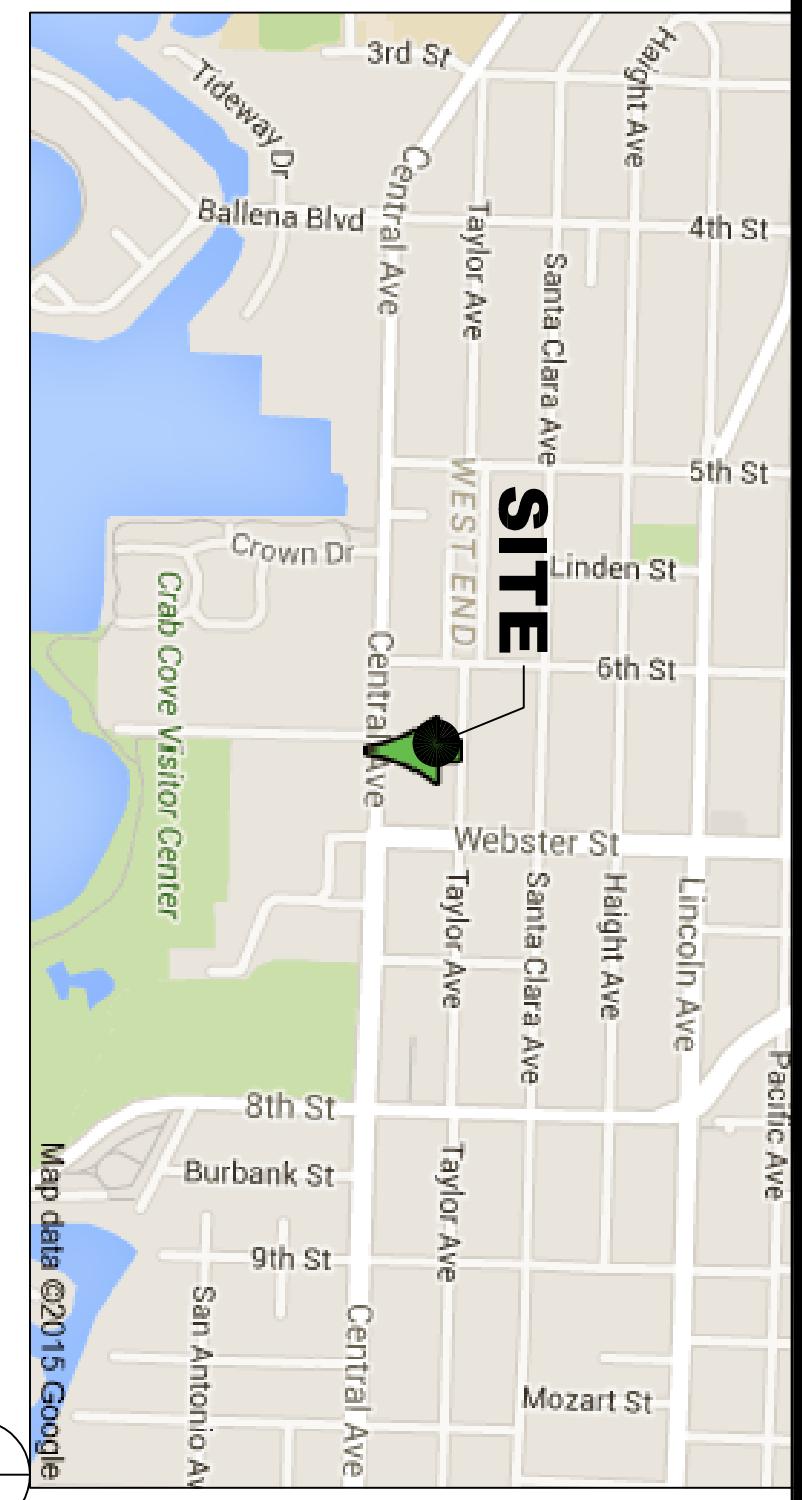


LOCATION MAP



GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED TO THE FOLLOWING CODES.

- a. CALIFORNIA BUILDING CODE 2013 EDITION
- b. CALIFORNIA MECHANICAL CODE 2013 EDITION
- c. CALIFORNIA PLUMBING CODE 2013 EDITION
- d. CALIFORNIA ELECTRICAL CODE 2013 EDITION
- e. CALIFORNIA ENERGY CODE 2013 EDITION
- f. CALIFORNIA FIRE CODE 2013 EDITION
- g. CALIFORNIA GREEN BUILDING STANDARDS CODE 2013 EDITION
- h. CALIFORNIA HISTORIC BUILDING CODE 2013 EDITION
- i. CALIFORNIA RESIDENTIAL CODE 2013 EDITION

2. CONTRACTOR SHALL ADHERE TO ALL CODES, RULES & REGULATIONS GOVERNING CONSTRUCTION, BUILDING ACCESS & THE USE OF FACILITIES AS SET BY FEDERAL, STATE & LOCAL BUILDING CODES.

3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS IN THE DESIGN DWGS.

4. ASSUMPTIONS HAVE BEEN MADE REGARDING THE (E) STRUCTURE & CONDITIONS OF WALLS, FLOORS, CEILING & BUILDING COMPONENTS. CONTRACTOR SHALL VERIFY (E) CONDITIONS AS BUILDING STRUCTURE IS UNCOVERED. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY OF CONDITIONS DIFFERENT FROM DWGS. ARCHITECT DOES NOT ASSUME RESPONSIBILITY FOR (E) STRUCTURE OR ITS LOCATION & CONDITION.

5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS & WORKMANSHIP (U.N.O.) IN ACCORDANCE WITH ALL FEDERAL, STATE & LOCAL CODES

6. THE CONTRACTOR SHALL VERIFY ALL DWMS & (E) CONDITIONS IN THE FIELD & NOTIFY ARCHITECT, IN WRITING, OF ANY DISCREPANCIES PRIOR TO START OF WORK.

7. LARGE SCALE DWMS TAKE PRESENCE OVER SMALL SCALE DWMS.

8. ALL DWMS SHOWN ARE TO FACE OF FINISHED WALLS U.N.O.

9. NOTIFY THE OWNER & ARCHITECT IF MODIFICATIONS TO STRUCTURAL COMPONENTS ARE REQUIRED TO COMPLETE THE WORK & ARE NOT DESCRIBED IN THE CONTRACT DOCUMENTS.

