

# PARK SOCIAL

## 1222 Park Street #A Alameda, CA 94501

ABBREVIATIONS			LEGEND		SYMBOLS		PROJECT TEAM		PROJECT INFORMATION		SHEET INDEX	
<p> <b>A</b> AND  <b>∠</b> ANGLE  <b>@</b> AT  <b>Q</b> CENTERLINE  <b>Ø</b> DIAMETER OR ROUND  <b>∅</b> PERPENDICULAR  <b>#</b> PROPERTY LINE  <b>#</b> POUND OR NUMBER    <b>A.B.S.</b> ACRYLONITRILE BUTADIENE ABOVE  <b>A.A.</b> ASPHALTIC CONCRETE  <b>AC.</b> AIR CONDITIONING  <b>ACOUS.</b> ACOUSTICAL  <b>ADJ.</b> ADJUSTABLE  <b>A.F.F.</b> ABOVE FINISH FLOOR  <b>AGGR.</b> AGGREGATE  <b>ALUM.</b> ALUMINUM  <b>ANOD.</b> ANODIZED  <b>A.P.A.</b> AMERICAN PLYWOOD ASSOCIATION  <b>APPROX.</b> APPROXIMATE  <b>ARCH.</b> ARCHITECTURAL  <b>A.S.</b> ADJUSTABLE SHELF    <b>BD.</b> BOARD  <b>BIT.</b> BITUMINOUS  <b>BLDG.</b> BUILDING  <b>BLK.</b> BLOCK  <b>BLKG.</b> BLOCKING  <b>BM.</b> BEAM  <b>B.M.</b> BENCH MARK  <b>BOT.</b> BOTTOM  <b>BRG.</b> BEARING  <b>B.T.W.N.</b> BUILD-UP ROOFING BOTH WAYS    <b>CAB.</b> CABINET  <b>C.B.</b> CATCH BASIN  <b>CCB.</b> CALIFORNIA BUILDING CODE  <b>CEM.</b> CEMENT  <b>CER.</b> CERAMIC  <b>CONTR.</b> CONTRACTOR FURNISHED  <b>CFCL.</b> CONTRACTOR INSTALLED    <b>C.F.</b> CUBIC FEET  <b>CI.</b> CAST IRON  <b>C.J.</b> CONTROL JOINT  <b>CLS.</b> CLOSET  <b>CLG.</b> CEILING  <b>CLKG.</b> CALKING  <b>CLR.</b> CLEARANCE  <b>C.M.U.</b> CONCRETE MASONRY UNIT  <b>COL.</b> COLUMN  <b>COMP.</b> COMPOSITION  <b>CONC.</b> CONCRETE  <b>CONN.</b> CONNECTION  <b>CONSTR.</b> CONSTRUCTION  <b>CONT.</b> CONTINUOUS  <b>COR.</b> CORRUGATED  <b>C.O.T.G.</b> CLEAN-UP TO GRADE  <b>CSMT.</b> CASEMENT  <b>CSWK.</b> CASEWORK  <b>C.T.R.</b> CERAMIC TILE  <b>CNTY.</b> COUNTY  <b>C.TSK.</b> COUNTERSINK  <b>C.Y.</b> CUBIC YARD    <b>DBL.</b> DOUBLE  <b>DEPT.</b> DEPARTMENT  <b>DET.</b> DETAIL  <b>DF.</b> DRINKING FOUNTAIN  <b>D.F.</b> DOUGLAS FIR  <b>D.F.C.</b> DENSE COMPOSED GRANITE  <b>DIAG.</b> DOUBLE HUNG  <b>DIA.</b> DIAMETER  <b>DIMEN.</b> DIMENSION  <b>DISP.</b> DISPENSER/DISPOSER  <b>DN.</b> DOWN  <b>DR.</b> DOOR  <b>DRWG.</b> DRAWING  <b>D.S.B.</b> DBL. STRENGTH B GRADE (GLASS)  <b>D.S.P.</b> DOWNSPOUT  <b>DWR.</b> DRAWER  <b>D.W.</b> DISH WASHER    <b>E.</b> EAST  <b>EA.</b> EACH  <b>ELEV.</b> ELEVATION, ELEVATOR  <b>ELEC.</b> ELECTRICAL  <b>EMER.</b> EMERGENCY  <b>ENCL.</b> ENCLOSURE  <b>EQUIP.</b> EQUIPMENT N.I.C. W/ WITH  <b>EWC.</b> ELECTRIC WATER COOLER  <b>EXT.</b> EXISTING  <b>EXH.</b> EXHAUST  <b>EXP.</b> EXPOSED EXPANSION  <b>EXT.</b> EXTERIOR    <b>F.A.</b> FIRE ALARM  <b>FAST.</b> FASTENER  <b>F.A.</b> FIRE ALARM  <b>F.D.</b> FLOOR DRAIN  <b>FE.C.</b> FIRE EXTINGUISHER CABINET  <b>F.F.</b> FINISH FLOOR  <b>F.G.</b> FINISH GRADE  <b>F.O.S.</b> FACE OF STUD  <b>F.E.</b> FIRE EXTINGUISHER  <b>FIBERGLASS</b>  <b>FIN.</b> FINISHED  <b>F.H.M.S.</b> FLATHEAD MECHANICAL SCREW  <b>F.H.W.S.</b> FLATHEAD WOOD SCREW  <b>FLASH.</b> FLASHING  <b>FLR.</b> FLOORING  <b>FLOOR.</b> FLOOR  <b>F.O.</b> FACE OF  <b>F.O.B.</b> FACE OF BLOCK  <b>F.O.C.</b> FACE OF CONCRETE  <b>F.O.F.</b> FACE OF FINISH  <b>F.O.M.</b> FACE OF MASONRY  <b>F.O.S.</b> FACE OF STUD  <b>F.P.</b> FIREPLACE  <b>F.P.P.</b> FIBERGLASS REINF. PANEL  <b>F.S.</b> FULL SIZE  <b>FOOTING</b>  <b>FURR.</b> FURRED (ING)  <b>FUT.</b> FUTURE    <b>GA.</b> GAUGE/GAGE  <b>GALV.</b> GALVANIZED  <b>G.B.</b> GRAB BAR  <b>G.I.</b> GALVANIZED IRON  <b>GL.</b> GLASS/GLAZING  <b>G.L.B.</b> GLUE-LAM BEAM  <b>GR.</b> GRADE(ING)  <b>G.W.B.</b> GYPSUM WALLBOARD    <b>H.B.</b> HOSE BIB  <b>HBD.</b> HARDBOARD  <b>HA.</b> HOLLOW CORE                 </p>	<p> <b>HDR.</b> HEADER  <b>HDWR.</b> HARDWARE  <b>H.M.</b> HOLLOW METAL  <b>HORIZ.</b> HORIZONTAL  <b>H.S.</b> HEAVY SHEET  <b>HT.</b> HEIGHT  <b>HTG.</b> HEATING  <b>H.W.</b> HOT WATER  <b>HWD.</b> HARDWOOD  <b>HVAC.</b> HEATING/VENTILATING/AIR CONDITIONING    <b>I.C.C.</b> INTERNATIONAL CODE COUNCIL  <b>ID.</b> INSIDE DIAMETER  <b>INCL.</b> INCLUDED (ING)  <b>INSUL.</b> INSULATE(D) (ING)  <b>INT.</b> INTERIOR  <b>INVT.</b> INVERT    <b>JAN.</b> JANITOR  <b>J.H.</b> JOIST HANGER  <b>JT.</b> JOINT    <b>KIT.</b> KITCHEN    <b>L.</b> LENGTH  <b>LAM.</b> LAMINATE  <b>LAV.</b> LAVATORY  <b>LAG.</b> LAG BOLT  <b>LOC.</b> LOCATION  <b>L.V.L.</b> LAMINATED VENEER LUMBER  <b>L.W.</b> LIGHTWEIGHT    <b>MAS.</b> MASONRY  <b>MAT.</b> MATERIAL(S)  <b>MAX.</b> MAXIMUM  <b>M.B.</b> MACHINE BOLT  <b>M.C.</b> MEDICINE CABINET  <b>M.H.</b> MAN HOLE  <b>MCH.</b> MECHANICAL  <b>MEMB.</b> MEMBRANE  <b>MEZZ.</b> MEZZANINE  <b>MFR.</b> MANUFACTURE(R)  <b>MIN.</b> MINIMUM  <b>MIR.</b> MIRROR    <b>MISC.</b> MISCELLANEOUS  <b>M.D.</b> MODIFIED BUILDING  <b>M.I.W.</b> MALLEABLE IRON WASHER  <b>M.O.</b> MASONRY OPENING  <b>MTO.</b> MOUNTED  <b>MET.</b> METAL  <b>MULL.</b> MULLION    <b>N.</b> NORTH  <b>NEW</b>  <b>NAT.</b> NATURAL  <b>N.I.C.</b> NOT IN CONTRACT  <b>N.O.M.</b> NOMINAL  <b>NOT TO SCALE</b>    <b>O.</b> OVER  <b>OBSC.</b> OBSCURE  <b>O.C.</b> ON CENTER(S)  <b>O.H.</b> OUTSIDE DIAMETER  <b>OFF.</b> OFFICE  <b>OFF.</b> OWNER FURNISHED  <b>CONTR.