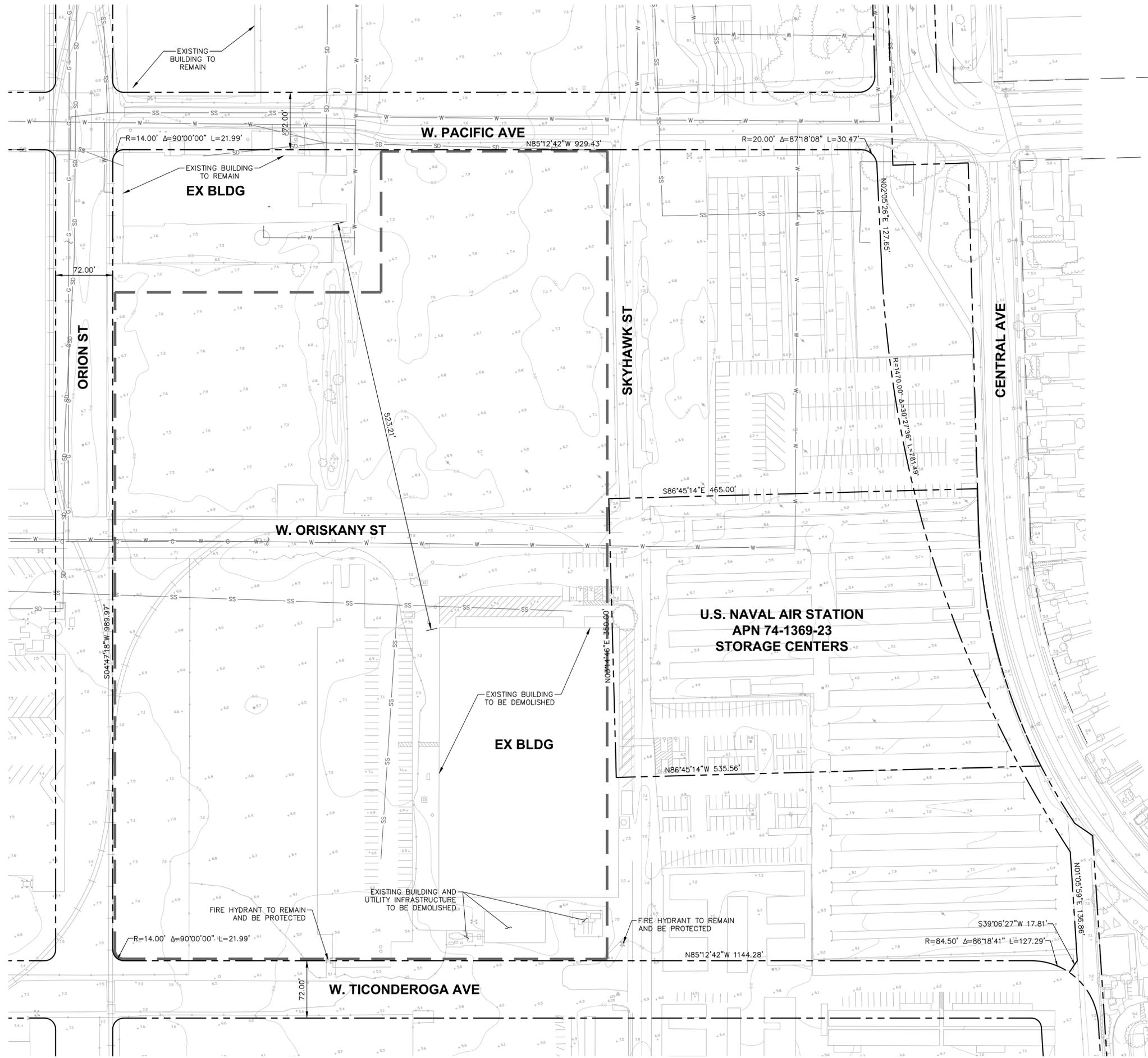
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LEGEND:

- PROPERTY LINE
- CONTOUR LINE
- EX STORM DRAIN PIPE (SD)
- EX SANITARY SEWER PIPE (SS)
- EX DOMESTIC WATER PIPE (DW)
- EX GAS PIPE
- LIMIT OF WORK

