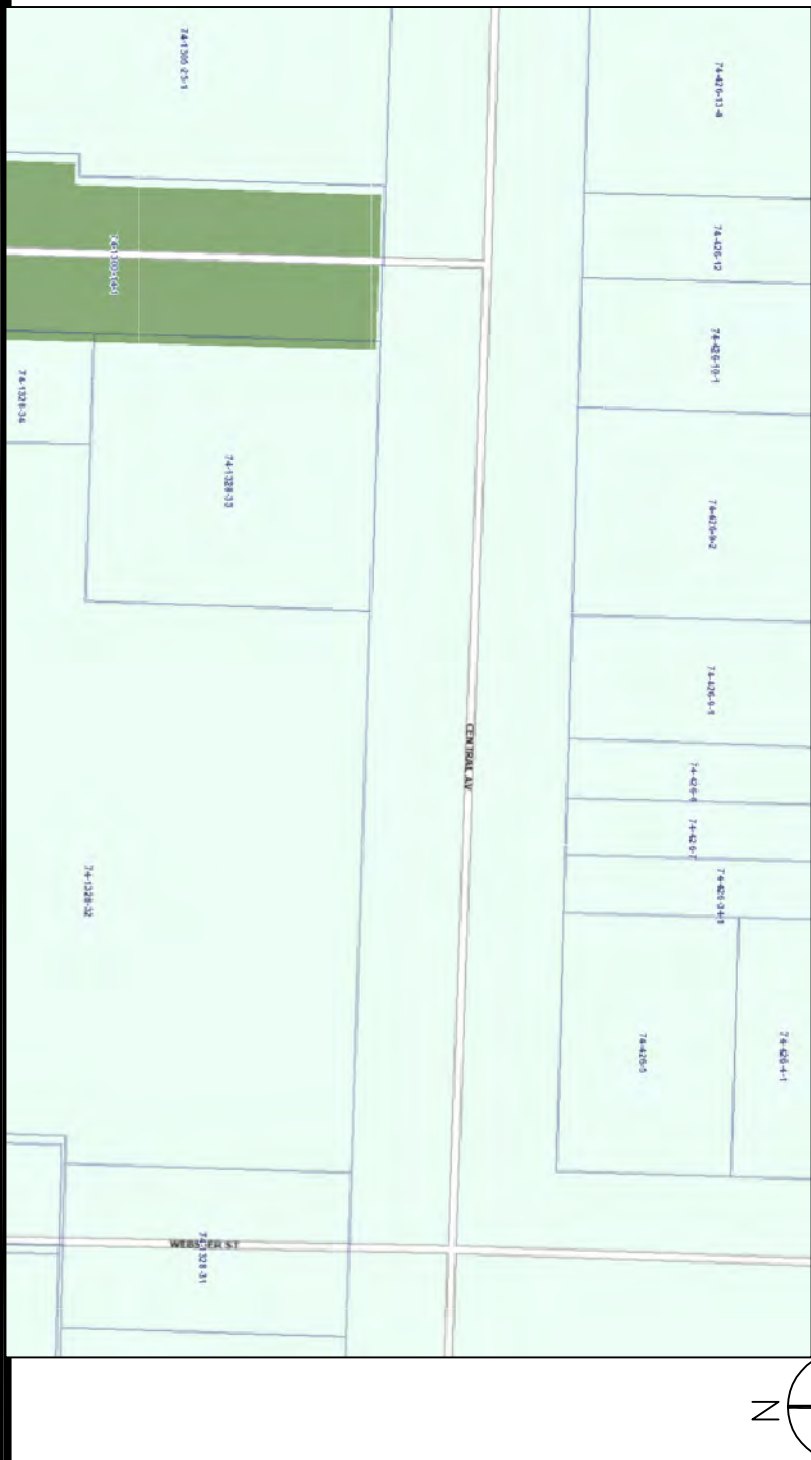


## LOCATION MAP



## GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED TO THE FOLLOWING CODES:
- |   |              |
|---|--------------|
| a. CALIFORNIA BUILDING CODE                 | 2013 EDITION |
| b. CALIFORNIA MECHANICAL CODE               | 2013 EDITION |
| c. CALIFORNIA PLUMBING CODE                 | 2013 EDITION |
| d. CALIFORNIA ELECTRICAL CODE               | 2013 EDITION |
| e. CALIFORNIA ENERGY CODE                   | 2013 EDITION |
| f. CALIFORNIA FIRE CODE                     | 2013 EDITION |
| g. CALIFORNIA GREEN BUILDING STANDARDS CODE | 2013 EDITION |
| h. CALIFORNIA HISTORIC BUILDING CODE        | 2013 EDITION |
| i. CALIFORNIA RESIDENTIAL CODE              | 2013 EDITION |

2. CONTRACTOR SHALL ADHERE TO ALL CODES, RULES & REGULATIONS GOVERNING CONSTRUCTION, BUILDING ACCESS & THE USE OF FACILITIES AS SET BY FEDERAL, STATE & LOCAL BUILDING CODES.
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS IN THE DESIGN DWGS.
4. ASSUMPTIONS HAVE BEEN MADE REGARDING THE (E) STRUCTURE & CONDITIONS OF WALLS, FLOORS, CEILING & BUILDING COMPONENTS. CONTRACTOR SHALL VERIFY (E) CONDITIONS AS BUILDING STRUCTURE IS UNCOVERED. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY OF CONDITIONS DIFFERENT FROM DWGS. ARCHITECT DOES NOT ASSUME RESPONSIBILITY FOR (E) STRUCTURE OR ITS LOCATION & CONDITION.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS & WORKMANSHIP (U.N.O.) IN ACCORDANCE WITH ALL FEDERAL, STATE & LOCAL CODES
6. THE CONTRACTOR SHALL VERIFY ALL DWGS & (E) CONDITIONS IN THE FIELD & NOTIFY ARCHITECT, IN WRITING, OF ANY DISCREPANCIES PRIOR TO START OF WORK.
7. LARGE SCALE DWGS TAKE PRESEDENCE OVER SMALL SCALE DWGS.
8. ALL DWGS SHOWN ARE TO FACE OF FINISHED WALLS U.N.O.
9. NOTIFY THE OWNER & ARCHITECT IF MODIFICATIONS TO STRUCTURAL COMPONENTS ARE REQUIRED TO COMPLETE THE WORK & ARE NOT DESCRIBED IN THE CONTRACT DOCUMENTS.
10. THESE DWGS SHALL NOT BE SCALED.
11. CONTRACTOR IS RESPONSIBLE FOR THE DESIGN & CONSTRUCTION OF ANY TEMPORARY SHORING &/OR BRACING FOR ANY CONSTRUCTION.
12. REVIEW ALL EXISTING INTERIOR AND EXTERIOR CONDITIONS INCLUDING EXTERIOR SIDING, TRIM, FASADS, STRUCTURAL ELEMENTS, PLUMBING, ELECTRICAL, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD INSPECT ALL SURFACES AND CONSTRUCTION COMPONENTS PRIOR TO SUBMITTING BIDDING DOCUMENTATION. IF CONDITIONS ARE FOUND WHERE REPLACEMENT OF COMPONENTS OR FINISHES ARE REQUIRED THAT ARE NOT INDICATED IN THE DRAWINGS OR SPECIFICATIONS THEN A LINE ITEM IN THE BIDDING DOCUMENTS MUST BE PROVIDED INDICATING THE EXTENT OF WORK, COST OF THE MATERIALS, FABRICATION, INSTALLATION, ETC. & TIME REQUIRED TO EXECUTE THE LINE ITEM(S).

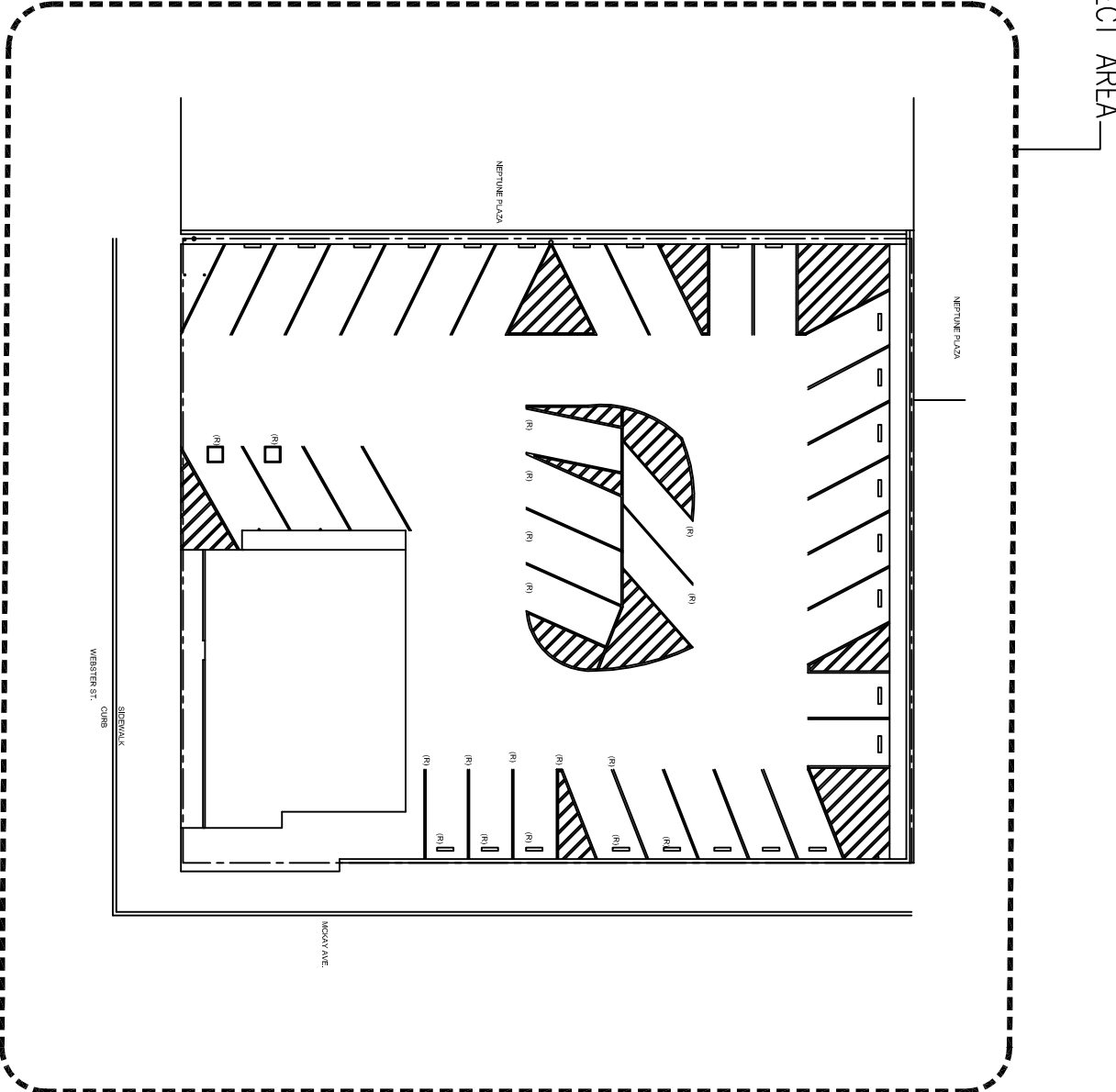
## ALAMEDA FIRE DEPT NOTES

1. ADDITIONS, EXIT SIGNS, EGRESS, ILLUMINATION AND PORTABLE FIRE EXTINGUISHERS MAY BE REQUIRED AS DETERMINED BY THE FIRE INSPECTOR.
2. ALL COMMERCIAL BUILDINGS ARE REQUIRED TO HAVE A KNOX KEY-LOCK BOX. IF THE BUILDING DOES NOT CURRENTLY HAVE ONE YOU WILL BE REQUIRED TO INSTALL ONE. PLEASE CONTACT FIRE INSPECTOR, TO OBTAIN A APPLICATION AND TO DETERMINE AN APPROVED LOCATION FOR ITS INSTALLATION.
3. ALL REQUESTS FOR FIRE INSPECTION SHALL BE MADE AT LEAST 48 HOURS IN ADVANCE. PLEASE CONTACT FIRE DEPARTMENT ADMINISTRATION TO SCHEDULE YOUR INSPECTIONS.
4. ALL BUILDINGS ARE REQUIRED TO BE PROVIDED WITH AN ADDRESS THAT IS CLEARLY VISIBLE FROM THE STREET OR ROADWAY. THE NUMERALS SHALL BE A MINIMUM OF 6 INCHES IN HEIGHT AND 1 INCH STROKE. THE NUMERALS SHALL BE OF CONTRASTING COLOR TO THEIR BACKGROUND, AND WHITE IN COLOR IF LOCATED ON GLAZING.

# DEMO NOTES

1. DEMOLITION IS NOT LIMITED TO WHAT IS SHOWN. DEMOS INDICATE GENERAL INTENT OF DEMOLITION AREAS ONLY. PLAN INDICATES THE GENERAL SCOPE OF DEMOLITION TO COMPLETE THE PROJECT AS SHOWN ON THE CONSTRUCTION PLAN.
2. CONTRACTOR TO VERIFY LOCATION OF (E) UTILITIES & SAFEGUARD PRIOR TO STARTING DEMO. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE, CAP, RECONNECT, RELOCATE OR REMOVE ANY &/OR ALL UTILITIES BEFORE, DURING & AFTER DEMO & (N) CONSTRUCTION.
3. THE CONTRACTOR SHALL COORDINATE WITH BUILDING OWNER THE REMOVAL OF DEBRIS.
4. WHERE (E) CONSTRUCTION IS REMOVED, ALL FIXTURES (OUTLETS, SWITCHES, THERMOSTATS, ETC.) SHALL ALSO BE REMOVED & CAPPED BEHIND FINISHED WALL UNLESS FIXTURES ARE TO BE REUSED &/OR RELOCATED. CONCEAL NO SWITCHES, JOINT BOXES, ETC. IN WALLS.
5. WHERE (E) CONSTRUCTION IS DISTURBED BY DEMOLITION OR NEW WORK, IT SHALL BE REPAIRED &/OR PATCHED TO MATCH (E) FINISH OR AS SPECIFIED IN THE DWGS.

# SITE PLAN & PROJECT AREA



## SITE DATA

1. INTERIOR TENANT IMPROVEMENT.
2. INSTALL (N) FLOOR FINISHES.
3. INSTALL (N) HAND WASH SINK, FREE STANDING BEVERAGE DISPENSERS & REFRIGERATORS.
4. ADD 28.25 SQ/FT FOR RENOVATED RESTROOM.

|                    |                                   |
|--------------------|-----------------------------------|
| USE:               | RETAIL - DINE-IN/TAKE OUT         |
| CONSTRUCTION TYPE: | TYPE V, NON-RAID, NON-SPRINKLERED |
| OCCUPANCY:         | B                                 |
| NUMBER OF STORIES: | 1                                 |
| GROSS FLOOR AREA:  | 2643 SF TOTAL                     |

EXITS PROVIDED: 3  
LOT COVERAGE CALCULATION:  
 NO CHANGES TO LOT COVERAGE

PROPOSED TENANT NAME: "NEPTUNE'S"

## OCCUPANCY LOAD CALCULATIONS

| DESCRIPTION       | AREA (NET) |     |    |
|-------------------|------------|-----|----|
| DINING AREA       | 598 SQ FT  | 15  | 40 |
| PATIO DINING AREA | 523 SQ FT  | 15  | 35 |
| KITCHEN           | 351 SQ FT  | 200 | 2  |
| HALLWAY           | 170 SQ FT  |     |    |
| RESTROOM          | 104 SQ FT  |     |    |
| WORK AREA         | 185 SQ FT  |     |    |
| LOBBY             | 287 SQ FT  |     |    |
|                   |            | 100 | 8  |
| WALK-IN STORAGE   | 101 SQ FT  |     |    |
| DRY STORAGE       | 120 SQ FT  |     |    |
|                   |            | 300 | 1  |
| TOTAL OCCUPANCY   |            |     | 86 |





## CONTACT INFO

OWNER:  
JOHN NGU  
P.O. BOX 431  
ALAMEDA, CA 9450  
510-507-4150

# SHEET INDEX

|      |   |
|------|---|
| A1.0 | TITLE PAGE, SITE PLAN & PROJECT INFO                  |
| A2.0 | EXISTING & PROPOSED PLANS, AND FINISHING DETAILS      |
| A2.1 | APPLIANCES, PLAN, NOTES & DETAILS; MANDATORY MEASURES |
| A2.2 | INTERIOR ELEVATIONS – KITCHEN & WORK AREAS            |
| A2.3 | WALK IN AND EXHAUST HOOD, NOTES & DETAILS             |
| A3.0 | EXISTING & PROPOSED ELECTRICAL PLANS AND NOTES        |
| A4.0 | EXISTING & PROPOSED PLUMBING PLAN, NOTES & DETAILS    |
| A5.0 | HANDICAP ACCESSIBILITY AND HARDWARE DETAILS           |
| A6.0 | EXISTING EXTERIOR ELEVATIONS & ROOF PLAN              |
| A6.1 | PROPOSED EXTERIOR ELEVATIONS                          |

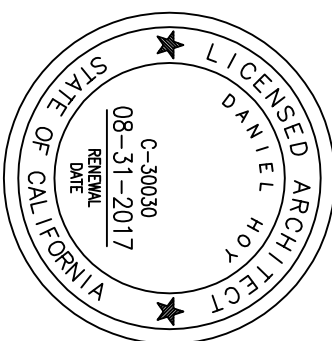
## WALL LEGEND

|   |                      |
|---|----------------------|
|  | NEW FULL HEIGHT WALL |
|  | NEW PARTITION WALL   |
|  | EXISTING             |
|  | DEMOLITION           |

(EX) TACTILE EXIT SIGN. SEE NOTES.

DANIEL HOY, AIA  
ARCHITECTURE

1551 WEBSTER STREET, SUITE B  
ALAMEDA, CALIFORNIA 94501  
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PLANS & SPECIFICATIONS ARE PREPARED AS INSTRUMENTS OF SERVICE FOR THE CLIENT AND ARE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED FOR OTHER WORK WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

630 CENTRAL AVENUE  
ALAMEDA, CALIFORNIA, 94501

## COMMERCIAL TENANT IMPROVEMENT

**TITLE PAGE,  
SITE PLAN &  
PROJECT INFO**

# A1.0



FINISH NOTES

- FRP (FIBERGLASS REINFORCED PLASTIC), OR OTHER CONTINUOUS & WASHABLE SURFACE, AT WALLS WHERE INDICATED, TO 70" HT.
- WHERE NEW WORK JOINS (E) WORK CONTRACTOR SHALL PROVIDE & INSTALL MATERIAL TO MATCH (E) PATTERN, COLOR, FINISH, TEXTURE & DESIGN. PATCH & REPAIR ALL MATERIALS & SURFACES THAT ARE AFFECTED BY THE NEW WORK. THERE SHALL BE NO VISUAL DISCREPANCIES BETWEEN NEW & (E) WORK. NOTIFY OWNER & ARCHITECT PRIOR TO COMMENCEMENT OF CONSTRUCTION IF MATCHING MATERIALS, DETAILS OR COLORS ARE NOT AVAILABLE.
- ALL (E) DOORS TO REMAIN U.N.O.
- PROVIDE & INSTALL ALL HARDWARE NOT NOTED (PULLS, STOPS, HINGES, ETC.) AS REQUIRED PER CODE & FOR A COMPLETE OPERATING SYSTEM.
- COORDINATE KEYING WITH OWNER.
- SUBMIT GYP. BD. FINISH SAMPLE TO OWNER FOR APPROVAL PRIOR TO INSTALLATION.
- FOLLOW ALL MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR MATERIALS, FIXTURES & FINISHES.
- ALL FINISHES, GC TO PROVIDE COLORS & MATERIAL SAMPLES FOR OWNER APPROVAL PRIOR TO ORDERING & INSTALLATION
- PROVIDE BLOCKING WHERE REQUIRED BY MANUFACTURER, AT LOCATIONS REQUIRED BY CODE & AT ALL FIXTURES & EQUIPMENT.
- WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO THE STRUCTURE. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER & LOWER THIRDS & SHALL MAINTAIN A MINIMUM CLEARANCE OF 4" FROM THE WATER HEATER CONTROLS. THE DIVISION OF THE STATE ARCHITECT REQUIRES THAT WATER HEATERS WITH A CAPACITY FROM 52 GAL TO 75 GAL HAVE AN ADDITIONAL STRAP INSTALLED AT MID-HEIGHT.
- UNO, WHERE EXISTING MATERIALS OF DIFFERING QUALITY, DIMENSION, FABRICATION, ETC. ARE INSTALLED THE MATERIAL OF HIGHER QUALITY, DIMENSION, FABRICATION, ETC. SHALL BE USED FOR BIDDING PURPOSES WHERE "MATCH EXISTING" IS INDICATED.
- UNO ALL TRIMS, CASINGS, BASEBOARDS, FINISHES, ETC: MATCH EXISTING FOR BIDDING PURPOSES. SEE SPECIFICATIONS FOR FURTHER INFORMATION.
- REVIEW ALL EXISTING INTERIOR AND EXTERIOR CONDITIONS INCLUDING EXTERIOR SIDING, TRIM, FASCIAS, STRUCTURAL COMPONENTS, PLUMBING, ELECTRICAL, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD INSPECT ALL SURFACES AND CONSTRUCTION COMPONENTS PRIOR TO SUBMITTING BIDDING DOCUMENTATION. IF CONDITIONS ARE FOUND WHERE REPLACEMENT OF COMPONENTS OR FINISHES ARE REQUIRED THAT ARE NOT INDICATED IN THE DRAWINGS OR SPECIFICATIONS THEN A LINE ITEM IN THE BIDDING DOCUMENTS MUST BE PROVIDED INDICATING THE EXTENT OF WORK AND COST OF THE MATERIALS, FABRICATION, INSTALLATION, ETC.
- PROVIDE FIRE BLOCKING & CAULK W/APPROVED SEALANTS AT ALL LOCATIONS AS REQ'D BY CODE.
- INSTALL/REPAIR (E) SUBFLOOR THROUGHOUT AS REQ'D FOR PROPER INSTALLATION OF (N) FINISHED FLOOR. IF DIFFERENCES IN HEIGHT ARE CAUSED BETWEEN (E) & (N) FLOORING AT TIME OF INSTALLATION NOTIFY ARCHITECT PRIOR TO INSTALLATION OF (N) FINISHED FLOOR.
- VOC & FORMALDEHYDE LIMITS TO CONFORM TO TABLES 4.504.1--3 & .5 OF THE CA GREEN BLDG CODE.

GENERAL NOTES

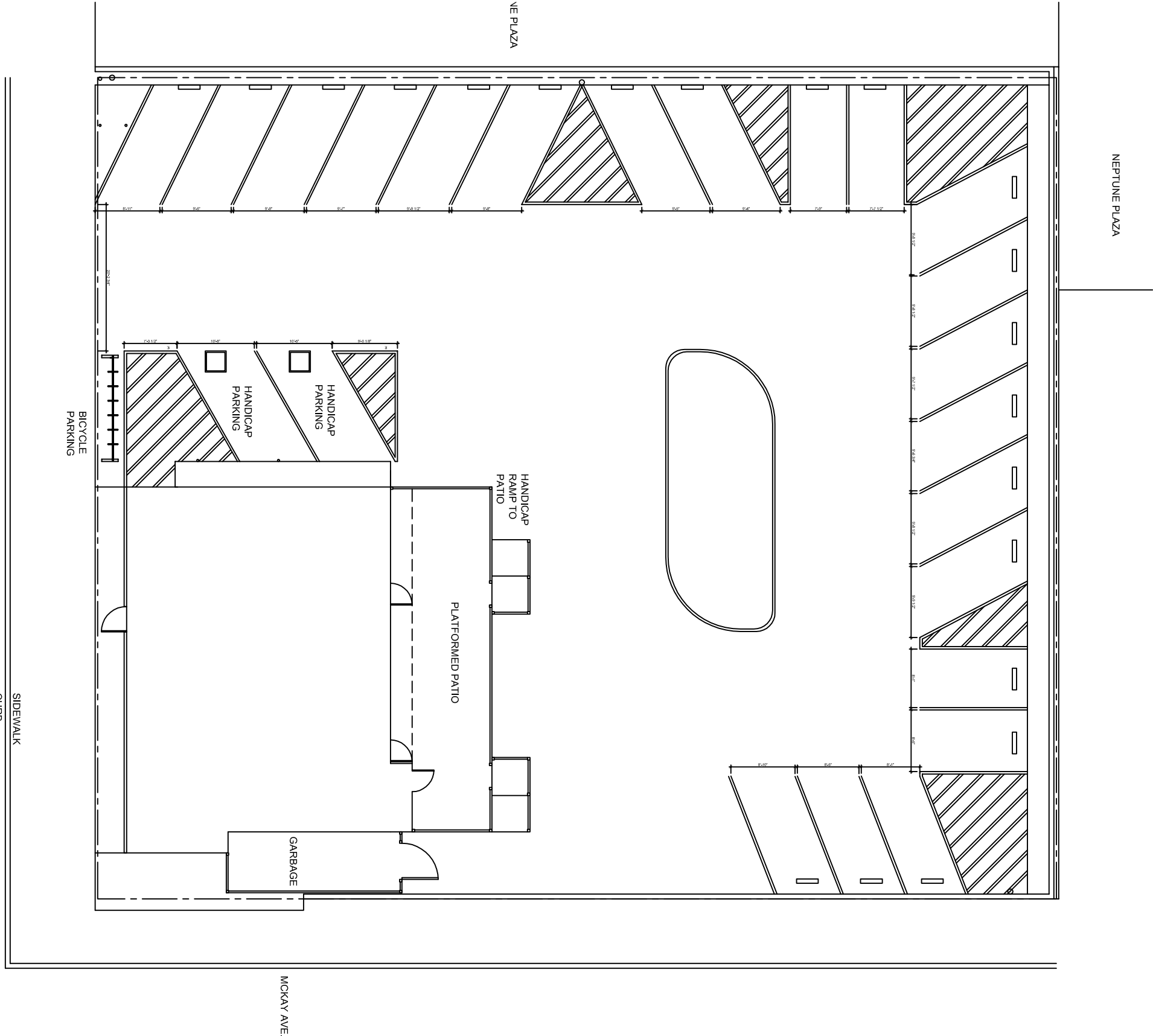
- PROVIDE INTEGRAL COVE TILE OR STAINLESS STEEL COVE BASE WITH CAULKING, 4" HT, 3/8" RADIUS COVE AT BAR AREA (FINISH "T2") & AT ALL AREAS PER AGCH.
- RELOCATE MOP SINK PROVIDED AT (E) KITCHEN TENANT SPACE.
- SEE EQUIPMENT LIST FOR ALL MANUFACTURER LISTINGS.
- PROVIDE SEALED AND FINISH SURFACES AT ALL AREAS OF CASHIER AREAS.
- ALL HAND SINKS TO HAVE LIQUID SOAP AND PAPER TOWEL DISPENSERS INSTALLED.
- WATER HEATER STRAPS: STRAPPING POINTS SHALL BE AT POINTS WITHIN THE UPPER & LOWER THIRDS & SHALL MAINTAIN A MIN. CLEARANCE OF 4" FROM THE WATER HEATER CONTROLS, PER CPC.
- DISHWASHING CHEMICALS, LOCATED IN (E) TENANT SPACE, SHALL BE STORED A MINIMUM OF 6" ABOVE THE FLOOR.
- ALL HAND WASH SINKS TO HAVE "WAST" ACTION TYPE LEVERS.