</b> CONTRACTOR INSTALLED  <b>OWNER FURNISHED</b>    <b>O.H.</b> OVER HANG  <b>O.H.M.S.</b> OVALHEAD MACHINE SCREW  <b>O.H.W.S.</b> OVALHEAD WOOD SCREW  <b>OPG.</b> OPPOSITE  <b>OPG.</b> OPPOSITE    <b>P.A.F.</b> POWDER ACTUATED FASTENER  <b>P.B.</b> PANIC BAR  <b>PART. T.BD.</b> PARTICLE BOARD  <b>PCF.</b> POUNDS PER CUBIC FOOT  <b>P.D.</b> POWDER DRIVEN  <b>P.G.</b> PAINT GRADE  <b>PERF.</b> PERFORATE  <b>P.L.F.</b> POUNDS PER LINEAR FOOT  <b>PLAS LAM.</b> PLASTIC LAMINATE  <b>PLAS.</b> PLASTER  <b>PLYWD.</b> PLYWOOD  <b>PR.</b> PAIR  <b>PSI.</b> POUNDS PER SQUARE FOOT  <b>PSI.</b> POUNDS PER SQUARE INCH  <b>PT.</b> PRESSURE TREATED  <b>PART.</b> PARTITION  <b>P.T. DISP.</b> PAPER TOWEL DISPENSER  <b>P.V.C.</b> POLYVINYL CHLORIDE    <b>R.</b> RISER  <b>R.A.</b> RETURN AIR  <b>RAD.</b> RADIUS  <b>R.D.</b> ROOF DRAIN  <b>REG.</b> REGISTER  <b>REFRIG.</b> REFRIGERATOR  <b>REINF.</b> REINFORCED  <b>REIN.</b> REINFORCEMENT  <b>REOD.</b> REOIL  <b>REOMT.</b> REOILMENT  <b>RESIL.</b> RESILIENT  <b>REV.</b> REVERSED  <b>R.H.M.S.</b> ROUNDHEAD MACHINE SCREW  <b>R.H.W.S.</b> ROUNDHEAD WOOD SCREW  <b>RM.</b> ROOM  <b>R.O.</b> ROUGH OPENING  <b>R.O.W.</b> RIGHT OF WAY  <b>R.S.</b> RESAWN  <b>RUBB.</b> RUBBER  <b>RWD.</b> REDWOOD  <b>R.W.L.</b> RAIN WATER LEADER    <b>S.</b> SOUTH  <b>S.B.</b> SOLID BLOCKING  <b>S.C.</b> SOLID CORE  <b>SCHED.</b> SCHEDULE  <b>S.A.</b> STORM DRAIN  <b>SECT.</b> SECTION  <b>SERV.</b> SERVICE  <b>S.F.</b> SQUARE FOOT  <b>S.G.</b> STAIN GRADE  <b>SH.</b> SHELF/SHELVING  <b>SHWR.</b> SHOWER  <b>SHT.</b> SHEET  <b>SHTG.</b> SHEATHING  <b>SH.</b> SIMILAR  <b>S.S.</b> STAINLESS STEEL SERVICE    <b>S.S.D.</b> SEE STRUCTURAL DRAWINGS  <b>S.M.</b> SHEET METAL  <b>S.M.S.</b> SHEET METAL SCREW  <b>SPEC.</b> SPECIFICATION  <b>SQ.</b> SQUARE  <b>STL.</b> STEEL  <b>STD.</b> STANDARD  <b>STRGDRG.</b> STRAGGERED  <b>STOR.</b> STORAGE  <b>STRUC.</b> STRUCTURAL  <b>SUSP.</b> SUSPENDED  <b>SYMM.</b> SYMMETRY(CAL)  <b>SYST.</b> SYSTEM                 </p>	<p> <b>(XXX)</b> DOOR SYMBOL    <b>(◇)</b> WINDOW SYMBOL    <b>(X)</b> KEY TAG    <b>(XX)</b> DEMOLITION TAG    <b>---</b> MATCH LINE    <b>+</b> WORK POINT, DATUM POINT OR CONTROL    <b>(X)  </b> VERTICAL OR HORIZONTAL DIAPHRAGM KEY    <b>(X) AX.X</b> SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN    <b>(X) AX.X</b> DETAIL IDENTIFICATION SHEET WHERE DETAIL IS DRAWN    <b>+XXX X</b> FINISH GRADE (SPOT) ELEVATION SURFACE    <b>+XXX X</b> EXISTING GRADE (SPOT) ELEVATION SURFACE    <b>---</b> PROPERTY LINE    <b>(A)</b> REVISION                 </p>	<p> <b>PROPERTY OWNER</b>                        KEVIN KANIYE                      1222 PARK STREET #A                      ALAMEDA, CA 94501                      ph: _____                      Email: kevinkaniye@gmail.com                      KEVIN KANIYE    <b>TENANT / APPLICANT</b>                        PARK SOCIAL, LLC                      1017 ALBURN DRIVE                      ALAMEDA, CA 94502                      ph: (510) 847-7047                      Email: platinumuite@platinumuite.com                      Contact: AARON KRAW    <b>ARCHITECT</b>                        WALD, RUHNKE &amp; DOST ARCHITECTS, LLP                      2340 GARDEN ROAD, SUITE 100                      MONTEREY, CA 93940                      ph: (831) 649-4642 fax: (831) 649-3530                      Email: kent@wrdoch.com                      KENNETH TURGEN    <b>SCOPE OF WORK</b>                        1. CONVERT PORTION OF LOWER LEVEL FROM RESTAURANT / RETAILS USE TO CANNABIS DISPENSARY WITH SMOKING LOUNGE.                      2. NEW ENTRY DOOR, SIGNAGE AND FACADE PAINT.                      3. NO WORK TO OCCUR IN LOWER AND UPPER FLOOR RESIDENTIAL AREAS.                 </p>	<p> <b>PROJECT:</b> PARK SOCIAL  <b>LOCATION:</b> 1222 PARK STREET #A ALAMEDA, CA 94501    <b>APN:</b> 70-184-18  <b>ZONING:</b> C-C-T (COMMUNITY COMMERCIAL)    <b>CURRENT USE:</b> CODE #3100: SINGLE-TENANT RETAIL STORE w/ ATTACHED APARTMENT    <b>PROPOSED USE:</b> CANNABIS DISPENSARY / SMOKING LOUNGE w/ ATTACHED APARTMENT    <b>LOT SIZE:</b> 5,823 s.f. (0.134 ac.)  <b>TWO-STORY BUILDING:</b> LIVING 4,025 s.f.    <b>AREA OF WORK (RETAIL ONLY):</b> 2,550 s.f.  <b>HISTORIC STUDY LIST:</b> S    <b>APPLICABLE BUILDING CODES &amp; STANDARDS</b>  <b>CALIFORNIA CODE OF REGULATIONS (CCR):</b>                      2019 CALIFORNIA ADMINISTRATIVE CODE (CAC), CCR TITLE 24, PART 1                      2019 CALIFORNIA BUILDING CODE (CBC), CCR TITLE 24, PART 2, VOLUMES 1 AND 2                      2019 CALIFORNIA RESIDENTIAL CODE (CRC), CCR TITLE 24, PART 2.5                      2019 CALIFORNIA ELECTRICAL CODE (CEC), CCR TITLE 24, PART 3                      2019 CALIFORNIA MECHANICAL CODE (CMC), CCR TITLE 24, PART 4                      2019 CALIFORNIA PLUMBING CODE (CPC), CCR TITLE 24, PART 4                      2019 CALIFORNIA ENERGY CODE (CEC), CCR TITLE 24, PART 6  <b>PART 7 VACANT</b>                      2019 CALIFORNIA HISTORICAL BUILDING CODE (CHBC), CCR TITLE 24, PART 8                      2019 CALIFORNIA FIRE CODE (CFC), CCR TITLE 24, PART 9                      2019 CALIFORNIA EXISTING BUILDING CODE (CEBC), CCR TITLE 24, PART 10                      2019 CALIF. GREEN BUILDING STANDARDS CODE (CALGreen), CCR TITLE 24, PART 11                      2019 CALIFORNIA REFERENCED STANDARDS CODE, CCR TITLE 24, PART 12                      CCR TITLE 19, PUBLIC SAFETY, DIVISION 1, STATE FIRE MARSHAL    <b>PARTIAL LIST OF APPLICABLE STATE STANDARDS</b>                      2019 NFPA 13, AUTOMATIC SPRINKLER SYSTEMS (CA AMENDED)                      2019 NFPA 72, NATIONAL FIRE ALARM AND SIGNALLING CODE (CA AMENDED)                      EXITING:                      NOTE: THIS BUILDING OR SPACE SHALL PROVIDE A READILY DISTINGUISHABLE MEANS OF EGRESS COMPLYING WITH CHAPTER 10 AND CHAPTER 11 (WHERE APPLICABLE FOR ACCESSIBILITY PURPOSE) OF THE 2019 EDITION OF THE CALIFORNIA BUILDING CODE. THE EXIT SYSTEM SHALL MAINTAIN A CONTINUOUS, UNOBSTRUCTED AND UNDIMINISHED PATH OF EXIT TRAVEL FROM ANY OCCUPIED POINT WITHIN THE BUILDING TO A PUBLIC WAY.                 </p>	<p> <b>SHT. #</b> SHEET TITLE                      TITLE COVER SHEET                      A001    <b>ARCHITECTURAL</b>                      D201 DEMOLITION FLOOR PLAN                      D401 DEMOLITION EXTERIOR ELEVATIONS                      A201 PROPOSED FLOOR PLAN                      A230 ROOF PLAN                      A401 PROPOSED EXTERIOR ELEVATIONS                 </p>							
<p align="center"><b>GENERAL NOTES</b></p> <ol style="list-style-type: none"> <li>THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS. GENERAL CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION AND CORRECTION PRIOR TO BEGINNING ANY WORK.</li> <li>THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK AND THE COORDINATION OF ALL TRADES AND GOVERNING AGENCIES, AND SHALL PROVIDE ALL MATERIALS AND LABOR (SHOWN OR INFERRED) ON THESE PLANS TO RENDER THE WORK COMPLETE.</li> <li>IT SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY FOR THE SUPERVISION OF THE WORK.</li> <li>THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION OF THE WORK OR THE PROPER EXECUTION OF THE SAME.</li> <li>WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY, PRIOR TO COMMENCEMENT OF WORK.</li> <li>THESE DRAWINGS SHALL BE CONSIDERED SUBSTANTIALLY COMPLETE. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO RENDER THE WORK COMPLETE, AS IS THE INTENT OF THESE DRAWINGS, EITHER SHOWN OR INFERRED HEREIN, THROUGH PROPER AND ESTABLISHED CONSTRUCTION PRACTICES.</li> <li>EXISTING CONSTRUCTION DETAILS SHOWN HEREIN ARE ASSUMED TO BE SUBSTANTIALLY CORRECT AND MAY NOT DEPICT THE ACTUAL CONDITION. THE GENERAL CONTRACTOR SHALL VERIFY (E) CONDITIONS AND NOTIFY THE ARCHITECT ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.</li> <li>THE CONTRACTOR SHALL OBTAIN AN 8-1-1 / DIG ALERT TICKET PRIOR TO ISSUANCE AND SHALL MAINTAIN THE TICKET IN ACTIVE STATUS THROUGHOUT THE PROJECT. TICKET SHALL BE ON SITE FOR REFERENCE AT THE TIME OF CITY INSPECTIONS.</li> <li>THE CONTRACTOR SHALL OBTAIN A WRITTEN CERTIFICATION FROM A STATE REGISTERED SURVEYOR VERIFYING THAT THE FOOTINGS / FOUNDATION IS LOCATED IN RELATION TO PROPERTY LINES AND SETBACK REQUIREMENTS IN ACCORDANCE WITH THE APPROVED PLANS, AND SHALL OBTAIN A WRITTEN CERTIFICATION THAT THE ROOF HEIGHT IS IN ACCORDANCE WITH THE APPROVED PLANS. CERTIFICATION OF THE FOOTING LOCATIONS SHALL BE PROVIDED TO THE INSPECTOR AT THE TIME OF FOOTING INSPECTION. CERTIFICATION OF THE ROOF HEIGHT SHALL BE PROVIDED TO THE INSPECTOR AT THE TIME OF THE SHEATHING INSPECTION.</li> </ol>												
<p align="center"><b>VICINITY MAP</b></p>					<p align="center"><b>SITE PLAN</b></p>							
<p> <b>ADJACENT BUILDING</b>                      PROPERTY LINE 116.50'                      DRIVEWAY                      APARTMENT PARKING                      APARTMENT - NO WORK                      AREA OF WORK                      PROPERTY LINE 116.50'                      DRIVEWAY                      ADJACENT PROPERTY                      ADJACENT BUILDING                      PUBLIC WALK                      PROPERTY LINE 50.0'                      PROPERTY LINE 50.0'                      ADJACENT RESIDENTIAL PROPERTY                        PARK STREET                        PLAN NORTH                      TRUE NORTH                      N.T.S.                 </p>												
<p>                     JOB NO.: 20041                      PRINT DATE: 4/13/2020                      PLOT DATE: 4/13/2020                      DRAWN BY: JTI                      CHECKED BY: KT                      SET ISSUED: 04.14.2020 USE PERMIT SUBMITTAL                        SHEET NAME:                        COVER SHEET                      SHEET NO.: A001                      FILE NAME: 20041-A001                 </p>												