NOTES:

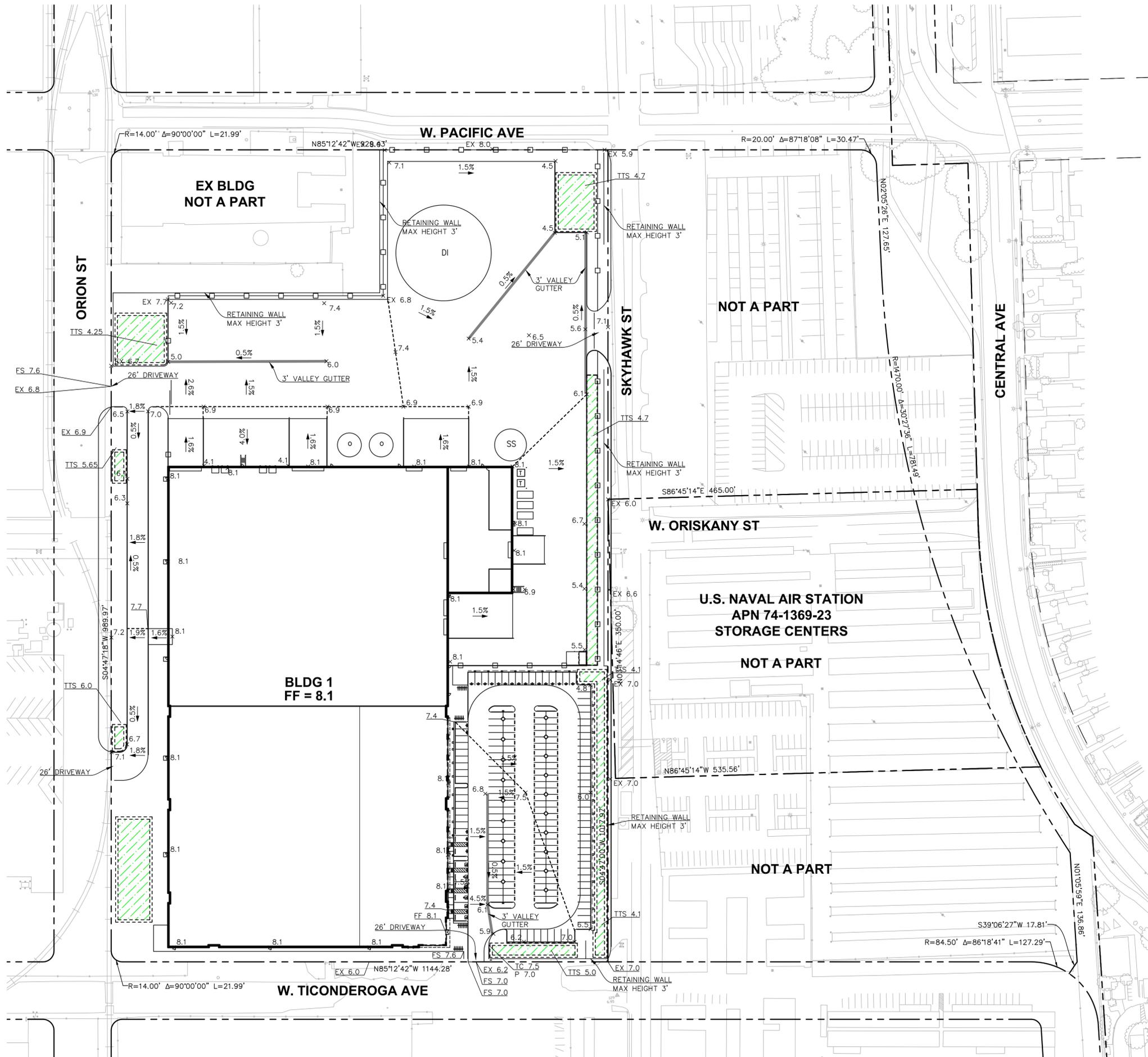
1. EXISTING TOPOGRAPHIC INFORMATION AND BOUNDARY INFORMATION IS BASED ON DOCUMENTS PROVIDED BY CITY OF ALAMEDA.
2. ALL IMPROVEMENTS WITHIN THE LIMIT OF WORK ARE TO BE REMOVED AND DEMOLISHED UNLESS NOTED OTHERWISE