10. THESE DWMS SHALL NOT BE SEALED.

11. CONTRACTOR IS RESPONSIBLE FOR THE DESIGN & CONSTRUCTION OF ANY TEMPORARY SHORING &/OR BRACING FOR ANY CONSTRUCTION.

12. REVIEW ALL EXISTING INTERIOR AND EXTERIOR CONDITIONS INCLUDING EXTERIOR SIDING, TRIM, FASADS, STRUCTURAL ELEMENTS, EQUIPMENT, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD INSPECT ALL SURFACES AND CONSTRUCTION COMPONENTS PRIOR TO SUBMITTING BIDDING DOCUMENTATION. IF CONDITIONS ARE FOUND WHERE REPLACEMENT OF COMPONENTS OR FINISHES ARE REQUIRED THAT ARE NOT INDICATED IN THE DRAWINGS OR SPECIFICATIONS THEN A LINE ITEM IN THE BIDDING DOCUMENTS MUST BE PROVIDED INDICATING THE EXTENT OF WORK, COST OF THE MATERIALS, FABRICATION, INSTALLATION, ETC. & TIME REQUIRED TO EXECUTE THE LINE ITEM(S).

13. IT IS THE OWNER'S & GENERAL CONTRACTOR'S RESPONSIBILITY TO DISTRIBUTE THE ASSOCIATED SPECIFICATION BOOK FOR THIS PROJECT TO ALL SUBCONTRACTORS FOR REVIEW PRIOR TO BIDDING & CONSTRUCTION. THE SPECIFICATIONS ARE INTEGRAL TO THE PROJECT AND ARE A LEGAL & BINDING DOCUMENT PERTAINING TO THE PROJECT.

ABBREVIATIONS

AC	AIR CONDITIONING	ELV	ELEVATOR
ACM	ASPHALTIC CONCRETE PAVING	EMC	EMERGENCY
ACOUS	ACOUSTICAL	ENC	ENCLOSURE
ADM	ADMIRAL	ENT	ENTRANCE
ADJ	ADJUSTABLE	EQ	EQUIPMENT
AFT	AFTERSHADE	EV	EVAPORATOR
AA	ABOVE FINISH FLOOR	EW	EVAPORATOR
AAIA	AMERICAN INSTITUTE OF ARCHITECTS	EW/EV	EVAPORATOR
AL/ALUM	ALUMINUM	EX	EXISTING
APA	ENGINEERED WOOD	EXP	EXPANDED
APL	ASSOCIATION	EXPO	EXPOSER
APPROX	APPROXIMATES	FA	FALSE ALARM
APR	APPROXIMATE	FAU	FORCED AIR UNIT
ARCH	ARCHITECTURAL	FB	FLAT BAR
ASPH	ASPHALTIC	FBO	FOUNDED BY OWNER
ASTM	AMERICAN SOCIETY OF TESTING & MATERIALS	FC	FLUID CROWN
BC	BITUMINOUS	FF	FINISHED FLR LEVEL
BBL	BUILDING	FG	FLBER GAS
BLO	BLOCKING	FH	FLRE HYDRANT
BM	BEAM	FIN	FLRE HOSE CABINET
BS	BOTTOM OF SLOPE	FLU	FLUORESCENT
BUBBLER		FUR	FURNISH
CAB	CABINET	FUT	FUTURE
CABIN	CABIN	GA	GALVANIZED
CAC	CACIBUS	GA	GALVANIZED
CAD	CAD STDS	GC	GENERAL CONTRACTOR
CAE	CAE	GC	GENERAL CONTRACTOR
CCL	CENTER LINE	GO	GRAFT
CF	CHAIN LINK FENCE	GLO	GLOANED IRON
CE	CEILING	GLOSS (PAINT)	GLOSS (PAINT)
CIG	CAULKING	GAL	GALVANIZED
CLO	CLOSET	GALV	GALVANIZED
CUR	CLEAR	GC	GENERAL CONTRACTOR
CONN	CONCRETE MASONRY UNIT	GO	GRAFT
CONN	CONNECTION	GRC	GRC
CONST	CONTINUOUS	GRC	GRC
CONTR	CORRIDOR	GRC	GRC
COR	COLD ROLLED	GRC	GRC
CRM	CLASSROOM	GRC	GRC
CT	CEMENT	GRC	GRC
CIR	CEMATIC TILE	GRC	GRC
CISK	CONCRETE	GRC	GRC
CF	CORK	GRC	GRC
CB	COVER	GRC	GRC
CL	COLUMN	GRC	GRC
CLF	COLLAR	GRC	GRC
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APPLIANCE/FURNITURE SCHEDULE

SYMBOL/ROOM/TYPE	MANUFACTURER	MODEL	DIMENSIONS	QT	NOTES
1 DINING	CUSTOM		23.75" x 41.75"	9	
2 DINING CHAIR	CUSTOM		16" x 17" x 18"	20	
3 BENCH SEATING	CUSTOM		22.25" x 121"	1	(E) - REFINISHED
4 BENCH DINING TABLE	CUSTOM		17" x 42"	6	
5 WATER HEATER	RHEEM	42W60F	30" x 54"	3	
6 CHANGING STATION	KOLLA KARE	KB200-11	3.75" x 35.6875"	1	
7 URINAL	AMERICAN STANDARD	6550.001.020	14" x 14"	1	WALL MOUNTED
8 METRO		F7186NC-4	18" x 60"	3	BUILT ON SITE
9 STORAGE SHELF	RUSSEL		63.25" x 85"	1	(E)
10 WALK-IN FREEZER	RUSSEL		88.5" x 85"	1	(E)
11 WALK-IN COOLER			14.5" x 29"	1	MOUNDED ABOVE W/H
12 STORAGE CABINET			20" x 21"	1	
13 MOP SINK			36" x 8"	1	42" AFF
14 BROOM RACK	BROBRICK	B-224	14" x 30"	4	60" AFF
15 DRYING SHELF	REGENCY	NS CHROME	14" x 30"	4	60" AFF

GENERAL FIRE SAFETY NOTES

- FRONT DOOR REQUIREMENT-
THE FRONT DOOR SHALL HAVE A 10" KICK PLATE PER T-24 AND ADD NOTE ON TOP OF THE DOOR STATING "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS" WITH 1" MIN LETTER HEIGHT
- EXT DOORS-
EXIT DOOR SHALL SWING TO THE DIRECTION OF TRAVEL AND TO HAVE AN APPROVED PANIC HARDWARE DEVICE AND WITH THE POSTED EXIT SIGN, DEAD BOLTS OR SURFACE MOUNTED LATCHES ARE NOT ALLOWED. INSTALL EMERGENCY POWER FOR LIGHTED EXIT AS REQUIRED. (WITH THE EXCEPTION OF "B" OCCUPANCY)
- HANDICAP SIGNS-
INSTALL THE INTERNATIONAL HANDICAP SIGN IN THE FRONT DOOR AREA.
- STREET ADDRESS-
INSTALL STREET ADDRESS NUMBER ON THE BUILDING SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY.
- DINING ROOM OCCUPANCY-
EACH DINING ROOM SHALL HAVE AN OCCUPANCY SIGN TO SHOW THE MAXIMUM SEATING.
- LOCK BOX FOR FIRE MARSHALL-
A KNOX LOCK BOX IS REQUIRED BY THE FIRE DEPARTMENT. THE EXISTING LOCK BOX LOCATION MAY BE INDICATED ON THE PLAN.