PARK SOCIAL  
 1222 PARK STREET - ALAMEDA  
 PARK SOCIAL  
 1222 PARK STREET - #A  
 ALAMEDA, CA 94501  
 A.P.N.: 70-184-18

**DEMO GENERAL NOTES**

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DOCUMENTS AND FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING. ALL ELEMENTS NOT SHOWN TO REMAIN ARE TO BE DEMOLISHED PER ARCHITECT'S APPROVAL.
2. CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS THAT ARE NOT SCHEDULED FOR REMOVAL FROM DAMAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED TO THE ITEMS TO REMAIN.
3. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.
4. PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM EMANATING FROM DEMOLITION/CONSTRUCTION AREA. KEEP AREA CLEAN.
5. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.
6. THE ELECTRICAL CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHT AND POWER IN THE SPACE DURING CONSTRUCTION, INCLUDING PROVISIONS FOR EMERGENCY LIGHTING.
7. REMOVE ALL EXISTING TILE WHERE OCCURS, U.O.N. REMOVE ALL EXISTING IRREGULAR MATERIALS WHICH CAUSE RISES OR DEPRESSIONS IN FLOORING SURFACE, SUCH AS FASTNERS, OUTLET CORES, COVER PLATES, CARPET PADS, FLASH PATCH, CONCRETE FILL, PLYWOOD, ETC.
8. DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
9. REMOVE TO SOURCE AND CAP ALL PIPES, VENTS, APPLIANCES AND/OR DRAINS NOT BEING RE-USED.
10. ALL DOORS, FRAMES, HARDWARE, MECHANICAL ITEMS, PLUMBING FIXTURES, LIGHT FIXTURES (INCLUDING DOWNLIGHTS & FLUORESCENTS), AND SPECIAL EQUIPMENT TO BE DEMOLISHED EXCEPT AS SPECIFICALLY EXCLUDED BECOMES PROPERTY OF THE CONTRACTOR AND SHOULD BE REMOVED FROM THE PREMISES.
11. GENERAL CONSTRUCTION CONTRACTOR SHALL PROVIDE APPROPRIATE WEATHER PROTECTION OF EXISTING STRUCTURE WHEN DEMOLITION WORK CAUSES EXPOSURE OF EXISTING CONSTRUCTION TO THE ELEMENTS.
12. PATCH AND REPAIR WALL SURFACES TO REMAIN TO MATCH SCHEDULE FINISHES AFTER COMPLETION OF DEMOLITION WORK AND INSTALLATION OF NEW PARTITIONS AND/OR NEW DOORS AND WINDOWS.
13. AT ALL WALLS TO REMAIN, REFER TO DRAWINGS FOR TREATMENT OF EXISTING SURFACES OTHER THAN PAINT. PATCH AND FILL WALLS, PREP FOR NEW FINISH.
14. CONTRACTOR SHALL LEGALLY DISPOSE OF ANY MATERIAL SCHEDULED FOR DEMOLITION.

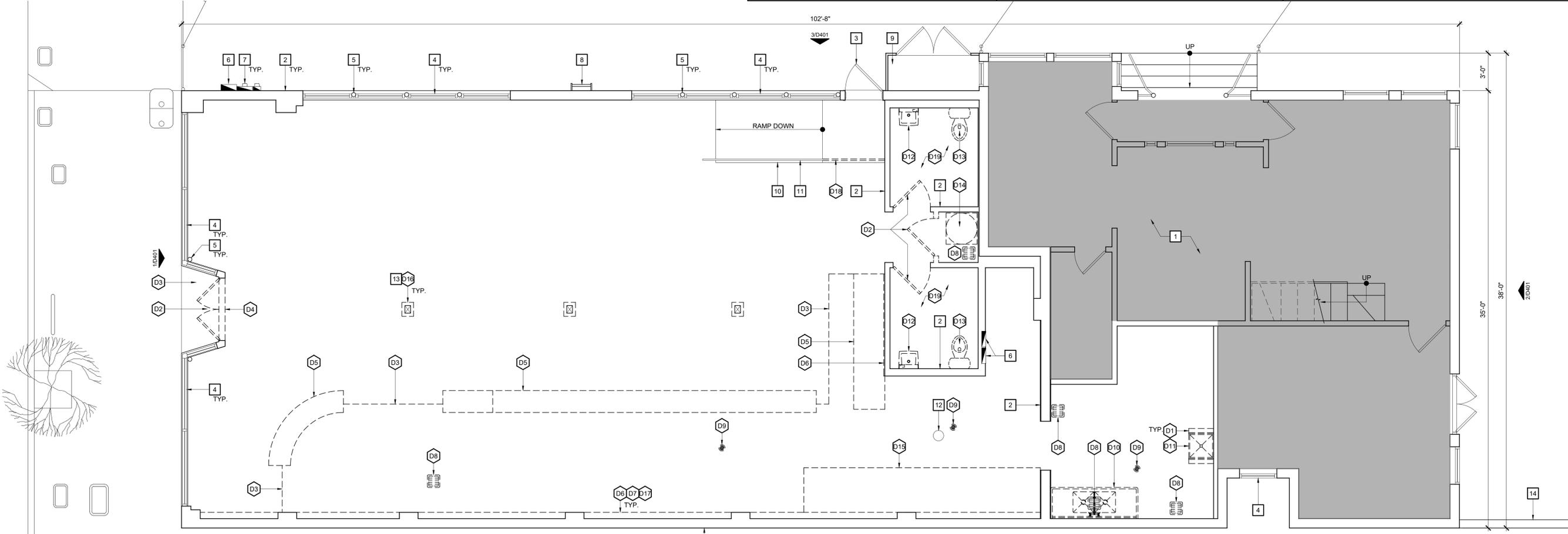
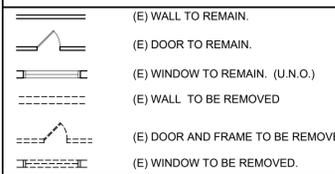
**DEMOLITION NOTES**