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PLOT TIME: 04-23-25
PLOTTED BY: semirpote

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 PLOT TIME: 04-23-25
 PLOTTED BY: semirpate1

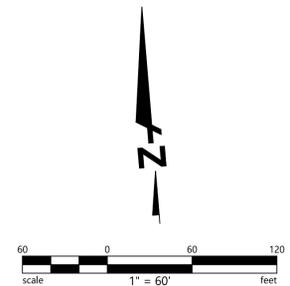


LEGEND:

- — — — — PROPERTY LINE
- - - - - GRADE BREAK
- ▬ VALLEY GUTTER
- ▬ RETAINING WALL, MAX 3' HEIGHT

NOTES:

1. EXISTING TOPOGRAPHIC INFORMATION AND BOUNDARY INFORMATION IS BASED ON DOCUMENTS PROVIDED BY CITY OF ALAMEDA.
2. PROPOSED OFFSITE IMPROVEMENTS ARE PART OF A SEPARATE PACKAGE.



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 600 grand avenue, - ste. #302
 oakland, ca
 94610
 Tel : 949-863-1770
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Consultants:

CIVIL	BKF
STRUCTURAL	-
MECHANICAL	-
PLUMBING	-
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LANDSCAPE	-
FIRE	-
SOILS	-

PRELIMINARY SITE PLAN

Project Number: 20250211-10
 Drawn By: JN
 Date: 04/23/2025

Revision:
 1ST SUBMITTAL 04/23/25

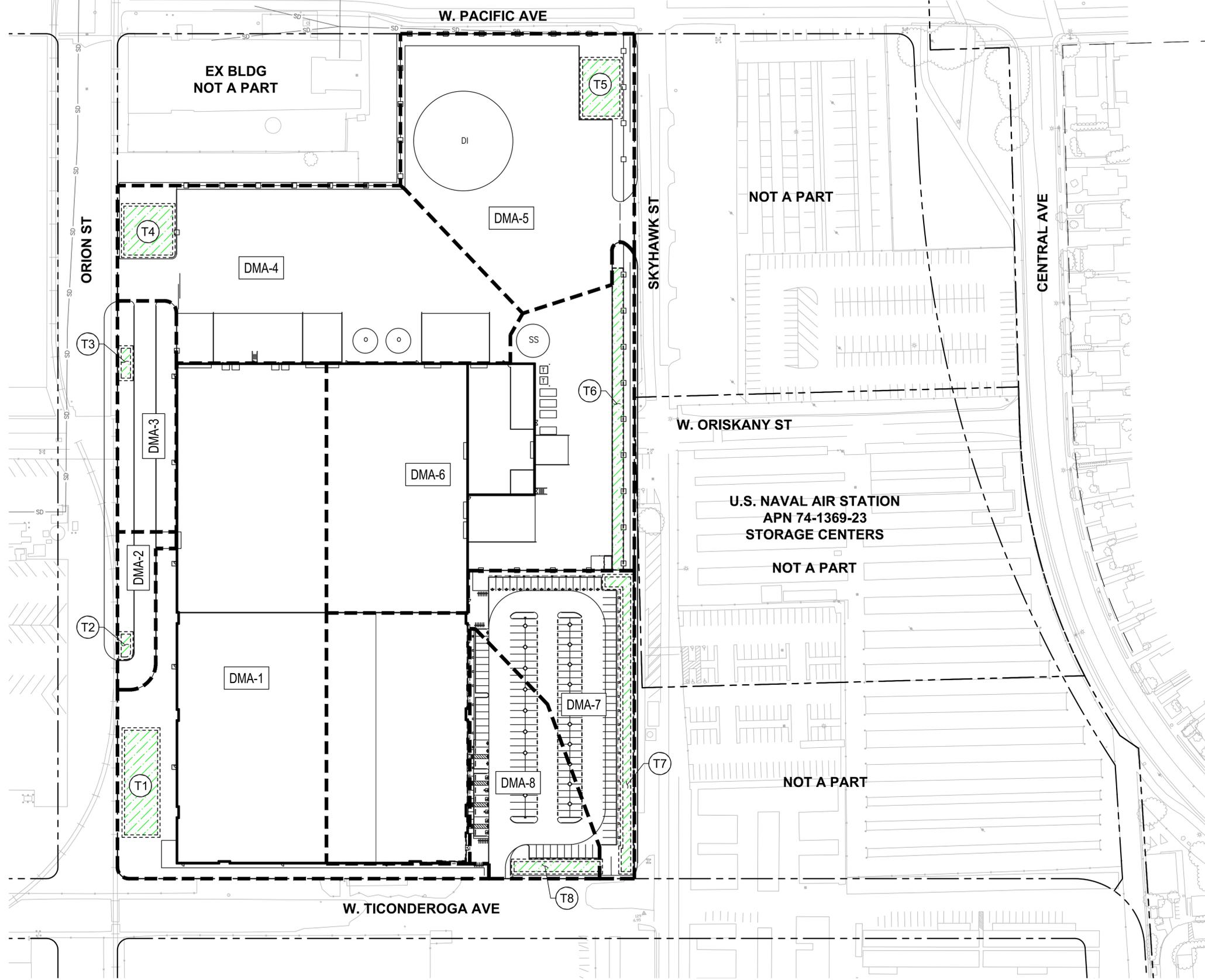
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STORMWATER TREATMENT TABLE										
