



April 5, 2023

(By electronic transmission)
Planning Board and Historical Advisory Board
City of Alameda
2263 Santa Clara Avenue
Alameda, CA 94501

Subject: Objective design review standards (Item 7-C on Historical Advisory Board’s 4-6-23 agenda and Item 5-A Planning Board’s 4-10-23 agenda) –AAPS comments.

Dear Boardmembers:

The Alameda Architectural Preservation Society (AAPS) would again like to thank the Planning Board and staff for revisiting the Objective Design Review Standards and for including the Historical Advisory Board (HAB) in the discussion.

We have the following recommendations and comments on the standards, which are supplemented and/or expressed in more detail in the attachments, especially Attachment 1 for the Multifamily Standards and Attachment 2 for the 1-2 Unit Standards. We have previously submitted most of these comments, but some have been modified or supplemented by new comments, in some cases in response to the staff report proposals.

A. General Comment- Relative permissiveness of the objective standards vs. existing discretionary design review criteria. Although language in Section 65913.4 of the California Government Code (housing accountability act) seems open to interpretation, it appears that the standards apply to “housing development projects” involving residential units (emphasis on plural added), and therefore meaning multi-unit housing development projects regardless of affordability.

Except for projects with high levels of affordability as discussed in Item B.8 below, the standards should therefore be **no more permissive than the existing design review criteria (including the Citywide Design Review Manual) and possibly less permissive given the streamlined process that the standards make available.** Applicants who find the standards to be too restrictive can always opt for discretionary design review.

B. Multi Family Standards

- 1. Expand the TDA to include all of the Webster Street Business District and all of the North Park Street area.** The traditional development area (TDA) approach is a very good solution for addressing the Planning Board's desire to allow greater design flexibility in some parts of Alameda while still promoting design consistency with existing buildings in Alameda's older and historic neighborhoods. Under this approach, the context standards and certain other standards apply only within the TDA. The City Council-adopted Webster Street Design Manual and the Webster Street Vision Plan seek to promote a traditional design character for the entire Webster Street Business District, not just the portion south of Pacific Avenue as shown on the TDA map.

Similarly, the Citywide Design Review Manual emphasizes traditional architectural styles for the entire North Park Street area. Inclusion within the TDA is especially important for the historic residential areas east and west of Park Street and north of Tilden Way, which contains some of Alameda's oldest buildings. It is surprising that this area was excluded. See attached 2008 report from former Historical Advisory Boardmember Judith Lynch (Attachment 3). However, Park Street north of Buena Vista Avenue and some portions of Clement and Blanding Avenues have relatively few pre-1942 buildings and might be excluded from the TDA.

- 2. Consider defining the context area for Park Street, Webster Street and the "stations" as the entire area of each district, rather than using the five lot/250 foot method.** The five lot/250 foot method is not well-suited to the historic business districts due to the frequent wide range of historical architectural styles and, at some locations, significant gaps in the historic fabric due to parking lots, gas stations and other incompatible elements. The reference buildings would still be pre-1942 structures.

The details for implementing this methodology would still need to be fleshed out. Possible options include selecting the reference buildings from those with "N" or "S" ratings from the Historic Building Study List or, alternatively, a list of "thematic buildings" within each district or possibly all of the districts.

- 3. Section 6C -- Selecting reference buildings or reference features for projects within the TDA: Either delete Option 3 (adjacent buildings) or rank Options 1-3 in order of preference. In all cases allow the applicant to use Option 4.** Allowing the applicant to select Option 3 risks eroding the neighborhood's architectural character if the adjacent buildings are architecturally undistinguished and are inconsistent with the rest of the context area.
- 4. Section 6D8 -- Neighborhood Context Standards -- Details.** Require that all of the architectural details, or perhaps just "priority details", in the neighborhood context section's architectural details list be reflected in the project, rather than just two of these details. Several of the details, such as cornices, porch columns and window and corner trim, if they exist within the context, can be critical to a project's consistency with the context. However, some of the details on the list could be omitted or not considered

“priority”, such as trellis awnings and bay windows. See Attachment 1 for specific recommendations.

5. **Façade composition.** Architectural façade offsets as a design enhancement option are not that critical and could even be deleted. Maintaining coherent façade composition and rhythm is much more important and several additional standards within the TDA may be needed to achieve this. We have previously provided examples of these additional standards. See the examples of such standards in the attached 10/4/19 draft (revised 1/5/21) that was previously submitted to the Planning Board (Attachment 4).
6. **Windows.** The Housing Authority has expressed concerns that the 6”, 4” and 2” inset window provisions could add significant project costs. AAPS believes that these provisions are not necessary and could be deleted, unless the façade material is brick, in which case, a 4” inset would be desirable. A ¾” inset, not including trim, is usually sufficient, consistent with historic practice and should be required for all street-facing elevations within the TDA.

In addition within the TDA, non-storefront windows on street-facing elevations should have a wood-like appearance or, for certain styles, resemble early 20th century steel windows to maintain consistency with the TDA’s predominantly traditional architecture. To accomplish this for wood-like windows, consistency with the typical wood window dimensions in the City’s Design Review Manual’s window diagram is very important, although there could, perhaps, be additional flexibility in the dimensions. The diagram is on Page 13 of 15 of Attachment 1 and also includes typical dimensions for early 20th century steel windows (derived from other City of Alameda Design Review materials), which should be used as a basis for windows in new buildings where an industrial sash or other early 20th century steel window look is proposed. We previously provided text for integrating this diagram into the standards and can do so again if this would be helpful.

We have suggested modifications to the dimensions in the attached diagram to provide more flexibility. In addition to the changes shown on the diagram, the 3/8” recess of the glazing from the surrounding stiles and rails and for the thickness of any muntins as shown on the diagram should be changed to 5/16”.

We are researching staff’s concerns regarding the cost effectiveness and waterproofing issues for various window options and have been in discussions with staff, architects and contractors. Window issues are complex and will need more analysis following the April 6 and April 10 meetings.

7. **Continue horizontal lines from neighboring buildings in cornices, tops and bottoms of windows and other horizontal elements.** This helps maintain architectural cohesiveness within block faces. Prior to the early 20th century, this was standard practice in most areas with attached buildings and/or buildings with narrow side yards. It is highly evident in the older parts of European cities and older US cities and it is still discernible along older portions of Park Street and many other older parts of Alameda.

This provision is similar to the language in Section 4.2 of the Webster Street Design Manual. (See Attachment 5, Page 2)

8. **Relax some of the standards within the TDA and elsewhere for 100% affordable housing projects to address Alameda Housing Authority comments.** There has been concern that the objective standards may contain provisions that would significantly increase affordable housing development costs. This is a very important consideration. A possible strategy might be a two-tier system, with less stringent standards for projects that are 100% affordable (or based on some other appropriately high percentage threshold). We believe that Alameda Housing Authority projects are normally 100% affordable or contain at least a much higher percentage of affordable units than typical for-profit development.

We reviewed the Alameda Housing Authority's February 10, 2021 email to planning staff (Attachment 6) and consider it to be a good starting point for refining the standards to be more responsive to affordable housing projects. On February 18, members of AAPS and the West Alameda Business Association (with whom AAPS has been working closely on the standards) had a very good conversation with Housing Authority staff, reached agreement on several issues and agreed to work further on resolution of other issues.

C. 1-2 Unit Standards

As we have previously stated, we believe that the 1-2 unit standards are generally very good, especially the stated intent that the overall approach is to require any additions or alterations to match the existing building as is currently set forth in the City's Guide to Residential Design. However, some provisions need some clarifications and refinements:

1. **Adversely altered buildings.** If the building's original architecture has been adversely altered (including windows, surface materials and/or detailing incompatible with the building's original architectural style), language should be added to the standards requiring the new work to conform with the original architectural treatments. The language in Section 6E of the Multi-Family Standards might be useful for this purpose.
2. **Windows.** Require new windows to be consistent with the City's Replacement Window Styles Guide (Attachment 7), including the diagrams for wood and metal windows, with the understanding that alternative materials are permitted as long as the windows conform with the diagram dimensions and other provisions. See also Comment B.6 above.
3. **Modification of golden mean requirement to facilitate lifting of buildings with raised basements to create habitable space.** These comments respond to the staff report proposal. In areas where high water tables would significantly increase the costs or feasibility of conforming with the golden mean, the following techniques to achieve substantial conformity with the golden mean should be considered:
 - a. Raise surrounding grade along the street-facing elevations.