FINISH SCHEDULE

| SYMBOL | MATERIAL                           | NOTE   |
|--------|------------------------------------|--|
| [E]    | (E) QUARRY/NON-SLIP TILE TO REMAIN | PATCH & REPAIR AS REQ'D. PROVIDE OWNER APPD THRESHOLD AT SURFACE & MATERIAL TRANSITIONS. |
| [F-1]  | NON-SLIP TILE                      | CONTRACTOR TO PROVIDE SAMPLE. OWNER TO APPROVE PRIOR TO PURCHASE & INSTALL               |
| [F-2]  | QUARRY TILE FLR W/TILE BASE        | CONTRACTOR TO PROVIDE TILE SAMPLE. OWNER TO APPROVE PRIOR TO PURCHASE & INSTALL          |
| [F-3]  | 1/4" EPOXY                         | CONTRACTOR TO PROVIDE TILE SAMPLE. OWNER TO APPROVE PRIOR TO PURCHASE & INSTALL          |
| [E]    | 2-10ABC FIRE EXTINGUISHER          | CONFIRM LOCATION W/FIRE MARSHAL  |

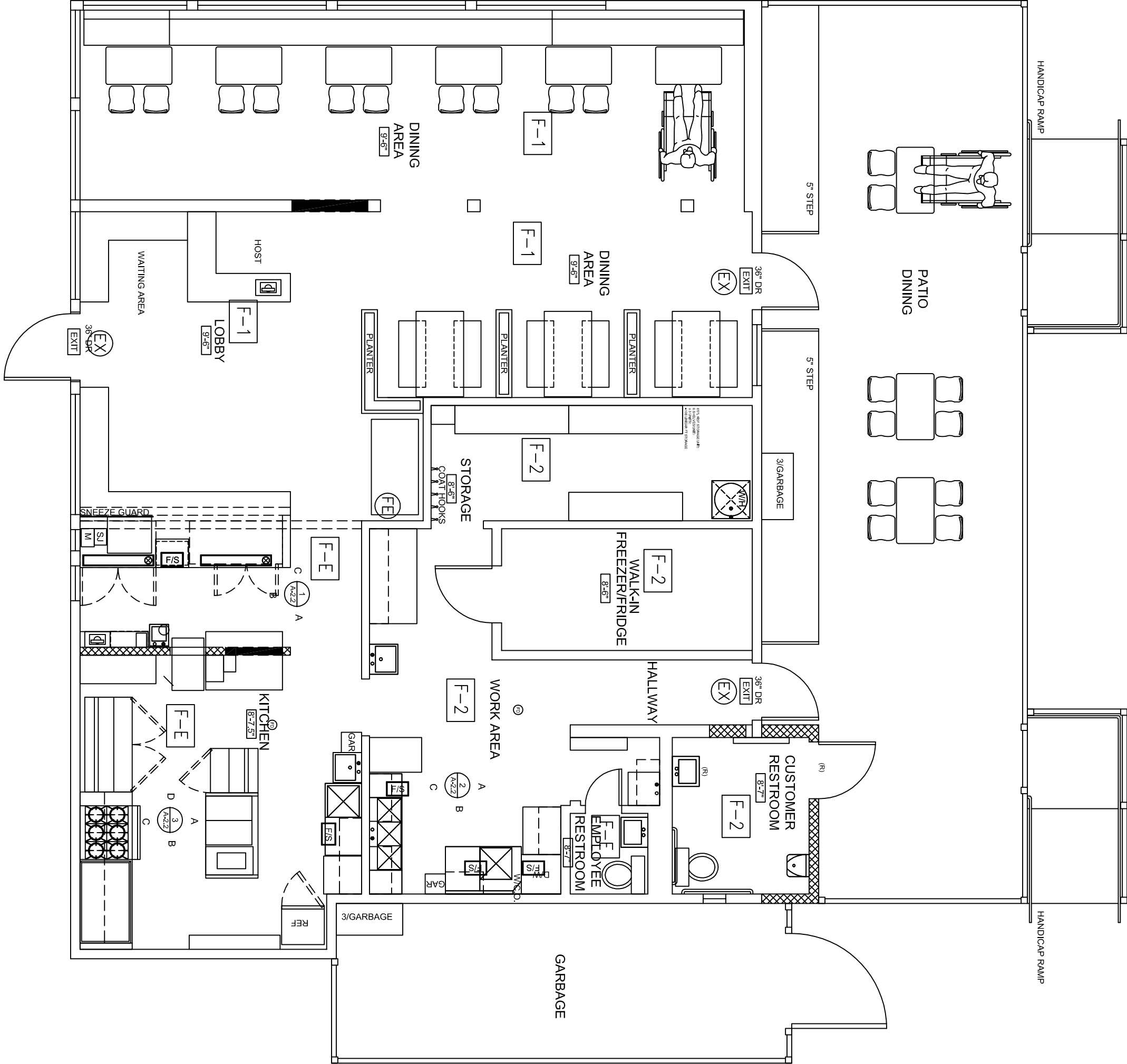
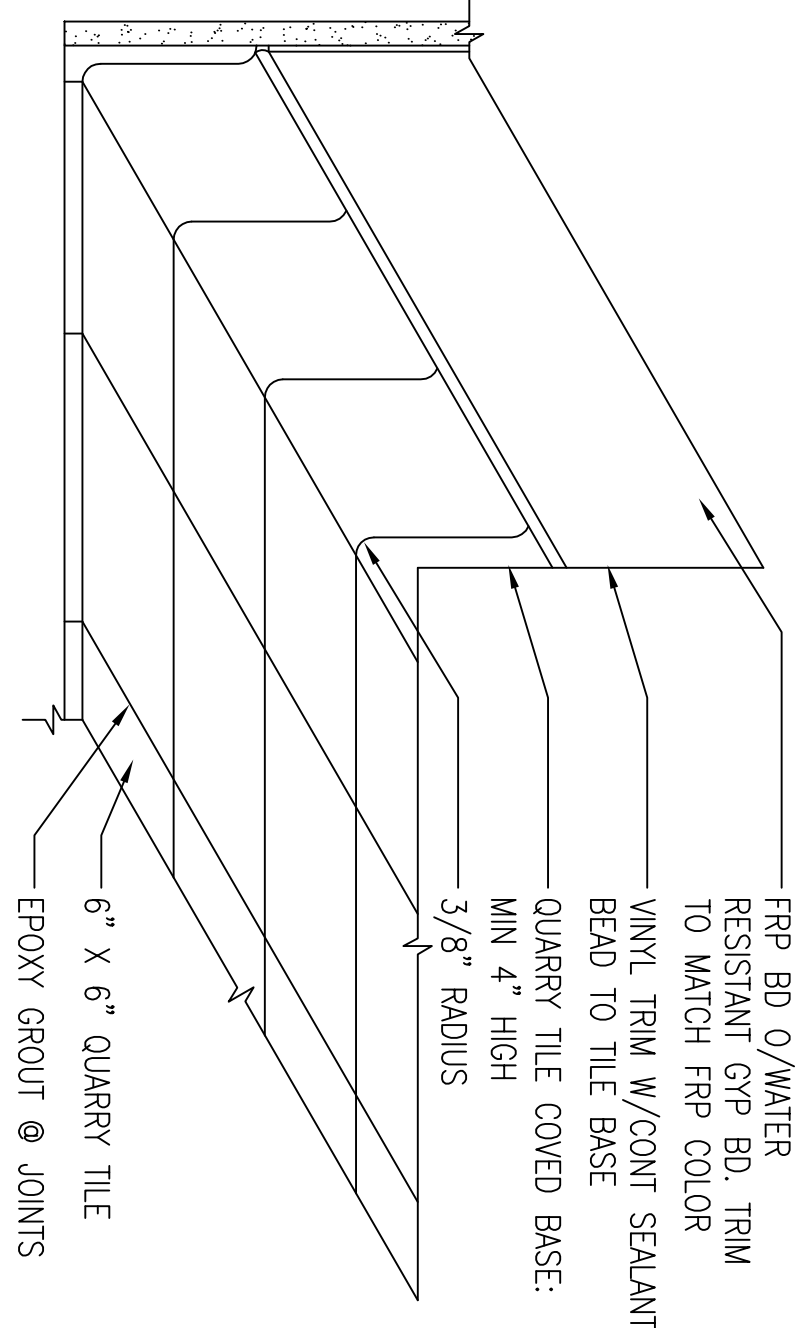
- REVIEW ALL FINISH SELECTIONS & LOCATIONS W/OWNER PRIOR TO ORDERING & INSTALLATION.
- ALL OUTSIDE CORNERS TO RECEIVE MTL CORNER PROTECTORS TO MATCH (E).

FURS: NON-SLIP GRAY QUARRY TILE W/ EPOXY GROUT  
WALLS: FRP  
CEILINGS: GYP BD, SMOOTH FINISH (8'6"-9'6" IN HEIGHT)



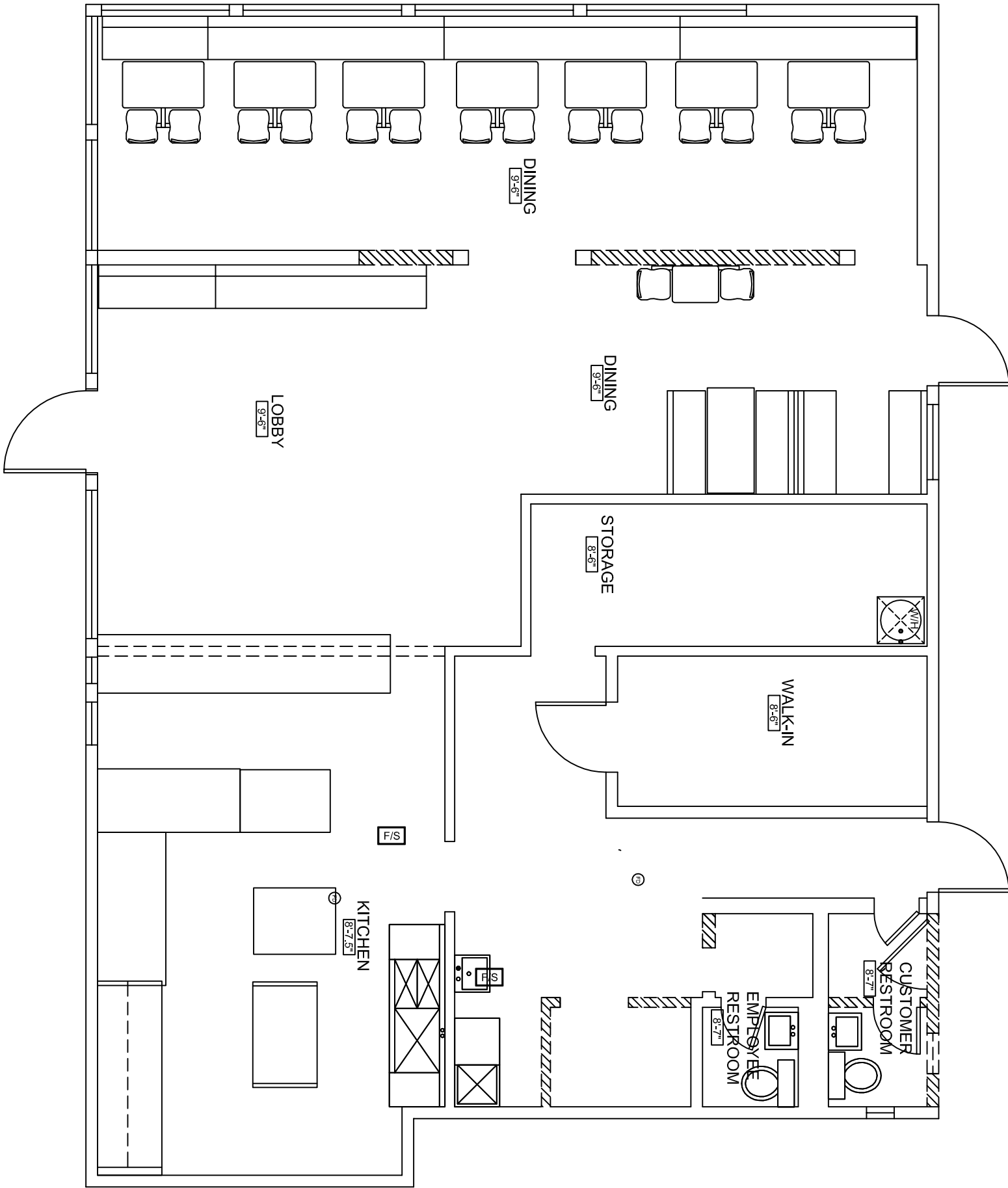
PARKING NOTES

- PARKING LINES TO BE REPAINTED EXCEPT THOSE TO BE REMOVED
  - (R) TO BE REMOVED
  - (N) NEW PARKING LINES/HANDICAP CLEARING TO BE PLACED
  - BICYCLE PARKING TO BE ADDED WITHIN 50'0" FEET OF ENTRANCE
  - BICYCLE PARKING MINIMUM 2'0" WIDE AND 6'0" DEEP
- EXISTING PARKING SPOTS: 35  
PARKING SPOTS TO REMAIN: 21
- HANDICAP PARKING: 2  
EMPLOYEE PARKING: 5  
BICYCLE PARKING: 6



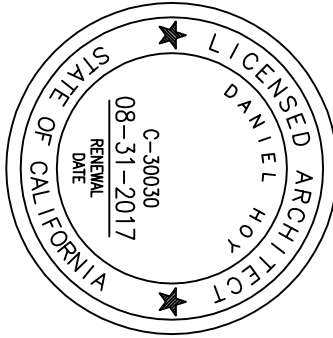
PLAN NORTH

2 3/16"=1'-0"



1 3/16"=1'-0"

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ARCHITECTURE  
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630 CENTRAL AVENUE  
ALAMEDA, CALIFORNIA, 94501

COMMERCIAL  
TENANT IMPROVEMENT

| Project Number | Drawn By | Checked By |
|----------------|----------|------------|
| 15             | TH       | TH         |

| Issues | Revisions | Description |
|--------|-----------|-------------|
| Number | Date      |             |
|        |           |             |
|        |           |             |
|        |           |             |

COMMERCIAL TENANT IMPROVEMENT  
HERNANDEZ & ASSOCIATES, AIA  
ALAMEDA, CA 94501

EXISTING &  
PROPOSED PLANS  
FINISH DETAILS

A2.0

## APPLIANCE/FURNITURE SCHEDULE

| SYMBOL | ROOM/TYPE        | MANUFACTURER      | MODEL        | DIMENSIONS       | QT | NOTES             |
|--------|------------------|-------------------|--------------|------------------|----|-------------------|
| 1      | DINING TABLE     | CUSTOM            |              | 23.75" x 41.75"  | 9  |                   |
| 2      | DINING CHAIR     | CUSTOM            |              | 16" X 17" x 18"  | 20 |                   |
| 3      | BENCH SEATING    | CUSTOM            |              | 22.25" x 121"    | 1  | (E) – REFINISHED  |
| 4      | BENCH SEATING    | CUSTOM            |              | 17" x 42"        | 6  |                   |
| 5      | DINING TABLE     | CUSTOM            |              | 30" x 54"        | 3  |                   |
| 6      | WATER HEATER     | RHEEM             | 42060F       |                  | 1  |                   |
| 7      | CHANGING STATION | KOALA KARE        | KB200-11     | 3.75" x 35.6875" | 1  |                   |
| 8      | URINAL           | AMERICAN STANDARD | 6550.001.020 | 14" x 14"        | 1  | WALL MOUNTED      |
| 9      | STORAGE SHELF    | METRO             | EZ1860NC-4   | 18" x 60"        | 3  | BUILT ON SITE     |
| 10     | WALK-IN FREEZER  | RUSSEL            |              | 63.25" x 85"     | 1  | (E)               |
| 11     | WALK-IN COOLER   | RUSSEL            |              | 88.5" x 85"      | 1  | (E)               |
| 12     | STORAGE CABINET  |                   |              | 14.5" x 29"      | 1  | MOUNTED ABOVE W/H |
| 13     | MOP SINK         |                   |              | 20" x 21"        | 1  |                   |
| 14     | BROOM RACK       | BROBRICK          | B-224        | 36" x 8"         | 1  | 42" AFF           |
| 15     | DRYING SHELF     | REGENCY           | NSF CHROME   | 14" x 30"        | 4  | 60" AFF           |

## GENERAL FIRE SAFETY NOTES

1. FRONT DOOR REQUIREMENT-  
THE FRONT DOOR SHALL HAVE A 10" KICK PLATE PER T-24 AND ADD NOTE ON TOP OF THE DOOR, STATING "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS" WITH 1" MIN. LETTER HEIGHT
2. EXIT DOORS-  
EXIT DOOR SHALL SWING TO THE DIRECTION OF TRAVEL AND TO HAVE AN APPROVED PANIC HARDWARE DEVICE AND WITH THE POSTED EXIT SIGN, DEAD BOLTS OR SURFACE MOUNTED LATCHES ARE NOT ALLOWED. INSTALL EMERGENCY POWER FOR LIGHTED EXIT AS REQUIRED. (WITH THE EXCEPTION OF "B" OCCUPANCY)
3. HANDICAP SIGNS-  
INSTALL THE INTERNATIONAL HANDICAP SIGN IN THE FRONT DOOR AREA.
4. STREET ADDRESS-  
INSTALL STREET ADDRESS NUMBER ON THE BUILDING SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY.
5. DINING ROOM OCCUPANCY-  
EACH DINING ROOM SHALL HAVE AN OCCUPANCY SIGN TO SHOW THE MAXIMUM SEATING.
6. LOOK BOX FOR FIRE MARSHALL-  
A KNOX LOOK BOX IS REQUIRED BY THE FIRE DEPARTMENT. THE EXISTING LOOK BOX LOCATION MAY BE INDICATED ON THE PLAN.

## CALGREEN MANDATORY MEASURES

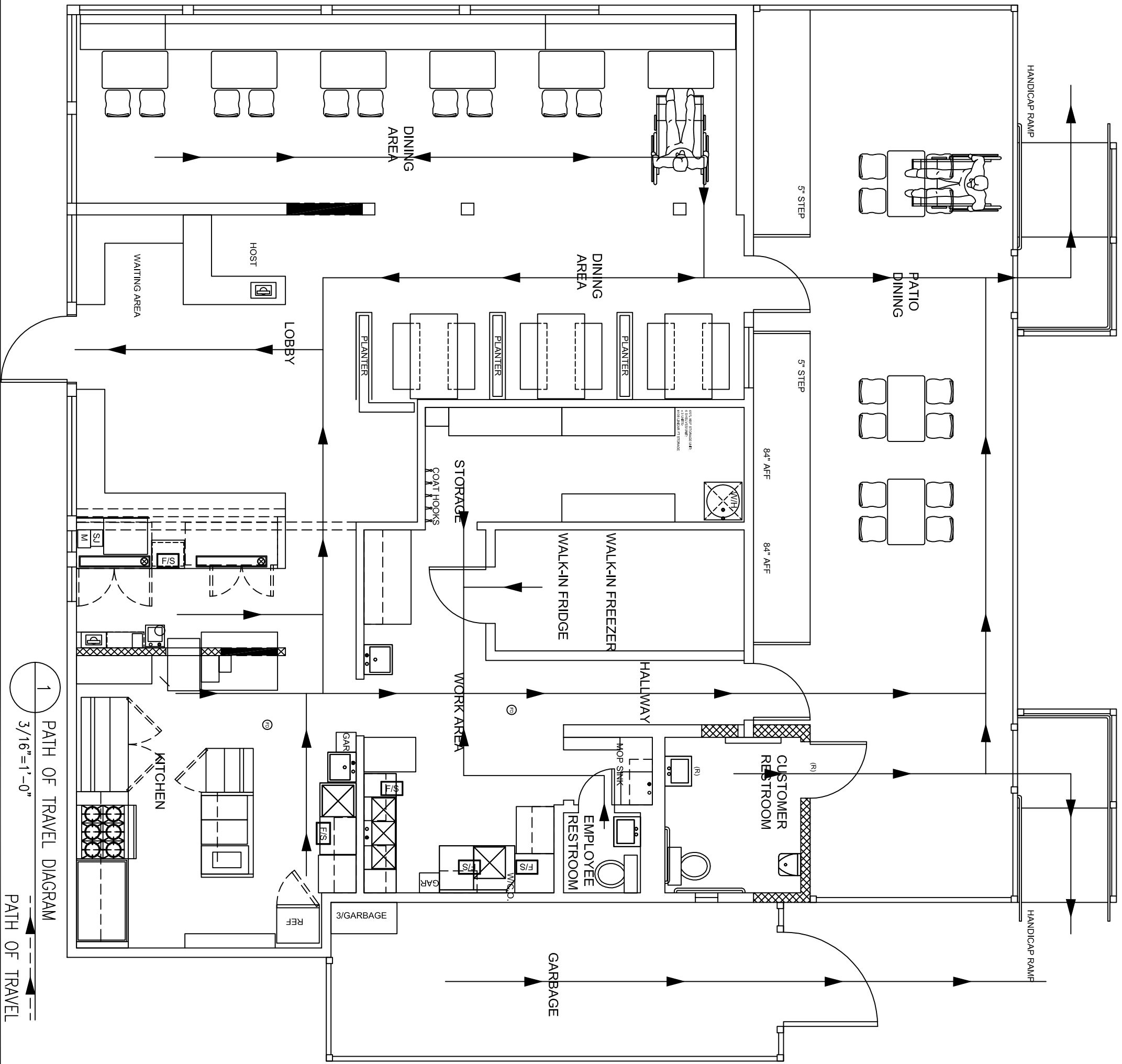
1. DIVERT A MIN. OF 50% OF THE CONSTRUCTION WASTE TO RECYCLE OR SALVAGE PER SECTION 4.408.1.
  2. PROTECT ANNUAL SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS @ EXT. WALLS AGAINST THE PASSAGE OF RODENTS (4.406.1).
  3. COVER DUCT OPENINGS & OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (4.405.1).
  4. ADHESIVES, SEALANTS & CAULKS SHALL BE COMPLIANT W/VOC & OTHER TOXIC COMPOUNDS DURING CONSTRUCTION (4.504.2.1).
  5. PAINTS, STAINS & OTHER COATINGS SHALL BE COMPLIANT W/VOC LIMITS (4.504.2.2).
  6. AEROSOL PAINTS & COATINGS SHALL BE COMPLIANT W/PRODUCT WEIGHTED MIR LIMITS FOR ROC & OTHER TOXIC COMPOUNDS (4.503.2.3). DOCUMENTATIONS SHALL BE PROVIDED TO VERIFY COMPLIANCE.
  7. MIN. 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY W/THE VOC EMISSION LIMITS PER SECTION 4.504.4.
  8. PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) & HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY W/LOW FORMALDEHYDE EMISSION STANDARDS (4.504.5).
- CHECK MOISTURE CONTENT OF BLDG MATERIALS USED IN WALL & FLR FRAMING BEFORE ENCLOSURE (4.505.3).

| ENVELOPE MANDATORY MEASURES: NONRESIDENTIAL  |  | ENV-AM   |
|--|--|----------|
| Project Name   |  | 3/9/2015 |
| <b>DESCRIPTION</b>   |  |          |
| <b>Building Envelope Measures:</b>   |  |          |
| The building envelope shall have been certified by the manufacturer to comply with the California Quality Standard for Insulating Material, Title 20 Chapter 4, Article 3. |  |          |
| §110.6(a)  | All insulating materials shall be installed in compliance with the time spread rating and smoke density requirements of Sections 2602 and 707 of Title 24, Part 2.   |          |
| §110.6(b)  | The opaque portions of framed glazing walls in nonresidential buildings shall have insulation with an installed R-value of at least R-3.13 between framing members.  |          |
| §110.7(a)  | Doors, doors and openings in the building that are observable sources of air leakage shall be caulked, gasketed, or weatherstripped.   |          |
| §110.6(a)  | Main entrance, secondary products, and exterior doors shall have an infiltration rate not exceeding 0.3 cfm/ft <sup>2</sup> of window area; 0.5 cfm/ft <sup>2</sup> of door area for residential doors; 0.3 cfm/ft <sup>2</sup> of door area for commercial single doors (excluding and adding, and 0.5 cfm/ft <sup>2</sup> for nonresidential double doors (excluding). |          |
| §110.6(a)  | Fenestration U-factor shall be rated in accordance with NFRC 100, or the applicable default U-factor.  |          |
| §110.6(a)  | Fenestration SHGC shall be rated in accordance with NFRC 200, or NFRC 100 for alternate fenestration, or the applicable default SHGC.  |          |
| §110.6(a)  | Site Constructed doors, windows and Skylights shall be caulked between the unit and the building, and shall be weatherstripped (except for infillrated glass doors and the door).  |          |

## APPLIANCE/FURNITURE SCHEDULE CONTINUED

| SYMBOL | ROOM TYPE                  | MANUFACTURER   | MODEL            | DIMENSIONS                   | QT | NOTES                            |
|--------|----------------------------|----------------|------------------|------------------------------|----|----------------------------------|
| 16     | CLEAN TABLE                | REGENCY        | COT-24           | 24" x 30" x 44.75"           | 1  | BUILT ON SITE                    |
| 17     | DISH MACHINE               | ECOLAB         | ES-2000          | 25" X 25"                    | 1  |                                  |
| 18     | PRE-RINSE SINK             | REGENCY        | 600DD148 RT      | 48" x 30" x 44.75"           | 1  |                                  |
| 19     | EMPLOYEE LOCKERS           |                | SINGLE 5-TIER    | 12" x 15"                    | 1  | REMOVE LEGS AND MOUNT 6" AFF     |
| 20     | UNDERCOUNTER REFRIGERATOR  | TRUE           | TUC-60G          | 60.375x30.125x36             | 1  |                                  |
| 21     | WORK SHELF                 | REGENCY        | 16               | 12" x 60"                    | 1  | 60" AFF                          |
| 22     | WORK TABLE                 | REGENCY        | 304              | 30" x 60"                    | 1  | BUILT ON SITE                    |
| 23     | HAND SINK                  | WESTERN STAR   | TSS-1-H          | 18" x 19"                    | 2  | W/ DUAL SPLASH GUARDS MIN. 6"H   |
| 24     | ICE MAKER                  | MANITOWOC      | SY-0224A         | 59.5" x 22" x 34"            | 1  |                                  |
| 25     | 3-COMP SINK                | ADVANCE TABCO  | FF-3-1515-15RL-X | 20.75" x 75"                 | 1  | BOWL 15"x15"                     |
| 26     | PREP SINK                  |                |                  | 23" x 45.5" x 43"            | 1  | BOWL 20" DEEP                    |
| 27     | DRYING SHELF               | REGENCY        | NSF CHROME       | 14" x 48"                    | 1  | 60" AFF                          |
| 28     | WORK TABLE                 | REGENCY        |                  | 24" x 24"                    | 1  | BUILT ON SITE                    |
| 29     | REFRIGERATOR               | TRUE           | T-19             | 27"x24.5"x76.5"              | 1  | LOCKABLE CASTERS                 |
| 30     | BENCH SEATING              | CUSTOM         |                  | 22.25" x 242"                | 1  | (E) - REFINISHED                 |
| 31     | BENCH SEATING              | CUSTOM         |                  | 22.25" x 54"                 | 1  | (E) - REFINISHED                 |
| 32     | HOSIERS STAND              | CUSTOM         |                  | 57" x 66" x 42"              | 1  | FIXED                            |
| 33     | WAITING BENCH              | CUSTOM         |                  | 18" x 68" x 57"              | 1  | FIXED                            |
| 34     | BAR STOOL                  | CUSTOM         |                  | 18"D x 31"H                  | 4  | STAINLESS STEEL                  |
| 35     | BEER DISPENSER             | TURBO AIR      | TBD-2SD          | 58.5"x27.125"x37"            | 1  | LOCKABLE CASTERS                 |
| 36     | DROP-IN WATER STATION      | ADVANCE TABCO  | D-24-WSIBL2      | 18" x 21" x 13               | 1  |                                  |
| 37     | ESPRESSO MACHINE           | LA MARZOCO     | 2 GROUP          | 28"W x 23"D x 21"H           | 1  | SNEEZE GUARD BACK                |
| 38     | UNDER COUNTER REFRIGERATOR | SILVER KING    | SKR48            | 48"W x 29.374"D x 32.125"H   | 1  | LOCKABLE CASTERS                 |
| 39     | ESPRESSO GRINDER           | MAZZER         | SUPER JOLTY      | 9.5" x 16.5" x 24            | 1  | SNEEZE GUARD BACK                |
| 40     | ESPRESSO GRINDER           | MAZZER         | MAIOR            | 9.5" x 18" x 25              | 1  | SNEEZE GUARD BACK                |
| 41     | SINK                       | JOHN BOOS      | PBS-W-0909-SSLR  | 12" x 14.5"                  | 1  | W/ DUAL SPLASH GUARDS MIN. 6"H   |
| 42     | MILKSHAKE MACHINE          | HAMILTON BEACH | HDM200           | 10"W x 34"D x 60"H           | 1  | NEXT TO SOFT SERVE               |
| 43     | HOT WATER DISPENSER        | FETCO          | HMB-5            | 10"W x 24"D x 30"H           | 1  | UNDER COUNTER                    |
| 44     | WORK SHELF                 | CUSTOM         |                  | 10" X 57"                    | 1  | 42" AFF; STAINLESS; WALL MOUNTED |
| 45     | GRINDING ADJUSTMENT        | MAZZER         | G3               | 9.5"Wx16.5"Dx24"H            | 1  |                                  |
| 46     | COFFEE BREWER              | CURTIS         | 1P15S SINGLE     | 35.125"x11.25"x16.75"        | 1  |                                  |
| 47     | SOFT SERVE FREEZER         | TAYLOR         | 794              | 21"W x 34"D x 60"H           | 1  | AT WALL CUTOFF; LOCKABLE CASTERS |
| 48     | HOOD                       |                |                  | 33" x 54"                    | 1  | (E)                              |
| 49     | FOOD PREP TABLE            | TRUE           | TSSU-27-8        | 27.75"W x 30.125"D x 36.75"H | 1  |                                  |
| 50     | GAS FRYER                  | DEAN           | SR42G            | 15.5"x29.25"x45"             | 2  | UNDER HOOD; 6 LEGS               |
| 51     | WORK TABLE                 | CUSTOM         |                  | 18" x 30"                    | 1  | STAINLESS STEEL                  |
| 52     | WAFLE MAKER                | COBARCO INC.   | BW1-40SSE        | 10" x 18" x 15"              | 1  | ON TOP OF #49                    |
| 53     | WORK SHELF                 | CUSTOM         |                  | 9" x 57.5"                   | 1  | STAINLESS STEEL                  |
| 54     | STORAGE SHELF              | METRO          | EZ1848NC-4       | 18" x 48"                    | 1  | BUILT ON SITE                    |
| 55     | FOOD PREP TABLE            | TRUE           | TSSU-60-16       | 60.375" x 30.125" x36.75"    | 1  |                                  |
| 56     | HOOD                       |                |                  | 33" x 99.50"                 | 1  | (E)                              |
| 57     | BURNER RANGE               | AMERICAN RANGE | HD34-6-0         | 34" x 38" x 36               | 1  | LOCKABLE CASTERS                 |
| 58     | CHEF BASE                  | TRUE           | TROB-52          | 51.875x32.125x25.375         | 1  | UNDER GRIDDE; LOCKABLE CASTERS   |
| 59     | GAS GRIDDE                 | KEATING        | MIRACLEAN        | 36.5"x24"x18"                | 1  | ON TOP OF #43                    |