DRAINAGE AREA DESIGNATION	TM ID	TOTAL TRIBUTARY AREA (SF)	TOTAL PERVIOUS AREA (SF)	TOTAL IMPERVIOUS AREA (SF)	TOTAL EFFECTIVE IMPERVIOUS AREA (SF)	TREATMENT METHOD	PONDING DEPTH (INCHES)	MIN. REQUIRED TREATMENT AREA (SF)	PROVIDED TREATMENT AREA (SF)	EXCESS TREATMENT AREA (SF)
DMA-1	T1	136,928	22,272	114,656	116,883	Bioretention Area	6	4,586	5,040	454
DMA-2	T2	9,093	3,134	5,959	6,272	Bioretention Area	6	238	305	67
DMA-3	T3	19,805	12,526	7,279	8,532	Bioretention Area	6	291	408	117
DMA-4	T4	87,621	7,517	80,104	80,856	Bioretention Area	6	3,204	3,481	277
DMA-5	T5	79,780	10,924	68,856	69,948	Bioretention Area	6	2,754	3,054	300
DMA-6	T6	114,750	5,315	109,435	109,967	Flow-Through Planter	6	4,377	4,598	221
DMA-7	T7	94,279	11,347	82,932	84,067	Bioretention Area	6	3,317	3,672	355
DMA-8	T8	31,701	3,441	28,260	28,604	Bioretention Area	6	1,130	1,250	120
TOTAL	-	573,957	76,476	497,481	28,604	Bioretention Area	6	1,130	1,250	120

- LEGEND:**
- PROPERTY LINE
 - DRAINAGE AREA BOUNDARY
 - STORM DRAIN PIPE (SD)
 - BIORETENTION AREA
 - BIORETENTION DRAINAGE AREA DESIGNATION
 - BIORETENTION AREA DESIGNATION



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LANDSCAPE -
FIRE -
SOILS -

PRELIMINARY
STORMWATER
MANAGEMENT PLAN
Project Number: 20250211-10
Drawn By: JN
Date: 04/23/2025