CALGREEN MANDATORY MEASURES

- DIVERT A MIN OF 50% OF THE CONSTRUCTION WASTE TO RECYCLE OR SALVAGE PER SECTION 4.408.1.
- PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS @ EXT WALLS AGAINST THE PASSAGE OF RODENTS (4.405.1).
- COVER DUCT OPENINGS & OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (4.405.1).
- ADHESIVES, SEALANTS & CAULKS SHALL BE COMPLIANT W/ VOC & OTHER TOXIC COMPOUNDS DURING CONSTRUCTION (4.504.2.1).
- PAINTS, STAINS & OTHER COATINGS SHALL BE COMPLIANT W/ VOC LIMITS (4.504.2.2).
- AEROSOL PAINTS & COATINGS SHALL BE COMPLIANT W/ PRODUCT WEIGHTED MIR LIMITS FOR VOC & OTHER TOXIC COMPOUNDS (4.503.2.3). DOCUMENTATIONS SHALL BE PROVIDED TO VERIFY COMPLIANCE.
- MIN. 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY W/ THE VOC EMISSION LIMITS PER SECTION 4.504.4.
- PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) & HARWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY W/ LOW FORMALDEHYDE EMISSION STANDARDS (4.504.5).
- CHECK MOISTURE CONTENT OF BLDG MATERIALS USED IN WALL & FLR FRAMING BEFORE ENCLOSURE (4.505.3).

ENVELOPE MANDATORY MEASURES: NONRESIDENTIAL

ENV-MM

Date
3/9/2015

BUILDING ENVIRONMENT

Building Enviro. Measures:
Standards for insulating material shall have been certified by the manufacturer to comply with the California Quality Standards for insulating material. Title 20 Chapter 4 Article 3.

Section 6.02 and 7.07 of Title 24, Part 2:

§10.3(e): The opaque portions of framed drywalling walls in nonresidential buildings shall have insulation with an installed R-value of no less than R-1 per board feet per running linear feet.

§10.3(f): The opaque portions of framed drywalling walls in nonresidential buildings shall have insulation with an installed R-value of no less than R-1 per board feet per running linear feet.

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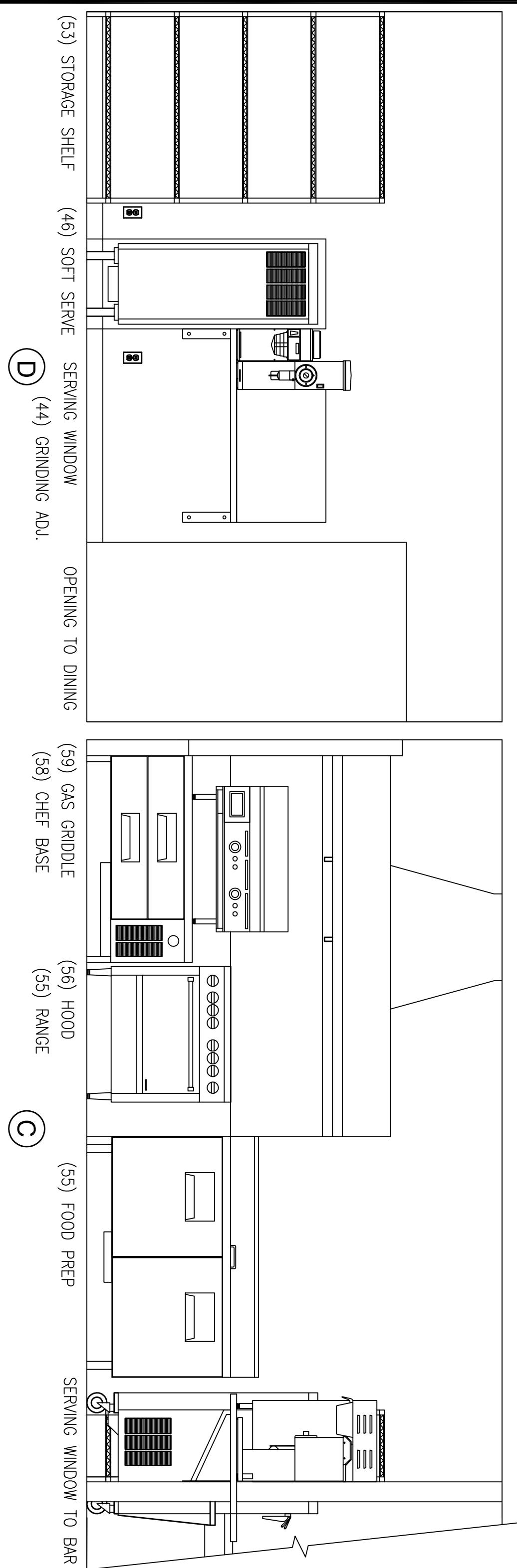
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§10.3(oo): The opaque portions of framed drywalling walls in nonresidential buildings shall have insulation with an installed R-value of no less than R-1 per board feet per running linear feet.