\*ALL COOKING EQUIPMENT TO STAND ON LEGS OR FRONT LOCKING CASTERS



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## COMMERCIAL TENANT IMPROVEMENT

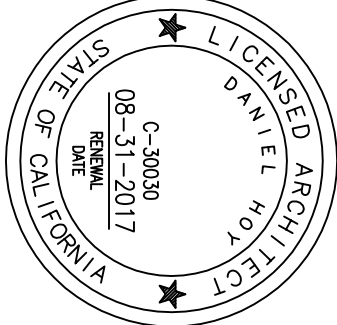
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## APPLIANCES NOTES & DETAILS MANDATORY MEASURES

# A2.1

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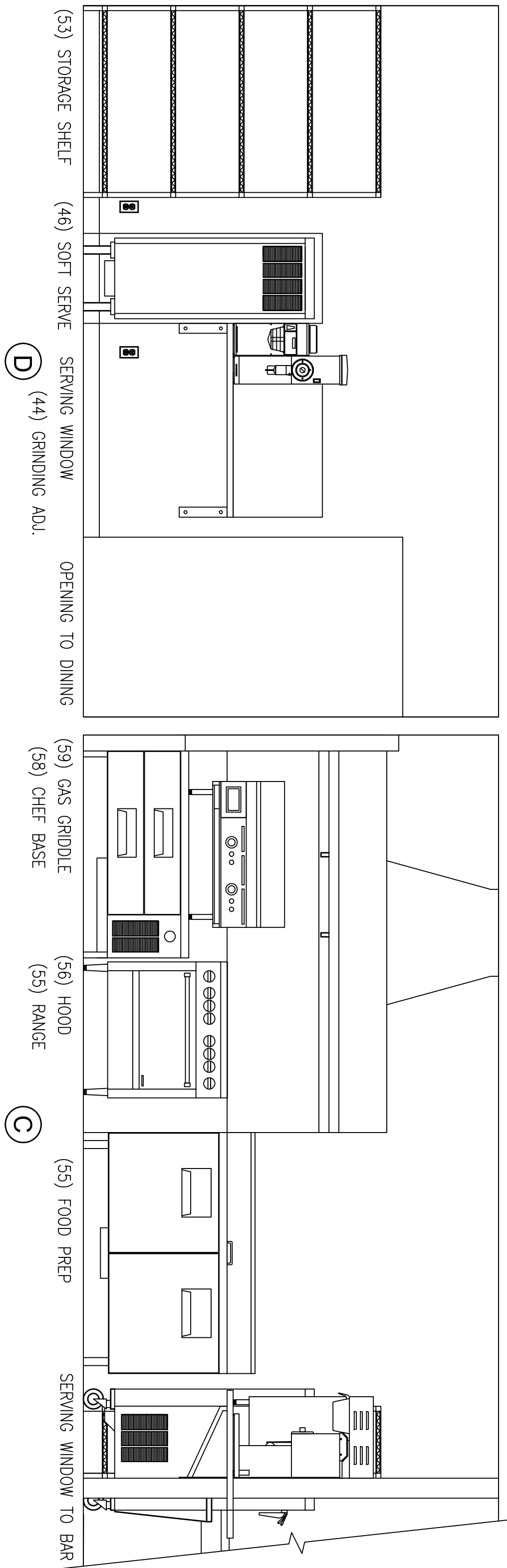
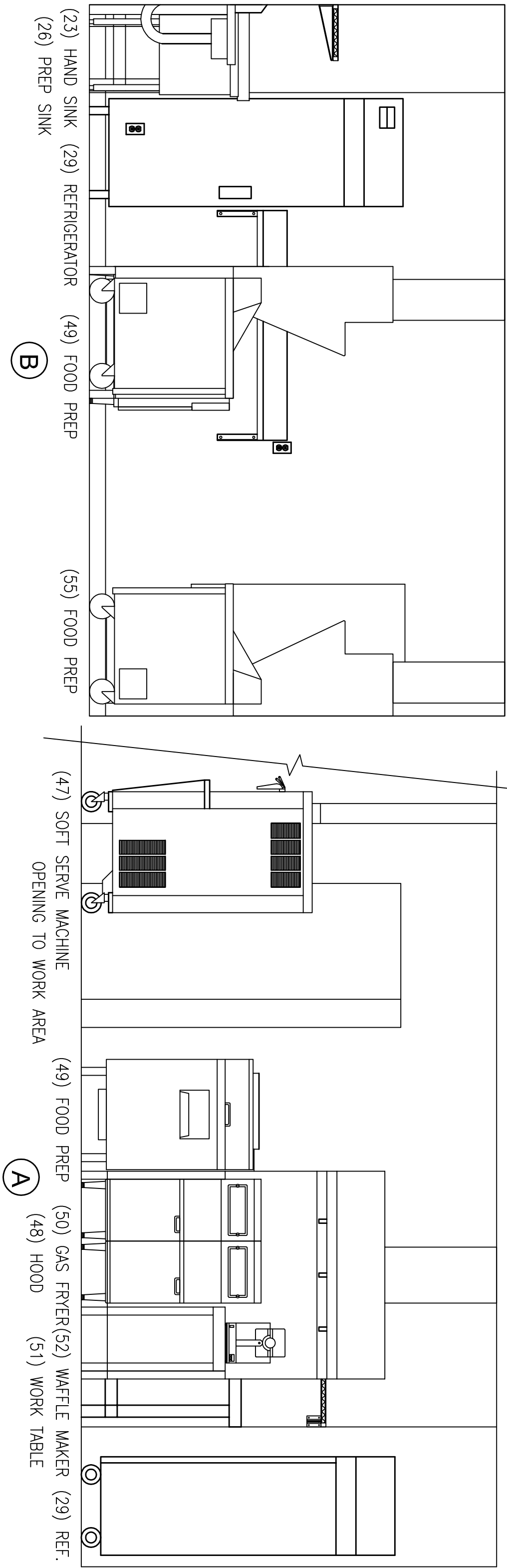
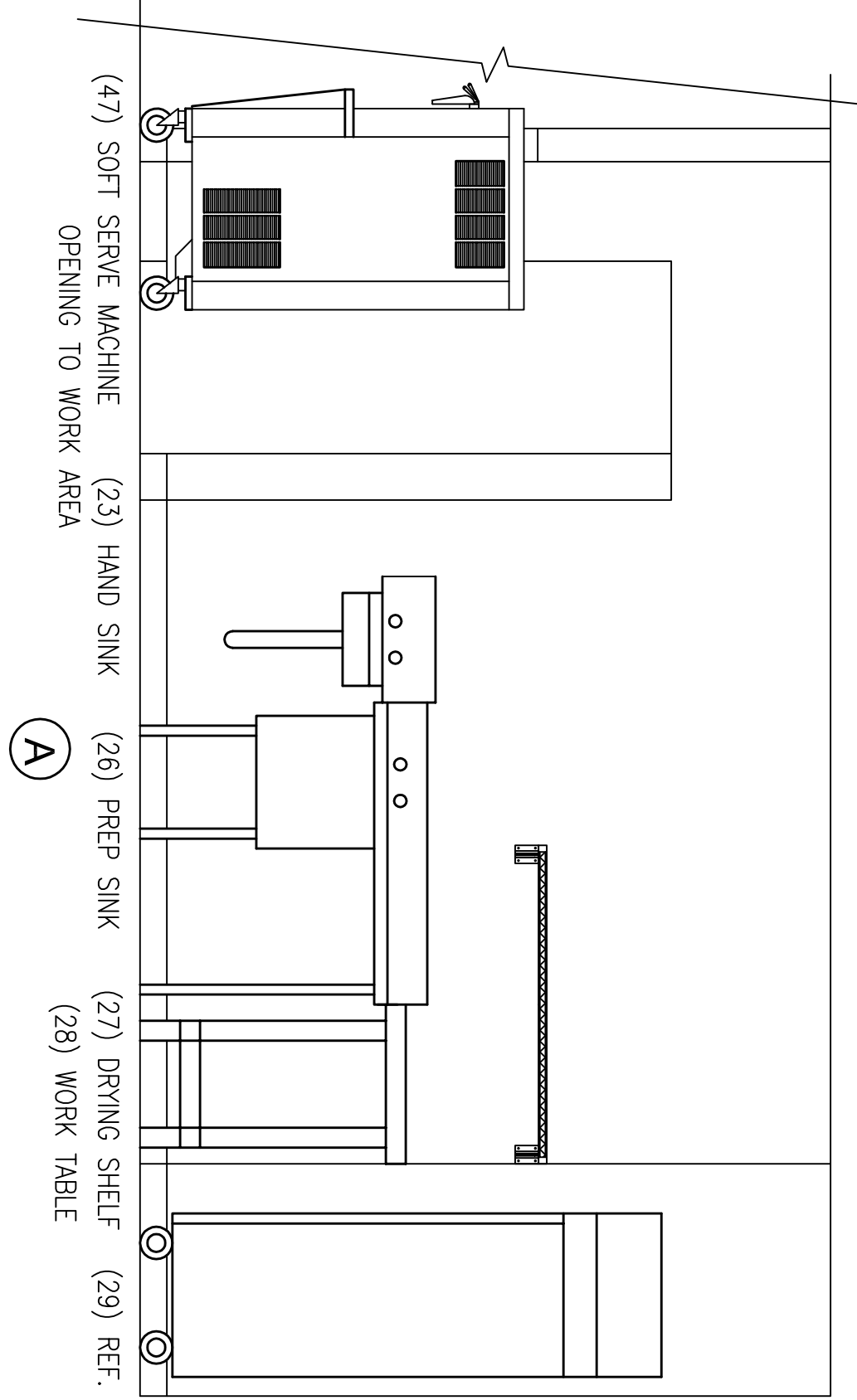
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ALAMEDA, CA 94501

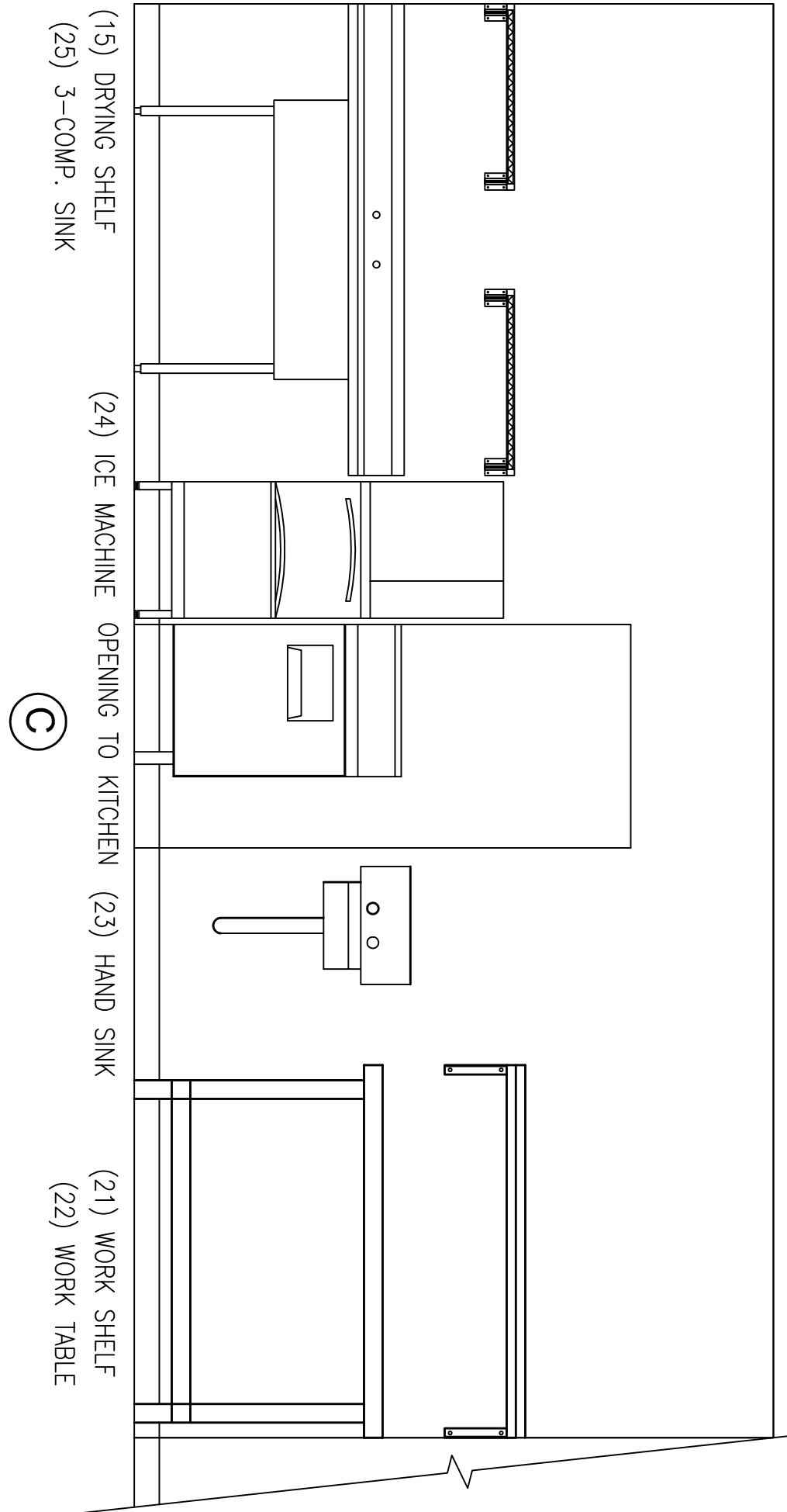
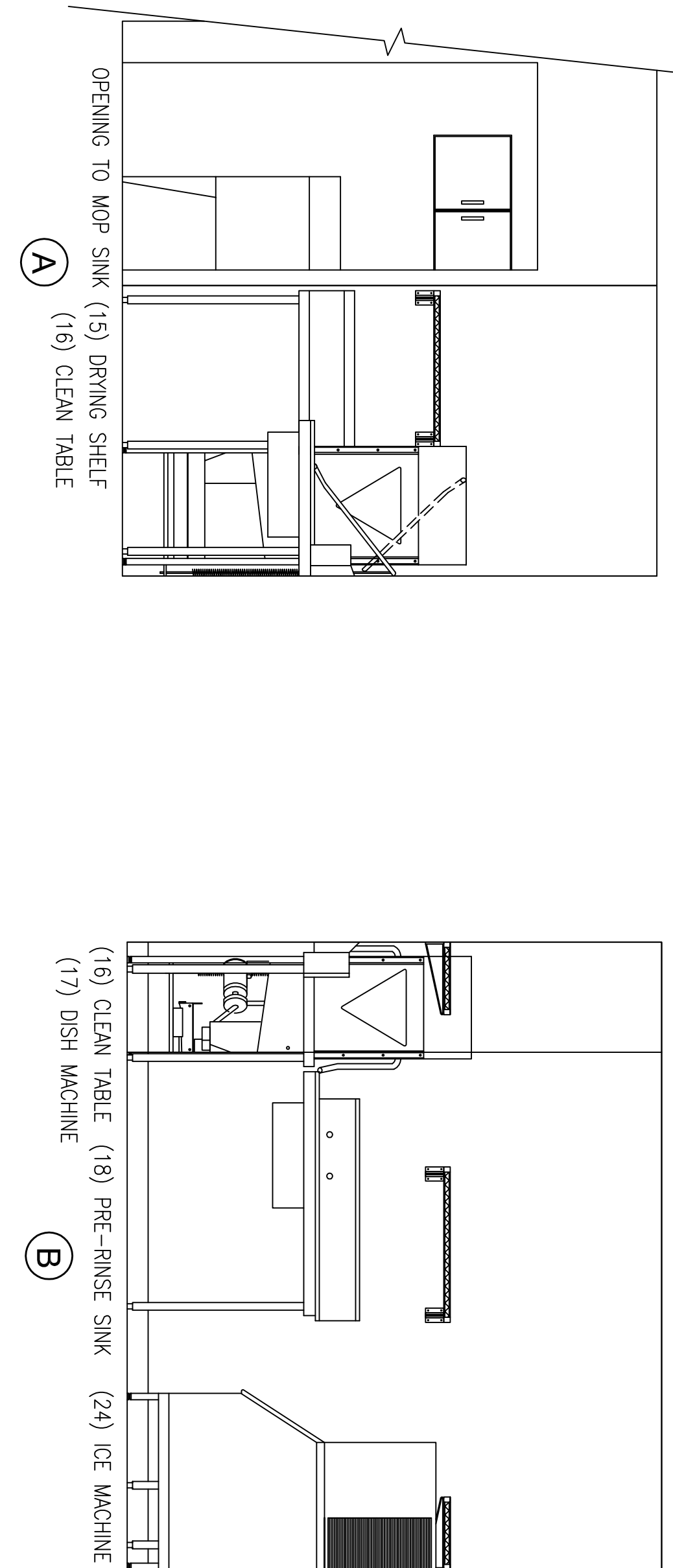
INTERIOR  
ELEVATIONS  
KITCHEN & WORK AREA

A2.2

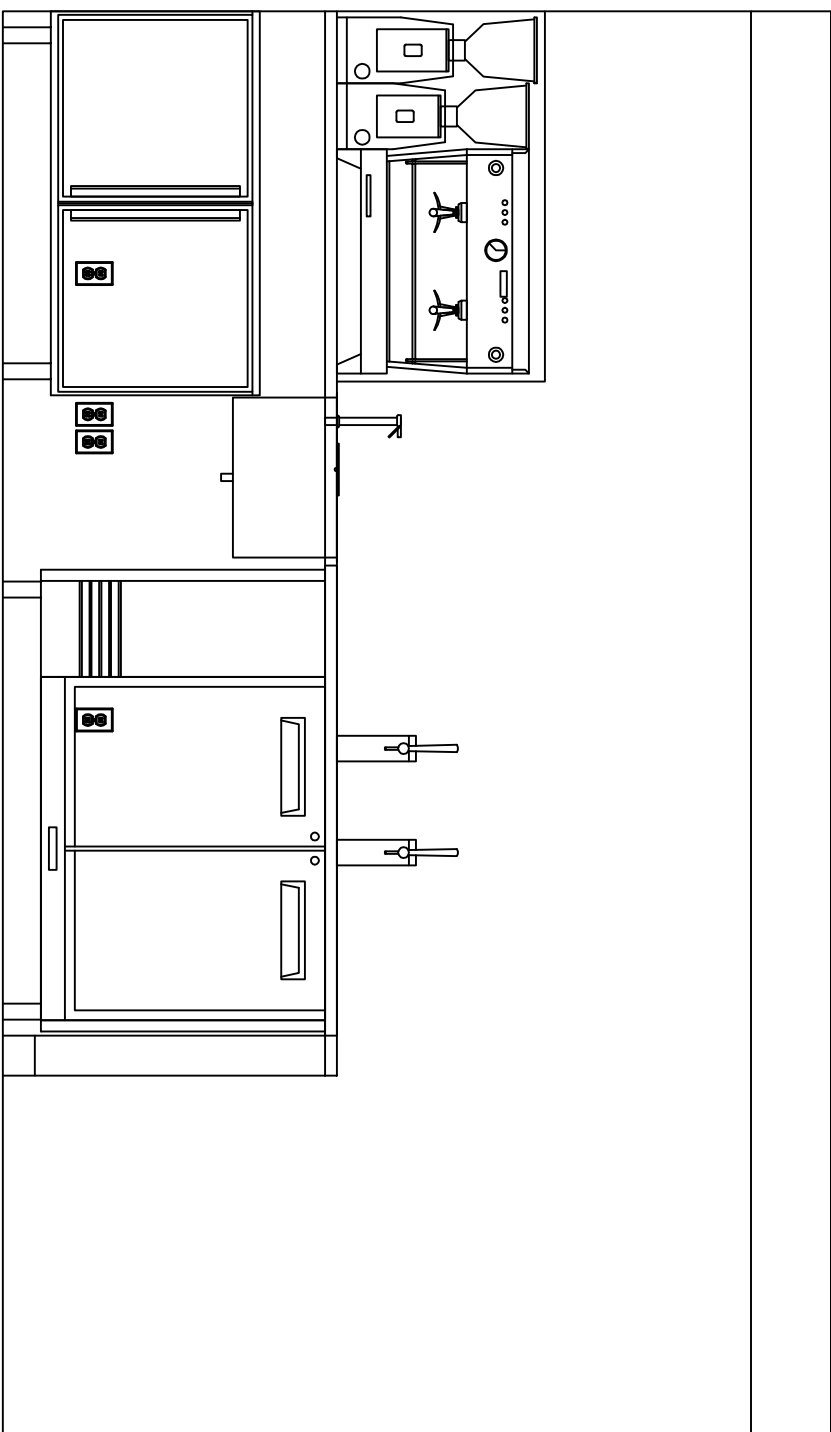
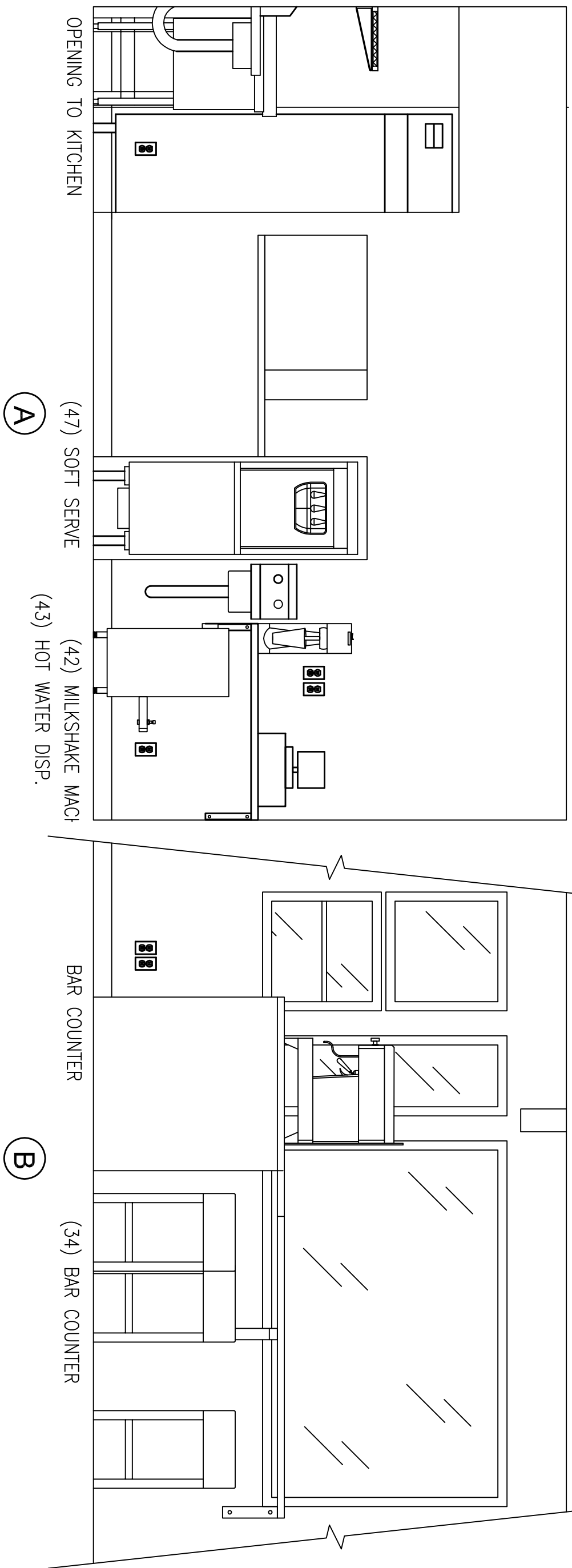


3 KITCHEN INTERIOR ELEVATIONS  
1/2"=1'0"

\*ALL COOKING EQUIPMENT TO STAND ON LEGS OR FRONT LOCKING CASTERS



2 WORK AREA INTERIOR ELEVATIONS  
1/2"=1'0"



1 BAR INTERIOR ELEVATIONS  
1/2"=1'0"

\*ALL COOKING EQUIPMENT TO STAND ON LEGS OR FRONT LOCKING CASTERS



## EXHAUST FAN INSTALLATION NOTES

1. EXHAUST FAN OUTLET: GREASE EXHAUST SHALL BE ON ROOF TOP, THE EXHAUST OUTLET SHALL BE 10" AWAY FROM THE MAKE-UP AIR UNIT, THE SWAMP COOLER A/C UNIT AND PROPERTY LINE.
2. EXHAUST OUTPUT HEIGHT: THE EXHAUST FAN OUTLET SHALL BE 24" MINIMUM ABOVE THE ROOF/SURFACE. THE TOP OF THE BLOWER UNIT SHALL NOT BE ABLE TO BE SEEN FROM THE STREET LEVEL.
3. ELECTRICAL REQUIREMENTS: A) INSTAL ELECTRICAL INTERLOCK TO THE EXHAUST FAN MOTOR AND THE MAKE-UP AIR FAN OR SWAMP COOLER MOTOR. B) PROVIDE POWER DISCONNECT FOR EACH EQUIPMENT ON THE ROOF TOP AND A SEPARATE 115V GFCI SERVICE RECEPTACLE WITHIN 25' OF THE EQUIPMENT. C) HOOD FAN AND MAKE UP AIR FAN MUST BE SHUT DOWN WITH THE ACTIVATION OF THE FIRE-EXTINGUISHER SYSTEM.
4. UL LISTED: ALL MECHANICAL AND ELECTRICAL EQUIPMENT SHALL HAVE A UL LABEL OR HAVE DESIGN LIST/NUMBER.

# GREASE HOOD INSTALLATION NOTES

1. FIRE PREVENTION SYSTEM: INSTALL A HOOD FIRE PREVENTION SYSTEM WITH A MECHANICAL TYPE A SEPARATE PLAN TO BE APPROVED BY FIRE MARSHAL AND A SEPARATE PERMIT IS REQUIRED PRIOR TO THE INSTALLATION BY C-16 LICENSE CONTRACTOR.
2. HOOD MOUNTING: HOOD TO BE SECURED TO EACH OF THE WALL STUB WITH  $\frac{3}{8}$ " OR HEX LAG SCREWS. FOR HOOD WIGHT OVER 100 LBS SHALL HAVE STEEL ROD OR CHAIN SUPPORTS FROM THE FRONT CORNERS OF THE HOOD TO THE CEILING JOIST.
3. HOOD FILTER: HOOD FILTER TO BE BATTLE TYPE AT 45 DEGREES AND THE VELOCITY AT THE FILTER IS SUBJECT TO PERFORMANCE TEST PRIOR TO BUILDING FINAL. (A VELOCITY OF 250 FPM/MIN.)
4. HOOD LAMPS: INSTALL LAMPS AT A MAX. OF 6' A PART BETWEEN EACH LAMP. THE LAMP TO BE HOUSING IN THE VAPOR PROOF HOUSING HARDWARE.
5. HOOD TOP FLASHING: INSTALL METAL FLASHING BETWEEN THE TOP OF THE HOOD AND THE CEILING IF THE SPACE IS LESS THAN 12'.

# GREASE DUCT INSTALLATION NOTES

1. GREASE DUCT CONSTRUCTION: GREASE DUCT TO BE 16 GAUGE GALVANIZED METAL AND ALL JOINTS ARE WELDED WITHOUT ANY AIR HOLE IN THE DUCT.
2. DUCT CLEAN-OUT: PROVIDE CLEAN-OUT AT EACH 90 DEGREE TURN AND A MAX. OF 10' AT EACH HORIZONTAL DUCT. CLEAN-OUT DOORS SHALL BE APPROVED.
3. THE AND CLEAN-OUT COVER SHALL BE EASILY REMOVED WITHOUT ANY TOOLS.
4. DUCT MOUNTING: DUCT IS WELDED ON TOP OF THE HOOD AND DUCT. ALSO FIELD WELDED TO 2-ANGLE IRON RODS ARE SECURED ON TOP OF THE ROOF CURB.
5. DUCT HOUSING: DUCT TO BE INSTALLED WITH 3" MIN. TO 12" MAX. AIR SPACE INSIDE THE 1" HR RATED DUCT ENCLOSED SHAFT OR WRAPPED IN A 1-HR RATED 3-M DUCT WRAP MATERIAL. OR THE DUCT HAVE TO BE 18" AWAY FROM ALL COMBUSTIBLE SURFACES.