- THE DEMOLITION NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.
- D1 REMOVE WALL, OR PORTION OF WALL, TO ACCOMMODATE NEW WORK.
  - D2 REMOVE EXISTING DOOR.
  - D3 REMOVE ALL FLOOR COVERINGS DOWN TO CONCRETE SLAB.
  - D4 REMOVE THRESHOLD PLATE.
  - D5 REMOVE ALL COUNTERS AND CABINETRY.
  - D6 REMOVE ALL SSTL BACKSPASH SHEETS.
  - D7 REMOVE PLUMBING ALONG WALL - CAP AT NEAREST SOURCE.
  - D8 REMOVE FLOOR SINK - CAP AT NEAREST SOURCE.
  - D9 REMOVE FLOOR DRAIN - COVER OPENING LEVEL WITH SLAB.
  - D10 REMOVE EXISTING KITCHEN EQUIPMENT / SSTL SINK ENTIRELY.
  - D11 REMOVE JANITOR SINK - CAP PLUMBING AT NEAREST SOURCE.
  - D12 REMOVE BATHROOM SINK - CAP PLUMBING AT NEAREST SOURCE.
  - D13 REMOVE TOILET AND ASSOCIATED APPURTENANCES - CAP PLUMBING AT NEAREST SOURCE.
  - D14 REMOVE WATER HEATER - CAP PLUMBING AT NEAREST SOURCE.
  - D15 REMOVE REFRIGERATION UNIT IN ITS ENTIRETY.
  - D16 REMOVE COLUMN FURRING.
  - D17 REMOVE FURRING ALONG SOUTH WALL.
  - D18 PORTION OF METAL HANDRAIL TO BE REMOVED.
  - D19 REMOVE RESTROOM FLOOR AND WAINSCOT TILE.

**KEY NOTES**

- THE NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.
- 1 SHADED AREA (APARTMENTS) NOT IN SCOPE OF WORK.
  - 2 EXISTING WALL, OR PORTION OF WALL, TO REMAIN.
  - 3 EXISTING DOOR TO REMAIN.
  - 4 EXISTING WINDOW TO REMAIN.
  - 5 EXISTING PIPE COLUMN TO REMAIN.
  - 6 EXISTING ELECTRICAL PANEL.
  - 7 EXISTING ELECTRICAL METER.
  - 8 EXISTING ROOF ACCESS LADDER TO REMAIN.
  - 9 EXISTING STORAGE ENCLOSURE TO REMAIN.
  - 10 EXISTING CONCRETE RAMP TO REMAIN.
  - 11 PORTION OF EXISTING METAL HANDRAIL TO REMAIN.
  - 12 EXISTING CLEANOUT TO REMAIN.
  - 13 EXISTING STRUCTURAL WOOD COLUMN.
  - 14 EXISTING 60" HEIGHT CMU PATIO WALL.

**LEGEND**



PLAN NORTH  
**DEMOLITION LOWER FLOOR PLAN**  
SCALE: 1/4"=1'-0"

**PARK SOCIAL**  
**1222 PARK STREET - ALAMEDA**  
PARK SOCIAL  
1222 PARK STREET - #A  
ALAMEDA, CA 94501

JOB NO.:  
**20041**  
PRINT DATE:  
PLOT DATE: 4.13.2020  
DRAWN BY: JTI  
CHECKED BY: KT  
SET ISSUED:  
04.14.2020 USE PERMIT SUBMITTAL

SHEET NAME:  
**DEMOLITION FLOOR PLAN**

SHEET NO.:  
**D201**  
FILE NAME: 20041-D201

A.P.N.: 70-184-18

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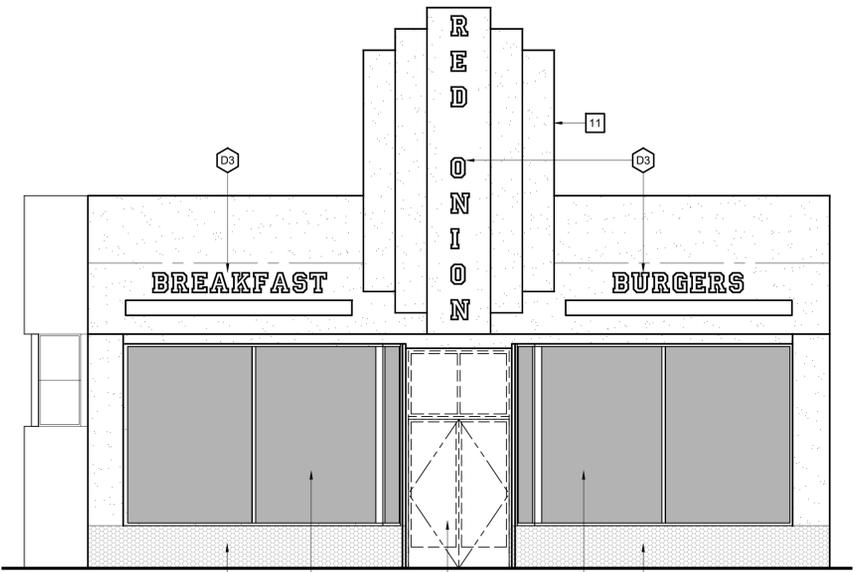
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 1222 PARK STREET - ALAMEDA  
 A.P.N.: 70-184-18  
 PARK SOCIAL  
 1222 PARK STREET - #A  
 ALAMEDA, CA 94601

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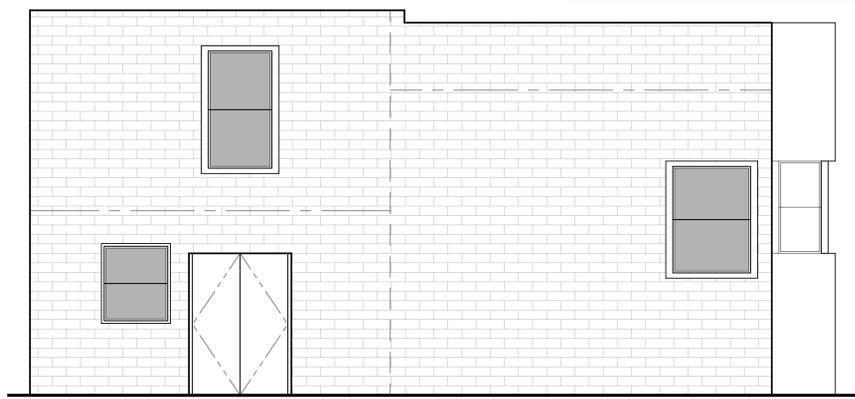
SHEET NAME:  
**DEMOLITION EXTERIOR ELEVATIONS**