- b. Reposition existing water tables (or in the few cases where the existing building does not have a water table), provide a water table or other substantial horizontal molding (perhaps with an 8” minimum height) near the top of the basement level to give the appearance of golden mean conformity when viewed from the exterior rather than the existing method that is based only on the positioning of the interior floors and ceilings.

Alternatively, the existing building can be raised to allow a full first floor, thereby converting the existing one-story/raised basement building to a full two-story building with the existing porch/entry elements relocated to the new first floor level, as already provided in the Guide to Residential Design, Preferably this would be positioned directly below the existing entry location, including relocation of columns, moldings, railings and other character-defining features and with the new first floor to visually read as at least 1’ above surrounding grade.

4. Apply the Multifamily Standards context provisions to new 1-2 unit construction to vacant lots and the front portion of a developed lot. Add the following provision:

“New construction on vacant lots or the front portion of a developed lot shall conform with the context section of the Multi-Family Objective Design Review Standards, even if this results in a design that does not conform with any existing building on the lot”.

See Attachment 2’s marked-up pages for specific and relatively minor additional comments.

Going forward, we recommend that a joint meeting of the Planning Board and HAB be scheduled to help ensure that HAB comments are fully communicated to the Planning Board. Staff’s proposal to “verbally” provide HAB comments from April 6 to the Planning Board on April 10 will probably not be sufficient. In the past, HAB comments on the Objective Design Review Standards and the Housing Element were either not fully communicated to the Planning Board or not communicated at all.

Thank you for the opportunity to comment. Please contact me at (510) 523-0411 or cbuckleyAICP@att.net if you would like to discuss these comments.

Sincerely,

Christopher Buckley, Chair
Preservation Action Committee
Alameda Architectural Preservation Society

- Attachments: (1) Marked up Multifamily ODRS
(2) Marked up 1–2 unit ODRS
(3) North of Lincoln Historic Building Report by Judith Lynch
(4) Recommended additional standards to address façade composition and details

- (5) Pages from Webster Street Design Manual
- (6) 2/10/21 email from AHA to Allen Tai
- (7) City of Alameda Replacement Window Styles Guide

cc: Andrew Thomas, Allen Tai, Henry Dong, David Sablan and Heather Coleman (by electronic transmission)

Mayor and City Council members (by electronic transmission)

AAPS Board and Preservation Action Committee (by electronic transmission)

2/22/21 ADOPTED OBJECTIVE DESIGN REVIEW STANDARDS

ADDITIONAL AAS COMMENTS -- 6/2/22

THESE COMMENTS ARE VERY SIMILAR TO THE 2/22/21 SUBSTANTIAL COMMENTS AAS SUBMITTED TO THE PLANNING BOARD AND REFLECT AND SUPPLEMENT THE COMMENTS IN THE 2/19/21 AND 2/22/21 AAS LETTERS TO THE PLANNING BOARD. THEY ALSO REFLECT FORMAT CHANGES BETWEEN THE DRAFT STANDARDS AND THE ADOPTED STANDARDS.

INTRODUCTION

PURPOSE

→ = MOST SIGNIFICANT COMMENTS (ALL ON LAST SIX PAGES)

The Amended and Restated Objective Design Review Standards (Objective Design Review Standards) serve as minimum architectural and site design requirements intended primarily for housing development projects (i.e., uses consisting of any of the following: residential units only, mixed-use development consisting of residential and nonresidential uses where at least two-thirds of the square footage is designated for residential use, and transitional or supportive housing).

The Objective Design Review Standards supplement the development standards of the Zoning Ordinance and further the goals, policies, and actions of the Alameda General Plan, which encourages high-quality design and the quality of life that an enhanced built environment fosters.

APPLICABILITY

The Objective Design Review Standards apply to housing development projects, including the following:

- Affordable housing projects eligible for streamlined ministerial review pursuant to SB 35 (Section 65913.4 of the Government Code).
- "Housing development projects" as defined by the Housing Accountability Act (Section 65589.5 of the Government Code), which means uses consisting of any of the following:
 - Residential units only;
 - Mixed-use developments consisting of residential and nonresidential uses with at least two-thirds of the square footage designated for residential use; or
 - Transitional housing or supportive housing.
- Any other housing projects that current or future State law provides may only be reviewed against objective standards.

THIS WAS IN PREVIOUS VERSIONS OF THE STANDARDS AND APPEARS TO BE THE INTENT OF GOVT. CODE SECTION 65589.5.

multi-family

The Objective Design Review Standards were adopted by the Planning Board on February 22, 2021 and supersede the initial set of Objective Design Review Standards adopted by Planning Board Resolution No. PB-20-04 on February 10, 2020. The revised standards will go into effect as of the date of adoption.

Ministerial Design Review

Where California law requires that the design of a project be reviewed only against objective standards, the Objective Design Review Standards will serve as the standards for design review. Ministerial design review will be processed by Planning staff per the Design Review Procedure set forth in AMC Section 30-36.

Discretionary Design Review

If a project that would be eligible for ministerial design review does not meet one or more of the Objective Design Review Standards, and the applicant wishes to propose an alternative design, the applicant may elect to go through the discretionary design review process described in Section 30-36, Design Review Procedure, of the Alameda Municipal Code (AMC). In such case, the project will be reviewed for conformance with the Citywide Design Review Manual and any other design guidelines that apply to the site. Discretionary design review may only be approved if the findings for design review approval of Section 30-37.5, Findings, of the AMC are made.

Corresponding existing design guidelines and policies on parking location and access:

- Northern Waterfront General Plan Amendment Policy 10.6.v;
- Citywide Design Review Manual policies on auto access in 2.2.A Commercial Block, 2.2.B Workplace Commercial, 2.2.C Parking Structure, 2.2.E Stacked Flats, 2.2.F Multiplex, 2.2.G Rowhouse, and 2.2.H Courtyard Housing;
- Guide to Residential Design, New Construction, Garages.

Corresponding existing design guidelines on landscaping and use of setbacks:

- Citywide Design Review Manual policies on landscape and open space in 5.2 Setback Areas and 5.3 Plant Materials.

2. BUILDING MASS AND ARTICULATION

Principles

Provide façade articulation or significant architectural details in order to create visual interest. Avoid buildings with a bulky or monolithic appearance.

To create articulation, building facades can be varied in depth through a pattern of offsets, recesses, or projections. Façade articulation elements should be in proportion to building mass. Create buildings that are well proportioned, elegant, cohesive, and harmonious with their surroundings.

Incorporate features that generate interest at the pedestrian level. Avoid blank walls and dull facades that create an uninviting pedestrian environment.

Utilize windows and other transparent openings to provide sufficient light for occupants and create a sense of interaction between residential uses and the public realm.

above the first floor that forms a regular rhythm with upper floor windows and other openings.