## MAKE UP AIR/EXHAUST FAN

1. MAKE UP AIR VOLUME: THE MAKE UP AIR VOLUME RETURN BACK TO THE KITCHEN SHOULD BE 95-100% OF THE HOOD FAN EXHAUSTED AMOUNT.
2. REGISTER LOCATION: THE MAKE UP AIR SHOULD BE DISPERSED EVENLY AROUND THE HOOD OR THE REGISTERS ON THE KITCHEN CEILING SUGGESTED TO BE 10' AWAY FROM THE HOOD FOR A LARGE AREA KITCHEN. FOR LIMITED KITCHEN SPACE THEY SHOULD BE 5' MIN. AWAY FROM THE LOWER EDGE OF THE GREASE HOOD.
3. REGISTER TYPE: THE MAKE UP AIR OUTLET SHALL BE DIFFUSED TYPE SO OUTPUT AIR CAN BE EVENLY DISTRIBUTED. THE VOLUME OF EACH FAN-OUT DUCT SHALL HAVE LESS THAN 2000 CFM WITH THE VELOCITY AT EACH 4 REGISTER OUTPUTS TO BE LESS THAN 600 CFM.
4. FILTER VELOCITY: THE GREASE FILTERS IN THE GREASE HOOD SHALL BE BUFFLE TYPE. THE VELOCITY AT THE CENTER OF EACH OF THE FILTER SHALL HAVE AN AVERAGE OF 250 FPM MIN. THE FILTER VELOCITY TO BE VERIFIED BY THE INSPECTOR ON SITE OR SUBMIT AN AIR BALANCE REPORT WHICH IS TO BE DONE BY A QUALIFIED OR LICENSED HVAC TESTING PERSONNEL.

## SWAMP COOLER INSTALLATION NOTES

1. MOUNTING LOCATION: THE SWAMP COOLER TO BE 10' AWAY FROM THE GREASE TRAP, THE EXHAUST FAN MOTOR, THE SWAMP COOLER, THE SWAMP COOLER HOOD EXHAUST OUTPUT, TOILET VENT, AND ALL THE SANITARY WASTE VENT OUTLETS.
2. WATERLINE: INSTALL A ½" WATER LINE WITH A SHUT-OFF VALVE FOR THE SWAMP COOLER ON THE ROOF.
3. OVERFLOW: THE WATER OVERFLOW LINE FOR THE SWAMP COOLER TO BE EXTENDED WITH A SLOPE TO THE STORM DRAIN ON THE ROOF TOP.
4. ELECTRICAL POWER: THE ELECTRICAL MOTOR POWER IS TO BE INTERLOCKED WITH THE EXHAUST FAN MOTOR. A POWER DISCONNECT NEAR THE SWAMP COOLER SHALL BE PROVIDED.

## HOOD EXHAUST CALCULATIONS

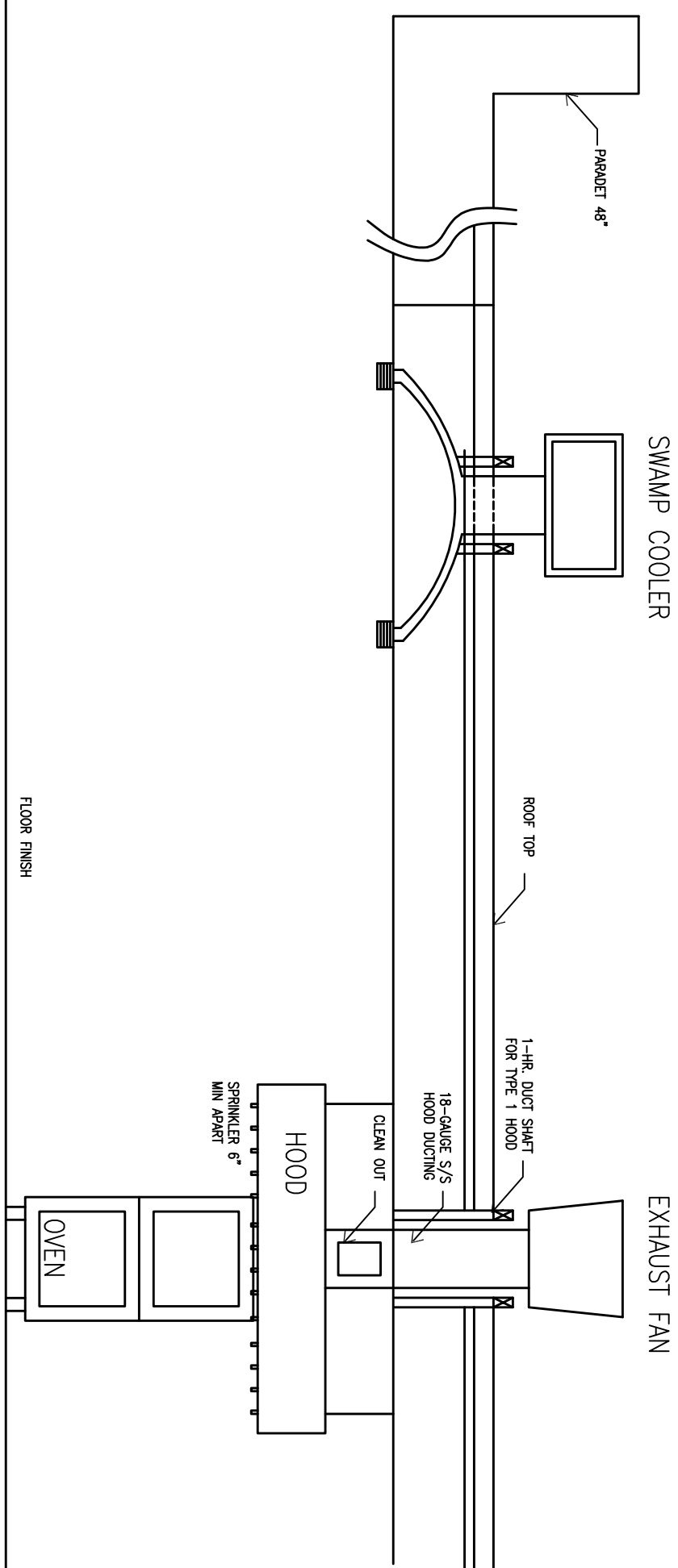
HOOD SIZE = 124" x 48"

FILTER SIZE = 16" x 20" x 2" (# OF FILTERS = 5)

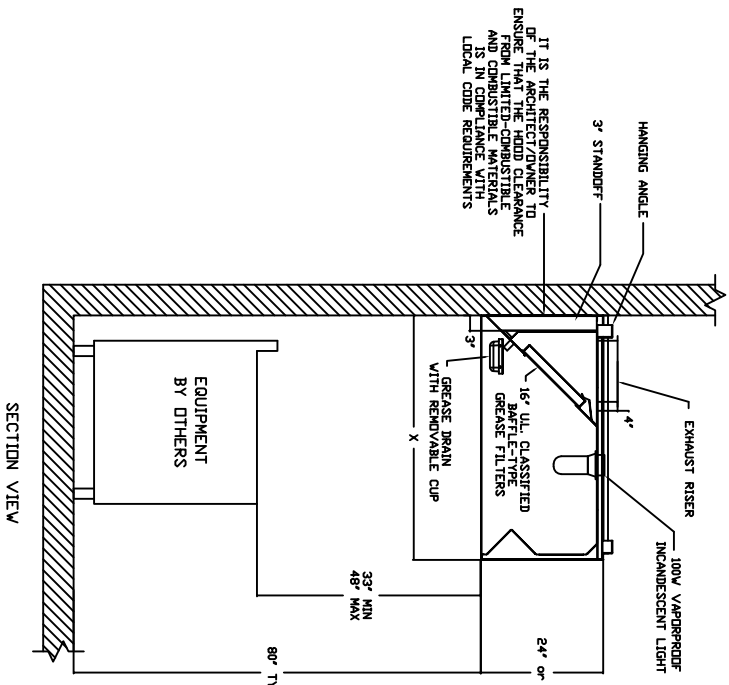
$$\text{FILTER VELOCITY} = 2700/1.56 = 1730 \text{ FPM}$$

EXHAUST FAN: 1.0 HP (WT = 100LBS)

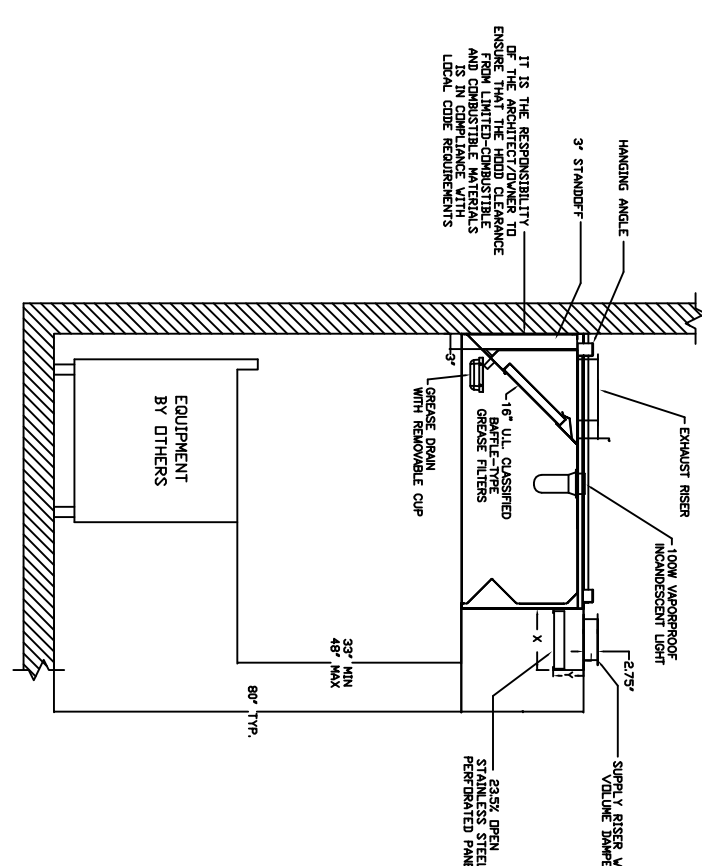
MAKE UP AIR: 2700 CFM/2000 CFM = 2 REGISTERS



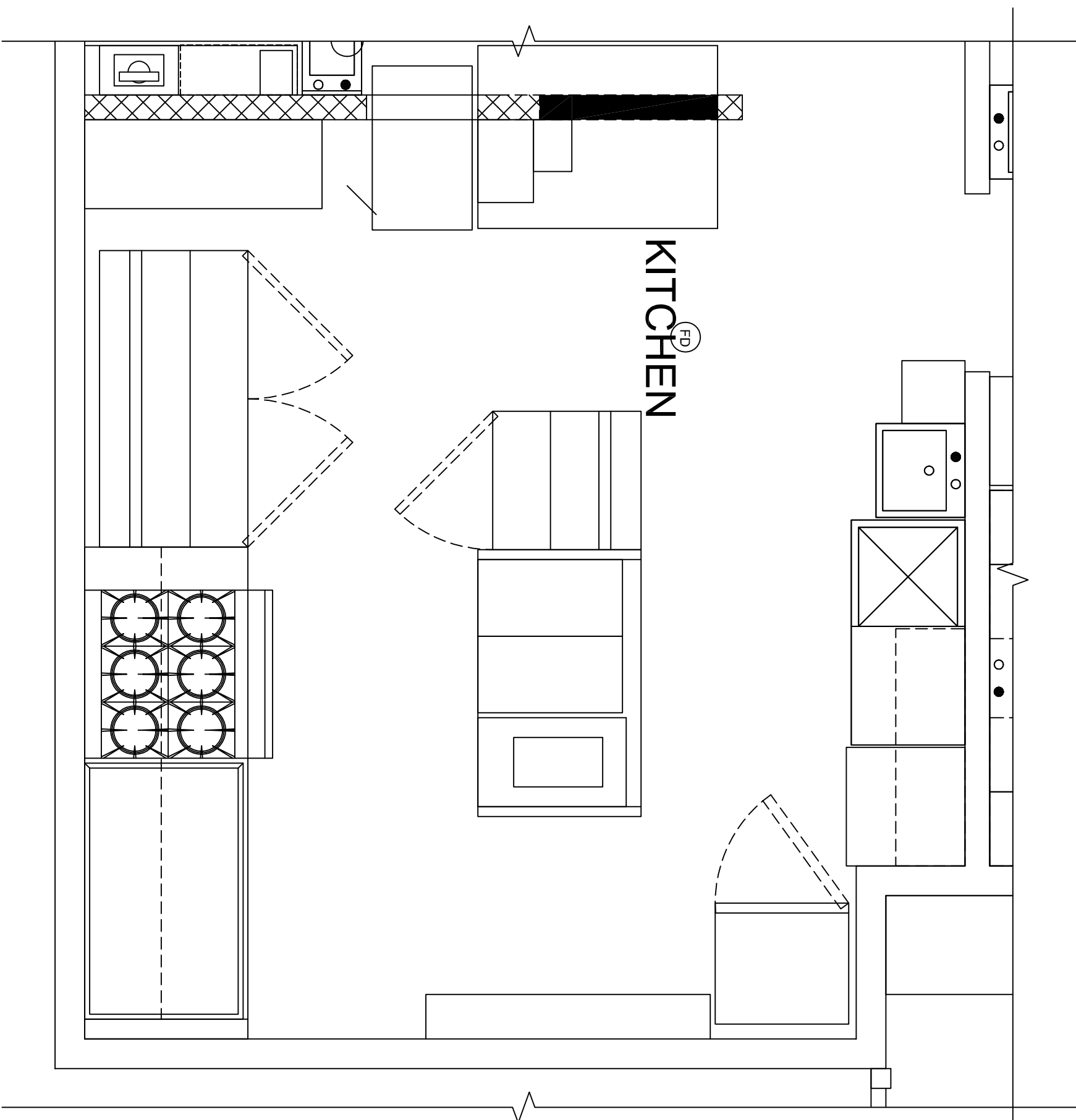
4 EXAMPLE EXHAUST HOOD ELEVATION



6 HOOD SECTION VIEW



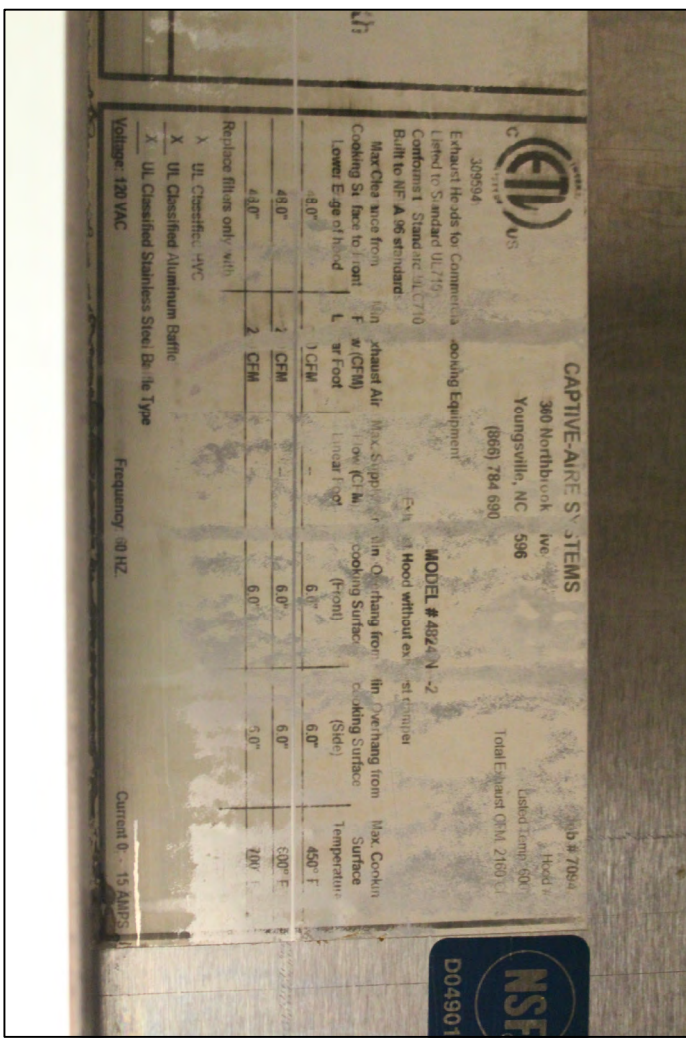
5 PSP ACCESSORY SECTION



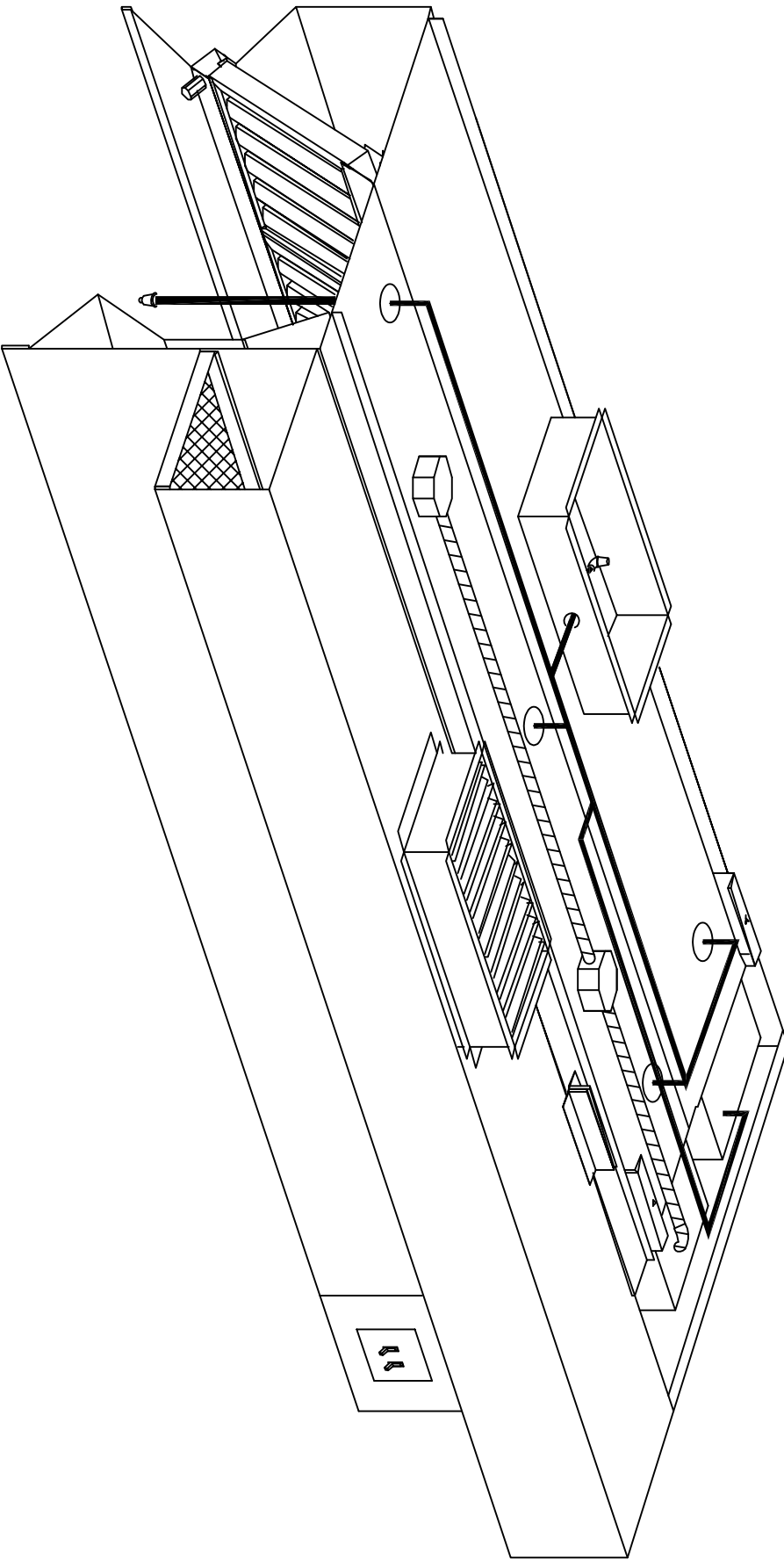
7 EXHAUST/HOOD PLAN  
1/2"=1'0"

## HOOD UL-LISTING CARD

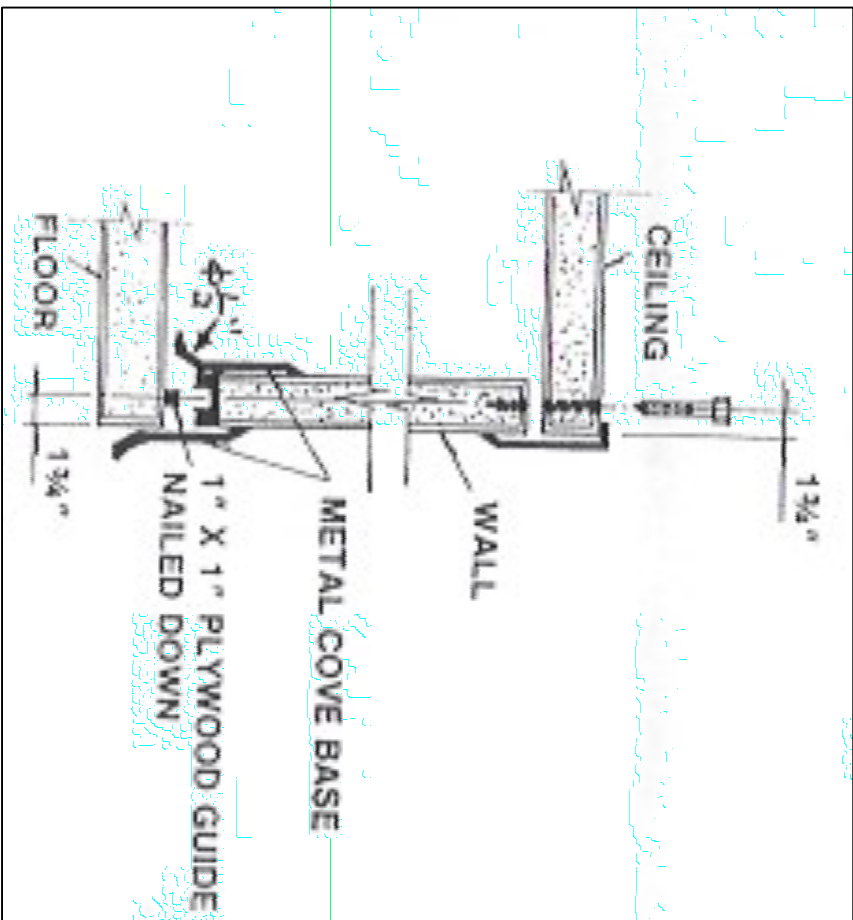
# WALK-IN INSTALLATION NOTES



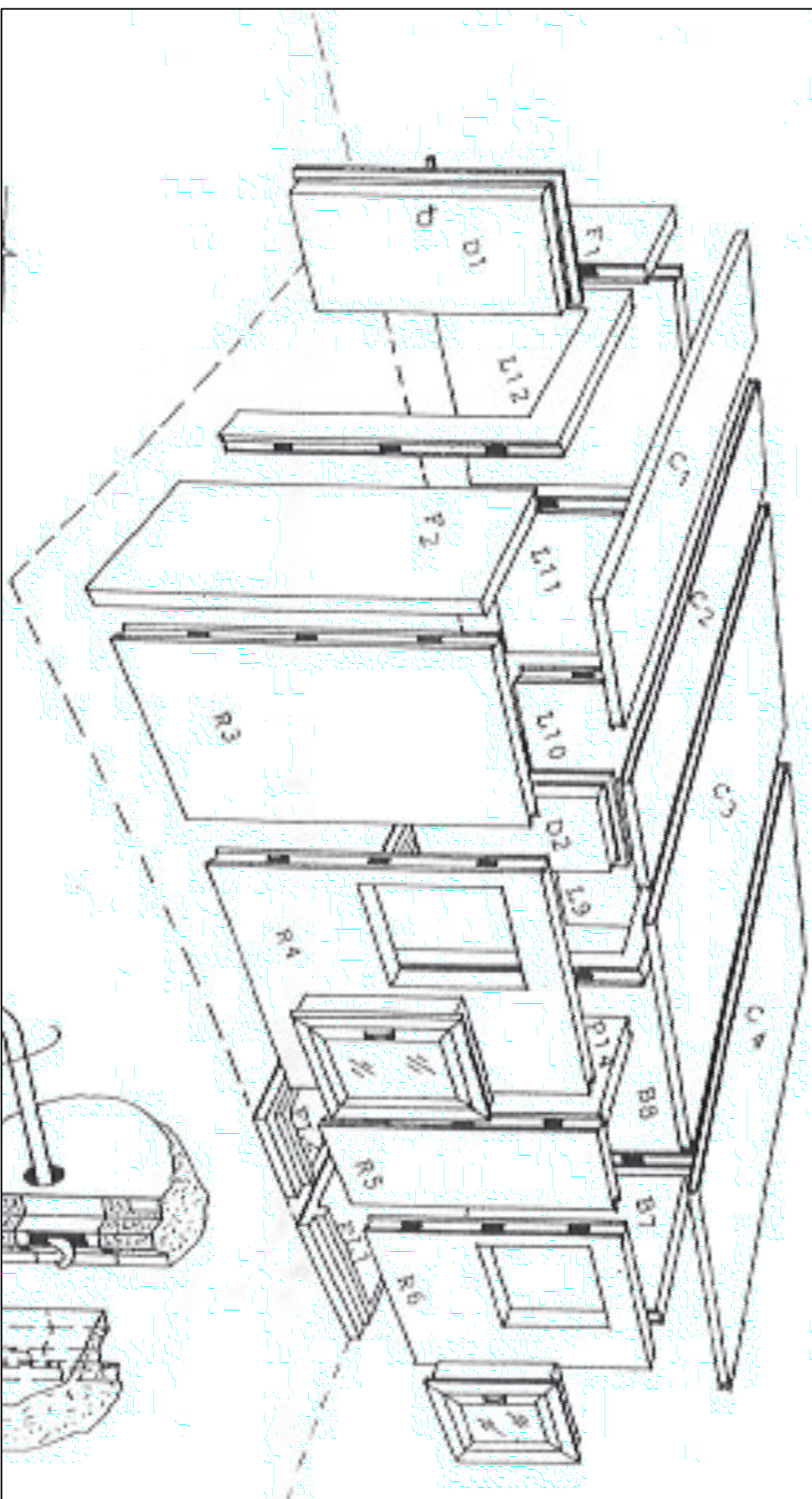
1. PANEL CONSTRUCTION: SHALL CONSIST OF EXTERIOR AND INTERIOR METAL COVER 4" POLYSTYRENE OR 4" URETHANE INSULATION, PANEL EDGE SHALL HAVE TONGUE AND GROOVES WITH N.S.F. APPROVAL. PANEL GASKETS ON THE EXTERIOR AND INTERIOR OF ALL TONGUE EDGE. PANEL GASKETS SHOULD BE AGAINST LOW TEMPERATURE, OIL, WATER, FAT AND SUNLIGHT.
2. SECTION FASTENERS: WALL, WALL SECTION AND CEILING SECTION, JOINT SHALL BE FASTENED WITH STEEL CAM ACTION FASTENERS SHALL NOT EXCEED .46" ON CENTER SPACING.
3. METAL FINISH: INTERIOR AND EXTERIOR SURFACE CAN BE FINISHED WITH ANY ONE OF THE FOLLOWING: A) 24 OR 26 GAUGE GALVANIZED STEEL, B) STUCCO EMBOSSED ALUMINUM STANDARD OR 0.032 THICK, C) 26 GAUGE STUCCO EMBOSSED GALVANIZED STEEL. D) 24 GAUGE TYPE 304 #3 FINISH STAINLESS STEEL, E) ZINCALUME.
4. DOOR WITH DOOR FRAME: DOOR SIDE ALL HINGES SHALL BE FLUSH CAM LIFT DESIGN, WITH NARROW BULB GASKETS OR MAGNETIC DOOR SPOONGER RUBBER GASKETS. B) DOOR LOCK INTERIOR SHALL BE SAFETY RELEASE DOOR STANDARD SIZE 32" x 78", 34" x 78", 36" x 78" C) FREEZER DOOR FRAMING SHOULD HAVE ANTI SWEAT HEATER FOR FREEZER DOOR SPECIAL.
5. THERMOMETER: EACH DOOR SECTION SHALL BE WITH ONE 2 1/2" THERMOMETER RANGE -40 F TO 60 F DEGREE THERMOMETER.



|     |                  |
|-----|------------------|
| 3   | ISO EXHAUST HOOD |
| NTS |                  |

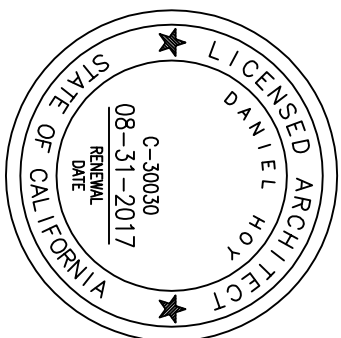


2 WALK IN DETAIL  
NTS



1 WALK IN FREEZER/COOLER ISC  
NTS

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## COMMERCIAL TENANT IMPROVEMENT

## WALK-IN AND EXHAUST/HOOD NOTES AND DETAILS

# A2.3

[illegible]