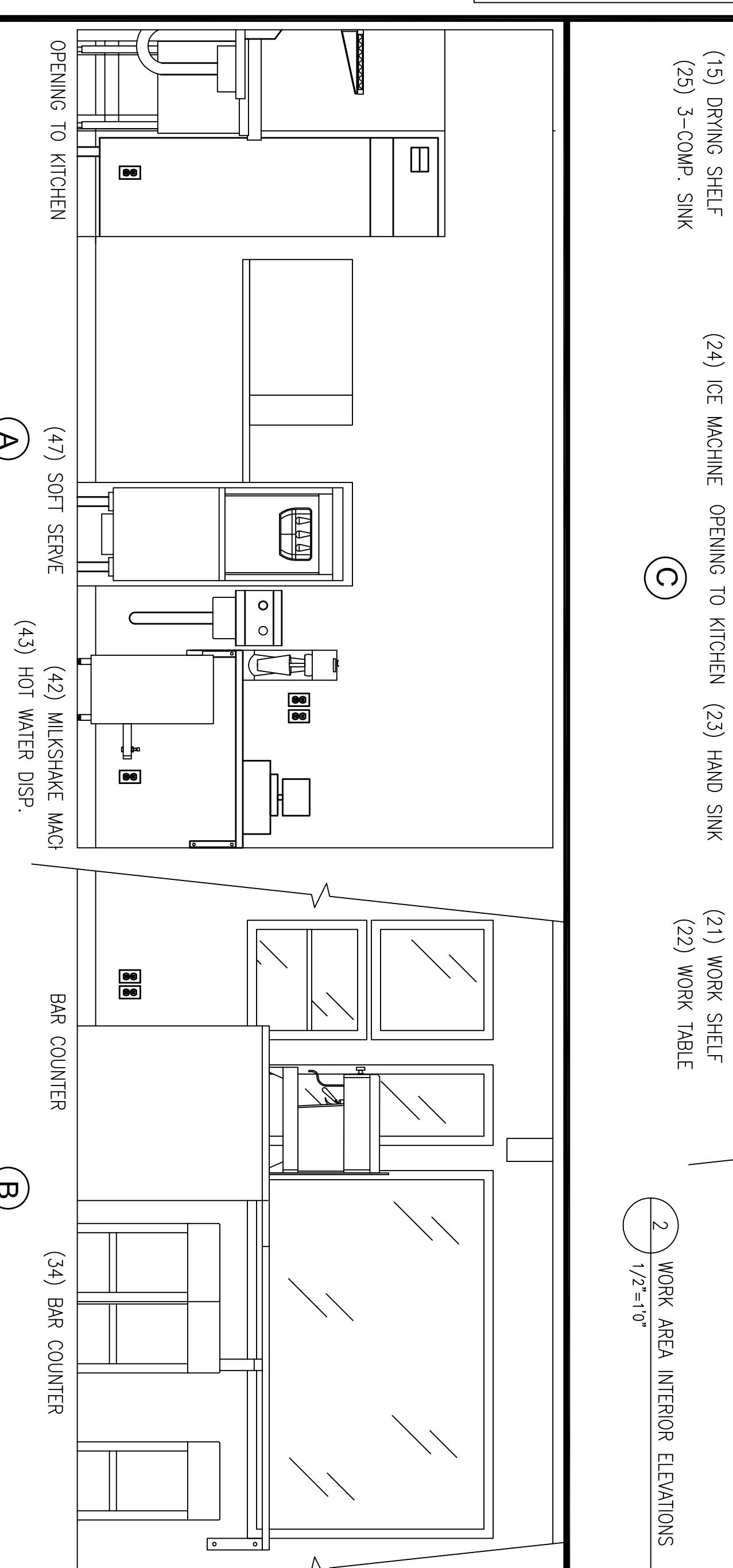
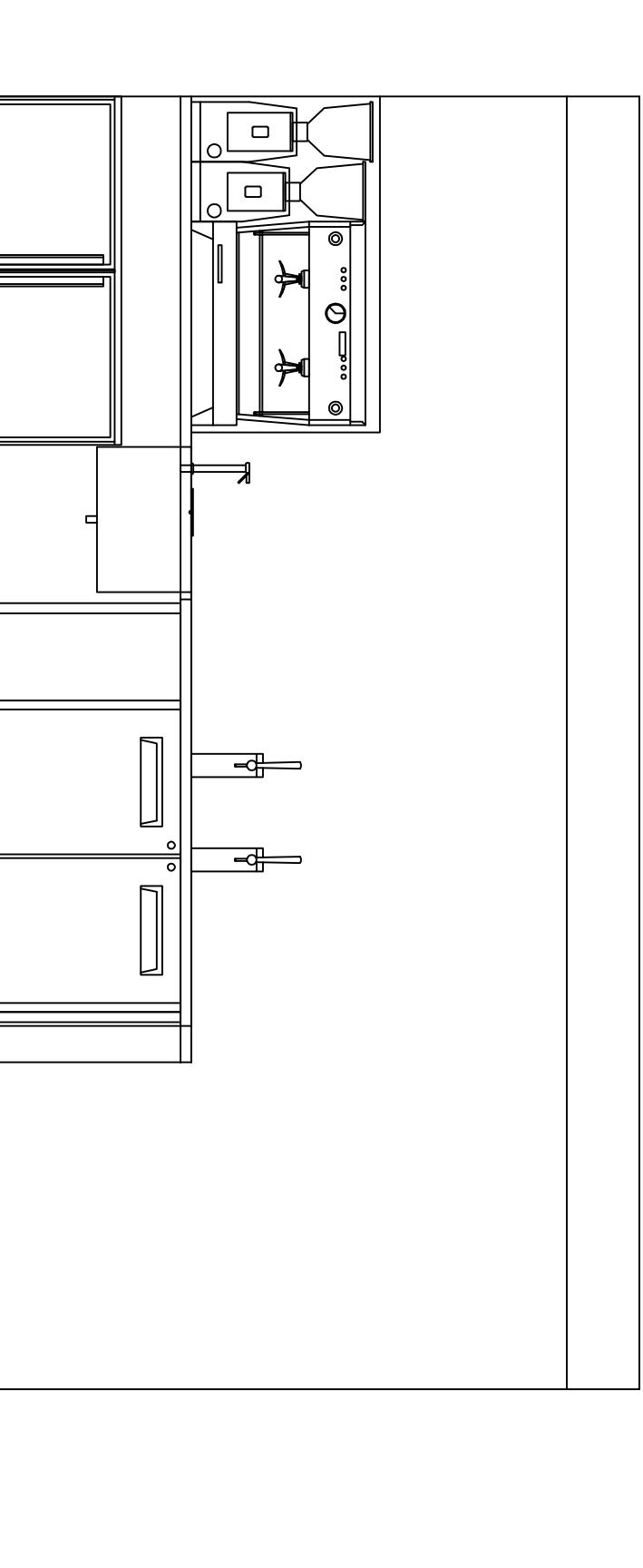
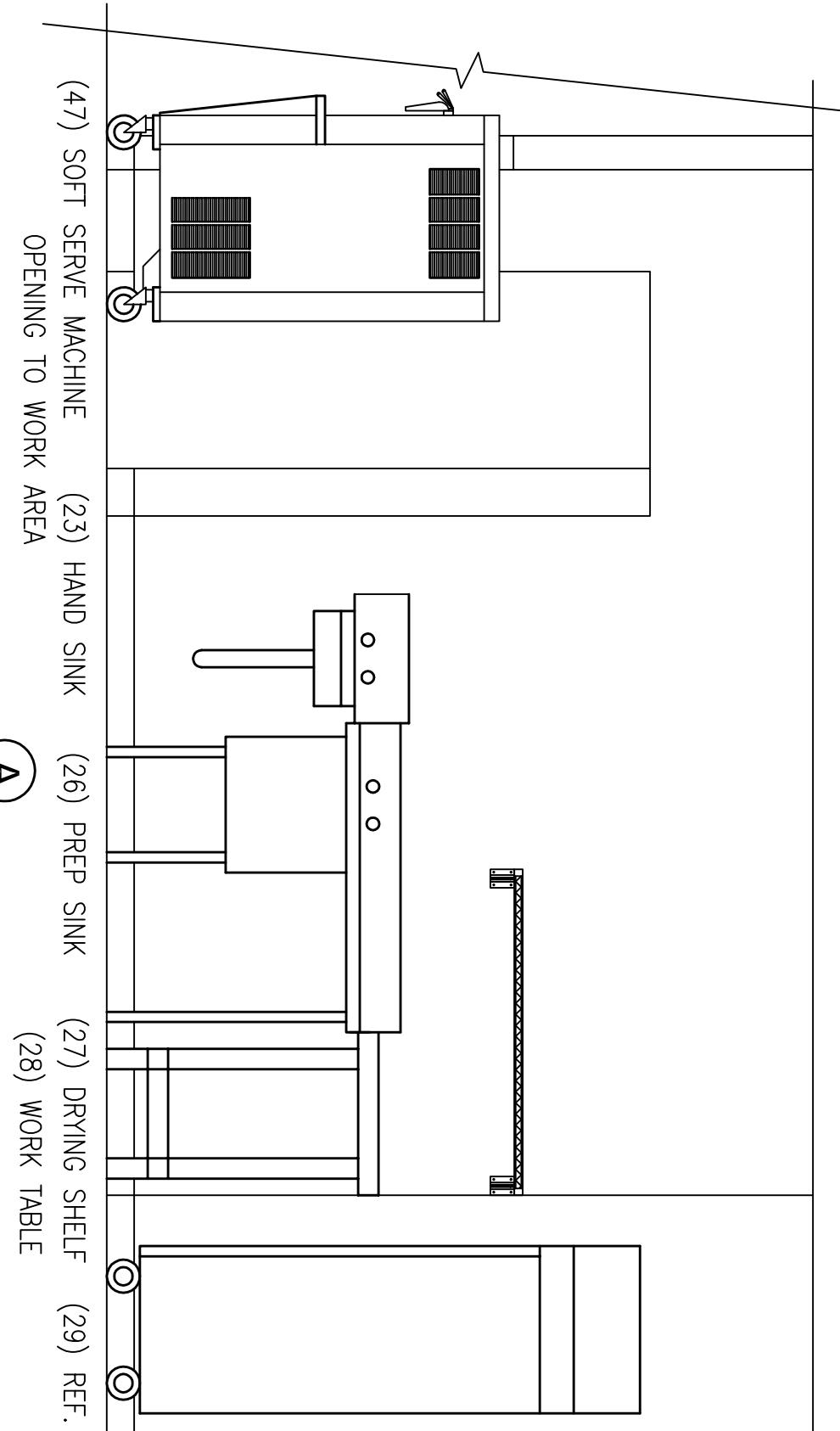
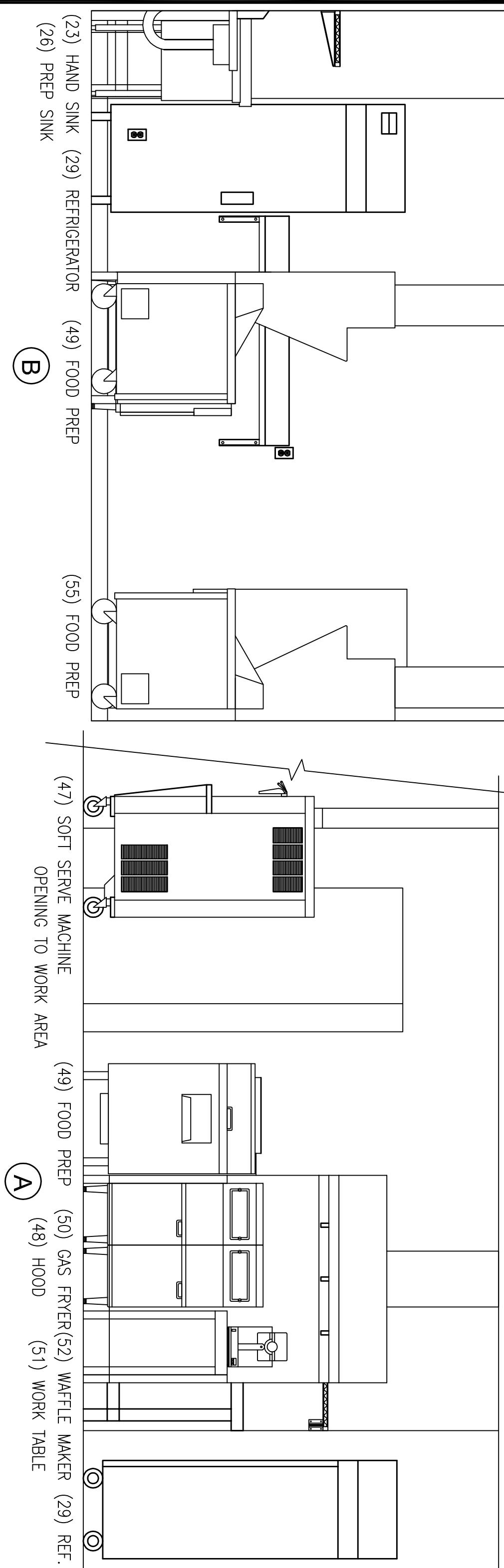
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