LESS IMPORTANT

151

Standards—Building Mass and Articulation		Project Complies		
		Yes	No	N/A
2A. Façade Articulation. All building facades that face or will be visible from a public street shall be articulated by including features that meet at least two of the following standards:		Projects must meet two or more of the following:		
1.	At least 25% of the area of the façade is offset (through recesses or projections) at a depth of at least two feet from the remainder of the façade.	<input type="checkbox"/>	<input type="checkbox"/>	
2.	For every 50 horizontal feet of wall, facades include at least one projection or recess at least four feet in depth, or two projections or recesses at least two feet in depth. If located on a building with two or more stories, the articulated elements must be greater than one story in height.	<input type="checkbox"/>	<input type="checkbox"/>	
3.	For every 50 feet of horizontal building wall, there is a vertical feature such as a pilaster at least 12 inches in both width and depth and extending the full height of the building.	<input type="checkbox"/>	<input type="checkbox"/>	
4.	Windows are recessed at least four inches from surrounding exterior wall surfaces, measured from window frame to finished exterior wall.	<input type="checkbox"/>	<input type="checkbox"/>	
5.	The ground level of the building is distinguished from upper levels through a material such as stone, concrete masonry, or other material that is distinct from the remainder of the façade, along with a change in plane at least one inch in depth at the transition between the two materials,	<input type="checkbox"/>	<input type="checkbox"/>	

or horizontally divided by a belt course, cornice or similar horizontal trim.

ALSO INSERT ON NEXT PAGE

INSERT FROM PREVIOUS PAGE

Standards—Building Mass and Articulation	Project Complies		
	Yes	No	N/A
6. The top floor of the building is distinguished from lower levels by a change in façade materials, along with a change in plane at least one inch in depth at the transition between the two materials.	<input type="checkbox"/>	<input type="checkbox"/>	
7. The building includes a horizontal design feature such as a water table, belt course, or bellyband, applied to the transition between the ground floor and upper floors.	<input type="checkbox"/>	<input type="checkbox"/>	
8. Cornices or similar moldings and caps are provided at the top of building facades.	<input type="checkbox"/>	<input type="checkbox"/>	
2B. Limitation on Blank Walls.	Projects must include one or more of the following three features:		
1. Ground-Floor Features. Any wall (including the wall of a parking structure) that faces a public street, public sidewalk, public pedestrian walkway, or publicly accessible outdoor space shall include at least one of the following features on the ground floor. No wall may run in a continuous plane of more than <u>15</u> feet on the ground floor without at least one of the following features.			
a. A transparent window or door that provides views into building interiors, or into window displays at least five feet deep.	<input type="checkbox"/>	<input type="checkbox"/>	
b. Decorative features and artwork, including but not limited to decorative ironwork and grilles, decorative panels, mosaics, or relief sculptures.	<input type="checkbox"/>	<input type="checkbox"/>	
c. A permanent vertical trellis with climbing plants or plant materials.	<input type="checkbox"/>	<input type="checkbox"/>	
2. Minimum Transparency. At least 30 percent of the area of each street-facing facade must consist of windows or other transparent openings. This requirement applies to portions of buildings backed by residential uses. (For ground-floor transparency requirements for commercial portions of mixed-use development, see Section 5, Mixed-Use Development.)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Corresponding existing design guidelines and policies on building mass and articulation:

- Alameda Point Town and Waterfront Precise Plan, guidelines on bulk, massing, and façade and entry design;
- Citywide Design Review Manual guidelines on building articulation in 2.2.A Commercial Block, 2.2.B Workplace Commercial, 2.2.E Stacked Flats, 2.2.F Multiplex, 2.2.G Rowhouse, 2.2.H Courtyard Housing, and 4.2.3 Building Articulation.

3. BUILDING ORIENTATION AND ENTRIES

Principles

Orient buildings to face streets and open space in order to create a sense of interaction between residential uses and the public realm.

Include prominent building entries that contribute to visual interest and are welcoming and pedestrian friendly. Facilitate pedestrian access to buildings by providing direct connections to primary entrances.

Avoid visually unappealing "motel-style" balcony entrances.

Standards—Building Orientation and Entries	Project Complies		
	Yes	No	N/A
3A. Main Entry Orientation. Building entrances shall be oriented to face the street, according to the following standards.			
1. Entry Location for Different Types of Sites.			
a. If a project site has frontage on only one street, the main building entry shall face the street.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. If a project site fronts on two or more streets, the main building entry shall:	<i>Meet one of the following two:</i>		
i. Face the corner, or	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ii. Face the primary street. ²	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. In courtyard-style developments in which residential buildings are located in the interior of a block, entries may face interior courtyards, common open space, walkways, and paseos. However, those buildings and units that are adjacent to or closest to a street shall have a main entry facing the street.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d. In mixed-use buildings with ground-floor commercial space, the main entry to the commercial space must face a street. The entries to residential units are not required to face the street and instead may be located on a side or rear façade.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Qualifying Entries (Doors and Porches). In order to be considered to "face" a street, a main building entry shall consist of a door that either:	<i>Meet one of the following two:</i>		
a. Faces the street, or	<input type="checkbox"/>	<input type="checkbox"/>	
b. Opens onto a porch with an entrance that faces the street. The porch shall meet the minimum area specified in 3B below.	<input type="checkbox"/>	<input type="checkbox"/>	
3. Pedestrian Access. Direct pedestrian access shall be provided between the public sidewalk and the main building entry.	<input type="checkbox"/>	<input type="checkbox"/>	

and set back no further than 5' from the building's front wall

If the main building entry is set back more than 5' from the building's front wall the entry is located on a side wall and

and with a front wall located no further than 10' from the front wall of the building

² The primary street will be considered the street abutting the "front yard," as defined in AMC Section 30-2. The other street shall be considered the secondary street. However, Park and Webster streets will always serve as primary streets, regardless of the location of the subject property's front yard.

Standards—Building Orientation and Entries	Project Complies		
	Yes	No	N/A
3AB. Entry Configuration, Area, and Cover. Building entries shall be configured according to one of the following options:	<i>Project must meet one of the following three:</i>		
1. A shared entry door (serving multiple units) located at the ground floor of the building that has a roofed projection or recess with a minimum depth of five feet and a minimum area of 60 square feet.	<input type="checkbox"/>	<input type="checkbox"/>	
2. Individual entry doors (serving individual ground-floor units) located at the ground floor of the building that have roofed projections or recesses with a minimum depth of at least five feet and a minimum area of 25 feet.	<input type="checkbox"/>	<input type="checkbox"/>	
3. Individual entry doors to individual upper-floor units only if such entrances are not located on street-facing facades or visible from public streets.	<input type="checkbox"/>	<input type="checkbox"/>	
3AC. Exterior Access Limitations.			
1. Unenclosed stairways serving upper floors are not permitted on street-facing facades.	<input type="checkbox"/>	<input type="checkbox"/>	
2. Exterior access corridors (motel-style balconies) located above the ground floor and serving two or more units are not permitted on street-facing building elevations. They are permitted on interior side elevations but must be set back at least 15 feet from street-facing elevations.	<input type="checkbox"/>	<input type="checkbox"/>	

Corresponding existing design guidelines and policies on building mass and articulation:

- *Alameda Point Town and Waterfront Precise Plan, guidelines on bulk, massing, and façade and entry design;*
- *Citywide Design Review Manual guidelines on building articulation in 2.2.A Commercial Block, 2.2.B Workplace Commercial, 2.2.E Stacked Flats, 2.2.F Multiplex, 2.2.G Rowhouse, 2.2.H Courtyard Housing, and 4.2.3 Building Articulation.*

4. ARCHITECTURAL DESIGN, DETAILS, AND MATERIALS

Principles

Incorporate architectural details in order to create visual interest and avoid flat or monolithic-looking facades.

Create shadow lines around windows.

Provide exterior materials that enhance architectural character and quality.

Minimize visual clutter by locating mechanical and electrical equipment away from public view, coordinating and integrating such equipment into the design of buildings, or screening it with materials that match building exteriors.