COMMERCIAL TENANT IMPROVEMENT  
NEPTUNE'S  
630 CENTRAL AVE.  
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# WALK-IN AND

## EXHAUST/HOOD NOTES AND DETAILS



## ELECTRICAL NOTES

1. NO CHANGES TO KITCHEN ELECTRICAL
2. ALL STANDARD ELECTRICAL WALL OUTLETS ARE TO BE MOUNTED VERTICALLY CENTERED.
3. ALL ELECTRICAL DEVICES (SWITCHES, PLUGS ETC) SHALL BE THE SAME COLOR AS THE COVER PLATE U.N.O.
4. CONTRACTOR SHALL VERIFY & PROVIDE CORRECT OUTLETS FOR ALL LOCATIONS & SPECIAL EQUIPMENT AS NOTED.
5. ELECTRICAL CONTRACTOR SHALL PROVIDE CORRECT AMPERAGE FOR ALL EQUIPMENT AS INDICATED, IN ACCORDANCE WITH INSTALLATION & OPERATING REQUIREMENTS AS PROVIDED BY THE MANUFACTURER.
6. WHERE MONUMENTS ARE SHOWN NEXT TO EACH OTHER THEY SHALL BE LOCATED AS CLOSE AS POSSIBLE TO ONE ANOTHER. ONE COVER PLATE PER GANGED SWITCHES/OUTLETS
7. ELECTRICAL CONTRACTOR SHALL VERIFY & COORDINATE CONDUIT RUNS, CIRCUITING & WIRING AS REQUIRED TO PROVIDE COMPLETE ELECTRICAL SERVICE.
8. PROVIDE ALL REQUIRED GROUNDING AT PANELS, SUBPANELS, FEEDERS & BRANCH CIRCUITS.
9. ALL WIRE & CABLE SHALL BE COPPER, THWN OR THHN IF #8 & SMALLER. THW & THWN FOR #6 & LARGER. PROVIDE WIRING TESTS UPON COMPLETION OF WORK & MAKE ADJUSTMENTS AS NECESSARY FOR SATISFACTORY OPERATION OF SYSTEM.
10. VERIFY LOCATION OF ALL NEW OUTLETS, SWITCHES, LIGHT FIXTURES & OTHER ELECTRICAL APPLIANCES WITH OWNER PRIOR TO SETTING BOXES OR FIXTURES. COORDINATE FRAMING LAYOUT WITH LAYOUT OF RECESSED FIXTURES & REVIEW WITH CONTRACTOR PRIOR TO COMMENCEMENT OF FRAMING. CONCEAL ALL CONDUITS.
11. ALL SWITCHES & OTHER WALL MOUNTED DEVICES SHALL BE LOCATED 42" ABOVE FINISH FLOOR MEASURED TO CENTER OF SWITCH U.N.O. OUTLETS SHALL BE MOUNTED AT 18" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.
12. ALLOW FOR BREAKER ACCESS TO MAIN PANEL. PROVIDE CLEARANCES AS REQUIRED BY CODE.
13. ELECTRICAL SUBPANELS SHALL NOT BE LOCATED IN CLOSETS OR OTHER LOCATIONS WHERE ADEQUATE ACCESS WILL BE REDUCED.
14. ALL EQUIPMENT SHALL BE NEW & LISTED BY, & BE APPROVED BY, A TESTING LABORATORY & SHALL BE INSTALLED AS PER ANY INSTRUCTIONS INCLUDED IN THE LISTING & LABELING. DESCRIPTIONS PREVAIL OVER CATALOG NUMBERS. SUBMIT A MATERIAL LIST ON ALL MATERIALS PROPOSED FOR ACCEPTANCE BY OWNER.
15. FURNISH ALL LABOR & MATERIAL FOR A COMPLETE & OPERABLE SYSTEM. ALL LABOR & MATERIAL SHALL BE GUARANTEED FOR 12 MONTHS AFTER ACCEPTANCE OF THE PROJECT BY THE OWNER.
16. ELECTRICAL RECEPTACLES WITHIN SIX FEET OF A SINK SHALL HAVE GFC PROTECTION. EXTERIOR OUTLETS SHALL BE WATERPROOF & HAVE GFI PROTECTION. OUTLETS SHALL BE SPACED PER REQUIREMENTS OF THE NEC.
17. SURFACE MOUNTED FIXTURES OR TRACK SHALL BE SECURED TO BUILDING STRUCTURE. NO TOGGLE BOLTS, ETC. PERMITTED. ALL FIXTURES SHALL BE ADEQUATELY SUPPORTED, SET LEVEL & TRUE.
18. CONTRACTOR SHALL VERIFY ELECTRICAL REQUIREMENTS OF EQUIPMENT & FIXTURES & SHALL MAKE ALL NECESSARY CONNECTIONS.
19. USE JOIST SPACE FOR HORIZONTAL RUNS. CONCEAL ALL CONDUIT & ROUGH WORK U.N.O.
20. THE ELECTRICAL DIAGRAMS INCLUDED IN THE CONTRACT DRAWINGS INDICATE THE GENERAL SCOPE OF THE WORK AND MAY NOT DEPICT ALL EXISTING FIELD CONDITIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE FIELD CONDITIONS OF ALL ROUTES, MATERIALS, DIMENSIONS, ETC. IF IT IS FOUND THAT FIELD CONDITIONS VARY FROM THE CONTRACT DRAWINGS THE CONTRACTOR SHALL SUBMIT THE DISCREPANCIES, IN WRITING, AT THE TIME OF BID SUBMISSION TO THE ARCHITECT.
21. PROVIDE FIRE BLOCKING & CAULK W/APPROVED SEALANTS AT ALL LOCATIONS AS REQ'D BY CODE.















## POWER/LIGHTING NOTES

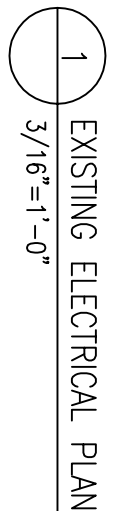
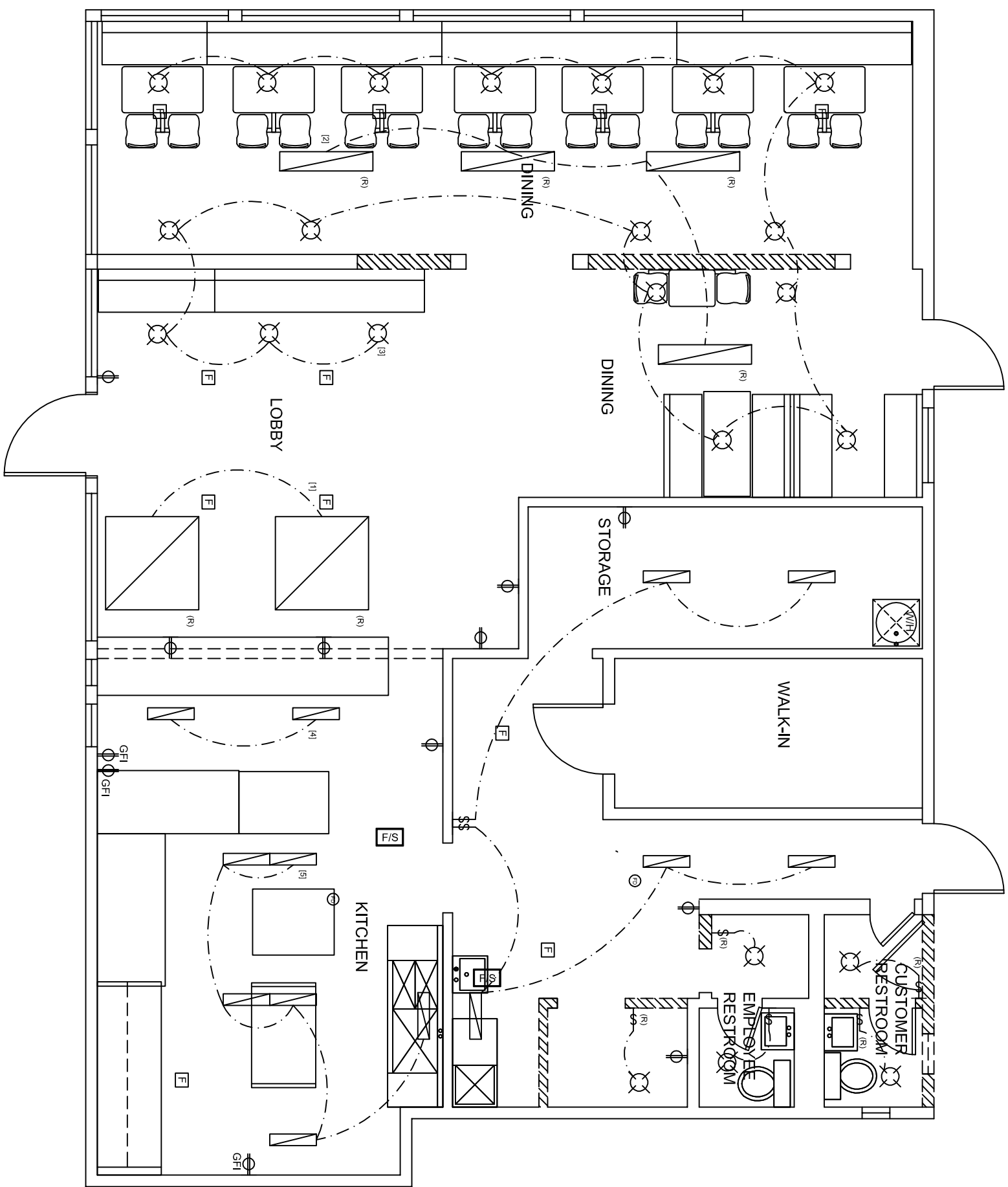
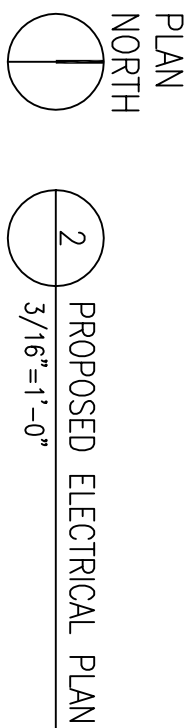
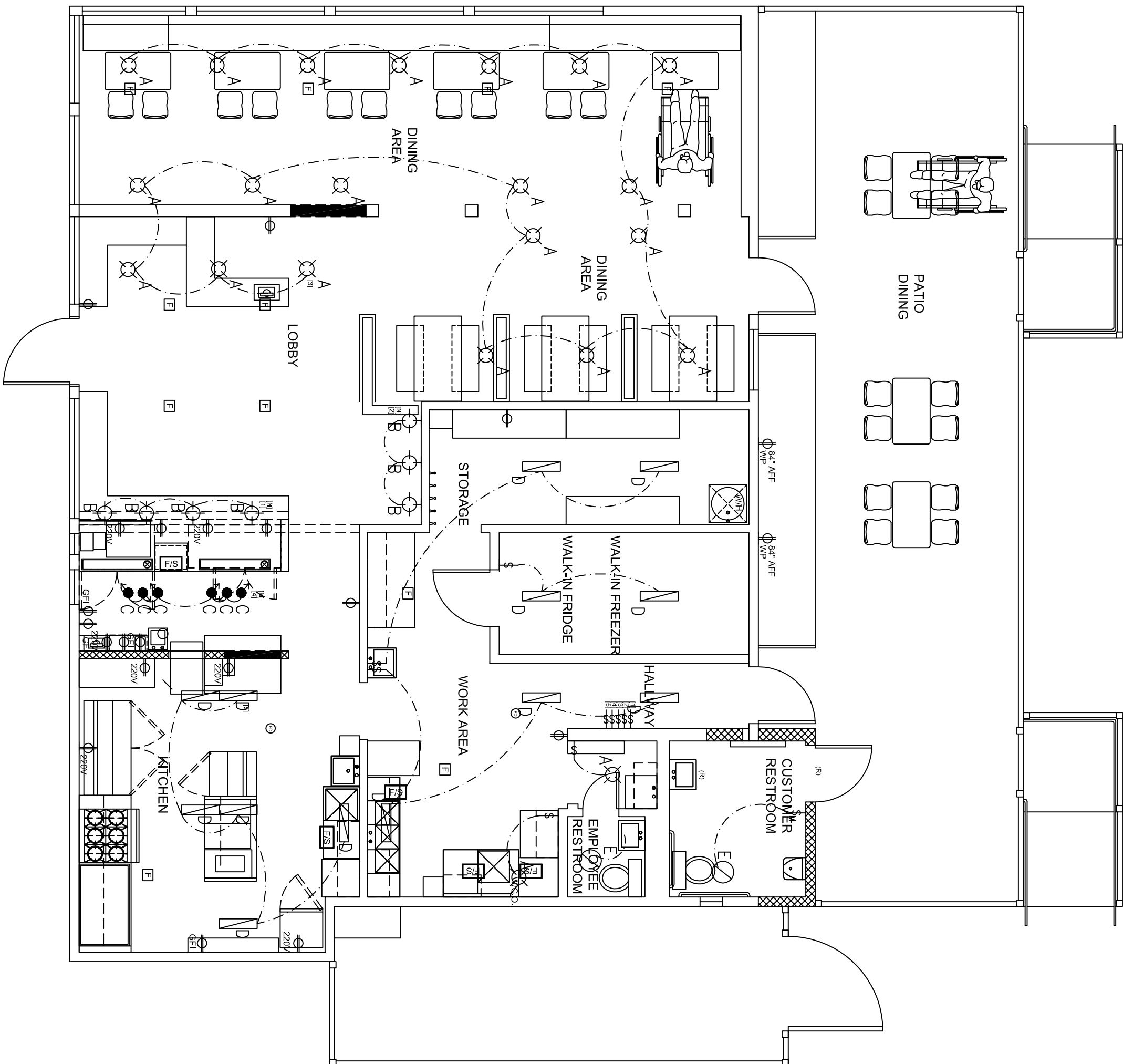
1. THE LIGHTING INTENSITY IN THE FOLLOWING AREAS SHALL HAVE LIGHT INTENSITY 10 FOOT-CANDELES MEASURED 30" ABOVE FLOOR. THE AREAS ARE: FOOD AND UTILITY STORAGE ROOMS, REFRIGERATION STORAGE, REST ROOM AND DRESSING ROOM.
2. THE LIGHT INTENSITY IN THE KITCHEN, IN FOOD PREPARATION AREAS, AND ALL SERVICE AREAS SHALL HAVE 20 FOOT CANDLES OF LIGHT 30" ABOVE THE FLOOR.
3. ALL ELECTRICAL EQUIPMENTS SHALL HAVE THEIR OWN SEPARATE POWER.
4. ALL ELECTRICAL EQUIPMENTS THAT ARE NOT EQUIPPED WITH FACTORY INSTALLED CORDS SHALL BE "HARD-WIRED" TO THE ELECTRICAL SYSTEM.
5. NOTE ON GENERAL WALL RECEPTACLES-- ALL THE WALL RECEPTACLES ARE DUPLEX TYPE ON A 20 AMP CIRCUIT BREAKER.
6. ALL OUT-DOOR ELECTRICAL POWERS FOR COMPRESSORS ETC. SHALL HAVE WEATHER PROOF BOXES.
7. CEILING LIGHTS: PROVIDE AN AUTOMATIC TIMER TO TURN OFF ALL THE INTERIOR LIGHTS FOR THE KITCHEN AND DINING ROOMS DURING NON-BUSINESS HOURS.
8. REST ROOMS: PROVIDE OCCUPANCY SENSOR CONTROLS
9. OUTSIDE SIGN: PROVIDE AN AUTOMATIC TIMER ALSO FOR OUTSIDE SIGN
10. PARKING LIGHTS: PROVIDE AN ASTRONOMIC TIMER FOR THE PARKING LIGHTS IF PARKING LOT IS INCLUDED.
11. EXIT/EMERGENCY LIGHTS: POWER TO THE EXIT LIGHTS SHALL BE ON AT ALL TIMES AND SHALL NOT PASS THROUGH ANY OF THE AUTOMATIC SHUT OFF CONTROLS.
12. OVERRIDE ON/OFF SWITCHES: LIGHTING SWITCH FOR THE INDIVIDUAL ROOMS AND AREAS SHALL HAVE AN ON/OFF SWITCH TO OVERRIDE THE AUTOMATIC TIMEUR CONTROLS AND CONTRACTIONS.

## LIGHT FIXTURE SCHEDULE

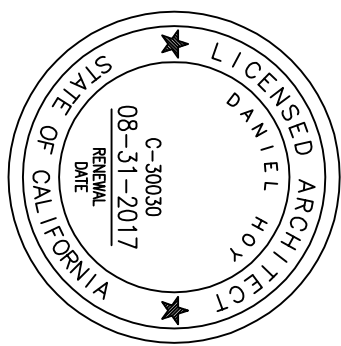
| ID | DESCRIPTION                        | QTY |
|----|------------------------------------|-----|
| A  | CEILING LIGHT INCANDESCENT 36 WATT | 20  |
| B  | WALL MOUNTED LIGHT                 | 7   |
| C  | RECESSED ADJUSTABLE SPOTLIGHT      | 6   |
| D  | FLUORESCENT CEILING LIGHT          | 12  |
| E  | RESTROOM WHITE 40 WATT FLUORESCENT | 2   |

## ELECTRICAL LEGEND

|   |  |
|---|--|
|  | 110 VOLT DUPLEX OUTLET                                 |
|  | 110 VOLT DUPLEX OUTLET                                 |
|  | 220 VOLT DUPLEX OUTLET                                 |
|  | RECESSED LIGHT SUITABLE<br>FOR DAMP LOCATIONS          |
|  | SINGLE POLE SWITCH                                     |
|  | OCCUPANCY SENSOR SWITCH<br>(MANUAL ON / AUTOMATIC OFF) |
|  | RECESSED ADJUSTABLE SPOTLIGHT                          |
|  | WALL MOUNTED LIGHT FIXTURE                             |
|  | CEILING LIGHT INCANDESCENT 35 WATT                     |
|  | RESTRAINED WHITE 40 WATT FLUORESCENT                   |
|  | FLUORESCENT LIGHT                                      |
|  | CEILING FAN  |
|  | NEW  |
|  | RE-LOCATE/REMOVE                                       |



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630 CENTRAL AVENUE  
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## COMMERCIAL TENANT IMPROVEMENT

[illegible]

COMMERCIAL TENANT IMPROVEMENT  
NEPTUNE'S  
630 CENTRAL AVE.  
ALAMEDA, CA 94501

## EXISTING & PROPOSED PLANS ELECTRICAL

# A3.0



PLUMBING NOTES

1. VERIFY LOCATION OF (E) PLUMBING & WATER DISTRIBUTION, DRAIN, WASTE & VENT LINES, ETC. PRIOR TO INSTALLING NEW PLUMBING SYSTEM. REMOVE ALL ABANDONED WORK & RELOCATE & CONCEAL ITEMS TO REMAIN.
2. CONTRACTOR SHALL VERIFY PLUMBING REQUIREMENTS OF EQUIPMENT & FIXTURES & SHALL MAKE ALL NECESSARY CONNECTIONS FOR PROPER OPERATION. PLUMBING WORK SHALL BE COORDINATED WITH FUTURE, APPLIANCE & EQUIPMENT INSTALLED BY OTHER TRADES.
3. CONNECT NEW WASTE LINES TO (E) WASTE & SEWER LINE. UNDERGROUND WASTE, PIPING & PIPING UNDER BUILDING TO BE SERVICE WEIGHT CAST IRON (AS ACCEPTABLE IF APPROVED BY OWNER), NO-HUB OR APPROVED COMPRESSION GASKET SEALS TO BE USED. ABOVE GROUND WASTE PIPING, 3" & LARGER, TO BE SERVICE-WEIGHT CAST IRON, NO HUB. ABOVE GROUND WASTE & VENT PIPING, 2-1/2" & SMALLER, TO BE COPPER TYPE DWM OR NO HUB CAST IRON WITH MATCHING DRAINAGE FITTINGS AT EXTERIOR APPLICATIONS. ABS AT INTERIOR APPLICATIONS IF APPD BY OWNER.
4. ALL DOMESTIC WATER PIPING SHALL BE COPPER TUBING, TYPE L, HARD DRAWN WITH WROUGHT COPPER FITTINGS. USE 95-5 SOLDER IN ACCORDANCE WITH ASA.
5. PLUMBING FIXTURES SHALL CONFORM TO CALIFORNIA ENERGY COMMISSION REQUIREMENTS

a. LAVATORY FAUCETS SHALL BE 1.5 GPM MAXIMUM

b. KITCHEN FAUCETS SHALL BE 1.8 GPM MAXIMUM
6. CONCEAL ALL PLUMBING IN JOIST SPACES, WALLS & SOFFITS & AS NOTED ON PLANS.
7. WATER HEATER SHALL BE ANCHORED OR STRAPPED TO THE STRUCTURE. STRAPPING POINTS SHALL BE AT POINTS WITHIN THE UPPER & LOWER THIRDS & SHALL MAINTAIN A MIN. CLEARANCE OF 4" FROM THE WATER HEATER CONTROLS, PER CPC/CBC.

8. THE PLUMBING DIAGRAMS INCLUDED IN THE CONTRACT DRAWINGS INDICATE THE GENERAL SCOPE OF THE WORK AND MAY NOT DEPICT ALL EXISTING FIELD CONDITIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE FIELD CONDITIONS OF ALL ROUTES, MATERIALS, DIMENSIONS, ETC. IF IT IS FOUND THAT FIELD CONDITIONS VARY FROM THE CONTRACT DRAWINGS, THE CONTRACTOR SHALL SUBMIT THE DISCREPANCIES, IN WRITING, AT THE TIME OF BID SUBMISSION TO THE ARCHITECT.

9. PROVIDE FIRE BLOCKING & CAULK W/ APPROVED SEALANTS AT ALL LOCATIONS AS REQD BY CODE.

10. PROVIDE EARTHQUAKE AUTOMATIC SHUT OFF VALVE IF REQUIRED AT ALL/ANY GAS METERS.

WATER SUPPLY NOTES

1. HOT WATER: THE RESTAURANT SHALL HAVE THE HOT WATER SUPPLY SYSTEM TO SUPPLY AND MAINTAIN A 120 DEGREES AT ALL TIMES.
2. WATER HEATER: THE HOT WATER POWER SHALL BE ABLE TO SUPPLY AND MAINTAIN THE HOT WATER TO A 120 DEGREES WITH A CALCULATION TO SHOW THE BTU REQUIRED.
3. CHECK VALVE: THE COLD WATER SUPPLY TO THE AUTOMATIC HOT WATER BROILER AND SUCH SHALL BE INSTALLED WITH SHUT OFF VALVE AND A CHECK VALVE.
4. HOSE BIBB: HOSE BIBB WITH HIGH OR LOW TEMPERATURE SHALL INSTALL WITH NON-REMOVABLE ANTI-SYPHON DEVICE.
5. PIPE LABEL: ALL THE 180 DEGREE AND 120 DEGREE PRING SHALL BE INSULATED, LABELED EVERY 20FT CHANGE OF DIRECTION, AND AT ANY PENETRATION OF A FLOOR, WALL, OR CEILING.



WATER HEATER CALCULATIONS

| FIXTURES           | # OF COMPARTMENTS | x GPH | GPH |
|--------------------|-------------------|-------|-----|
| 3-COMPARTMENT SINK | 3                 | 25    | 75  |
| HAND WASH SINK     | 3                 | 5     | 15  |
| FOOD PREP SINK     | 1                 | 10    | 10  |
| MOP SINK           | 1                 | 10    | 10  |