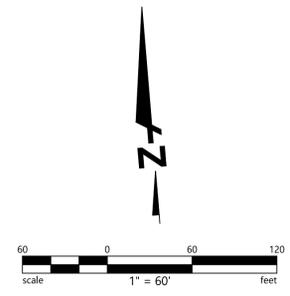
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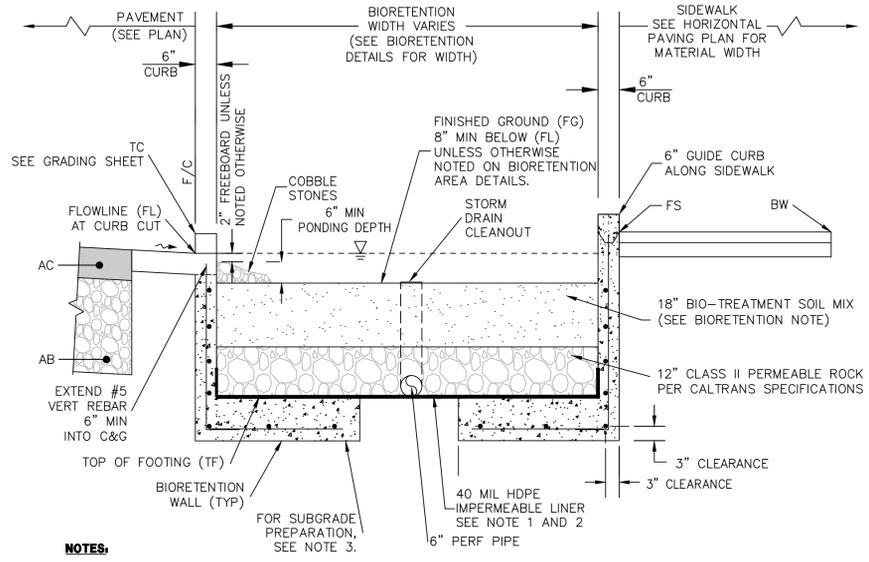
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PLOT TIME: 04-23-25
PLOTTED BY: jngosy

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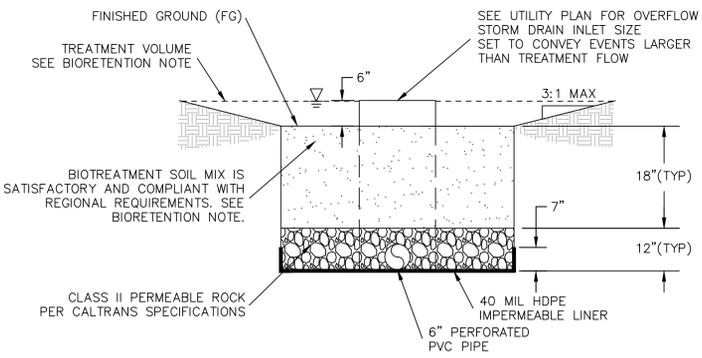




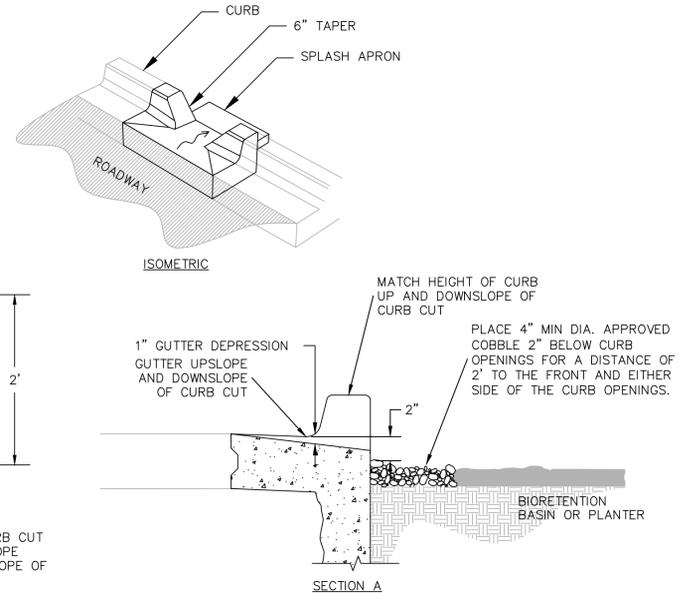
- NOTES:**
1. IF BIORETENTION AREA EXCEEDS FOOTING WIDTH, IMPERMEABLE LINER SHALL BE INSTALLED AT BOTTOM AND EXTEND 7 INCH UP THE SIDE OF THE CLASS II PERMEABLE LAYER.
 2. IMPERMEABLE LINER TO BE USED WHEN BIORETENTION AREA IS NOT STRUCTURALLY CONTAINED BY WALL FOOTING.
 3. BIORETENTION AREA FOOTING/FOUNDATION SUBGRADE SHALL BE COMPACTED TO 90% RELATIVE COMPACTION. FOR CONSTRUCTION OF BIORETENTION AREAS ON BAY MUD, CONTRACTOR TO INSTALL 24 INCHES OF CLASS II AB, PRIOR TO PLACEMENT OF CLASS II AB, PLACE A LAYER OF GEOTEXTILE FABRIC (MIRAFI 500X OR EQUIVALENT) AT THE BASE OF THE EXCAVATION.