Standards—Architectural Design, Details, and Materials	Project Complies		
	Yes	No	N/A
42A. Equivalent Facade Treatment. Buildings shall carry the same theme on all street-facing elevations, as well as on the first 10 feet of non-street-facing elevations closest to the street. For the purpose of this standard, a theme includes primary (non-accent) materials and colors.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
42B. Siding Materials.	Checking "yes" for 1a - 1c indicates that prohibited material is not used.		
1. Prohibited Materials. The following shall not be used as siding materials:			
a. Vinyl (plastic) siding.	<input type="checkbox"/>	<input type="checkbox"/>	
b. Aluminum siding.	<input type="checkbox"/>	<input type="checkbox"/>	
c. T1-11 wood siding.	<input type="checkbox"/>	<input type="checkbox"/>	
2. Specific Requirements for Certain Materials.			
a. Exposed Wood. If exposed wood (other than wood shingles) is used, it shall be painted, stained, or treated and maintained to prevent noticeable weathering.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Thin Brick Veneers. Thin brick veneers, where used, shall be selected to give the appearance of full brick. Wrap-around pieces shall be used at window recesses and building corners.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Fiber Cement and Other Synthetic Siding. Synthetic siding shall have smooth textures. Simulated wood grain textures shall not be used.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
42C. Window Details.			
1. Window Recess. Windows must be recessed at least two inches from the surrounding wall, measured from the face of the finished exterior wall or trim to the window frame. Where trim is used to meet the recess requirement, it shall be at least two inches wide. This requirement applies on all sides of a window, not just on the top and bottom.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
a. Exception. Windows located in a section of wall that is recessed at least one foot from the remainder of the building façade need not be recessed from the wall in which they are located.			

to the tops and



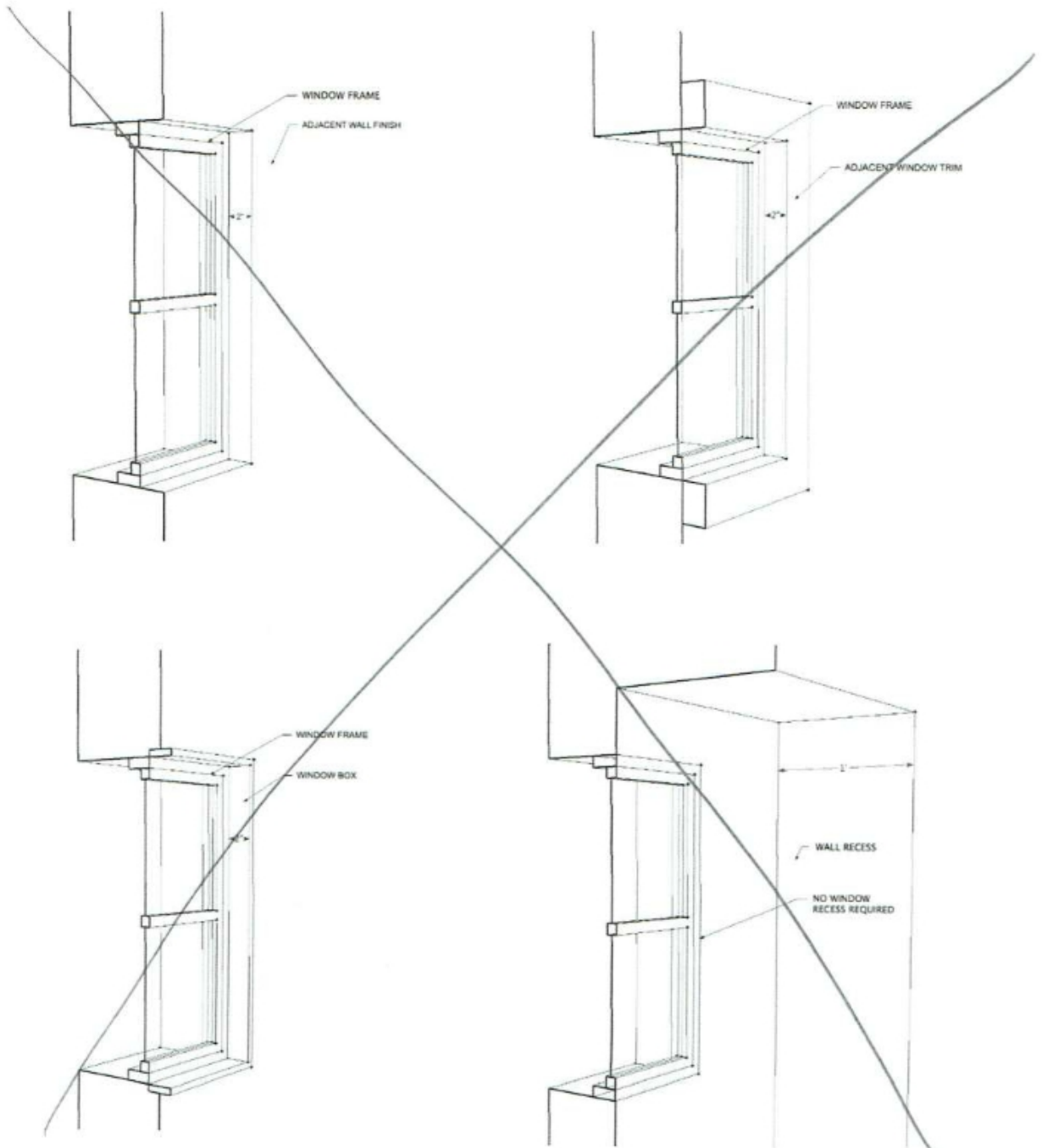
Sash (upper sash in the case of a single-hung or double-hung window)

Any

3/4"

(excluding any)

Bottoms of windows shall have sills.



Illustrations by Teresa Ruiz

NOT NEEDED

5. MIXED-USE DEVELOPMENT

Principles

Create pedestrian interest, orientation, and access at the ground floor of mixed-use buildings.

Ensure that development in Alameda's traditional business districts is compatible with the character of those districts by applying special standards within the "Traditional Design Area."

Standards—Mixed-Use Development, Citywide	Project Complies		
	Yes	No	N/A
<p>5A. Applicability. In addition to meeting the other Objective Design Review Standards, mixed-use buildings with ground-floor commercial uses located anywhere in the city shall meet the standards of Sections 5B through 5E.</p> <p><i>Is the project a mixed-use development? <input type="checkbox"/> Yes <input type="checkbox"/> No</i></p> <p><i>If "no," Section 5 does not apply. Skip to Section 6.</i></p>			
<p>5B. Ground-floor Height. The ground floor shall be at least 14 feet in height, measured from floor to ceiling.</p>	<input type="checkbox"/>	<input type="checkbox"/>	
<p>5C. Ground-floor Transparency. The ground floor of exterior walls facing a street shall meet the following standards:</p> <ol style="list-style-type: none"> Windows, doors, or other openings shall constitute at least 75 percent of the ground-floor building wall area. Openings fulfilling this requirement shall have transparent glazing (not tinted glass, or reflective film or coating) and shall provide views into window displays at least five feet deep or into sales areas, lobbies, work areas, or similar active commercial spaces. 	<input type="checkbox"/>	<input type="checkbox"/>	
<p>10 2. No ground-floor exterior wall may run in a continuous plane for more than 45 feet without such an opening.</p>	<input type="checkbox"/>	<input type="checkbox"/>	
<p>5D. Vertical Articulation.</p> <ol style="list-style-type: none"> Ground-Floor Distinction. The ground floor of any building that has two or more stories must be distinguished from upper floors by incorporating at least one of the following elements: <ol style="list-style-type: none"> Larger storefront windows on the ground floor and smaller "punch out" windows on upper floors; A material distinct from the remainder of the façade, along with a change in plane of at least one inch from the wall surface of the remainder of the building; or A horizontal design feature such as a water table, belt course, or bellyband applied to the transition between the ground floor and upper floors. 	<p><i>Projects must include one or more of the following three:</i></p>		
<p>a. Larger storefront windows on the ground floor and smaller "punch out" windows on upper floors;</p>	<input type="checkbox"/>	<input type="checkbox"/>	
<p>b. A material distinct from the remainder of the façade, along with a change in plane of at least one inch from the wall surface of the remainder of the building; or</p>	<input type="checkbox"/>	<input type="checkbox"/>	
<p>c. A horizontal design feature such as a water table, belt course, or bellyband applied to the transition between the ground floor and upper floors.</p>	<input type="checkbox"/>	<input type="checkbox"/>	
<p>5E. Treatment of Street-facing Yards. If buildings are set back from property lines, front yards and corner side yards shall be designed as follows.</p> <ol style="list-style-type: none"> Surface. Street-facing yards may be hardscaped and/or landscaped. Any hardscaped areas shall be set with decorative paving materials such as concrete pavers, bricks, or colored concrete. 	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>2. Use. Street-facing yards shall be designed for pedestrian uses, including but not limited to outdoor dining, the display of retail goods, and public seating.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