TOTAL GALLONS PER HOUR = 110 GPH

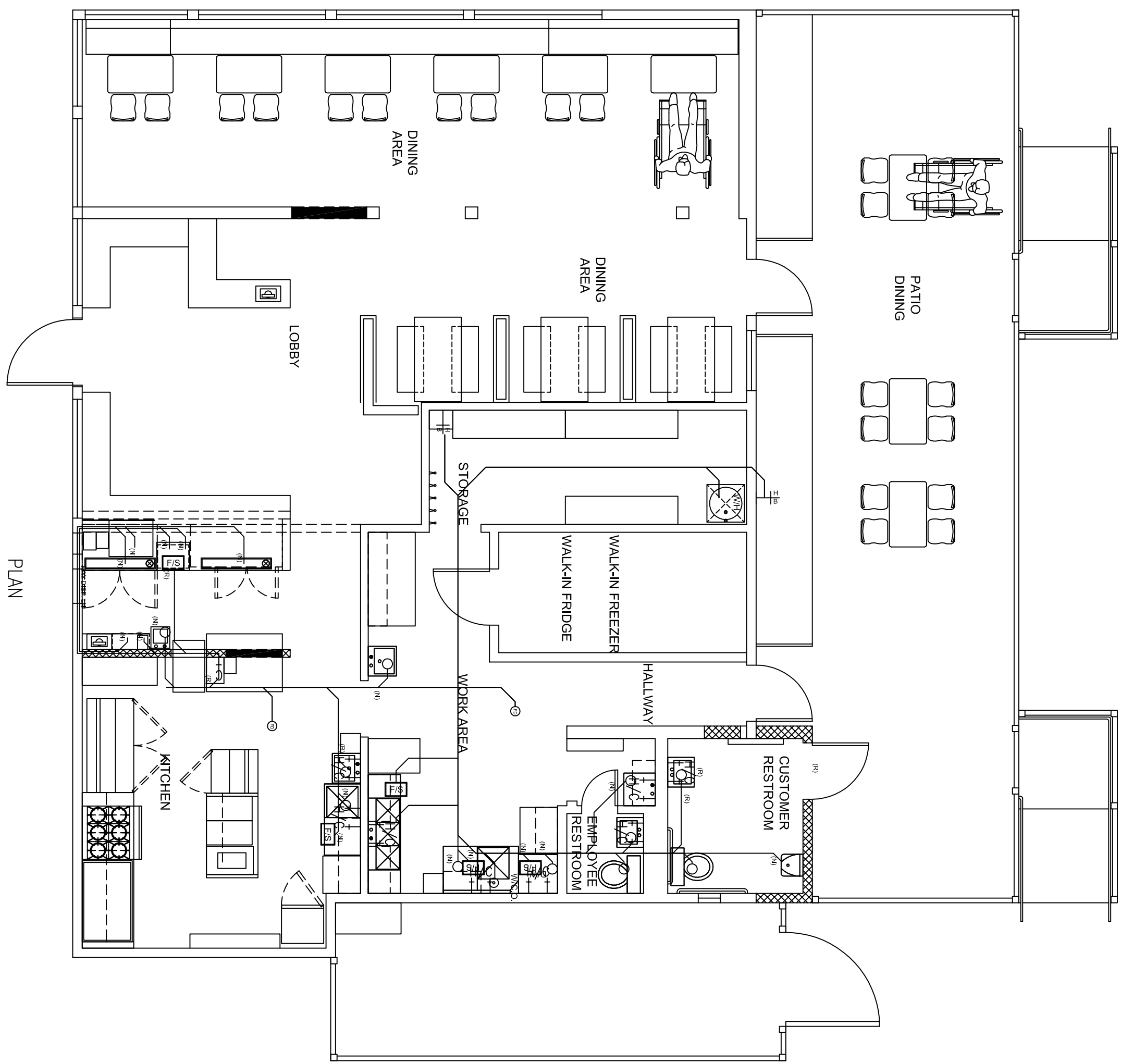
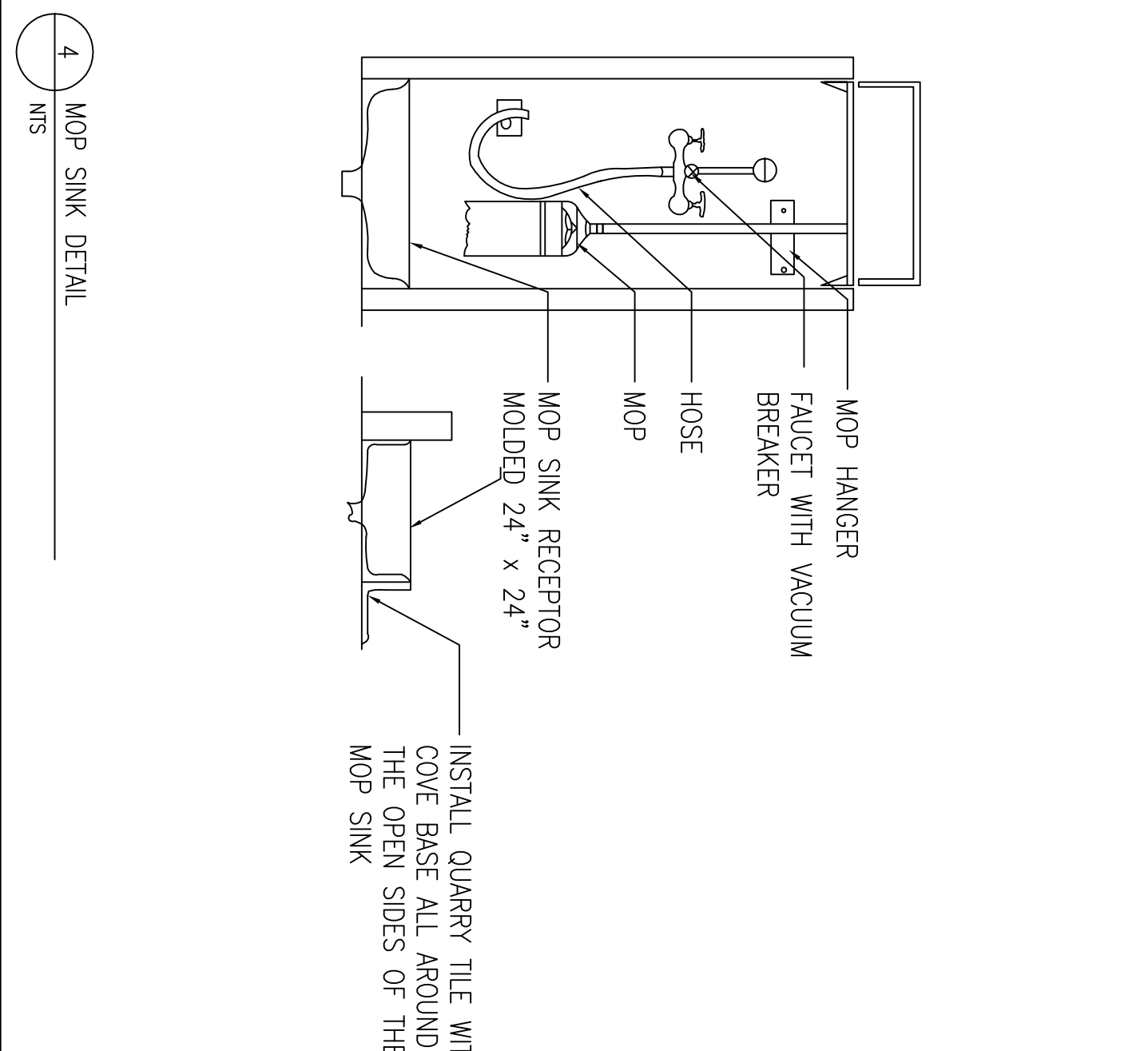
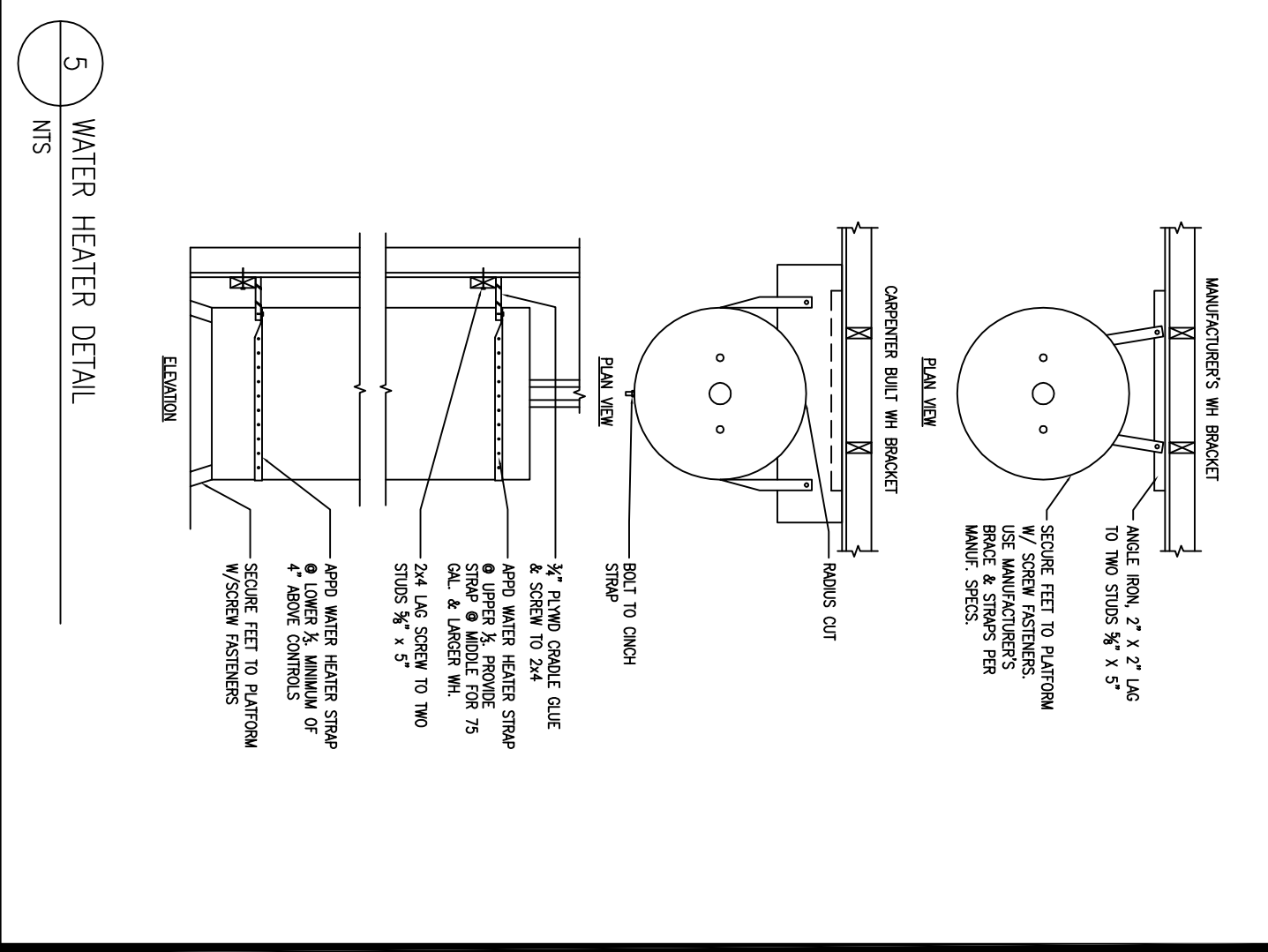
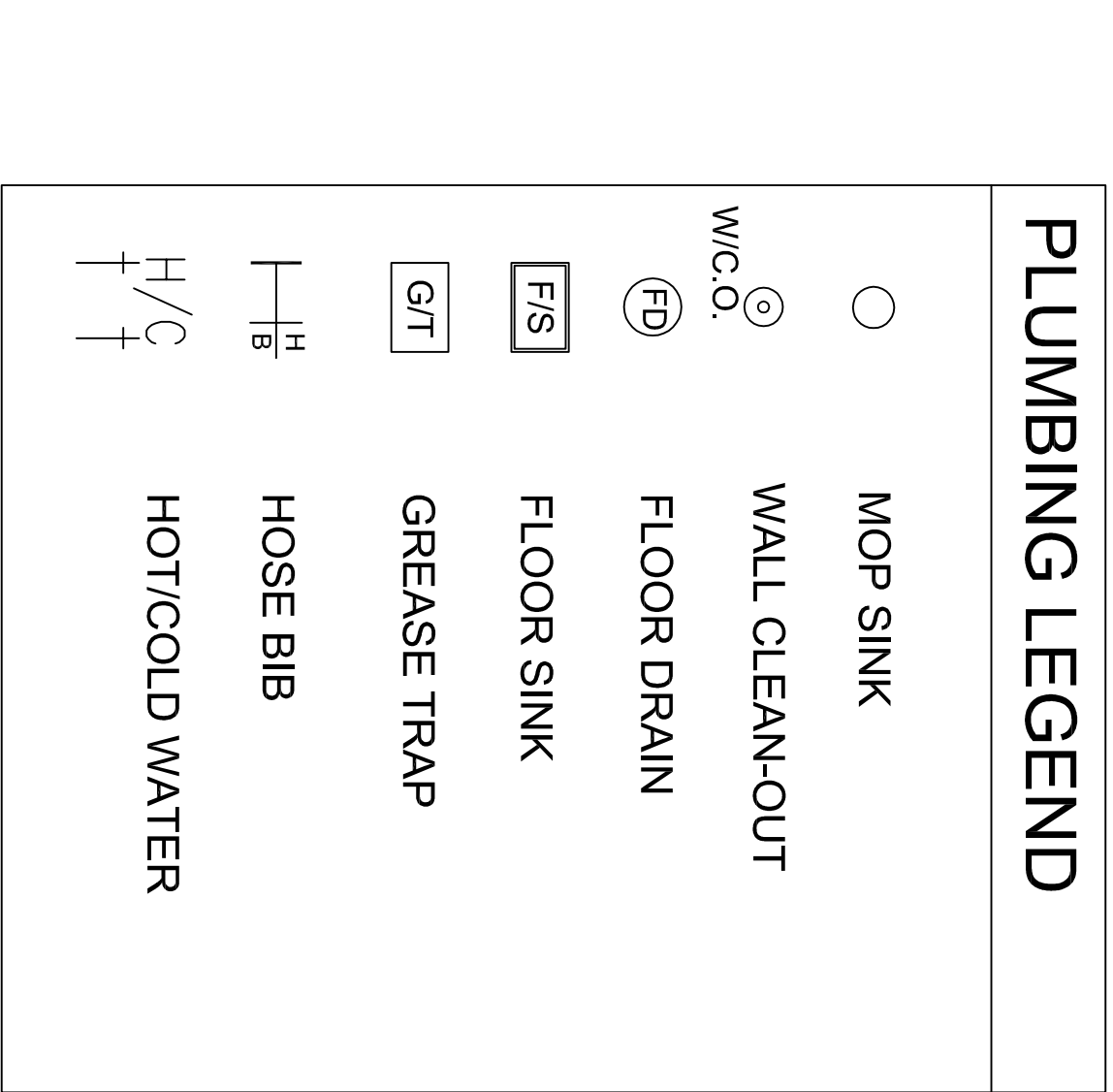
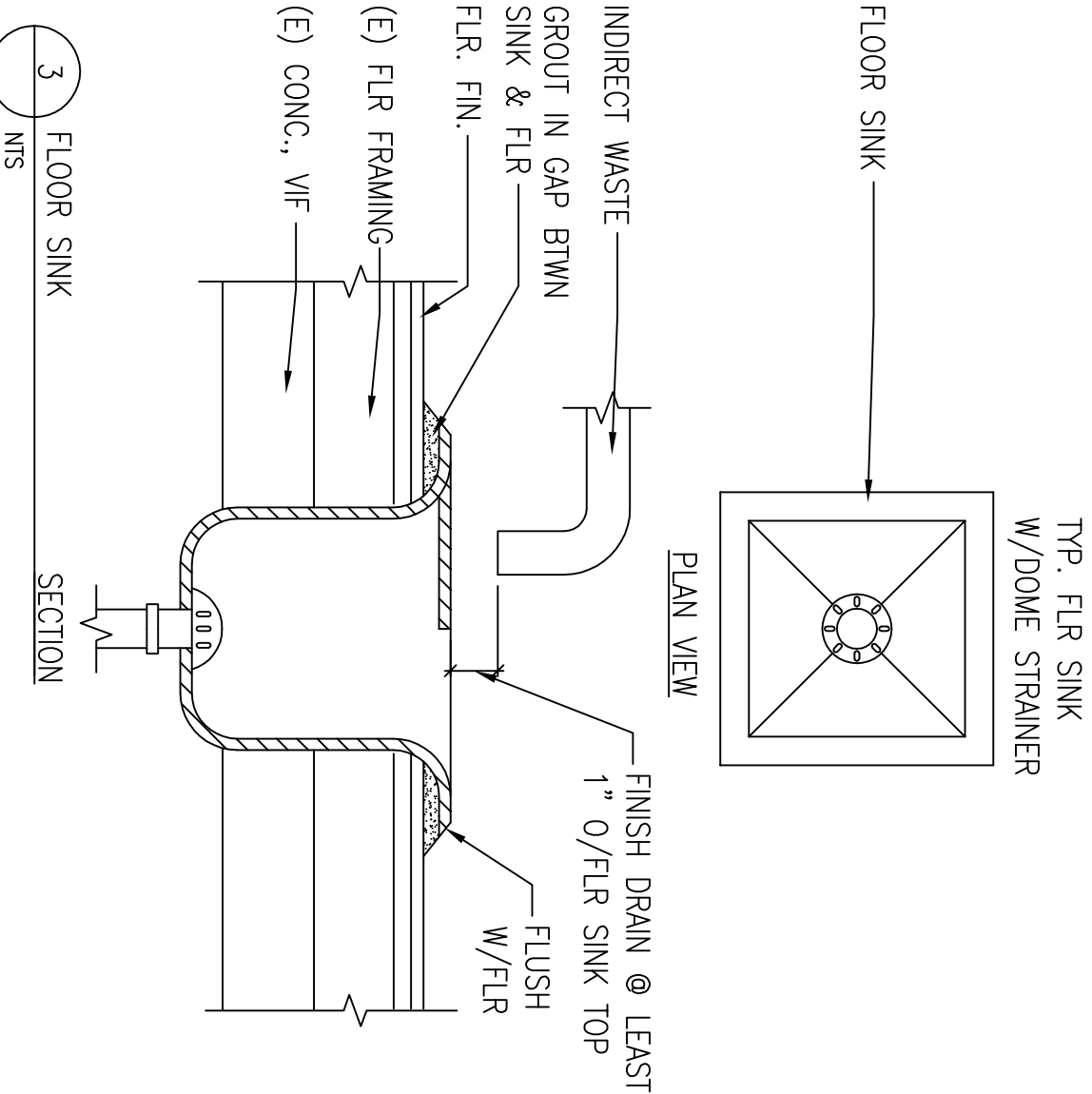
BTU INPUT = TOTAL GPH x 0.4 = 110 GPH x 0.4 = 44 GPH

TOTAL FLOW RATE = BTU INPUT x .660 (GAS) = 44 GPH x .660 = 29.040 BTU  
= BTU INPUT x .15 (ELECTRICAL) = 44 GPH x 0.15 = 6.6 KW

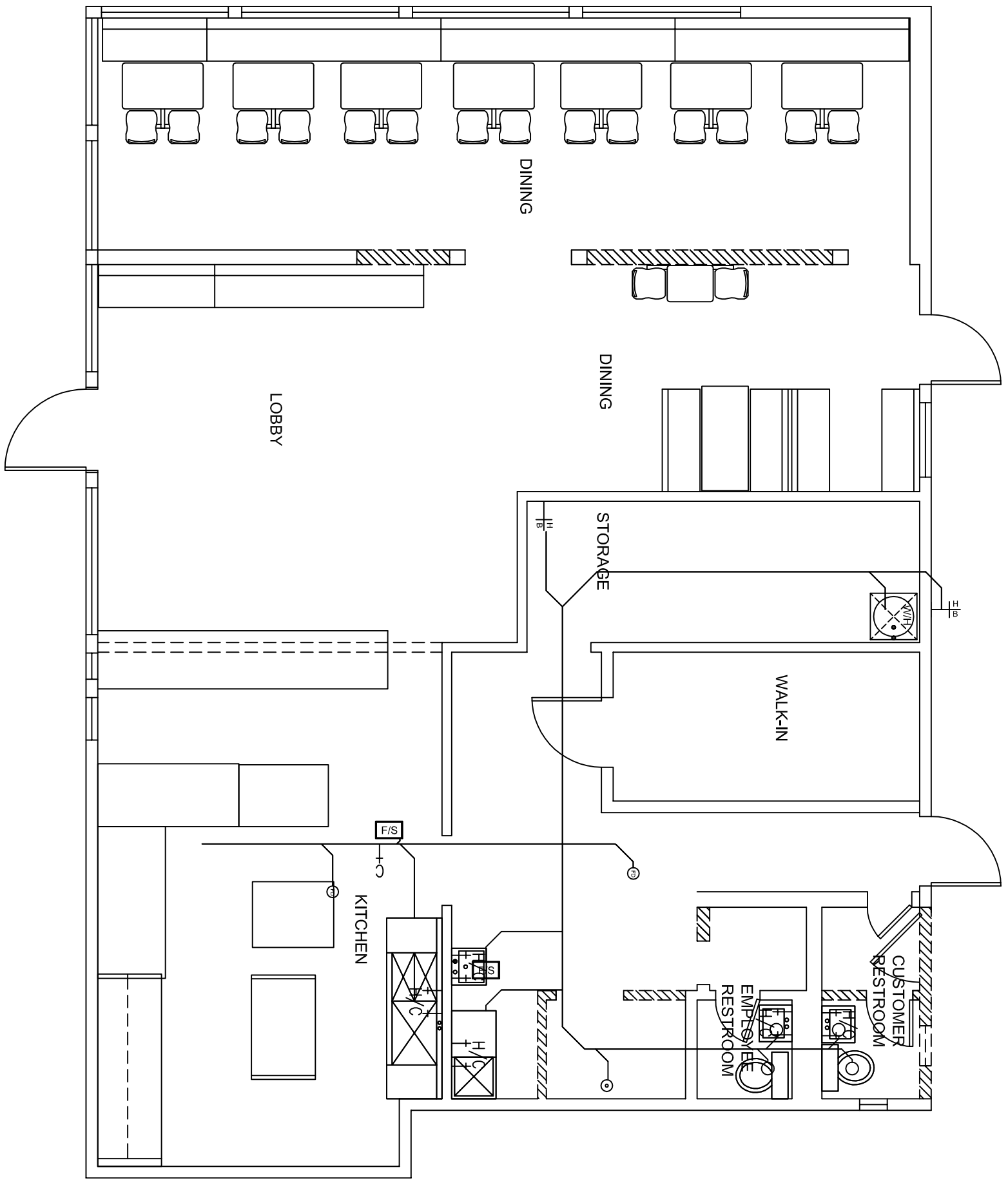
PLUMBING FIXTURES SCHEDULE

| FIXTURE            | WATER PIPE SIZES | DRAIN TO SANITARY | MODEL                          | NOTES  |
|--------------------|------------------|-------------------|--------------------------------|--|
| 3-COMPARTMENT SINK | 1/2"             | 1/2"              | YES                            | C/G/T  |
| PREP SINK          | 1/2"             | 1/2"              | YES                            | ADVANCE TABCO  |
| HAND SINK          | 1/2"             | 1/2"              | YES                            | WESTERN STAR 2NSF171X2D18  |
| MOP SINK           | 1/2"             | 1/2"              | YES                            | T&S MODEL 7-PS-60  |
| DISHMACHINE        | 1/2"             | 1/2"              | YES                            | INDIRECT DRAIN, FOR INGREDIENT PREP, W/ DUAL SPLASH GUARDS MIN. 6" |
| EMPLOYEE LAVATORY  | 1/2"             | 1/2"              | YES                            | ECOLAB ES-2000   |
| CUSTOMER LAVATORY  | 1/2"             | 1/2"              | YES                            | KOHLER K-2005  |
| WATER HEATER       | 3/4"             | 3/4"              | YES                            | KOHLER K-2005  |
| FLOOR SINK         |                  |                   | ZURN Z 1900                    | INSULATE HOT WATER PIPE & "P" TRAP LINE                            |
| FLOOR DRAIN        |                  |                   | ZURN Z 415                     | PIPE & "P" TRAP LINE   |
| RESTROOM SINK      | 1/2"             | 1/2"              | YES                            | GLACIER BAY 13-0010-ADA  |
| RESTROOM FAUCET    |                  |                   | MOEN L4601                     | WALL-MOUNTED   |
| RESTROOM GRAB BAR  |                  |                   | KOHLER K-10546-BS              |  |
| RESTROOM GRAB BAR  |                  |                   | KOHLER K-10544-BS              | 48"  |
| UNINAL             |                  |                   | AMERICAN STANDARD 6550.001.020 | 36"  |

\*ALL HAND SINKS TO BE INSTALLED WITH WALL-MOUNTED LIQUID SOAP AND SINGLE TOWEL DISPENSERS.

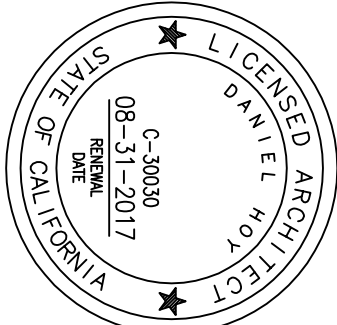


PLAN NORTH  
2. PROPOSED PLUMBING PLAN  
3/16"-1'-0"



1. EXISTING PLUMBING PLAN  
3/16"-1'-0"

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COMMERCIAL  
TENANT IMPROVEMENT

|                |           |             |
|----------------|-----------|-------------|
| Project Number | Drawn By  | Checked By  |
| Issues         | Revisions | Description |
| Number         | Date      |             |
|                |           |             |
|                |           |             |
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|                |           |             |
|                |           |             |

COMMERCIAL TENANT IMPROVEMENT  
NEPTUNE'S  
630 CENTRAL AVE  
ALAMEDA, CA 94501

PLUMBING PLANS,  
NOTES & DETAILS

A4.0



HANDICAP ACCESS NOTES

- 1. MAIN ENTRANCE AREA- THE ENTRY DOOR THRESHOLD SHALL NOT BE MORE THAN 3/4" HIGH. THE LANDING ON BOTH SIDES TO BE LEVEL WITH LESS THAN 1/4" PER FT. SLOPE. A NOTE STATING THIS DOOR MUST REMAIN UNLOCKED DURING BUSINESS HOURS\* AND 1" SIZE LETTERS ARE REQUIRED.
- 2. THE FRONT DOOR- THE FRONT DOOR SHALL HAVE 10" KICK PLATE AND AN INTERNATIONAL SIGN AS SHOWN IN THE DETAILS.
- 3. EXIT DOOR- THE FIRE EXIT DOOR SHALL HAVE EMERGENCY PANIC HARDWARE. EXIT DOOR SHALL BE OPERABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- 4. DOOR HANDLES- ALL INTERIOR DOOR HANDLES SHALL BE SINGLE LEVER TYPE.
- 5. SWITCHES, THERMOSTATS AND CONTROL DEVICES- INSTALL ALL WALL SWITCHES AND CONTROL DEVICES BETWEEN 15" TO 48" MAX. FROM THE FINISH FLOOR LEVEL.
- 6. WALL RECEPTACLES- INSTALL WALL RECEPTACLES WITH A MIN. OF 15" TO 48" MAX. FROM THE FINISH FLOOR LEVEL.
- 7. FAUCET HANDLES- FAUCET HANDLES FOR THE SINKS IN THE KITCHEN TO HAVE A SINGLE LEVER KNOBS WITH A SLAB OR LESS TO ACTIVATE.
- 8. ASLE CLEARANCE- PROVIDE .36" CLEAR WIDE ACCESS ASILES THROUGHOUT THE EMPLOYEE COMMON WORK AREA HANDICAP DINING TABLE- THE DINING ROOM SHALL BE PROVIDED WITH SOME HANDICAP ACCESSIBLE TABLES. THE ACCESSIBLE TABLES SHALL HAVE A CLEAR AREA UNDER THE TABLE OF 27"H X 30"W X 19"D KNEE SPACE FOR WHEELCHAIR TO TURN
- 10. TABLES FOR WHEELCHAIR- HANDICAP TABLES PROVIDED FOR THIS DINING ROOM NEED MIN. OF 2
- 11. ASLE WIDTH- ASLE CLEARANCE BETWEEN DINING TABLES TO HAVE A MINIMUM OF 44". FOOD PREPARATION AREA AND FOOD SERVICE AREA SHALL HAVE A 36" WIDE CLEAR ASILES FOR WHEELCHAIR ACCESS.
- 12. CASHIER TABLE- THE CASHIER TABLE SHALL HAVE A PORTION OF THE TABLE PROVIDED WITH A 34"H X 36"W SPACE FOR WHEELCHAIR ACCESSIBILITY.

HANDICAP RESTROOM NOTES:

- 1. TOILET DOOR CLEARANCE- ALL TOILET DOORS SHALL HAVE A 36" DOOR CLEARANCE. SELF-CLOSING AND TIGHT-FITTED TYPE. PROVIDE A 60" CIRCULAR FLOOR CLEARANCE SPACE FOR WHEELCHAIR MANEUVER.
- 2. DOOR SIGNS- INSTALL HANDICAP SIGNS ON THE TOILET DOORS AND BRALLE ON THE SIGN OR ON THE WALL.
- 3. INSULATIONS- INSULATE THE TOILET LAVATORY SINK DRAIN PIPE/P-TRAP AND THE HOT WATER SUPPLY PIPES.
- 4. WATER CLOSETS- HANDICAP TOILET BOWL SEAT TO BE AT 17"-19" HIGH. THE TOILET FLUSH SYSTEM SHOULD BE A 1.6 GALLON PER FLUSH TYPE.
- 5. GRAB-BARS- INSTALL GRAB-BARS AT 36" ON THE BACK AND ON THE SIDE WALL OF THE TOILET BOWL. AT 42" LENGTH WITH 24" BEHIND THE FRONT OF THE TOILET BOWL.
- 6. MIRROR AND SOAP- INSTALL SOAP HOLDING, MIRROR, TOWEL HOLDER WITH PROPER HEIGHT AS SHOWN IN DETAILS.
- 7. TOILET EXHAUST- THE TOILET EXHAUST FAN AND THE LIGHTING SHALL BE ACTIVATED TOGETHER BY THE SAME ON/OFF SWITCH.
- 8. ELECTRICAL PLUG- INSTALL A 115V GFCI WALL RECEPTACLE 48" HIGH AND WITHIN 5' OF THE LAVATORY.
- 9. INTERIOR WALL PANELS- INSTALL FRP PANEL 48" HIGH MIN., AND ON ALL 4 WALLS OF THE TOILET.
- 10. INTERIOR FINISHES (HEALTH CODE REQUIREMENT): A) INSTALL FRP MIN. 48" HIGH ON ALL 4 WALLS OR INSTALL CERAMIC TILES. B) FLOOR TO BE CERAMIC TILES WITH INTEGRATED 3/8" RADIUS CODE BASE AND MIN. OF 5" HIGH. C) CEILING AND WALL SHALL BE SMOOTH WASHABLE SURFACES, LIGHT COLOR, AND WITH EMAMEL PAINT.