1 TYPICAL RETAINED (STRUCTURED) BIORETENTION AREA CROSS SECTION
NTS

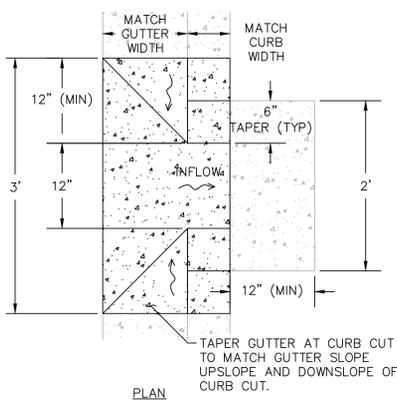
BIORETENTION NOTE:
18" OF REGIONALLY-APPROVED BIO-TREATMENT SOIL MIX PER THE MOST RECENT VERSION OF THE ALAMEDA COUNTY CLEAN WATER PROGRAM'S PROVISION C.3 STORMWATER TECHNICAL GUIDANCE MANUAL @ WWW.CLEANWATERPROGRAM.ORG. THE FOLLOWING VENDORS ARE KNOWN TO OFFER SPECIFIED BIO-RETENTION PLANTER AREA SOIL MEDIA MIX: AMERICAN SOILS (WWW.AMERICANSOILS.COM); LH VOSS (WWW.LHVOSS.COM); PLEASANTON TRUCKING (925-449-5400). PROVIDE VERIFICATION AND DOCUMENTATION TO THE CITY STORMWATER PROGRAM INSPECTOR OF THE DELIVERY OF THE SPECIFIED MATERIAL. INSTALL AND MAINTAIN A 3-INCH LAYER OF "ARBOR", "AGED" OR "COMPOSTED" MULCH ON ANY EXPOSED SOIL AREAS BETWEEN PLANTINGS. LANDSCAPING TO BE PER FUTURE LANDSCAPE PERMIT.



2 TYPICAL UNSTRUCTURED BIORETENTION AREA CROSS SECTION
NTS



3 CURB CUT
NTS



KEYNOTES

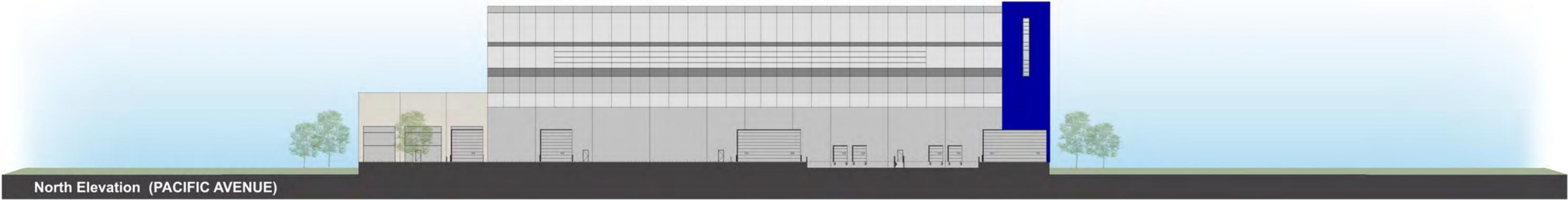
- 1 RETAINED (STRUCTURED) BIORETENTION AREA
- 2 UNSTRUCTURED BIORETENTION AREA
- 3 PARTIALLY RETAINED (STRUCTURED) BIORETENTION AREA, SEE NOTE 4.
- 4 INTERIM UNSTRUCTURED BIORETENTION AREA, SEE NOTE 5.