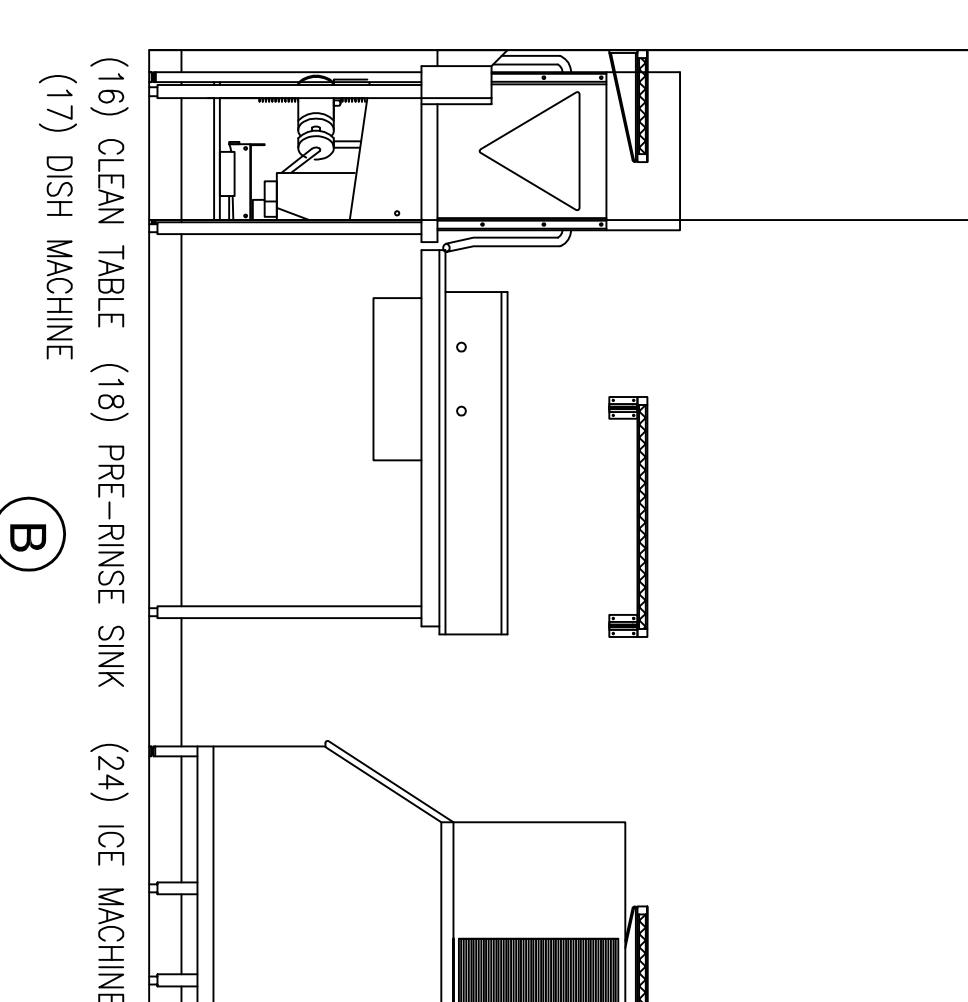
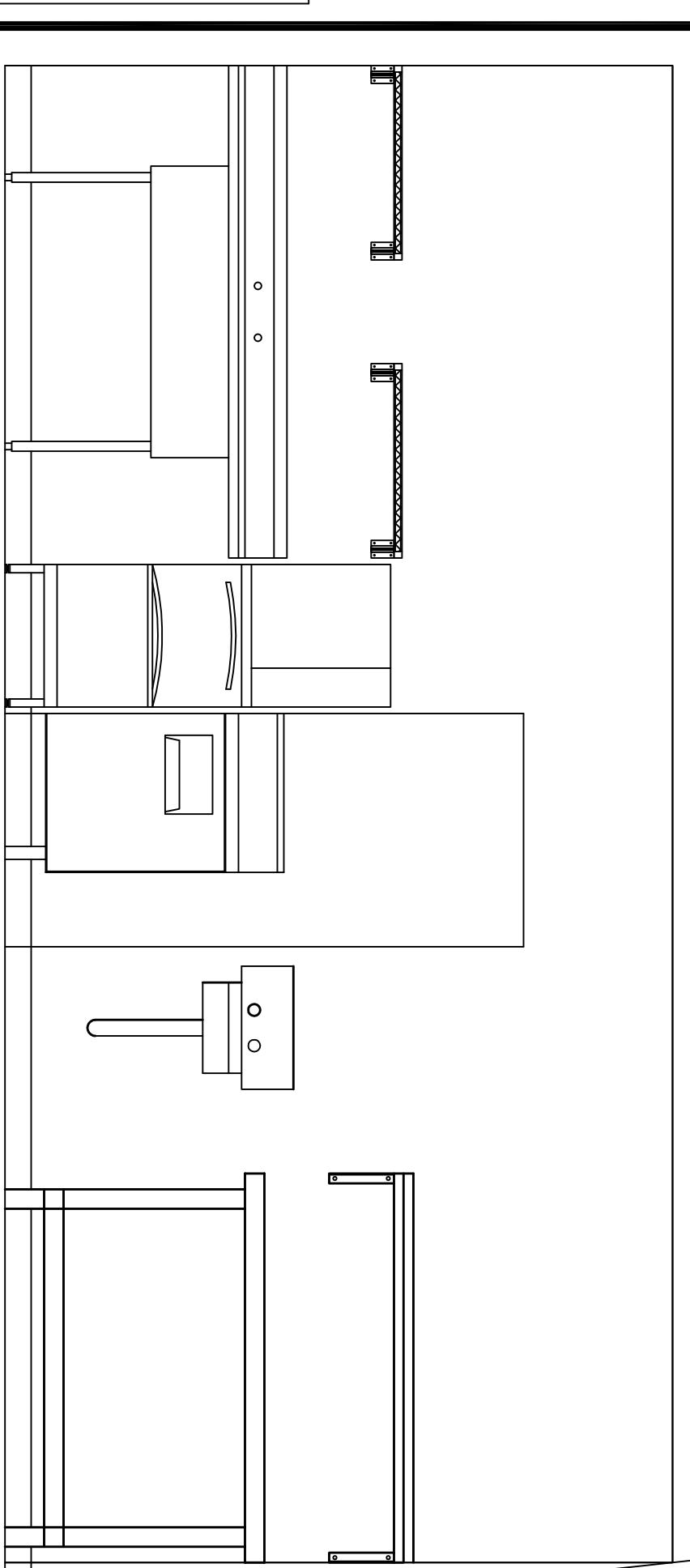
§10.3(rr): The opaque portions of framed drywalling walls in nonresidential buildings shall have insulation