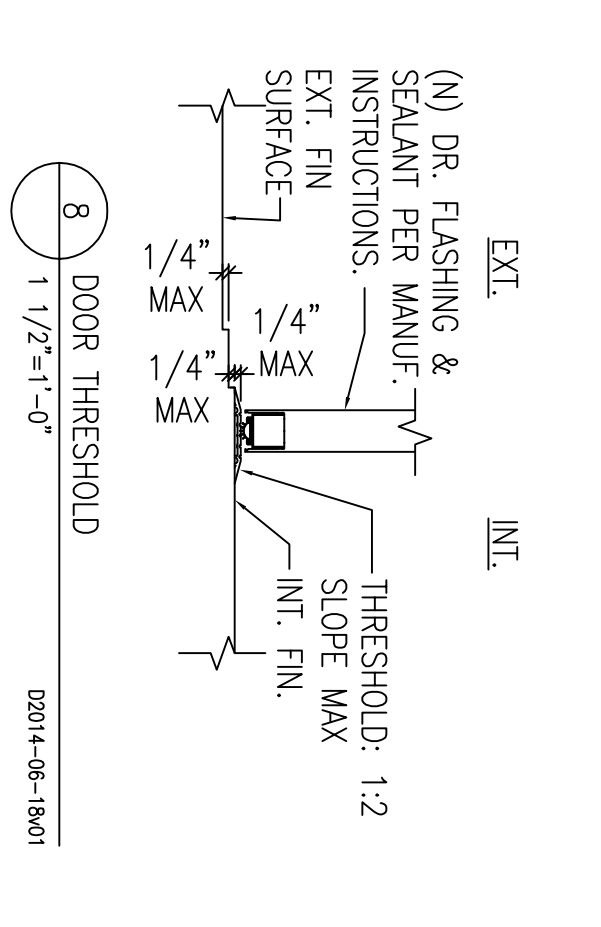
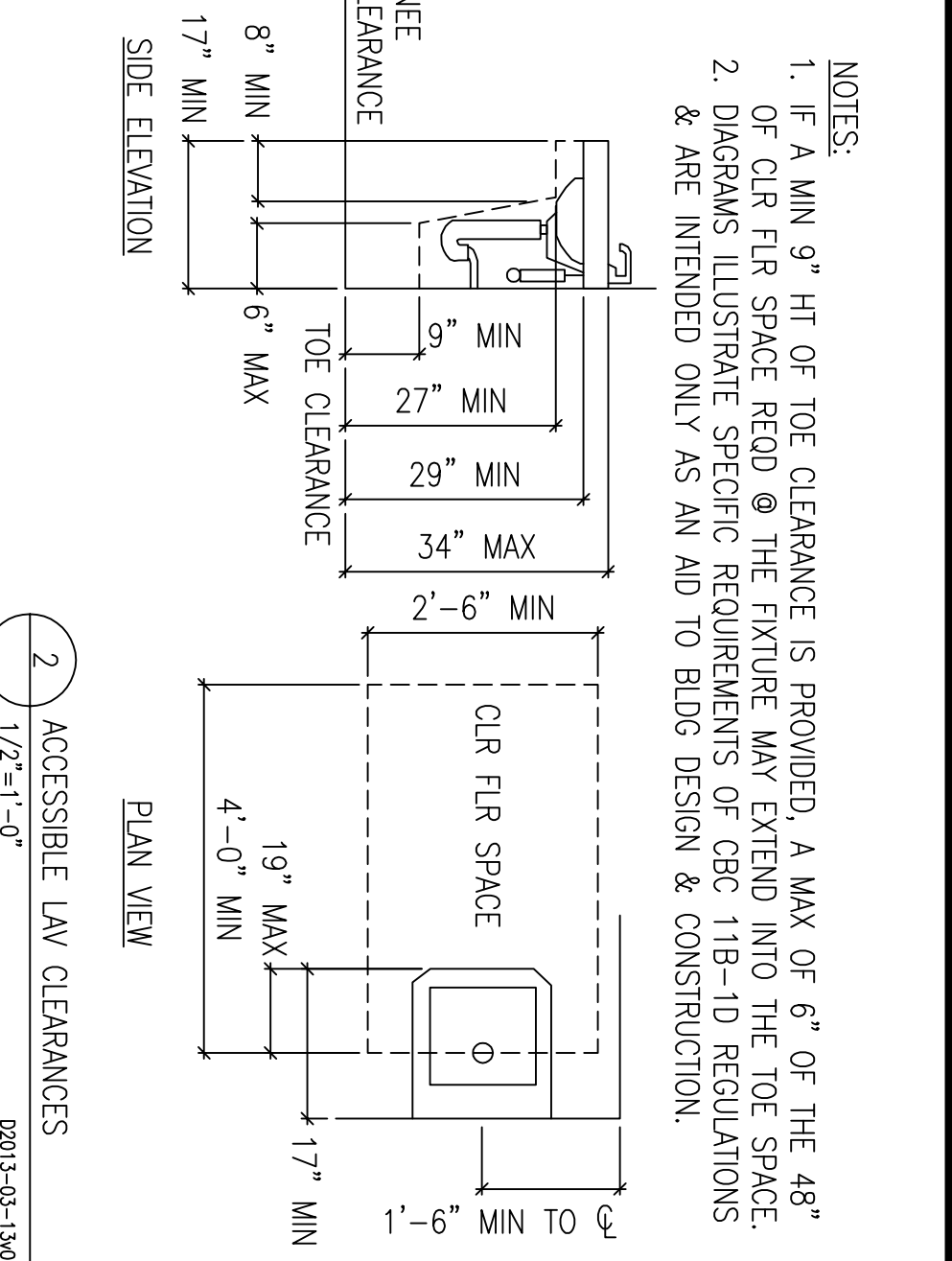
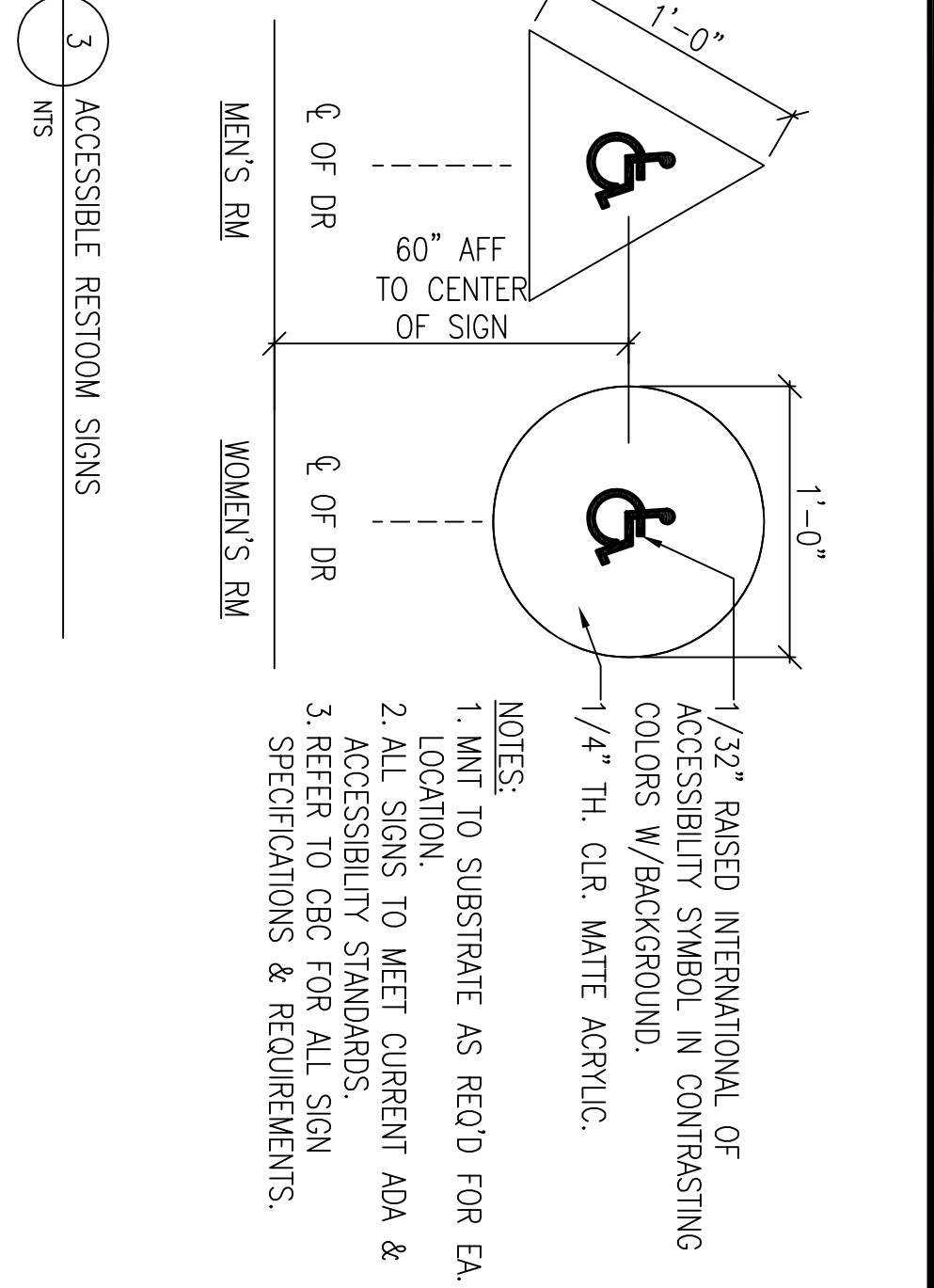
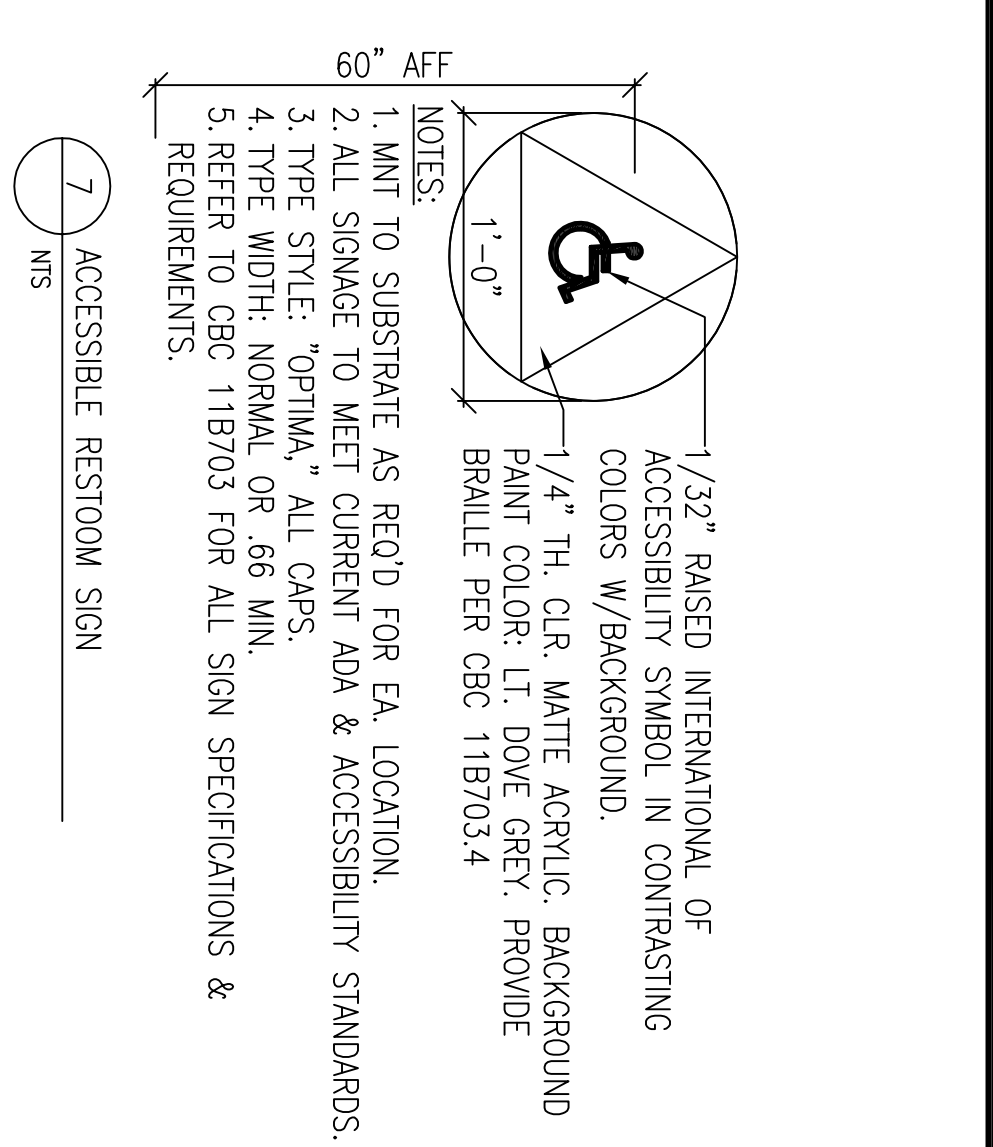
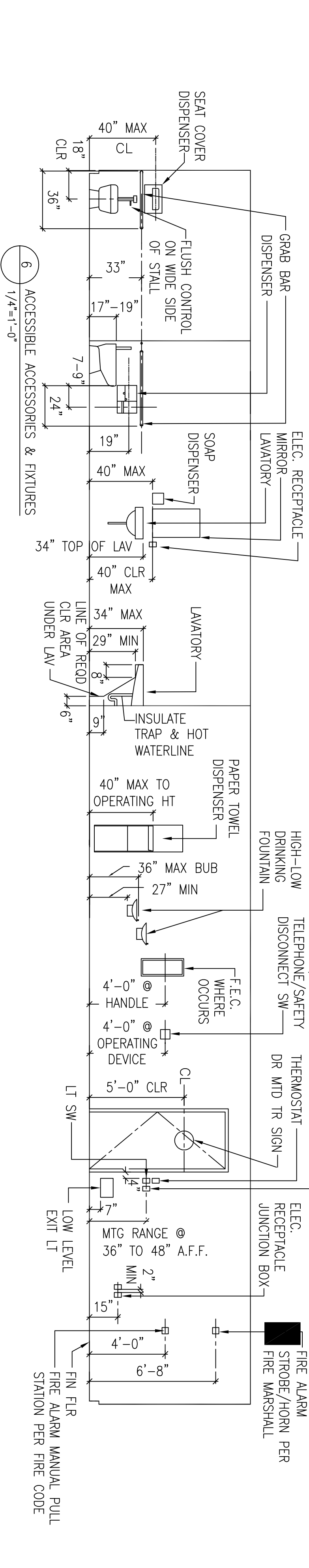
DOOR SCHEDULE

- 1. VERIFY ALL DIMS W/OWNER PRIOR TO FINAL FRAMING.
- 2. ALL DOOR STILES TO BE APPO BY OWNER PRIOR TO ORDERING.
- 3. ALL DOORS SHALL BE EQUIPPED WITH SINGLE-EFFORT, NON-GRASP HARDWARE (I.E. LEVER) MOUNTED AT SAME HT. ABOVE FLR. AS (E).
- 4. DOORS SHALL SWING TO THE FULLY OPEN POSITION WHEN AN OPENING FORCE NOT EXCEEDING 5 POUNDS IS APPLIED TO THE LATCH SIDE.
- 5. DOOR HARDWARE @ ALL EXIT DRS. SHALL ALLOW DRS. TO BE OPENED FROM THE INSIDE W/O KEY, SPECIAL KNOWLEDGE, OR EFFORT.
- 6. DOORS SHALL MEET THE APPLICABLE REQUIREMENTS OF CBC AND ACCESSIBILITY.
- 7. DOOR LITES IN BATED DOORS SHALL BE STL FRAME W/SAFETY GLASS.
- 8. CONTRACTOR SHALL REVIEW DOOR SCHEDULE FOR DOOR FRAME AND HARDWARE REQUIREMENTS. PROVIDE SUBMITTAL TO ARCHITECT FOR REVIEW. VERIFY ALL DIMS. & CONDITIONS PRIOR TO ORDERING OR FABRICATION.
- 9. MANUALLY OPERATED EDGE OR SURFACE MOUNTED FLUSH BOLTS OR ANY OTHER TYPE OF DENCE THAT MAY BE USED TO CLOSE OR RESTRAIN A DOOR OTHER THAN BY OPERATION OF THE LOCKING DEVICE IS NOT PERMITTED.
- 10. DOOR HARDWARE SHALL BE CENTERED BETWEEN 30" AND 44" ABOVE FLOOR.
- 11. KEY LOCKSETS PER OWNER DIRECTION.

| NUMBER | SIZE               | THICKNESS | MATERIAL | FRAME | FINISH | HARDWARE REMARKS                  |
|--------|--------------------|-----------|----------|-------|--------|-----------------------------------|
| ①      | EXISTING TO REMAIN | 3/0 X 6/5 | 4-0"     |       |        | SELF-CLOSING AT EXIT/RESTROOM DRS |
| ②      | OUTDOOR-GATE       | 3/0 X 6/5 | 4-0"     | STL   | GATE   |                                   |
| ③      | RESTRM             | 3/0 X 7/0 | 1-3/4"   | STL   |        | SELF-CLOSING AT RESTROOM DR       |
| ④      | OUTDOOR-GATE       | 5/0 X 6/5 | 4-0"     | STL   | GATE   |                                   |

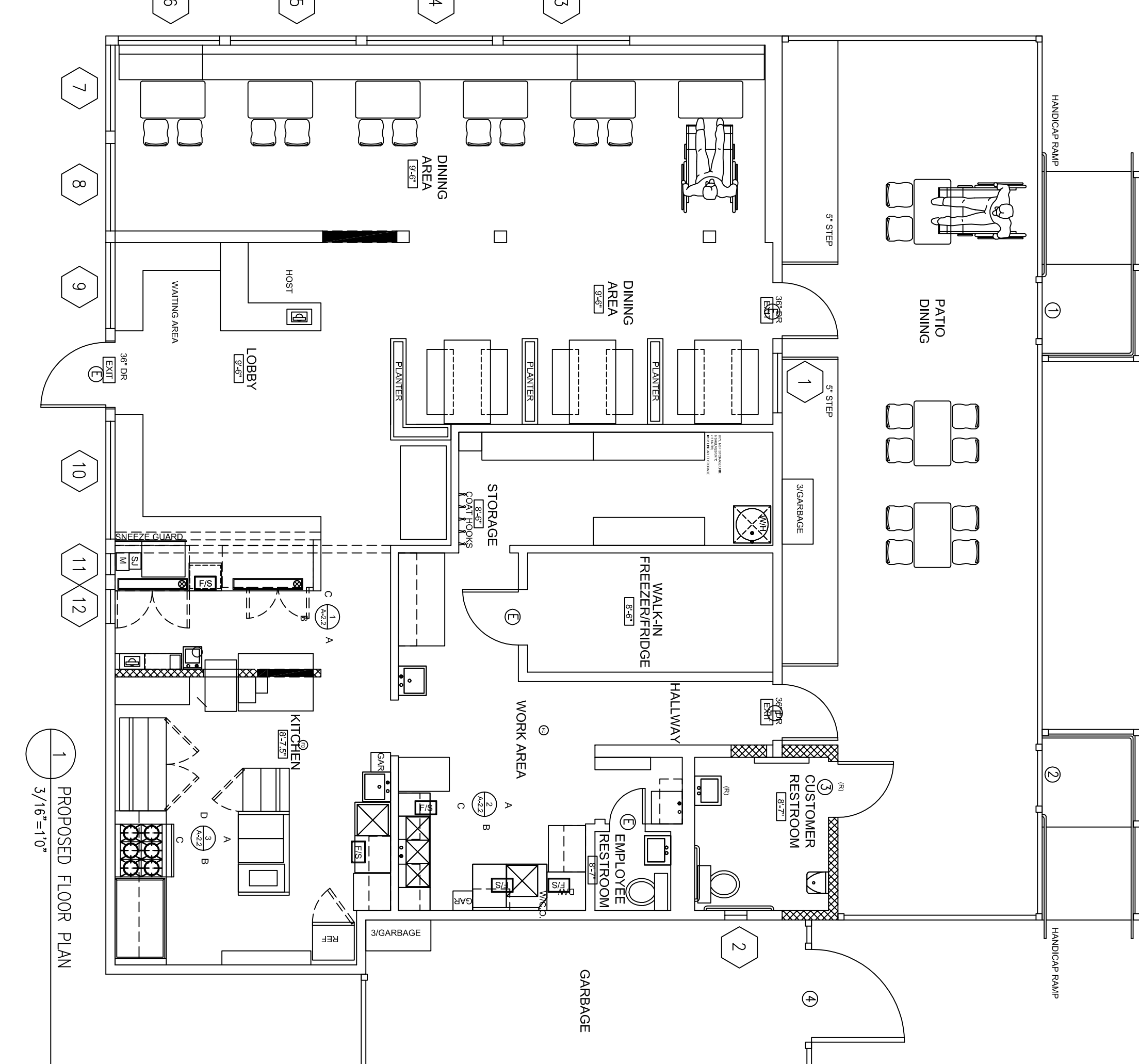
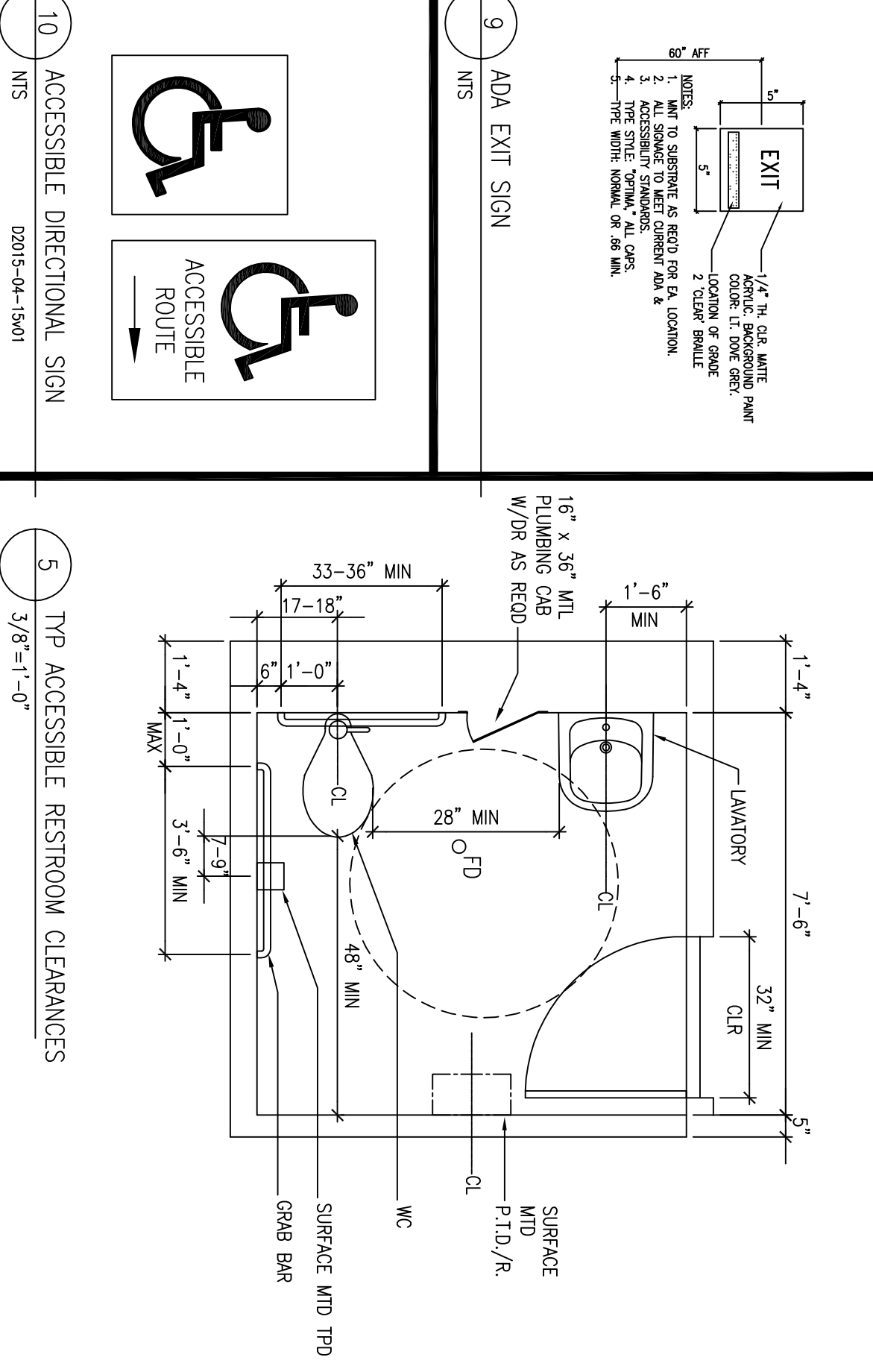
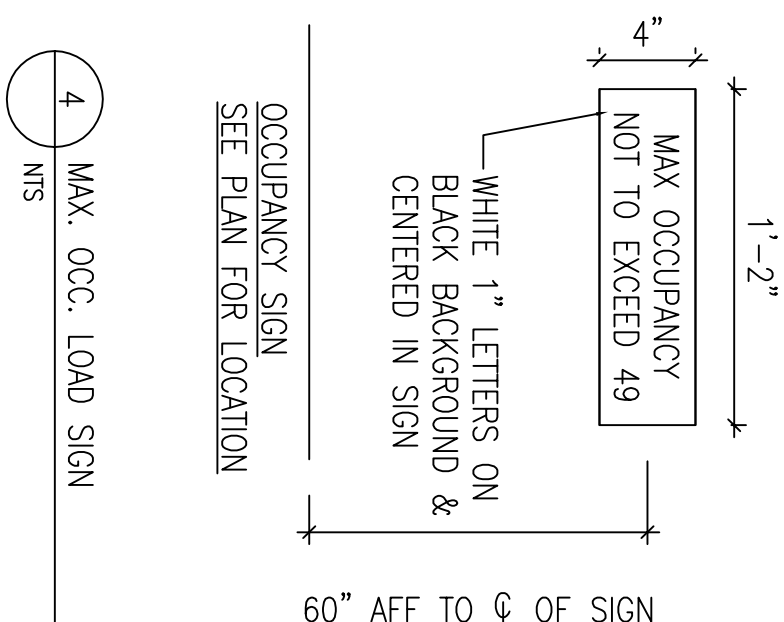
WINDOW SCHEDULE

| SYMBOL | TYPE  | MATERIAL | RO W      | RO HT    | CLR W    | CLR HT   | HT. FROM FIN. FLR. | NOTE                       |
|--------|-------|----------|-----------|----------|----------|----------|--------------------|----------------------------|
| ①      | FIXED | GLASS    | 3'-3.5"   | 2'-8.5"  | 3'-2.5"  | 2'-7.5"  | 3'11.25"           | CHANGE BROWN TO CLEAR TINT |
| ②      | FIXED | GLASS    | 1'-3.25"  | 2'-8.75" | 1'-2.25" | 2'-7.75" | 3'11.25"           | CHANGE BROWN TO CLEAR TINT |
| ③      | FIXED | GLASS    | 6'-10.75" | 4'-3.25" | 6'-9.75" | 4'-2.25" | 3'-4"              | CHANGE BROWN TO CLEAR TINT |
| ④      | FIXED | GLASS    | 6'-10"    | 4'-3.25" | 6'-9"    | 4'-2.25" | 3'-4"              | CHANGE BROWN TO CLEAR TINT |
| ⑤      | FIXED | GLASS    | 6'-10.25" | 4'-3.25" | 6'-9.25" | 4'-2.25" | 3'-4"              | CHANGE BROWN TO CLEAR TINT |
| ⑥      | FIXED | GLASS    | 5'-6.5"   | 4'-1.5"  | 5'-5.5"  | 4'-0.5"  | 3'-4"              | CHANGE BROWN TO CLEAR TINT |
| ⑦      | FIXED | GLASS    | 4'-8.5"   | 4'-1.5"  | 4'-7.5"  | 4'-0.5"  | 3'-4"              | CHANGE BROWN TO CLEAR TINT |
| ⑧      | FIXED | GLASS    | 4'-9.5"   | 4'-1.5"  | 4'-8.5"  | 4'-0.5"  | 3'-4"              | CHANGE BROWN TO CLEAR TINT |
| ⑨      | FIXED | GLASS    | 4'-8.5"   | 4'-1.5"  | 4'-7.5"  | 4'-0.5"  | 3'-4"              | CHANGE BROWN TO CLEAR TINT |
| ⑩      | FIXED | GLASS    | 6'-5"     | 4'-1.5"  | 6'-4"    | 4'-0.5"  | 3'-4"              | CHANGE BROWN TO CLEAR TINT |
| ⑪      | FIXED | GLASS    | 1'-2.5"   | 2'-1.75" | 1'-1.5"  | 2'-0.75" | 3'-4"              | CHANGE BROWN TO CLEAR TINT |
| ⑫      | FIXED | GLASS    | 1'-1.1"   | 2'-1.75" | 1'-1.0"  | 2'-0.75" | 3'-4"              | CHANGE BROWN TO CLEAR TINT |

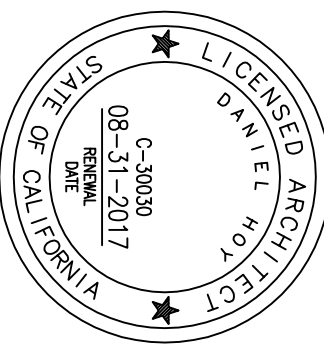


RESTRM FINISH SCHEDULE

FLOORS: NON-SLIP TILE W/ EPOXY GROUT  
\*FLOORING TO EXTEND 4'0" TO SURROUNDING WALLS  
WALLS: FRP  
CEILING: GYP BD, SMOOTH FINISH (8'6"-9'6" IN HEIGHT)



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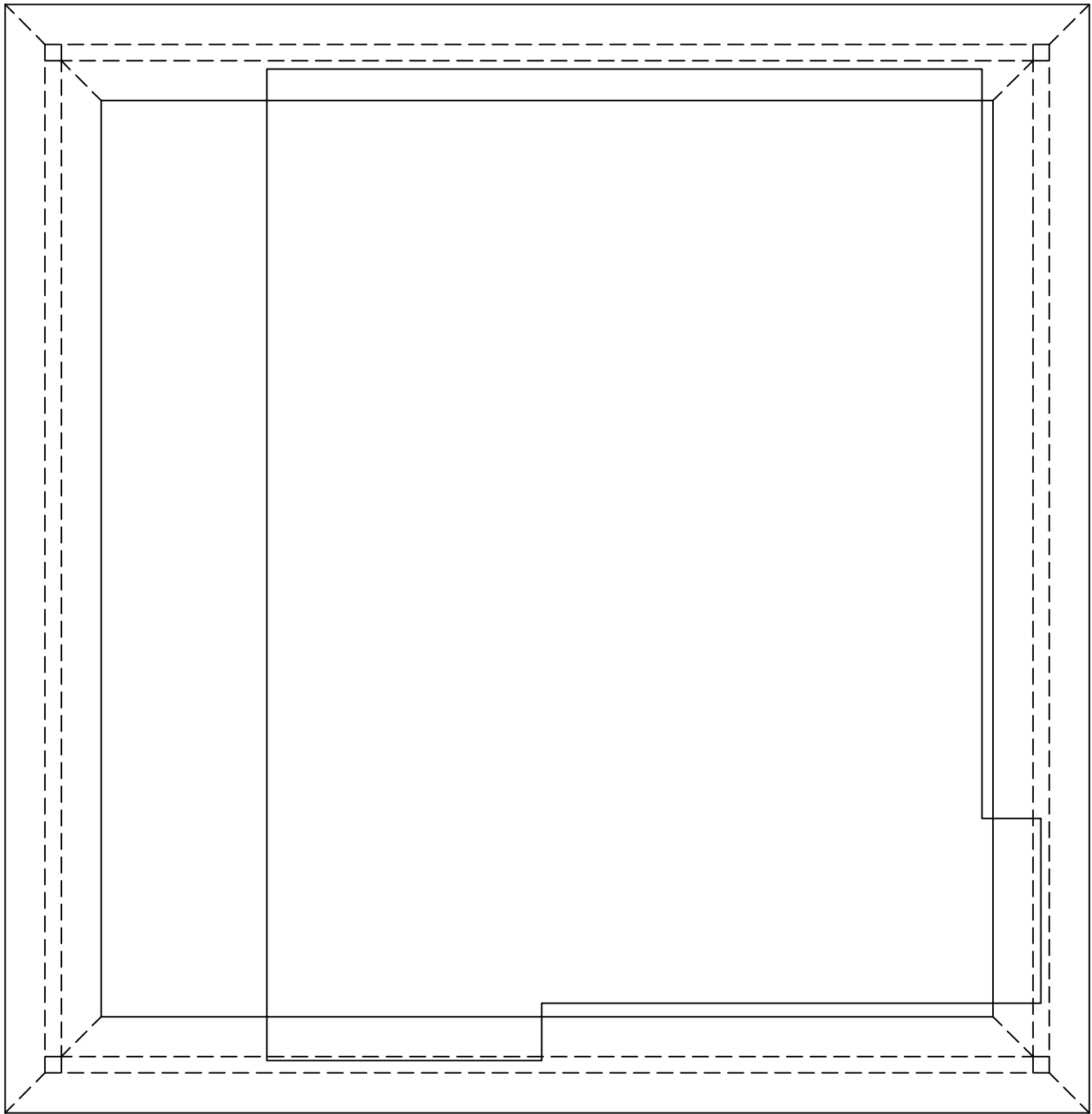
COMMERCIAL  
TENANT IMPROVEMENT

| Project Number | Drawn By  | Checked By  |
|----------------|-----------|-------------|
| Issues         | Revisions | Description |
| Number         | Date      |             |
| 1              | 5/16-10"  |             |