SHEET NO.:  
**D401**  
 FILE NAME: 20041-D401

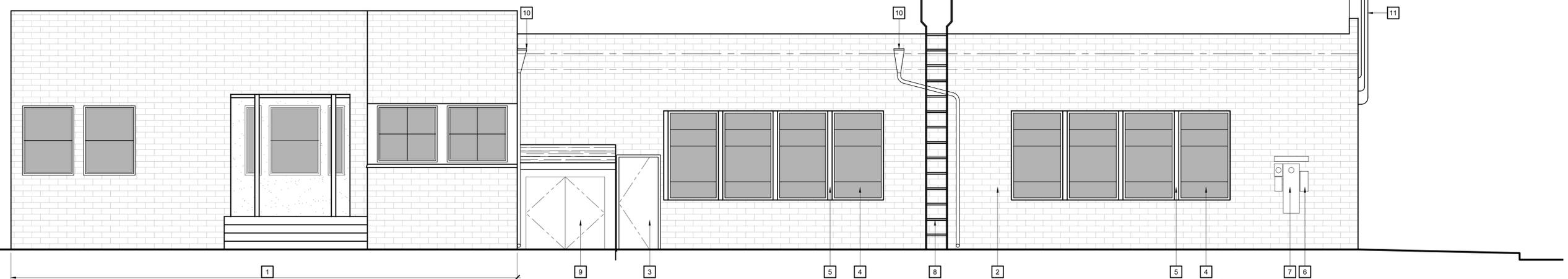
DEMOLITION NOTES	KEY NOTES
<p>THE DEMOLITION NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.</p> <p>D1 REMOVE EXISTING DOOR PAIR, TRANSOM AND FRAME.            D2 REMOVE TILE FACE BELOW STOREFRONT WINDOWS.            D3 REMOVE EXISTING NEON LIGHT SIGNAGE.</p>	<p>THE NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.</p> <p>1 APARTMENTS - NOT IN SCOPE OF WORK.            2 EXISTING BRICK WALL.            3 EXISTING DOOR TO REMAIN.            4 EXISTING WINDOW TO REMAIN.            5 EXISTING PIPE COLUMN TO REMAIN.            6 EXISTING ELECTRICAL PANEL.            7 EXISTING ELECTRICAL METER.            8 EXISTING ROOF ACCESS LADDER TO REMAIN.            9 EXISTING STORAGE ENCLOSURE TO REMAIN.            10 EXISTING SCUPPER / DOWNSPOUT TO REMAIN.            11 EXISTING 'MARQUEE' TOWER TO REMAIN.            12 EXISTING CMU BLOCK PATIO WALL TO REMAIN.</p>



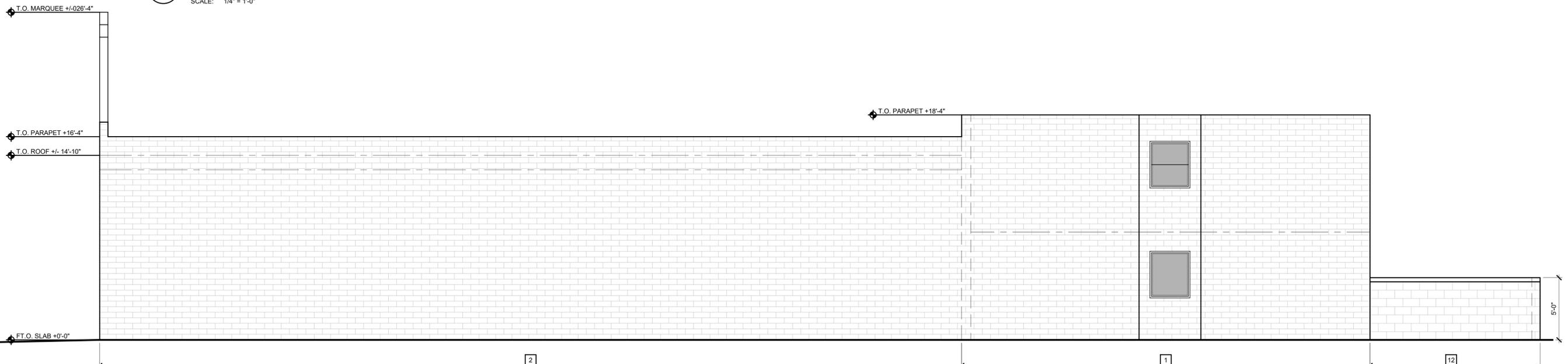
**1 EXTERIOR ELEVATION**  
 SCALE: 1/4" = 1'-0"