CONSIDER ADDING TO THIS SECTION SOME OF THE STANDARDS RECOMMENDED 10/2/19 BY AAPS

Standards—Mixed-Use Development, Traditional Design Area	Project Complies		
	Yes	No	N/A
<p>5F. Applicability. Standards 5G to 5K below apply to mixed-use buildings with ground-floor commercial space on any site located partially or entirely within the Traditional Design Area shown on the map in Appendix A. These standards apply in addition to the other Objective Design Review Standards and the citywide standards for mixed-use development in Sections 5B through 5E above.</p> <p><i>Is the project site located within the Traditional Design Area, as shown on the map in Appendix A? <input type="checkbox"/> Yes <input type="checkbox"/> No</i></p> <p><i>If "no," Sections 5G through 5L below do not apply. Skip to Section 6.</i></p>			
<p>5G. Entry Area and Cover. Pedestrian entries to ground-floor and upper-floor commercial uses shall meet all of the following standards:</p>			
<p>1. Entrances shall be recessed in a vestibule two to five feet in depth.</p>	<input type="checkbox"/>	<input type="checkbox"/>	
<p>2. Entrances shall be covered by a roof, portico, or other architectural projection that provides weather protection.</p>	<input type="checkbox"/>	<input type="checkbox"/>	
<p>3. The floors of exterior entry vestibules shall be paved with tile, stone, or other hard-surface material distinct from the adjacent sidewalk. This standard may also be met by scoring concrete and using integrated color. Where recessed (inlaid) walk-off mats are used, this standard applies only to the area outside the walk-off mat. <i>(shall be)</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	
<p>5H. Transom Windows. If transom windows are provided, they shall be located within at least the top 18 inches of any storefront bay. <i>transoms</i></p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>5I. Transparency. In addition to meeting the transparency requirement for the ground-floor façade area in Section 5C, mixed-use projects within the Traditional Design Area shall also meet the following standards:</p>			
<p>1. Entry Doors. At least 50% of the area of entry doors to commercial spaces shall consist of transparent glazing.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>2. Entry Bays. At least 80% of the surface of each storefront bay shall consist of display windows, doors, transom windows, and other openings with transparent glazing.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>5J. Vertical Articulation.</p>			
<p>1. Ground-Floor Distinction. The ground floor of any multi-story building must be distinguished from upper floors by incorporating all of the following elements:</p>			
<p>a. Larger storefront windows on the ground floor and smaller "punch out" windows on upper floors;</p>	<input type="checkbox"/>	<input type="checkbox"/>	
<p>b. A material distinct from the remainder of the façade; and</p>	<input type="checkbox"/>	<input type="checkbox"/>	
<p>c. A horizontal design feature such as a water table, belt course, or bellyband applied to the transition between the ground floor and upper floors.</p>	<input type="checkbox"/>	<input type="checkbox"/>	

Reference Buildings and Features

with Options 1-3
in order of
priority

6C. Selecting Reference Buildings or Reference Features—Options. A project applicant shall identify existing buildings within the context area that were constructed prior to 1942 and identify one or more of them to serve as “reference buildings” for the purpose of meeting the Neighborhood Context Standards. Alternatively, an applicant may inventory the individual features of all pre-1942 buildings within the context area, as described in Option 4 below. The options for selecting reference buildings or reference features for the purpose of meeting the neighborhood context standards are as follows:

Check the option selected
(1, 2, 3, or 4):

- 1. **Historic Buildings.** If an Alameda Historic Monument or a property designated “N” or “S” in the Historical Building Study List is located within the context area, then such building may serve as the reference building.
- 2. **Predominant Architectural Style.** If there is a predominant architectural style³ within the context area, the buildings of that style may serve as the reference buildings. A predominant architectural style is either:
 - a. A style exhibited by at least 40% of the buildings within the context area. If two architectural styles are represented by 40% or more of buildings in the context area, then the applicant may choose either style to serve as the predominant architectural style.
 - b. A style exhibited by buildings of the same architectural style on three or more adjacent lots anywhere within the context area. For the purpose of this criterion, lots will be considered adjacent even if separated by a street.
- 3. **Adjacent Buildings.** If buildings on lots adjacent to the subject property were constructed prior to 1942 and retain their original architectural features, then the adjacent buildings may serve as the reference buildings.
 - a. In the case of an interior lot, the pre-1942 buildings on each side of the subject property shall serve as the reference buildings.
 - b. In the case of a corner lot, the reference buildings may consist of pre-1942 buildings located on:
 - i. Properties adjacent to the subject property; or
 - ii. Any corner of the same intersection as the subject property.
- 4. **Architectural Features.** Instead of identifying a reference building, the applicant may inventory features of all pre-1942 buildings within the context area and incorporate the most prevalent features into the design of the project, as further described in Section 6D below. *Note: Appendix B provides an optional worksheet for project applicants to use to inventory architectural elements within the context area.*

DELETE
OPTION 3 IF
ORDER OF
PRIORITY
METHOD IS
NOT USED.
SEE ITEM 2
IN AAPS
2/19/21
LETTER.

CONSIDER
DELETING
THREE BLDGS IN
A GROUP MAY
BE OUTLIERS.
40% METHOD IS
BETTER. SEE ITEM
2 IN AAPS 2/19/21
LETTER.

³ The identification of architectural style shall be according to the characteristics listed in the Guide to Residential Design, the booklet titled “Architectural and Historical Resources of the City of Alameda,” or Section 4.3 of the Citywide Design Review Manual. See Appendix C.

MAY DELETE AS PER ITEM 2 IN APPS 2/17/21 LETTER

6D. Incorporating Forms and Features—Options. New buildings shall be designed to:

Check the option selected (1 or 2):

1. Incorporate forms and features of the reference building(s), as further described in Section 6F (corresponds with Options 1, 2, and 3 in Section 6C above); or
2. Incorporate the most prevalent features found on buildings within the context area, as further described in Section 6F. In each category of feature (e.g., roof form, roof slope, exterior materials, windows, architectural details), the most prevalent feature is the feature that occurs most frequently on pre-1942 buildings within the context area (corresponds with Option 4 in Section 6C above).

6E. Altered Buildings. If a pre-1942 building within the context area has had its surface materials, windows, architectural detailing, or other features altered, the features selected for incorporation into the design of the project shall be characteristic of the building's original architectural style⁴. For example, a Victorian house that has been covered with stucco or vinyl or aluminum siding will be considered to have horizontal wood siding for the purpose of establishing a context for exterior materials.

Standards—Neighborhood Context	Project complies		
	Yes	No	N/A
6F. Neighborhood Context Standards. The neighborhood context standards apply to street-facing building elevations, as well as the first 10 feet of non-street-facing elevations closest to the street.			
1. Roof Form. In order to meet the roof form standard, a project shall exhibit the same roof form(s) as the reference building(s). If there is no reference building, the project shall be designed to include the most prevalent roof form(s) of the context area. Qualifying roof forms are gable, hip, mansard, gambrel, flat, shed, bonnet, and false front.	<input type="checkbox"/>	<input type="checkbox"/>	

Gable Hip Mansard Flat
Shed Gambrel Bonnet False Front

⁴ The identification of architectural style shall be according to the characteristics listed in the Guide to Residential Design, the booklet titled "Architectural and Historical Resources of the City of Alameda," or Section 4.3 of the Citywide Design Review Manual. See Appendix C for links to these documents.