*ALL COOKING EQUIPMENT TO STAND ON LEGS OR FRONT LOCKING CASTERS



2 WORK AREA INTERIOR ELEVATIONS
1/2"=10"



3 KITCHEN INTERIOR ELEVATIONS
1/2"=10"

1 BAR INTERIOR ELEVATIONS
1/2"=10"

*ALL COOKING EQUIPMENT TO STAND ON LEGS OR FRONT LOCKING CASTERS

INTERIOR ELEVATIONS

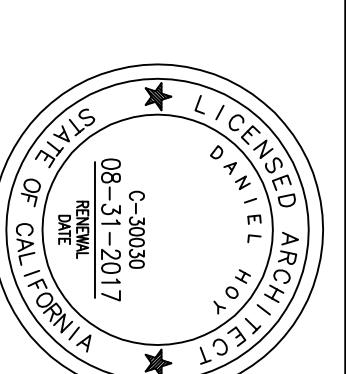
KITCHEN & WORK AREA

A2.2

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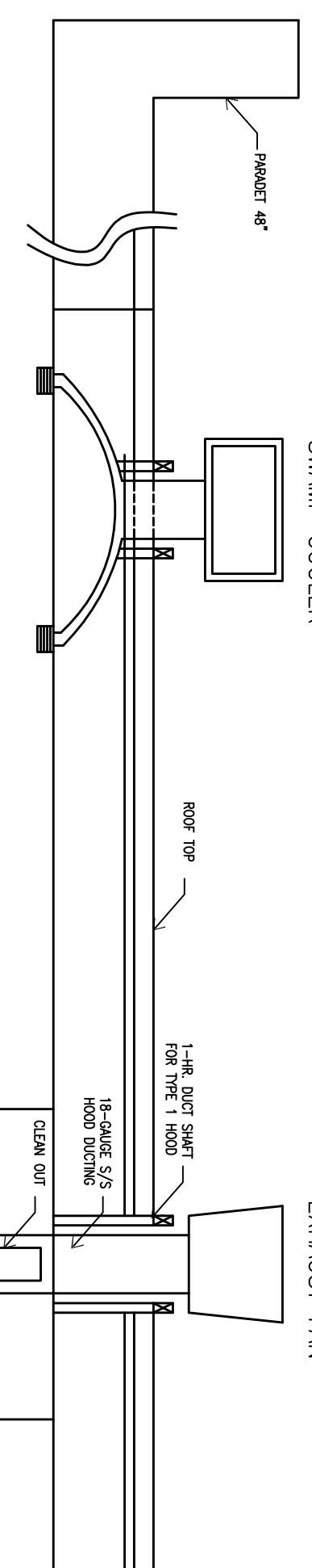
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EXHAUST FAN INSTALLATION NOTES