NOTES

1. EXACT LAYOUT OF BIORETENTION AREA SUBJECT TO CHANGE.
2. TRIBUTARY AREAS ASSUMED TO BE 100% IMPERVIOUS FOR PRELIMINARY SIZING. CALCULATIONS TO BE REFINED BASED ON LANDSCAPE PERVIOUS/IMPERVIOUS AREA CALCULATIONS.
3. MINIMUM REQUIRED BIORETENTION AREAS ARE CALCULATED AS FOLLOWS: 3% OF THE TRIBUTARY AREA FOR STRUCTURED BIORETENTION AREAS, AND 4% OF THE TRIBUTARY AREA FOR UNSTRUCTURED BIORETENTION AREAS.
4. PARTIALLY RETAINED (STRUCTURED) BIORETENTION AREAS HAVE AT LEAST ONE BIORETENTION WALL (SEE DETAIL 1, SHEET C3.1). OTHER SIDES MAY BE UNSTRUCTURED (SEE DETAIL 2, SHEET C3.1).
5. INTERIM UNSTRUCTURED BIORETENTION AREAS ARE TEMPORARY UNSTRUCTURED

DRAWING NAME: \\bkf-wc\vol4\2025\250211_proj\ecL_sol\is_alameda\ENG-L\Sheets\Planning\Sheets\250211_SAPL_MPPE-03_STWR.dwg
PLOT TIME: 04-23-25
PLOTTED BY: jngosy

CAUTION: IF THIS SHEET IS NOT 30"x42" IT IS A REDUCED PRINT



North Elevation (PACIFIC AVENUE)



West Elevation (ORION STREET)



South Elevation (TICONDEROGA AVENUE)

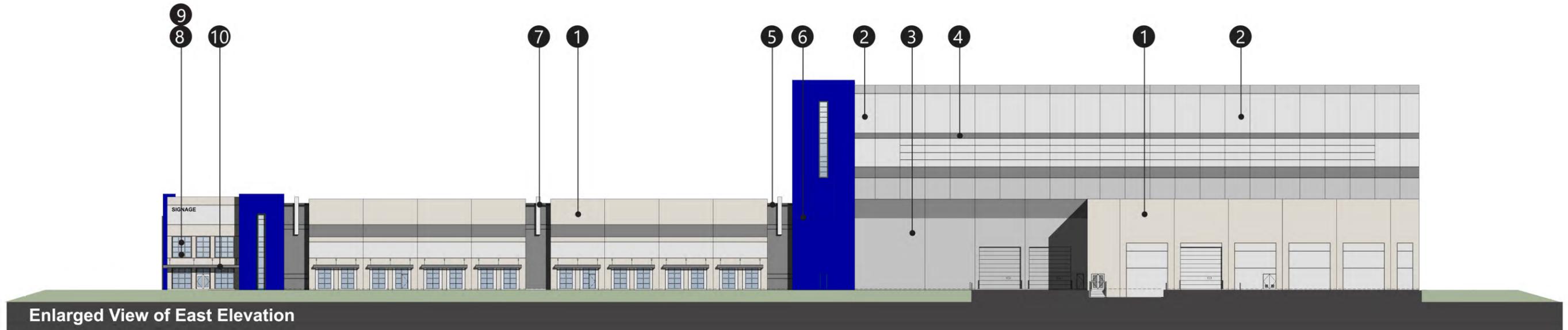
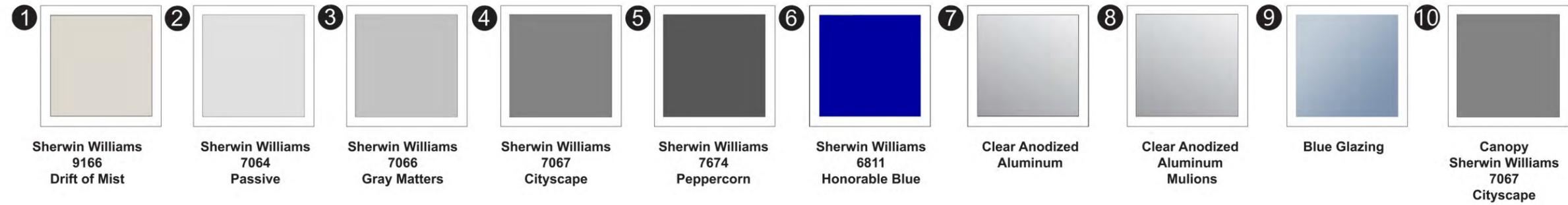