HANDICAP  
ACCESSIBILITY &  
HARDWARE DETAILS

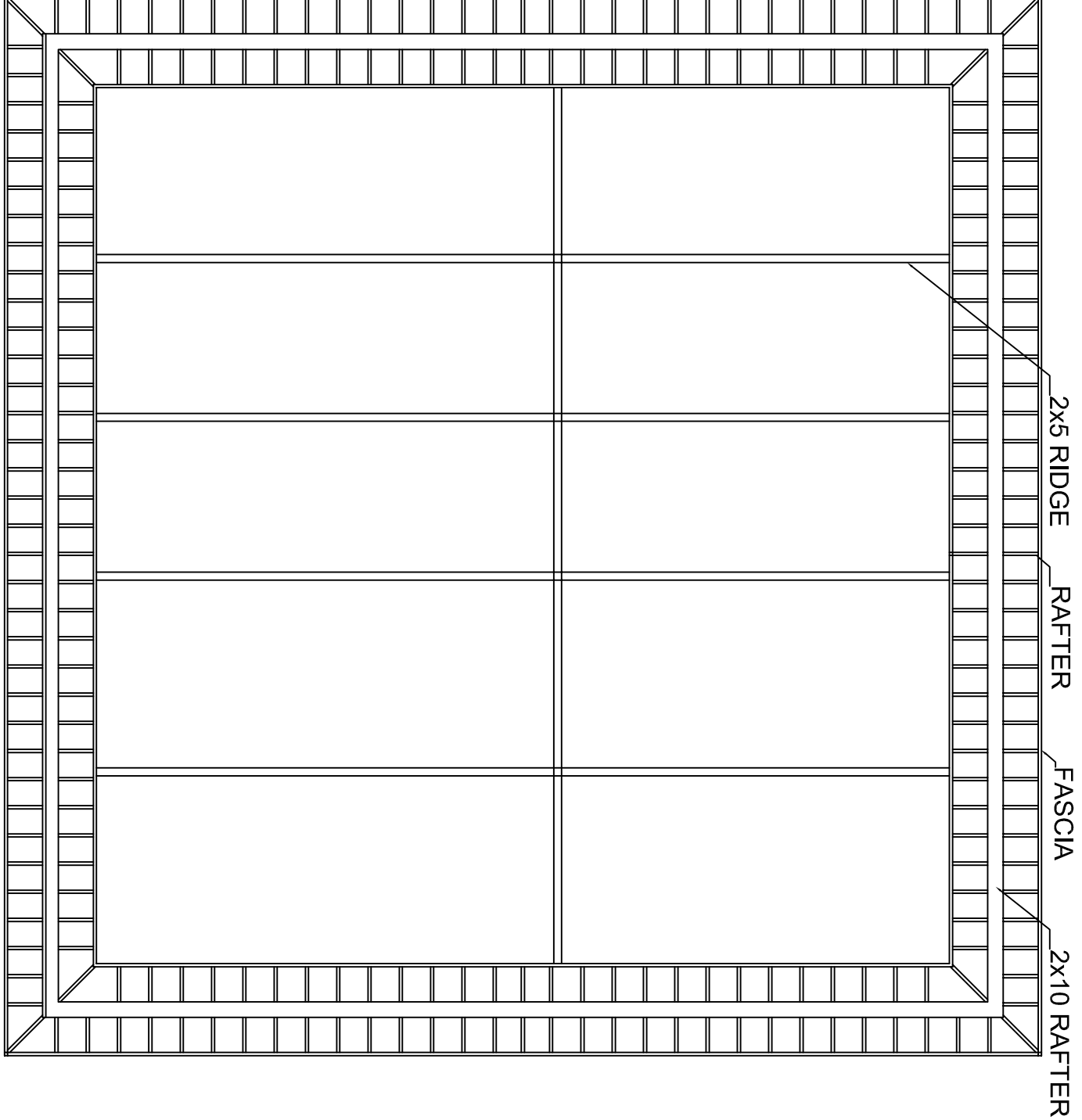
A5.0



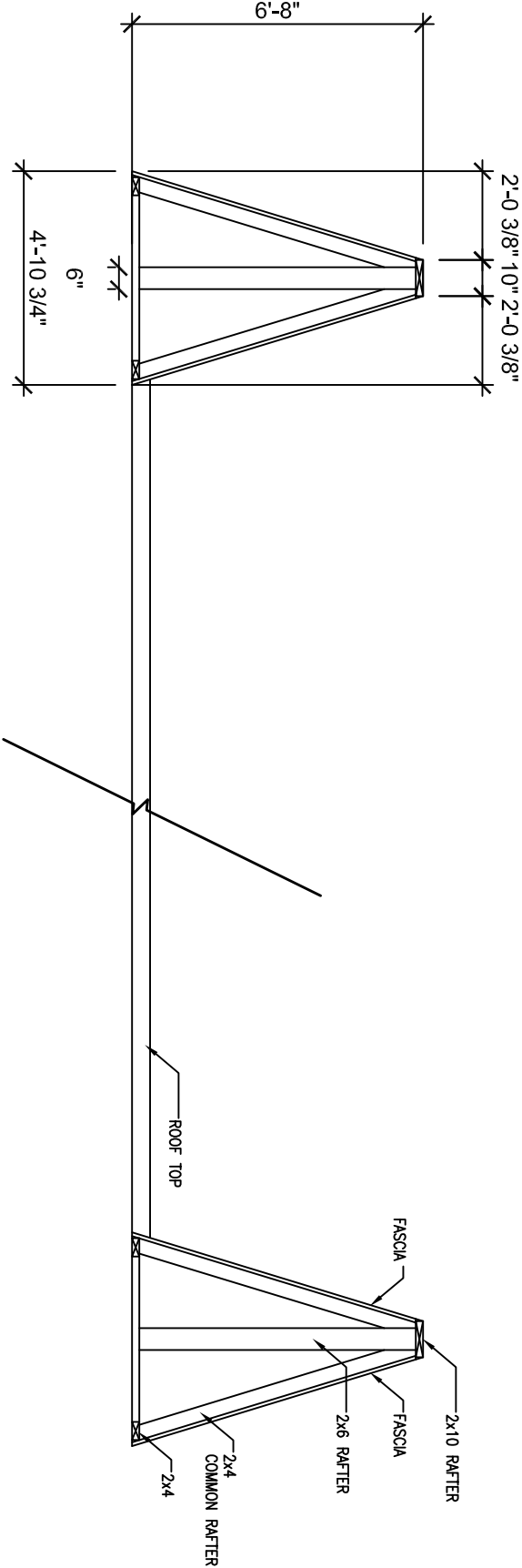


PLAN  
NORTH

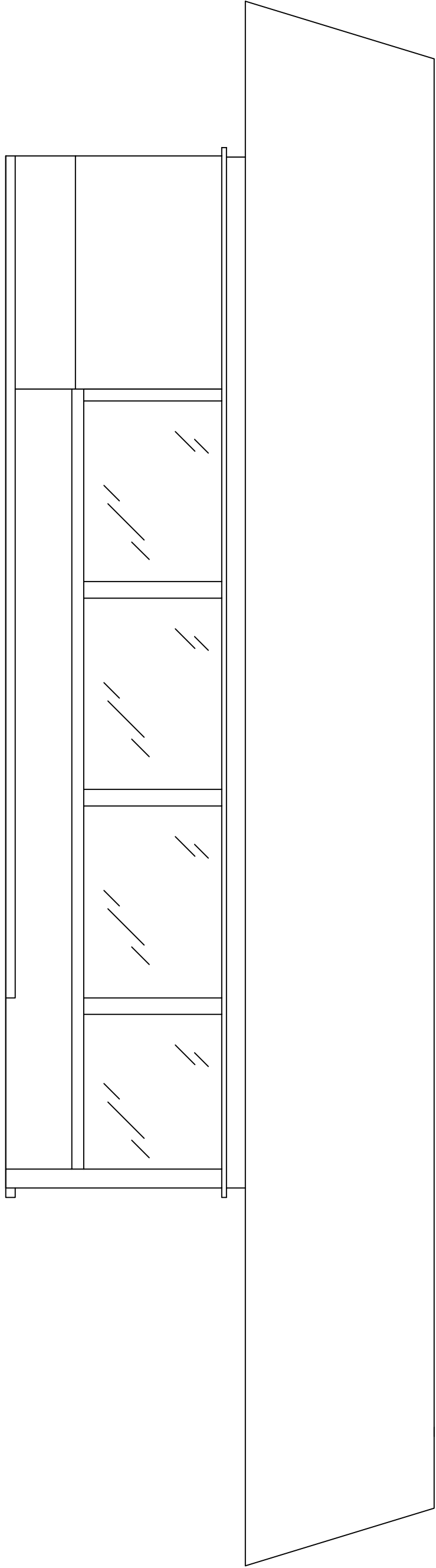
5 ROOF PLAN  
1/8"=1'-0"



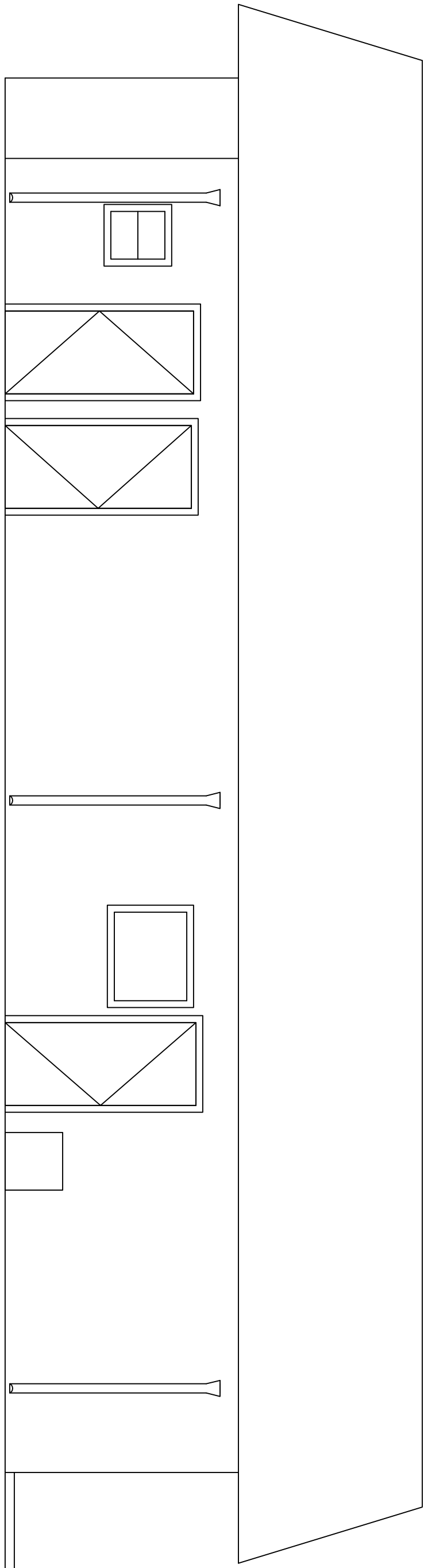
6 ROOF STRUCTURE PLAN  
1/8"=1'-0"



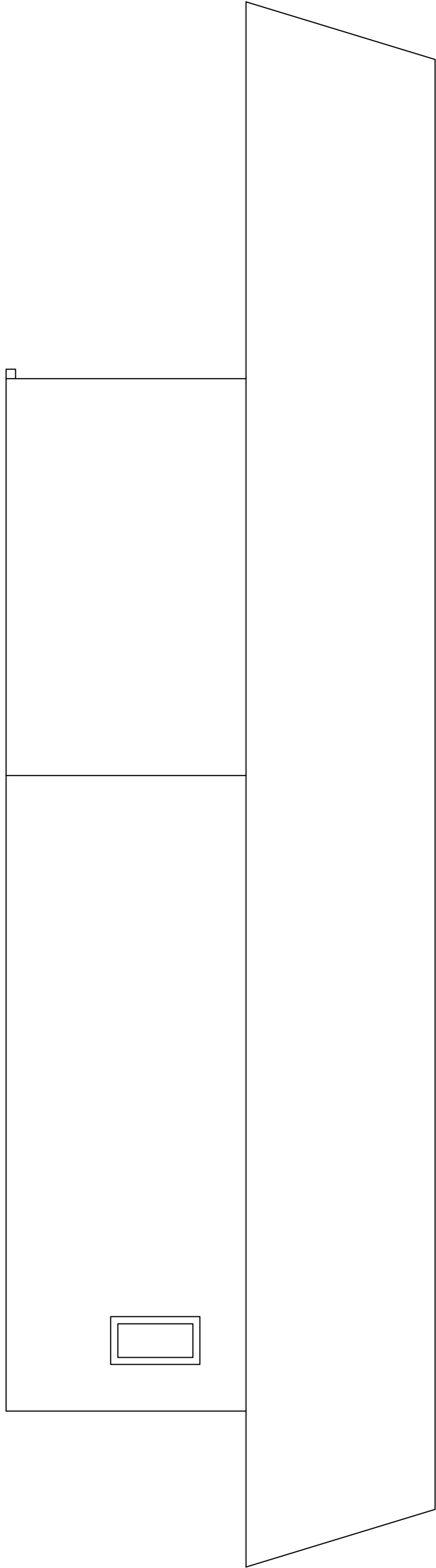
7 ROOF SECTION DETAIL  
1/4"=1'-0"



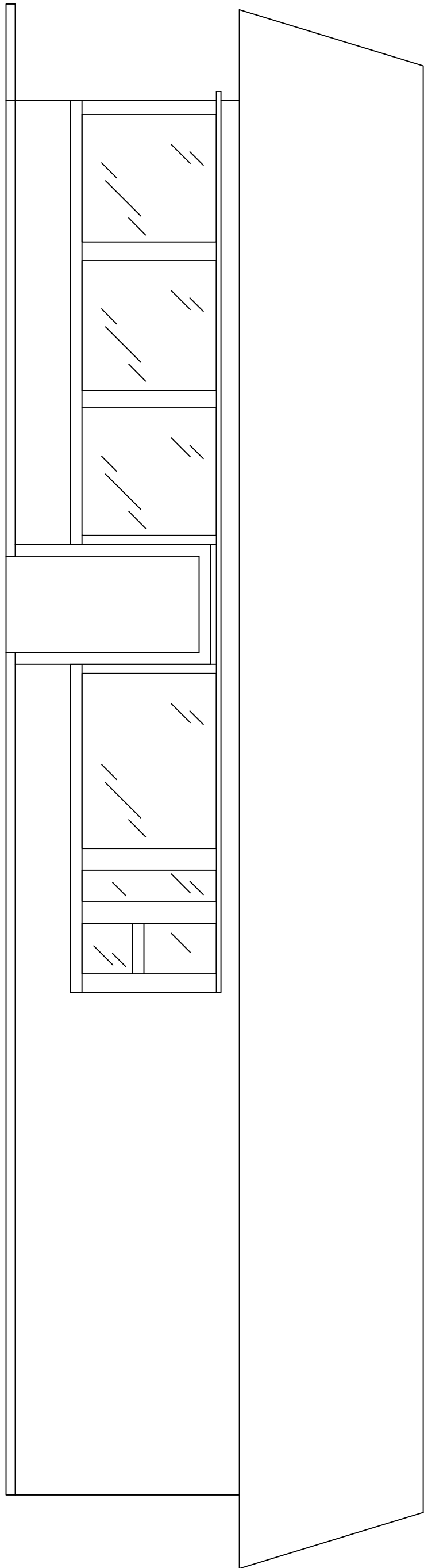
4 EAST EXISTING EXTERIOR ELEVATION  
1/4"=1'-0"



3 SOUTH EXISTING EXTERIOR ELEVATION  
1/4"=1'-0"

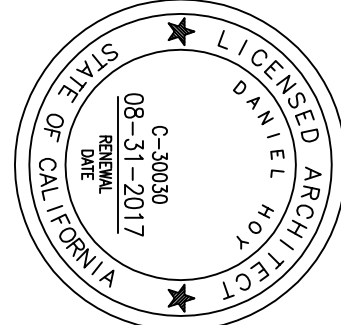


2 WEST EXISTING EXTERIOR ELEVATION  
1/4"=1'-0"



1 NORTH EXISTING EXTERIOR ELEVATION  
1/4"=1'-0"

DANIEL HOY, AIA  
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630 CENTRAL AVENUE  
ALAMEDA, CALIFORNIA, 94501

COMMERCIAL  
TENANT IMPROVEMENT

| Project Number      |           | Drawn By    | Checked By |
|---------------------|-----------|-------------|------------|
| 1551 Webster Street |           | FE          | BH         |
| Issues              | Revisions | Description |            |
| Number              | Date      |             |            |
|                     |           |             |            |
|                     |           |             |            |
|                     |           |             |            |
|                     |           |             |            |
|                     |           |             |            |

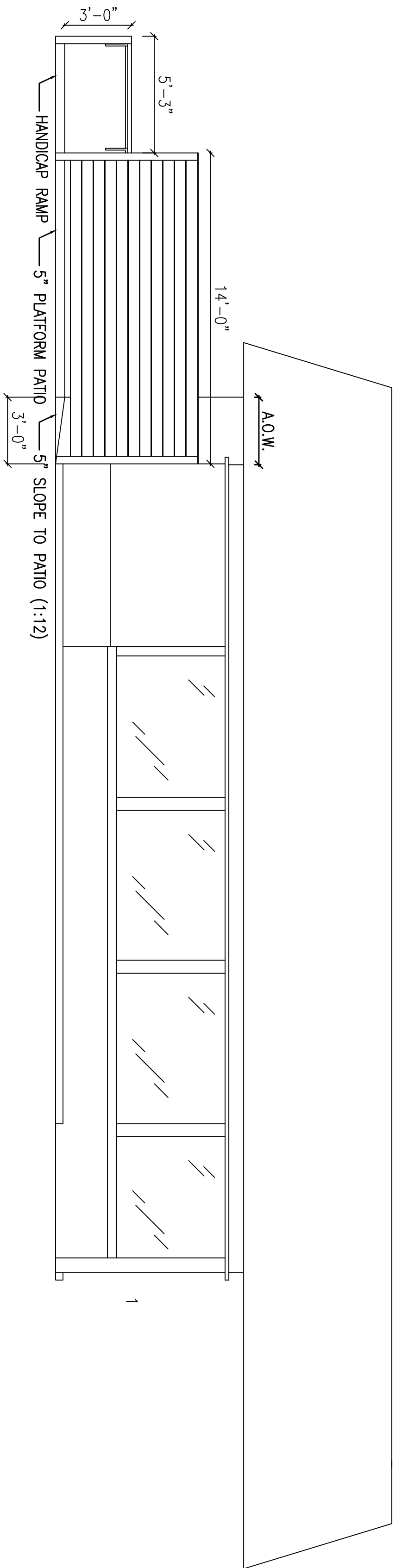
COMMERCIAL TENANT IMPROVEMENT  
NEPTUNE'S  
630 CENTRAL AVE  
ALAMEDA, CA 94501

EXISTING EXTERIOR  
ELEVATIONS  
& ROOF PLAN

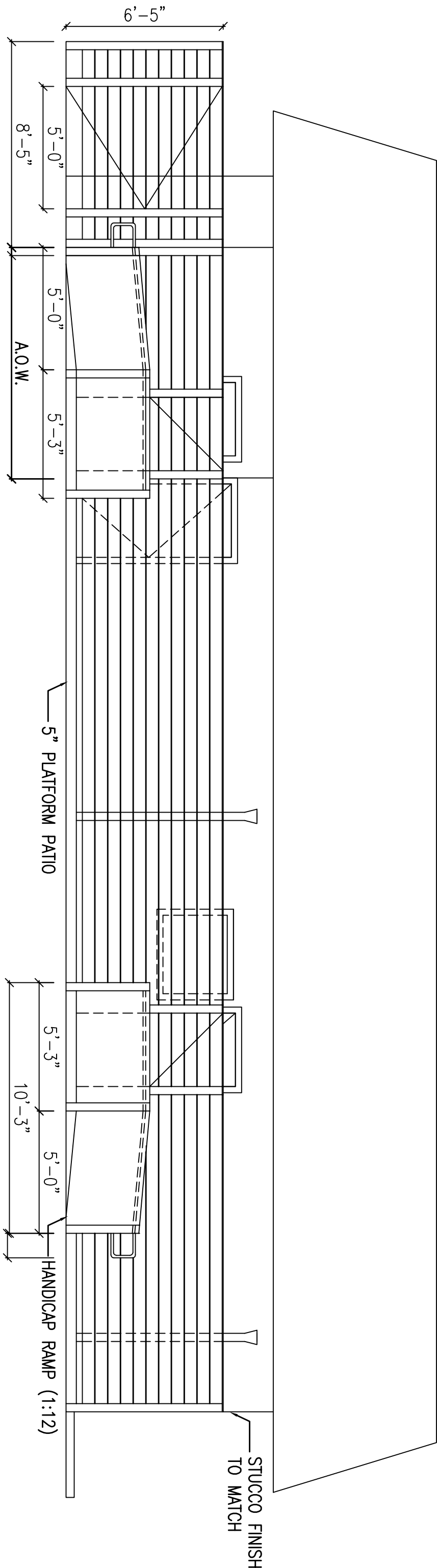
A6.0

EXTERIOR MATERIALS SCHEDULE

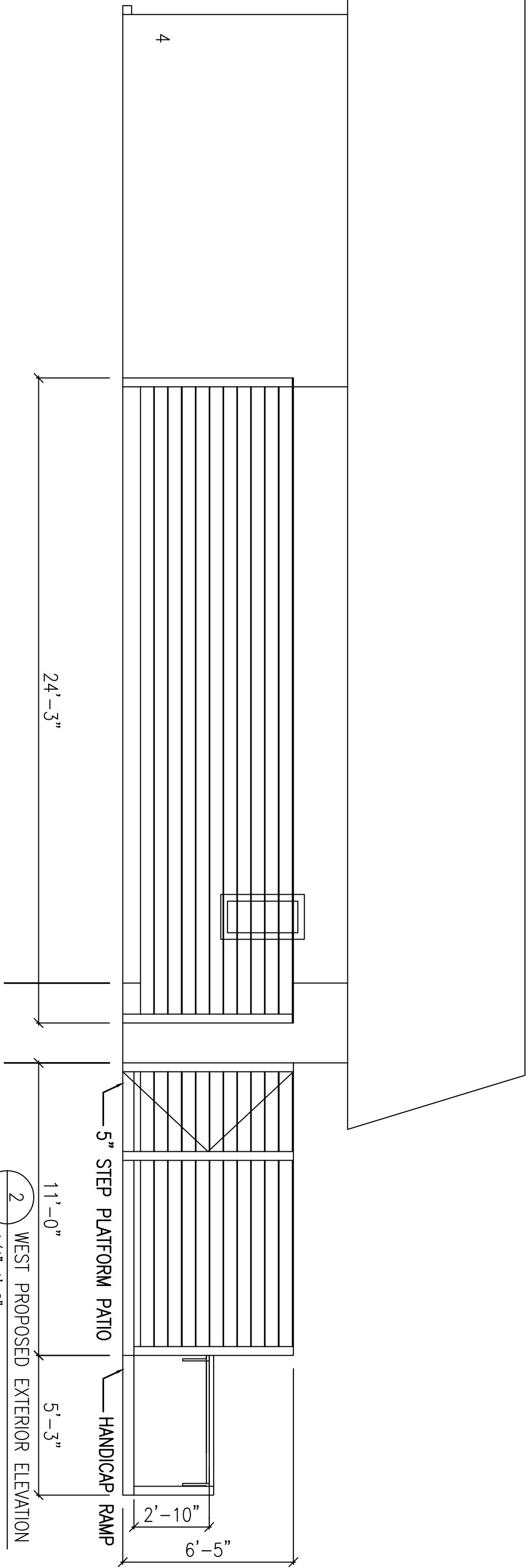
|   | MATERIAL(S)          | NOTES                                |
|---|----------------------|--------------------------------------|
| 1 | WINDOWS              | TO REMAIN                            |
| 2 | ENTRANCE DOOR        | DOUGLAS FIR WOOD (N)                 |
| 3 | BULK HEAD            | DOUGLAS FIR WOOD (N)                 |
| 4 | WALLS & TRIM DETAILS | LATEX EXTERIOR PAINT<br>BEIGE STUCCO |



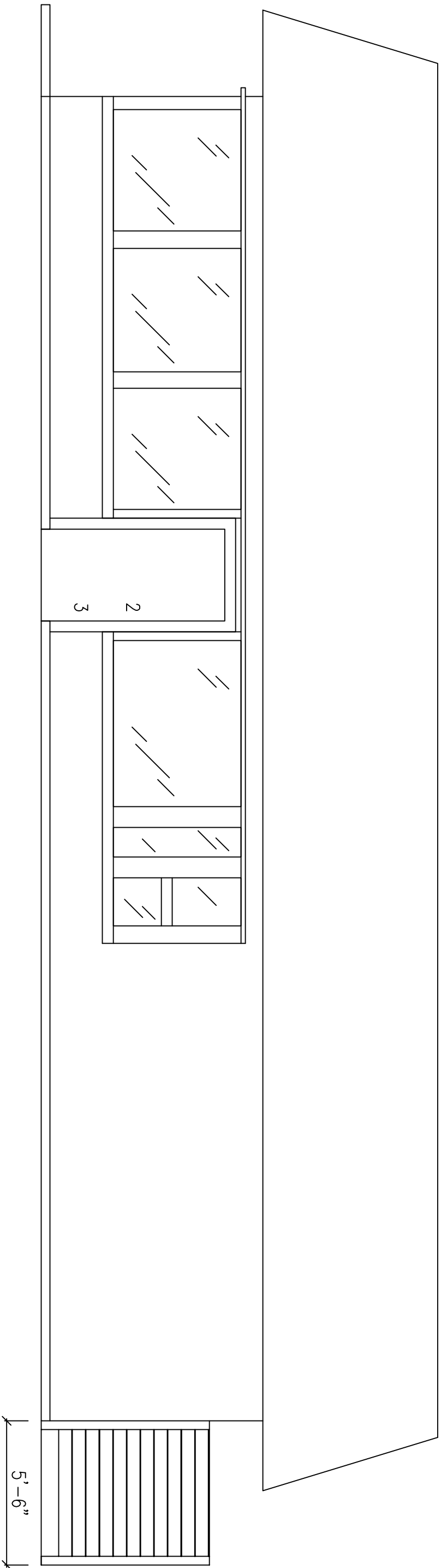
4 EAST PROPOSED EXTERIOR ELEVATION  
1/4"=1'-0"



3 SOUTH PROPOSED EXTERIOR ELEVATION  
1/4"=1'-0"

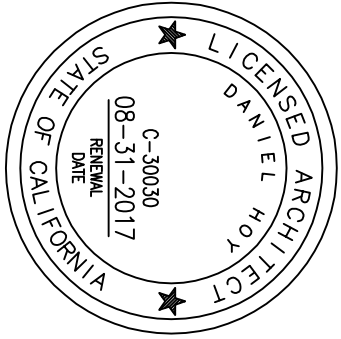


2 WEST PROPOSED EXTERIOR ELEVATION  
1/4"=1'-0"



1 NORTH PROPOSED EXTERIOR ELEVATION  
1/4"=1'-0"

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630 CENTRAL AVENUE  
ALAMEDA, CALIFORNIA, 94501

COMMERCIAL  
TENANT IMPROVEMENT

| Project Number  | Drawn By | Checked By  |
|---|----------|-------------|
| Issues <input type="checkbox"/> Revisions <input checked="" type="checkbox"/> | PE       | DH          |
| Number  | Date     | Description |
|   |          |             |
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|   |          |             |
|   |          |             |
|   |          |             |

COMMERCIAL TENANT IMPROVEMENT  
630 CENTRAL AVE.  
ALAMEDA, CA 94501

EXTERIOR  
ELEVATIONS  
PROPOSED

A6.1