Standards—Neighborhood Context		Project complies											
		Yes	No	N/A									
<p>2. Roof Pitch. The roof pitches of the reference building(s) shall be classified into one of four slope categories—flat, low, moderate, or steep—according to the ranges in the table below:</p> <table border="1" data-bbox="386 439 1013 617"> <thead> <tr> <th>Slope Category</th> <th>Roof Pitch (rise:run)</th> </tr> </thead> <tbody> <tr> <td>Flat</td> <td>≤ 1:12</td> </tr> <tr> <td>Low</td> <td>> 1:12 and ≤ 4:12</td> </tr> <tr> <td>Moderate</td> <td>> 4:12 and ≤ 7:12</td> </tr> <tr> <td>Steep</td> <td>> 7:12</td> </tr> </tbody> </table> <p>A proposed project shall exhibit the same slope category as the reference building(s) across the front half of the project's roof area. If there is no reference building(s), the project shall be designed to include the most prevalent roof slope category from the context area.</p>	Slope Category	Roof Pitch (rise:run)	Flat	≤ 1:12	Low	> 1:12 and ≤ 4:12	Moderate	> 4:12 and ≤ 7:12	Steep	> 7:12	<input type="checkbox"/>	<input type="checkbox"/>	
Slope Category	Roof Pitch (rise:run)												
Flat	≤ 1:12												
Low	> 1:12 and ≤ 4:12												
Moderate	> 4:12 and ≤ 7:12												
Steep	> 7:12												
<p>3. Roof Eaves/Overhangs. If the reference building(s) have roof overhangs of 12 inches or more, then the proposed project shall also have overhangs of 12 inches or more. If there is no reference building, the project shall exhibit overhangs of 12 inches or more if 50% or more of buildings in the context area do.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>										
<p>4. Windows. The windows on street-facing façade(s) of a proposed project shall exhibit the same proportions and major divisions exhibited by the windows of the reference building(s). If there is no reference building, the project shall exhibit the window forms that are most prevalent in the context area.</p> <p>a. Proportions.</p> <p>i. The project shall match the general proportions (ratio of height to width) of the window proportions that predominate on the reference building(s) or context buildings.</p>	<input type="checkbox"/>	<input type="checkbox"/>											
<p>ii. If the windows of the reference building(s) or context buildings are vertically oriented, then the windows of the proposed project shall also be vertically oriented.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>										
<p>iii. If the reference building(s) exhibit groupings of windows, the proposed project may replicate these groupings. Such groupings can include but are not limited to:</p> <p>(a) Groups of side-by-side vertically oriented windows that together form a horizontal bank of windows.</p> <p>(b) A square or horizontally oriented (fixed) window flanked by vertically oriented windows (side lites).</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>										

Window dimensions shall correspond to the typical dimensions of wood or (if consistent with the reference building's architectural style or the context buildings) metal as shown in Figure 1.



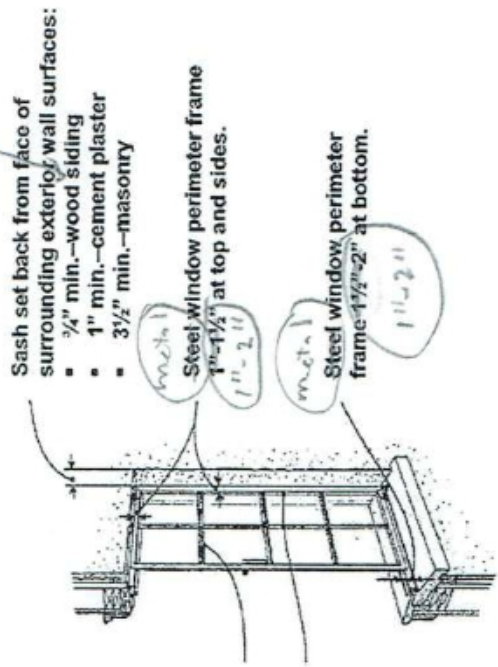
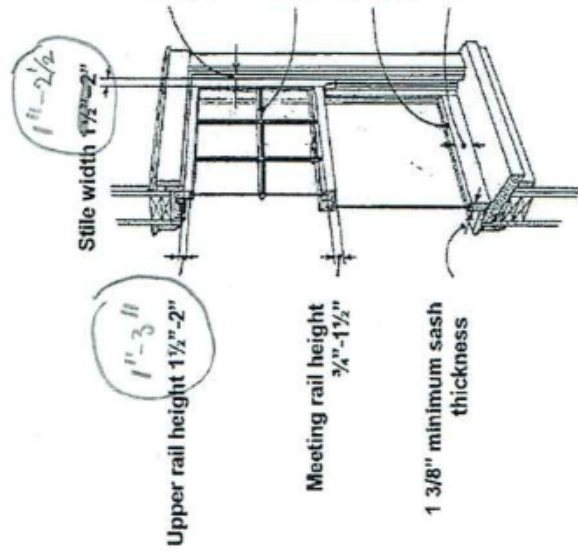
Individual windows within groups shall be separated by vertical trim or wall surfaces at least 6" wide

FIGURE 1:

Attachment 2: Typical Dimensions of Wood and Steel Windows

metal

or simulated wood



METAL

WOOD DOUBLE HUNG SASH Typical Dimensions

STEEL CASEMENT SASH Typical Dimensions

The above dimensions refer only to what is visible from the exterior when the window is in a closed position.

Note on internal muntins/grids: Internal muntins or grids began to be used in the late 1970s. On double glazed windows (consisting of two sheets of glass separated by an airspace) they are sandwiched within the air space between the glass sheets. They are also sometimes used on just the interior face of the glass, but not the exterior. Windows with internal muntins/grids are exempt from Design Review only if they replace original windows which have internal muntins/grids, such as those found at Harbor Bay Isle.

MARK-VAN BY: C. RUKHAFY
1/25/21

HORIZONTAL SLIDER WINDOWS SHOULD BE PROHIBITED IN ALL CASES AS PER EXISTING CITYWIDE DESIGN REVIEW MANUAL, AT LEAST ON STREET FACING ELEVATIONS.

Standards—Neighborhood Context	Project complies		
	Yes	No	N/A
<p>b. Major Divisions.</p> <p>i. If the windows of the reference building(s) exhibit rails, other divisions between sashes, or mullions, then any such divisions on the windows of the proposed project shall be in the same orientation (i.e., horizontal or vertical). For example, if the reference building(s) have predominantly single- or double-hung windows, which have a horizontal rail where the two sashes meet, then the windows of the proposed project shall not be horizontal slider windows, which exhibit vertical divisions.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>ii. The divisions shall be positioned to correspond with their positioning on the reference building(s). Meeting rails for single- or double-hung windows shall be positioned in the center or the upper half of the window opening.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>c. Alignment.</p> <p>i. If the reference building(s) have doors and windows in vertical alignment between floors, so shall the proposed project.</p> <p>ii. If the reference building(s) have windows arranged in horizontal alignment within floors, so shall the proposed project. To meet this standard, within each floor of a street-facing façade, the tops of at least 90% of a project's windows must be aligned.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>5. Exterior Materials. The primary exterior material(s) used on a project must be selected from primary exterior materials of the reference building(s). In order to be considered primary, a material must cover at least one-third of the area of the street-facing façade(s) of a building. If there is no reference building(s), the project shall include the predominate exterior material exhibited by context area buildings. Qualifying materials are:</p>	Projects must include one or more of the following:		
<p>a. Horizontal wood siding. Where the neighborhood context is horizontal wood siding, the proposed project may use cement fiber or similar synthetic horizontal siding, but it must be smooth surfaced (without imitation raised wood grain), and it may not be vinyl or aluminum.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>b. Board and batten siding. Plywood may be used as a substitute for boards only if wood battens with a dimension at least 1" x 2" are used at minimum 8" intervals on center, and any Z-bar is covered by trim.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>c. Wood shingles. Where the neighborhood context is wood shingles, the proposed project may use cement fiber or similar synthetic shingles, but they must be smooth surfaced (without imitation raised wood grain), and they may not be vinyl or aluminum.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>d. Stucco.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>e. Pressed brick.</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

LANGUAGE IN PREVIOUS DRAFT NOT REQUIRING PROJECT WINDOWS TO OPERATE THE SAME AS REFERENCE / CONTEXT BLDG. WINDOWS WAS BETTER SINCE IT GAVE MORE FLEXIBILITY TO APPLICANT WHILE MAINTAINING CONTEXT APPROPRIATE.