1. EXHAUST FAN OUTLET: GREASE EXHAUST SHALL BE ON ROOF TOP, THE EXHAUST OUTLET SHALL BE 10' AWAY FROM THE MAKE-UP AIR UNIT. THE SWAMP COOLER, A/C UNIT AND PROPERTY LINE.
2. EXHAUST OUTPUT HEIGHT: THE EXHAUST FAN OUTLET SHALL BE 24" MINIMUM ABOVE THE ROOF SURFACE. THE TOP OF THE BLOWER UNIT SHALL NOT BE ABLE TO BE SEEN FROM THE STREET LEVEL.
3. ELECTRICAL REQUIREMENTS: A) INSTALL ELECTRICAL INTERLOCK TO THE EXHAUST FAN MOTOR AND THE MAKE-UP AIR FAN OR SWAMP COOLER MOTOR. B) PROVIDE POWER DISCONNECT FOR EACH EQUIPMENT ON THE ROOF TOP AND A SEPARATE 115V GFCI SERVICE RECEPTACLE WITHIN 25' OF THE EQUIPMENT. C) HOOD FAN ABOVE THE UP AIR FAN MUST BE SHUT DOWN WITH THE ACTIVATION OF THE FIRE-EXTINGUISHER SYSTEM.
4. UL LISTED: ALL MECHANICAL AND ELECTRICAL EQUIPMENT SHALL HAVE A UL LABEL OR HAVE DESIGN LIST/NUMBER.

GREASE HOOD INSTALLATION NOTES

1. FIRE PREVENTION SYSTEM: INSTALL A HOOD FIRE PREVENTION SYSTEM WITH A WET CHEMICAL TYPE. A SEPARATE PLAN TO BE APPROVED BY FIRE MARSHAL AND A SEPARATE PERMIT IS REQUIRED PRIOR TO THE INSTALLATION BY C-16 LICENSE CONTRACTOR.
2. HOOD MOUNTING: HOOD TO BE SECURED TO EACH OF THE WALL STUB WITH $\frac{3}{8}$ " X $3\frac{1}{2}$ " HEX LAG SCREWS. FOR HOOD WEIGHT OVER 100 LBS SHALL HAVE STEEL ROD OR CHAIN SUPPORTS FROM THE FRONT CORNERS OF THE HOOD TO THE CEILING JOIST.
3. HOOD FILTER: HOOD FILTER TO BE BAFFLE TYPE AT 45 DEGREES AND THE FINAL (A VELOCITY OF 250 FPM/MIN.)
4. HOOD LAMPS: INSTALL LAMPS AT A MAX. OF 6' A PART BETWEEN EACH LAMP. THE LAMP TO BE HOUSING IN THE VAPOR PROOF HOUSING HARDWARE.
5. HOOD TOP FLASHING: INSTALL METAL FLASHING BETWEEN THE TOP OF THE HOOD AND THE CEILING IF THE SPACE IS LESS THAN 12'.



4 EXAMPLE EXHAUST HOOD ELEVATION
1 1/4"=10"

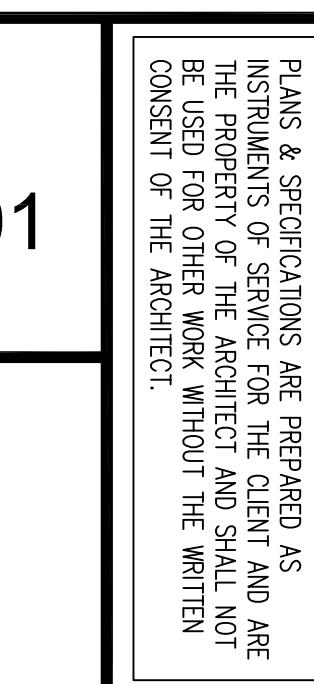


5 PSP ACCESSORY SECTION
1 1/4"=10"

HOOD UL-LISTING CARD

WALK-IN INSTALLATION NOTES

1. PANEL CONSTRUCTION: SHALL CONSIST OF EXTERIOR AND INTERIOR METAL COVER 4" POLYSTYRENE OR 4" URETHANE INSULATION, PANEL EDGE SHALL HAVE TONGUE AND GROOVES WITH N.S.F. APPROVAL. PANEL GASKETS ON THE EXTERIOR AND INTERIOR OF ALL TONGUE EDGE. PANEL GASKETS SHOULD BE AGAINST LOW TEMPERATURE, OIL, WATER, FAT AND SUNLIGHT.
2. SECTION FASTENERS: WALL, WALL SECTION AND CEILING SECTION, JOINT SHALL BE FASTENED WITH STEEL CAM ACTION FASTENERS SHALL NOT EXCEED 46° ON CENTER SPACING.
3. METAL FINISH: INTERIOR AND EXTERIOR SURFACE CAN BE FINISHED WITH ANY ONE OF THE FOLLOWING: A) 24 OR 26 GAUGE GALVANIZED STEEL. B) STUCCO EMBOSSED ALUMINUM STANDARD OR 0.032 THICK. C) 26 #3 FINISH STAINLESS STEEL. D) 24 GAUGE TYPE 304 LIFT DESIGN, WITH NARROW BULB GASKETS OR MAGNETIC DOOR FLUSH CAM RUBBER GASKETS. B) DOOR LOCK: INTERIOR SHALL BE SAFETY RELEASE. DOOR STANDARD SIZE 32" x 78", 34" x 78", 36" x 78", C) FREEZER DOOR FRAMING SHOULD HAVE ANTI SWEAT HEATER FOR FREEZER DOOR SPECIAL THERMOMETER: EACH DOOR SECTION SHALL BE WITH ONE 2 1/2" TEMPERATURE RANGE -40 F TO 60 F DEGREE THERMOMETER.



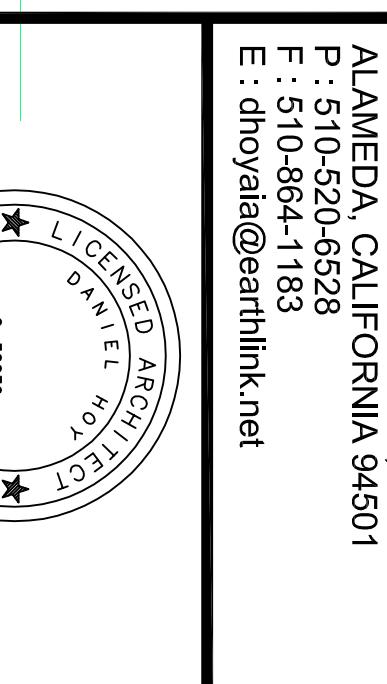
3 ISO EXHAUST HOOD
1 1/4"=10"

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4 WALK IN DETAIL
1 1/4"=10"

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5 WALK IN DETAIL
1 1/4"=10"

SWAMP COOLER INSTALLATION NOTES

1. MOUNTING LOCATION: THE SWAMP COOLER TO BE 10' AWAY FROM THE GREASE DUCT CLEAN-OUT, TOILET VENT, AND ALL THE SANITARY WASTE VENT OUTLETS.
2. WATERLINE: INSTALL A $\frac{1}{2}$ " WATER LINE WITH A SHUT-OFF VALVE FOR THE SWAMP COOLER ON THE ROOF.
3. OVERFLOW: THE WATER OVERFLOW LINE FOR THE SWAMP COOLER TO BE EXTENDED WITH A SLOPE TO THE STORM DRAIN ON THE ROOF TOP.
4. ELECTRICAL POWER: THE ELECTRICAL MOTOR POWER IS TO BE INTERLOCKED WITH THE EXHAUST FAN MOTOR. A POWER DISCONNECT NEAR THE SWAMP COOLER SHALL BE PROVIDED.