East Elevation (SKYHAWK STREET)



Conceptual Elevations
PACIFIC AVE. & ORION STREET
Alameda, California #25026 | 04.23.2025





Material Board
PACIFIC AVE. & ORION STREET
 Alameda, California #25026 | 04.21.2025



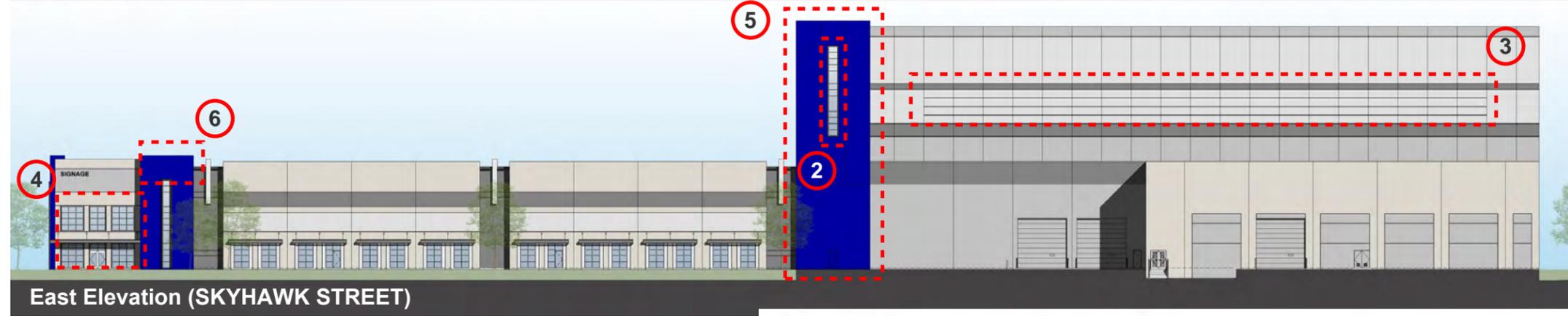


- 1 Horizontal bands of windows with contrasting color between to draw eye along the elevation.
- 2 Vertical bands of glazing, creating a visual break.

- 3 Horizontal reveal band found on characteristic Alameda point hangars.
- 4 Two story high glazing breaks down office corner massing using windows inspired by the steel sash style found across Alameda Point.

- 5 Rectangular fins anchor the elevations and pull from the corner architectural features of the hangar buildings.
- 6 Neutral colors with intentionally placed accent color to add a fun pop of color and character similar to the paint schemes in Alameda Point.

- 7 Metal panels are odes to existing metal and wood panel facades from other beloved commercial institutions throughout Alameda.
- 8 Articulation, variation in parapet height and paint color changes break down the massing and scale of the building.





LOT SUMMARY TABLE

Community Development • Planning & Building
 2263 Santa Clara Ave., Rm. 190
 Alameda, CA 94501-4477
 alamedaca.gov
 510.747.6800 • F: 510.865.4053 • TDD: 510.522.7538
 Hours: 7:30 a.m.–3:30 p.m., M–Th

**To be submitted with all Residential Planning Applications
 (Or included as a table on the project plans)**

Project Address: _____

ZONING COMPLIANCE FOR RESIDENTIAL DISTRICT _____				
Categories	Standard	Existing	Proposed	✓
Total lot area	5,000		14.61+/- Acres	
Lot depth	100'		1,107.9' +/-	
Lot width	50'		625.4' +/-	
Total floor area in the building	---		225,417 SF	
Main building lot coverage including attached/detached garage (%)			39%	
Front yard setback			18'	
Rear yard setback			214'	
Left side yard setback	5'		71'	
Right side yard setback	5'		120'	
Street side yard setback	10'			
Maximum building height			100'H	
Separation between main buildings	20'			
Accessory building size	---			
Separation between main/accessory building	Min. 6'			
Height of accessory building				
Number of off-street parking spaces	Min. 2		-	
Driveway width	Min. 8.5'		Varies. 26'W - 50'W	
Total Usable Open Space*				
Common open space				
Private open space (ground floor)	Min. 60 sf			
Private open space (upper floor)	Min 120 sf			

*Not applicable to detached single-family dwellings in the R-1 District.