Casement

PROVIDE DEFINITION OF "VISUALLY MATCH" AS USED IN ALAMEDA PERMITS CODE IN THESE STANDARDS.

and visually matches the siding on the reference or context building(s)

Slightly variegated

reference/context building(s)

Standards—Neighborhood Context	Project complies		
	Yes	No	N/A
f. Stone, including architectural terra cotta and other stone-like materials.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
g. "Half timber," consisting of individual pieces of dimensioned lumber surrounded by stucco.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Architectural Details. A project shall incorporate details that are typical of the architectural style ⁵ of the reference building(s). If there is no reference building, the project shall include prevalent details from the pre-1942 buildings within the context area. A project shall include <u>all</u> two or more of the following types of details found on the reference building(s) or context buildings and typical of their architectural style:	<p>plus at least one other detail typical of the architectural style.</p> <p>Projects must include two or more of the following:</p>		
a. Window and corner trim of the same depth and width as that found on the reference or context buildings and no smaller than 1" x 4"; however, if the reference building and project have stucco siding, "stucco mold" window trim 2" to 3" wide may be used.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Roof eaves/overhangs 18 inches or more deep. <i>Note: A project might already be required to provide at least 12-inch overhangs, per Section 7D(5), Roof Eaves/Overhangs, above. If the applicant provides 18-inch or deeper roof overhangs, it will also count as an architectural detail in this current list.</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c. Porch columns of the same style and proportions as those of the reference building(s) or context buildings.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d. Exposed rafter tails.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e. Roof brackets with minimum dimensions of 4" x 4".	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
f. Trellis awnings.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
g. Bay windows.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
h. Cornices with a minimum 6-inch exposure.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
i. Scalloped ("Mission Revival") or other curved parapets.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
j. Terra cotta or visually matched tiles (in the case of "Spanish Colonial Revival" or "Mediterranean Revival" reference or context buildings).	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
k. Any other architectural feature or detail found on a reference building and characteristic of its architectural style. If there is no reference building, another architectural feature or detail prevalent on pre-1942 buildings within the context area. Describe (1): _____ Describe (2): _____	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

MUCH LESS IMPORTANT THAN OTHER DETAILS.

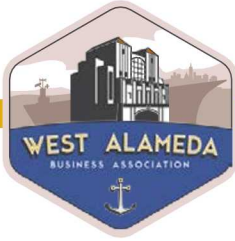
LESS IMPORTANT

USE IN ROOF SECTION INSTAD AND REVIVAL FOR ALL MEDITERRANEAN AND SPANISH COLONIAL REVIVAL BLDGS.

and it can be below

⁵ The identification of architectural style shall be according to the characteristics listed in the Guide to Residential Design, the booklet titled "Architectural and Historical Resources of the City of Alameda," or Section 4.3 of the Citywide Design Review Manual. See Appendix C.

DELETE. TOP TABS REMOVED. APPLICANTS MAY SELECT UNIMPORTANT DETAILS TO JUSTIFY OMISSION OF MORE IMPORTANT DETAILS.



February 27, 2023

(By electronic transmission)
Planning Board
City of Alameda
2263 Santa Clara Avenue
Alameda, CA 94501

Subject: Objective Design Review Standards

Dear Planning Board members:

The West Alameda Business Association (WABA) would like to thank the Planning Board and staff for placing the Objective Design Review Standards on the Planning Board's February 27 agenda for further Planning Board review and enhancement.

WABA has been consistently urging that the Multifamily Objective Design Review Standards be strengthened and, perhaps most importantly, that the "traditional design area" (TDA), which mandates a context-based approach for the design of new buildings, be extended to the portion of the Webster Street Business District between Pacific Avenue and Atlantic Avenue/Apezzatto Parkway, which was left out of the TDA when the Multifamily Standards were previously adopted in 2020 and 2021.

One of the primary components the Webster Street Vision Plan is to maintain a traditional architectural character for the **entire** business district, not just the portion south of Pacific Avenue. This vision has been city policy for many years and is presented in the Webster Street Design Manual as well as the Vision Plan, both of which were vetted by the entire Webster Street District Community and approved by both the Planning Board and City Council.

See the attached February 21, 2021 letter from WABA to the Planning Board for further discussion of the TDA expansion along with other recommendations.

We request that the Planning Board consider WABA's February 21, 2021 recommendations as part of your review of the standards, including extending the TDA to Webster Street between Pacific and Atlantic/Apezzatto.

Sincerely,

Linda Asbury
Executive Director
West Alameda Business Association
linda@westalamedabusiness.com
510.523.5955

Attachment: WABA 2-21-21 letter to the Planning Board

Cc: Andrew Thomas and Allen Tai, Planning, Building and Transportation Department
Mayor and City Council



February 21, 2021

(By electronic transmission)
Planning Board
City of Alameda
2263 Santa Clara Avenue
Alameda, CA 94501

Subject: Objective Design Review Standards

Dear Planning Board members:

The West Alameda Business Association (WABA) would like to thank planning staff and the consultant for their careful consideration of our previous comments on the objective design standards, for reflecting many of these comments in the latest draft and for twice meeting with us to develop additional refinements. We would also like to thank the Alameda Housing Authority for meeting with us to share our mutual concerns regarding the draft standards and to discuss strategies for resolving these concerns. The Housing Authority's February 10 letter greatly assisted this effort.

We have the following comments on the draft standards:

1. Use of Neighborhood Context Standards to maintain traditional architectural character. We had previously expected that additional provisions from the Webster Street Design Manual and other standards to help ensure that new construction on Webster Street and in the other traditional business districts maintain their traditional architectural character (including coherent façade composition and strong architectural rhythm), would be included in the "Standards for Traditional Design Area" on pages 12 and 13 of the draft. These provisions would also be intended to avoid overly monolithic buildings with minimal architectural interest and sometimes excessively irregular geometry, such as some of the buildings recently constructed in downtown Oakland and Berkeley.

Avoiding these kinds of designs is especially important since WABA is exploring with planning staff the possibility of significantly increasing the Webster Street height limits at the north end of the business district which could result in much larger and taller buildings.

Examples of these additional provisions had previously been submitted to the Planning Board and staff. However, the context approach presented in the draft standards may be sufficient to achieve this objective. So we are willing to support its implementation on at least a trial basis, subject to the modifications in Comments 2 and 3 below.

2. We request that the traditional design area (TDA) be revised to include the portion of the Webster Street Business District between Pacific Avenue and Atlantic Avenue/Appezzatto Parkway. One of the primary vision components for Webster Street is to maintain a traditional architectural character for the **entire** business district, not just the portion south of Pacific Avenue. This vision has been city policy for many years and is presented in the Webster Street Design Manual and the 2011 Webster Street Vision Plan, both of which were vetted by the entire Webster Street District Community and approved by both the Planning Board and City Council .

The Housing Authority told us that they do not plan any new construction within the Webster Street Business District nor the other “main street” business districts and therefore would have no objection to including the northern part of Webster Street within the TDA. However, they may be renovating existing buildings within these districts, which would be based on the understanding that they would not be required to remodel non-traditional architectural exteriors into a more traditional look. The Webster Street Design Manual does not require such remodeling but does encourage it when circumstances, including budget, permit.

3. Investigate defining the context area for the Webster Street Business District as the entire district. We understand that planning staff is using this method for Park Street. Defining the context area for a project as the five closest lots or within 250 feet of the project site will not work for parts of the business district, especially north of Lincoln Avenue.