**2 EXTERIOR ELEVATION**  
 SCALE: 1/4" = 1'-0"

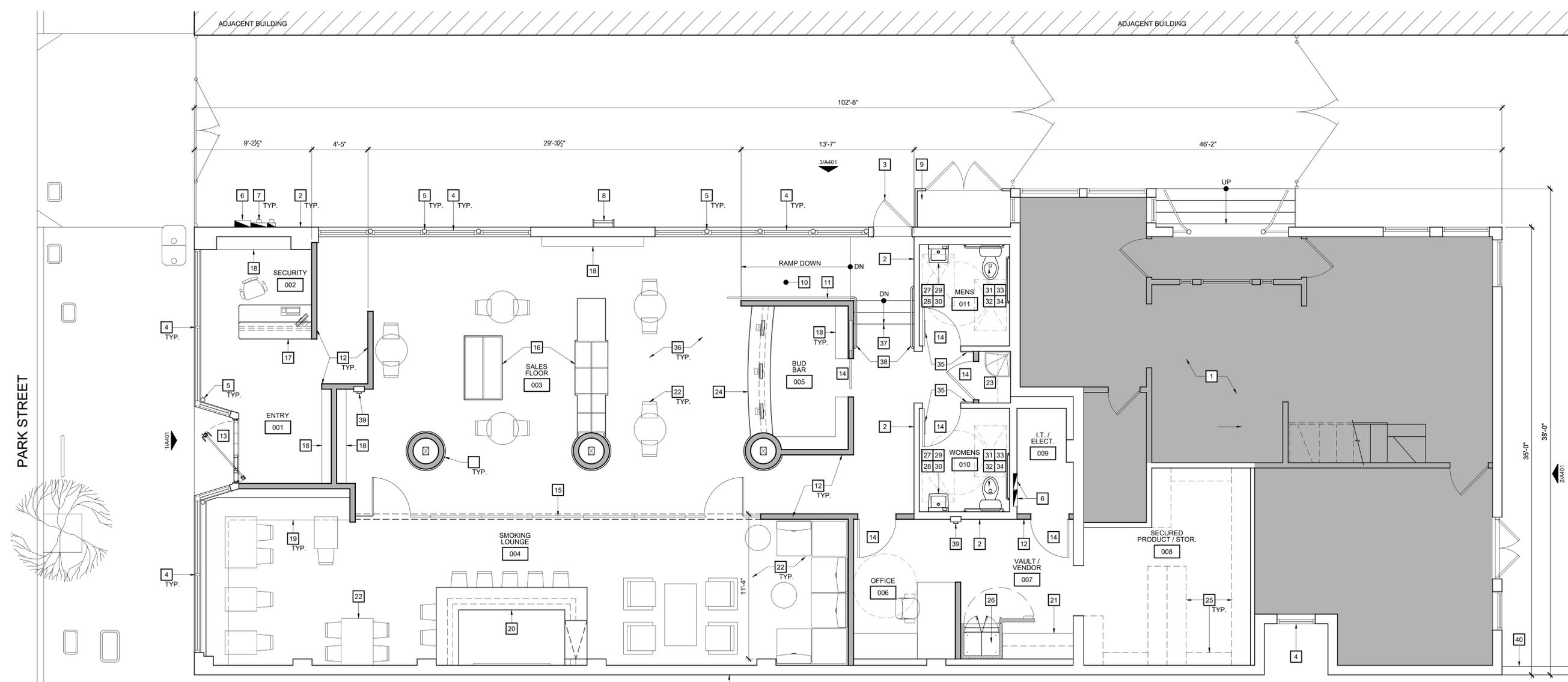


**3 EXTERIOR ELEVATION**  
 SCALE: 1/4" = 1'-0"



**4 EXTERIOR ELEVATION**  
 SCALE: 1/4" = 1'-0"

LEGEND	KEY NOTES	
(E) WALL TO REMAIN.	THE NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.	
(E) DOOR TO REMAIN.	1 SHADED AREA (APARTMENTS) NOT IN SCOPE OF WORK.	16 NEW DISPLAY SYSTEM.
(E) WINDOW TO REMAIN.	2 EXISTING WALL.	17 NEW SECURITY COUNTER.
(N) WALL, SEE DETAIL 1/A901	3 EXISTING DOOR.	18 NEW ENTRANCE FEATURE WALL.
(N) DOOR, SEE DOOR SCHEDULE	4 EXISTING WINDOW.	19 NEW BUILT-IN SEATING.
	5 EXISTING PIPE COLUMN.	20 NEW PRODUCT SERVICE BAR.
	6 EXISTING ELECTRICAL PANEL.	21 NEW SECURE CASEWORK.
	7 EXISTING ELECTRICAL METER.	22 NEW FURNISHINGS - TBD.
	8 EXISTING ROOF ACCESS LADDER.	23 NEW FLOOR MOUNTED MOP SINK.
	9 EXISTING STORAGE ENCLOSURE.	24 NEW 'BUD BAR' P.O.S. COUNTER.
	10 EXISTING CONCRETE RAMP.	25 VAULT STORAGE RACKS.
	11 PORTION OF EXISTING METAL HANDRAIL TO BE RE-USED.	26 NEW SAFE.
	12 NEW WALL, OR INFILL PORTION OF WALL.	27 NEW WALL MOUNTED SINK PER ACCESSIBILITY REQUIREMENTS.
	13 NEW GLASS PIVOT ENTRY DOOR.	28 NEW MIRROR.
	14 NEW DOOR.	29 NEW SOAP DISPENSER.
	15 NEW GLASS WALL / DOOR SYSTEM.	30 NEW PAPER TOWEL DISPENSER / PAPER TOWEL DISPOSAL.
		31 NEW TOILET SHALL MEET MINIMUM CALGREEN WATER CONSERVING STANDARDS OF 1.28 GALLONS PER FLUSH.
		32 BOBRICK B-35745 RECESSED COMBINATION TOILET PAPER / SEAT COVER DISPENSER, SANITARY NAPKIN DISPOSAL.
		33 BOBRICK B-6806 SERIES 42" GRAB BAR.
		34 BOBRICK B-6806 SERIES 48" GRAB BAR.
		35 NEW TACTILE RESTROOM SIGNAGE.
		36 NEW FLOOR FINISH THROUGHOUT - TBD.
		37 NEW STEPS.
		38 NEW METAL HANDRAIL (EXTENSION OF EXISTING).
		39 NEW SEMI RECESSED WALL MOUNTED FIRE EXTINGUISHER TYPE 2A-10BC TO MEET NFPA 10 MIN. STANDARD. ONE FIRE EXTINGUISHER PER 3,000 S.F. OR FRACTION THEREOF. MAX TRAVEL DISTANCE FROM ANY SPOT WITHIN THE SUITE TO EXTINGUISHER SHALL NOT EXCEED 75 FEET. MOUNT EXTINGUISHER AT ACCESSIBLE HEIGHT.
		40 EXISTING 60" HEIGHT CMU PATIO WALL.
		41 NEW DECORATIVE COLUMN.



PLAN NORTH  
**PROPOSED LOWER FLOOR PLAN**  
 SCALE: 1/4"=1'-0"

PARK SOCIAL  
 1222 PARK STREET - ALAMEDA  
 PARK SOCIAL  
 1222 PARK STREET - #A  
 ALAMEDA, CA 94501  
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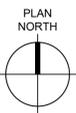
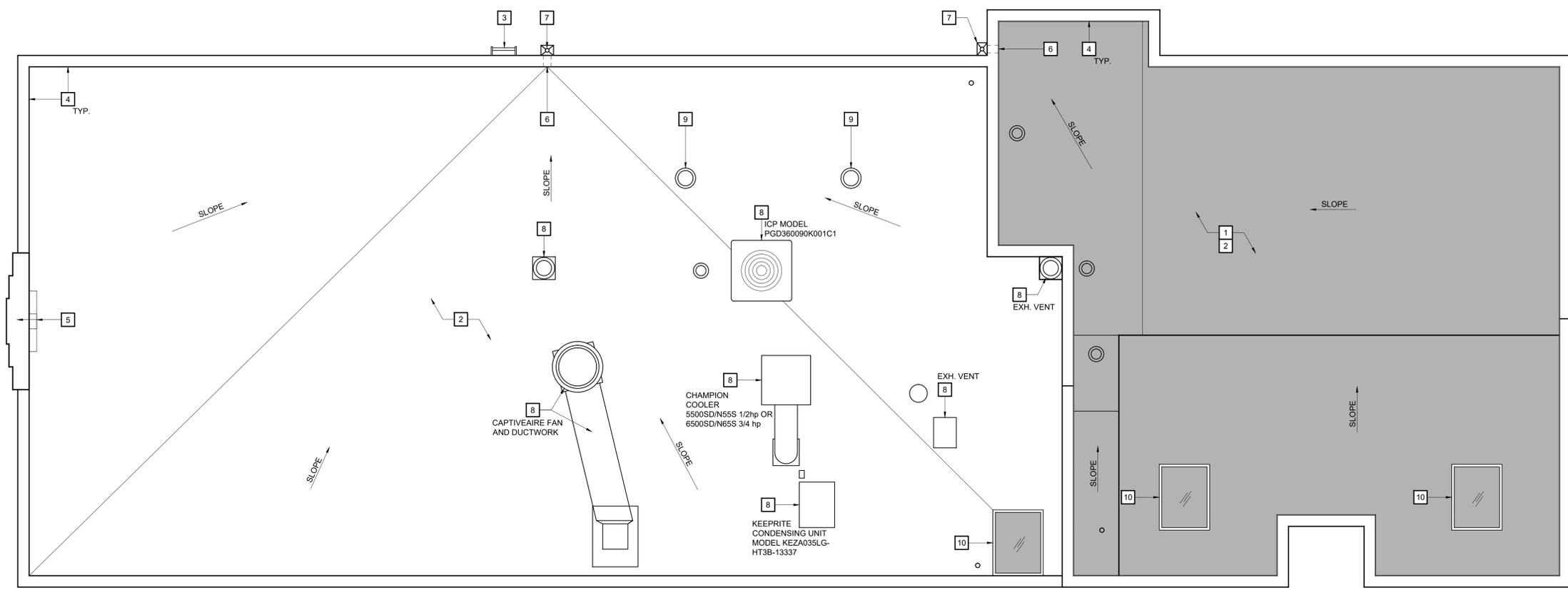
SHEET NAME:  
**PROPOSED LOWER FLOOR PLAN**

SHEET NO.:  
**A201**  
 FILE NAME: 20041-A201

**KEY NOTES**

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- 1 SHADED AREA (APARTMENTS) NOT IN SCOPE OF WORK.
- 2 EXISTING BUILT-UP ROOF SYSTEM TO REMAIN.
- 3 EXISTING ROOF ACCESS LADDER.
- 4 EXISTING PARAPET.
- 5 EXISTING MARQUIS AND LIGHTING JUNCTION BOX.
- 6 EXISTING DRAIN OPENING IN PARAPET.
- 7 EXISTING SCUPPER / DOWNSPOUT.
- 8 EXISTING MECHANICAL EQUIPMENT.
- 9 EXISTING TURBINE VENT.
- 10 EXISTING SKYLIGHT.



**ROOF PLAN**  
SCALE: 1/4"=1'-0"

**PARK SOCIAL**  
**1222 PARK STREET - ALAMEDA**

PARK SOCIAL  
1222 PARK STREET - #A  
ALAMEDA, CA 94601

70-184-18

A.P.N.:

JOB NO.:  
**20041**

PRINT DATE:

PLOT DATE: 4.13.2020

DRAWN BY: JTI

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04.14.2020 SUBMITTAL

SHEET NAME:

**ROOF PLAN**

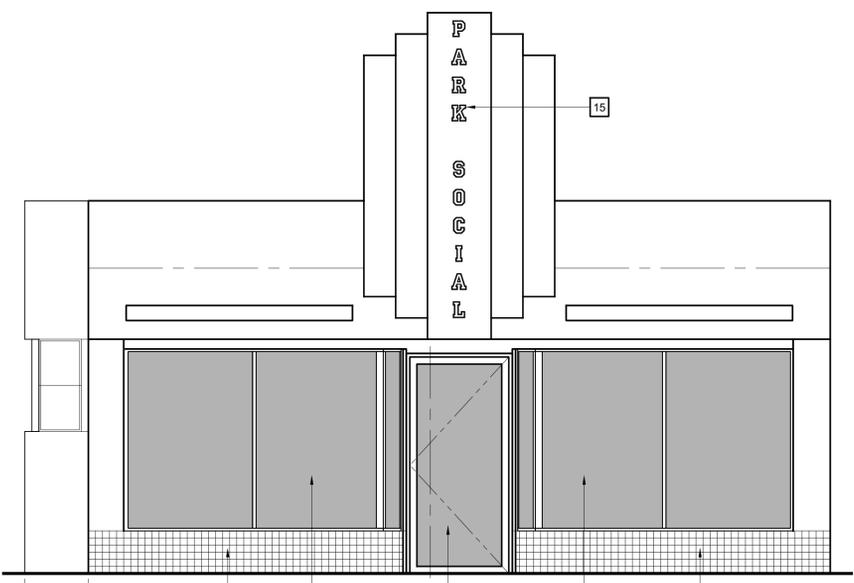
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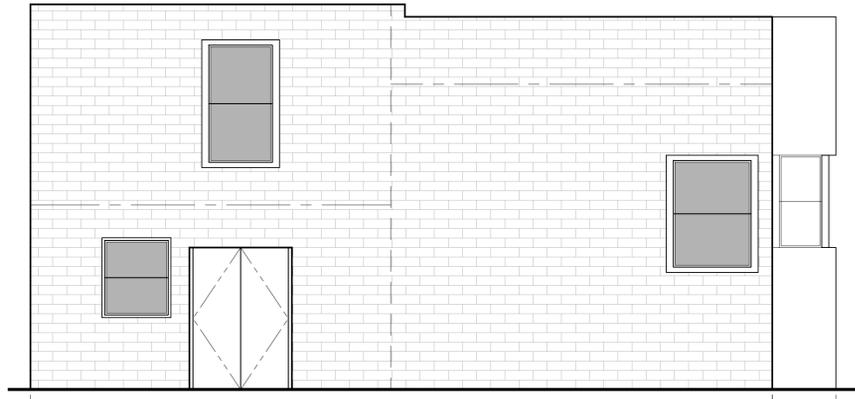
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**KEY NOTES**

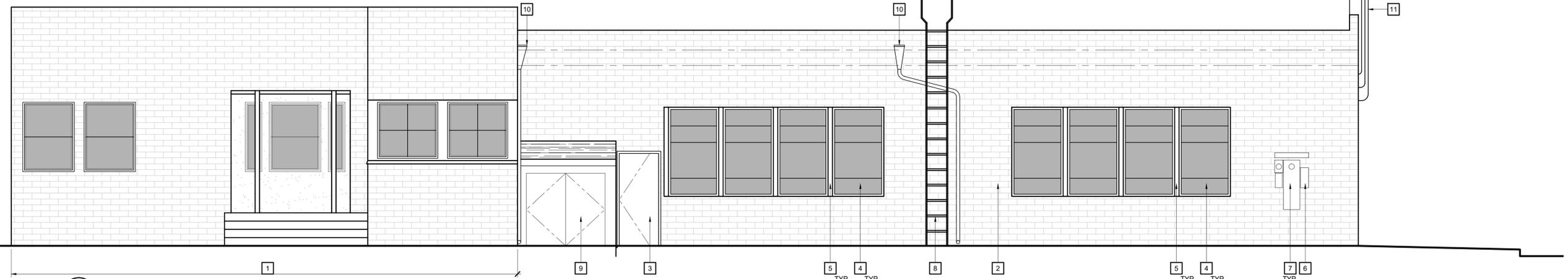
- 1 APARTMENTS - NOT IN SCOPE OF WORK.
- 2 EXISTING BRICK WALL.
- 3 EXISTING DOOR TO REMAIN.
- 4 EXISTING WINDOW TO REMAIN.
- 5 EXISTING PIPE COLUMN TO REMAIN.
- 6 EXISTING ELECTRICAL PANEL.
- 7 EXISTING ELECTRICAL METER.
- 8 EXISTING ROOF ACCESS LADDER TO REMAIN.
- 9 EXISTING STORAGE ENCLOSURE TO REMAIN.
- 10 EXISTING SCUPPER / DOWNSPOUT TO REMAIN.
- 11 EXISTING 'MARQUEE' TOWER TO REMAIN.
- 12 EXISTING CMU BLOCK PATIO WALL TO REMAIN.
- 13 NEW GLASS PIVOT DOOR TO FIT 5'-0" WIDE x 11'-0" HIGH OPENING.
- 14 NEW 4" SQ. CERAMIC TILE BELOW STOREFRONT WINDOWS.
- 15 NEW BUSINESS SIGNAGE.



**1 EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



**3 EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"



**4 EXTERIOR ELEVATION**  
SCALE: 1/4" = 1'-0"

**PARK SOCIAL**  
**1222 PARK STREET - ALAMEDA**

PARK SOCIAL  
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SHEET NAME:  
**PROPOSED EXTERIOR ELEVATIONS**

SHEET NO.:

**A401**