If the entire district is considered the context area, the methodology for selecting reference buildings will need to be adjusted. Both Options 1 and 2a in Section 6C on page 18 will probably still work, but Option 3 would not. Another possible option would be identifying the reference buildings the same as Option 1 but adding other specific pre-1942 buildings in the district with sufficient architectural interest to serve as models. Study List buildings in addition to the N’s and S’s, included in Option 1, could be a starting point.

4. Change Standard 5H to read as follows:

~~If transom windows are shall be provided they shall be located within at least the top 18 inches of any storefront window bay.~~

Transom windows are a highly characteristic feature of traditional storefronts and are already a requirement for all storefront windows in the Webster Street Design Manual.

5. Change the details section of the Neighborhood Context Standards on Page 22 so that all of the important details found on the reference buildings are incorporated into the project rather than allowing the applicant to select only two details. Certain details are major character-defining features of certain architectural styles (e.g. cornices or entablatures on Victorian and Colonial Revival buildings) and need to be included in all cases for buildings based on those styles. Allowing the applicant to select only two of these details from the list risks omitting the most important details.

6. Include the attached diagram and text from the Webster Street Design Manual requiring wood or wood-like windows on upper floors. Conformity with the typical dimensions shown in

the diagram is critical to maintaining the traditional window look and provides applicants with highly “objective” information for window designs. We have requested inclusion of this diagram and text repeatedly since the initial draft standards were released in 2019. Staff told us that the dimensions should be more flexible. We submitted more flexible dimensions, but the diagram is still not included. Windows that conform with these dimensions are readily available from many manufacturers.

7. Incorporate Criterion 4.2 (attached) of the Webster Street Design Manual requiring continuation of horizontal lines from neighboring buildings. Integrating horizontal alignments among neighboring buildings helps create cohesive architectural ensembles and is characteristic of many of the great streetscapes throughout the world. Staff initially seemed supportive of including this provision and requested wording modifications so it would read more objectively. We provided these modifications, but for some reason, this provision is still not included.

7. Provide more graphics in the standards. These could include some of the graphics in the Webster Street Design Manual.

We request that the Planning Board support the modifications to the draft standards listed above and continue its consideration of the draft standards to a future meeting to allow revision of the draft to include these modifications.

Sincerely,

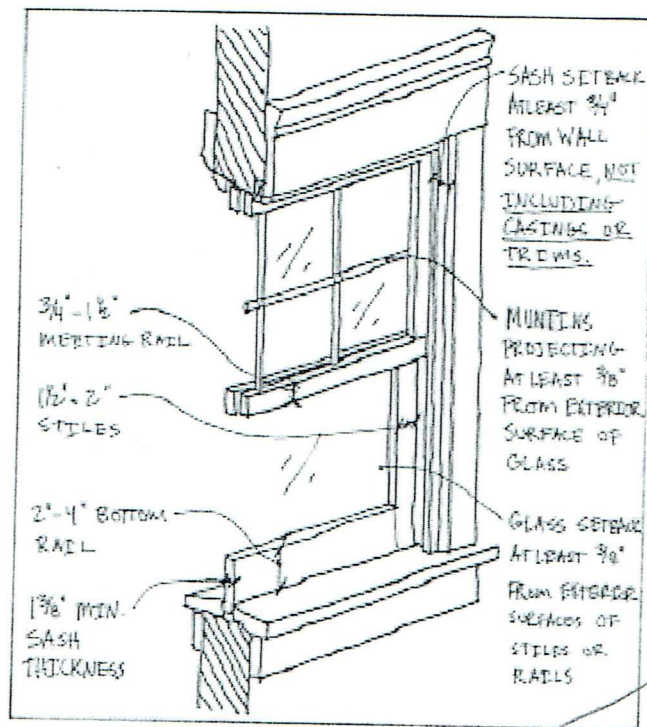
Linda Asbury
Executive Director
West Alameda Business Association
linda@westalamedabusiness.com
510.523.5955

Attachment: Webster Street Design Manual excerpts

Cc: Andrew Thomas, Allen Tai, David Sablan, Planning, Building and Transportation Department
Heather Coleman, City ConTEXT
Sylvia Martinez, Alameda Housing Authority

Surface Materials

- 3.3 Clean and properly tuck-point brick walls. Clean masonry structures with nondestructive methods to maintain the integrity of the brick or stone surface. Do not sandblast masonry or other materials. Refer to National Parks Service website at www2.cr.nps.gov/tps/tax/rhb/stand.htm for further discussion regarding non-destructive cleaning methods.



and other dimensions consistent with those shown in the above diagram.

Guideline 3.4: Encouraged - Typical dimensions for wood window on upper floors.

- 3.4 On upper floors, either use recessed wood windows or recessed metal or vinyl windows (or other window materials) with a wood-like quality with substantial looking smooth surfaced (not molded) stiles and rails and glazing recessed at least 3/8 inches. Muntins or grids, if used, should project at least 3/8 inches from the glazing surface. Do not use horizontal sliders.

Integrating New Buildings with Neighboring Buildings

- 4.2 Carry through the horizontal lines from neighboring buildings in cornices, tops and bottoms of windows, storefronts and other horizontal elements. Also maintain the rhythm established by vertical elements such as the width of storefronts and the width and placement of upper floor windows.



Guideline 4.2: **Encouraged** - Continue the horizontal lines and vertical rhythm of existing neighboring buildings.

- 4.3 Do not mix architectural styles on the same building.

- 4.4 Do not design buildings or storefronts in “corporate” or “franchise” styles, where chain store business uses a particular building type, style or combination of architectural elements that is intended to be synonymous with that business.

These businesses must adapt their building designs to the traditional character of Webster Street.



Guideline 4.4: **Discouraged** - Do not design buildings or storefronts in “corporate” or “franchise” styles.

Nancy McPeak

From: Dodi Kelleher <dodikelleher@comcast.net>
Sent: Monday, April 10, 2023 8:30 AM
To: Asheshh Saheba; Teresa Ruiz; Alan Teague; Diana Ariza; Ronald Curtis; Xiomara Cisneros; Hanson Hom
Cc: Andrew Thomas; Allen Tai; Henry Dong; David Sablan; Nancy McPeak; Erin Garcia
Subject: [EXTERNAL] Objective design review standards (Item 5-A Planning Board's 4-10-23 agenda) -AAPS comments

Dear Planning Board Members,

I am writing in support of the recommendations and comments detailed in the April 5th letter with attachments sent to you and to the HAB by Christopher Buckley, on behalf of AAPS. These recommendations represent a detailed attempt to support and better define the traditional development area approach, as well as to address the need for more flexibility in certain elements, especially for 100% affordable housing.

In addition, AAPS recommends that one or more joint meetings of the Planning Board and the Historical Advisory Board be scheduled to provide more efficient communication between the two bodies.

Sincerely,

Dolores Kelleher
Board Member, Alameda Architectural Preservation Society

Nancy McPeak

From: Donna Fletcher <ohprimadonna@gmail.com>
Sent: Monday, April 10, 2023 11:55 AM
To: Nancy McPeak
Subject: [EXTERNAL] April 10 Planning Board Meeting re: Agenda Item 5A

Thanks for including these in tonight's comments/communications, Nancy!

Dear Members of the Planning Board and Staff,

As the Planning Board and staff work to finalize Objective Design Review Standards (ODRS) for the City, please consider the latest recommendations of the Alameda Architectural Preservation Society (AAPS) submitted to the Board for tonight's study session.

AAPS comments are thorough and complete and address a range of issues that hadn't been previously identified in the process.

I particularly encourage the Board to develop standards that expand the Traditional Design Area in the Multi-Family Standards to include *all of the Webster Street Business District and all of the North Park Street area*, promoting design consistency with existing buildings in Alameda's older and historic neighborhoods. This could include relaxing the standards within the TDA and elsewhere for 100% affordable housing standards to address Alameda Housing Authority comments.

Thank you for working collaboratively with our community organizations as you complete these important standards for the City Alameda.

Best regards,
Donna Fletcher
112 Centre Court
Alameda