HOOD EXHAUST CALCULATIONS

HOOD SIZE = 124" x 48"
VOLUME = 250 x LENGTH = 250 x 124" = 2250 CFM OR 2700 FOR HIGHER VOL
FILTER SIZE = 16" x 20" x 2" (# OF FILTERS = 5)
EFFECTIVE FILTER AREA = $5 \times 1.75 = 8.75$ SQ/FT
FILTER VELOCITY = $2700 / 1.56 = 1730$ FPM

EXHAUST FAN: 1.0 HP (WT = 100LBS)
SWAMP COOLER: 1/8HP (WT = 150LBS)
FILTER UP AIR: 2700 CFM/2000 CFM = 2 REGISTERS



6 WALK IN DETAIL
1 1/4"=10"

WALK-IN AND EXHAUST/HOOD NOTES AND DETAILS

Project Number	Drawn By	Checked By
Issues	Revisions	Date
Number	△	Description

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ELECTRICAL NOTES

2. ALL STANDARD ELECTRICAL WALL OUTLETS ARE TO BE MOUNTED VERTICALLY CENTERED.
3. ALL ELECTRICAL DEVICES (SWITCHES,PLUGS ETC) SHALL BE THE SAME COLOR AS THE COVER PLATE U.N.O
4. CONTRACTOR SHALL VERIFY & PROVIDE CORRECT OUTLETS FOR ALL LOCATIONS & SPECIAL EQUIPMENT AS NOTED.
5. ELECTRICAL CONTRACTOR SHALL PROVIDE CORRECT AMPERAGE FOR ALL EQUIPMENT AS INDICATED, IN ACCORDANCE WITH INSTALLATION & OPERATING REQUIREMENTS AS PROVIDED BY THE MANUFACTURER.
6. WHERE MONUMENTS ARE SHOWN NEXT TO EACH OTHER THEY SHALL BE LOCATED AS CLOSE AS POSSIBLE TO ONE ANOTHER. ONE COVER PLATE PER GANGED SWITCHES/OUTLETS
7. ELECTRICAL CONTRACTOR SHALL VERIFY & COORDINATE CONDUIT RUNS, CIRCUITING & WIRING AS REQUIRED TO PROVIDE COMPLETE ELECTRICAL SERVICE.
8. PROVIDE ALL REQUIRED GROUNDING AT PANELS, SUBPANELS, FEEDERS & BRANCH CIRCUITS.
9. ALL WIRE & CABLE SHALL BE COPPER, THWN OR THHN IF #8 & SMALLER. THW & THHN FOR #6 & LARGER. PROVIDE WIRING TESTS UPON COMPLETION OF WORK & MAKE ADJUSTMENTS AS NECESSARY FOR SATISFACTORY OPERATION OF SYSTEM.
10. VERIFY LOCATION OF ALL NEW OUTLETS, SWITCHES, LIGHT FIXTURES & OTHER ELECTRICAL APPLIANCES WITH OWNER PRIOR TO SETTING BOXES OR FIXTURES. COORDINATE FRAMING LAYOUT WITH LAYOUT OF RECESSED FIXTURES & REWIRING WITH CONTRACTOR PRIOR TO COMMENCEMENT OF FRAMING. CONCEAL ALL CONDUITS.
11. ALL SWITCHES & OTHER WALL MOUNTED DEVICES SHALL BE LOCATED 42" ABOVE FINISH FLOOR MEASURED TO CENTER OF SWITCH U.N.O. OUTLETS SHALL BE MOUNTED AT 18" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.
12. ALLOW FOR BREAKER ACCESS TO MAIN PANEL. PROVIDE CLEARANCES AS REQUIRED BY CODE.
13. ELECTRICAL SUBPANELS SHALL NOT BE LOCATED IN CLOSETS OR OTHER LOCATIONS WHERE ADEQUATE ACCESS WILL BE REDUCED.
14. ALL EQUIPMENT SHALL BE NEW & LISTED BY, & BE APPROVED BY, A TESTING LABORATORY & SHALL BE INSTALLED AS PER ANY INSTRUCTIONS INCLUDED IN THE LISTING & LABELING. DESCRIPTIONS PREVAIL OVER CATALOG NUMBERS. SUBMIT A MATERIAL LIST ON ALL MATERIALS PROPOSED FOR ACCEPTANCE BY OWNER.
15. FURNISH ALL LABOR & MATERIAL FOR A COMPLETE & OPERABLE SYSTEM. ALL LABOR & MATERIAL SHALL BE GUARANTEED FOR 12 MONTHS AFTER ACCEPTANCE OF THE PROJECT BY THE OWNER.
16. ELECTRICAL RECEPTACLES WITHIN SIX FEET OF A SINK SHALL HAVE GFCI PROTECTION. EXTERIOR OUTLETS SHALL BE WATERPROOF & HAVE GFI PROTECTION. OUTLETS SHALL BE SPACED PER REQUIREMENTS OF THE CEC.
17. SURFACE MOUNTED FIXTURES OR TRACK SHALL BE SECURED TO BUILDING STRUCTURE. NO TOGGLE BOLTS, ETC. PERMITTED. ALL FIXTURES SHALL BE ADEQUATELY SUPPORTED, SET LEVEL & TRUE.
18. CONTRACTOR SHALL VERIFY ELECTRICAL REQUIREMENTS OF EQUIPMENT & FIXTURES & SHALL MAKE ALL NECESSARY CONNECTIONS.
19. USE JOIST SPACE FOR HORIZONTAL RUNS. CONCEAL ALL CONDUIT & ROUGH WORK U.N.O.
20. THE ELECTRICAL DIAGRAMS INCLUDED IN THE CONTRACT DRAWINGS INDICATE THE GENERAL SCOPE OF THE WORK AND MAY NOT DEPICT ALL EXISTING FIELD CONDITIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE FIELD CONDITIONS OF ALL ROUTES, MATERIALS, DIMENSIONS, ETC. IF IT IS FOUND THAT FIELD CONDITIONS VARY FROM THE CONTRACT DRAWINGS THE CONTRACTOR SHALL SUBMIT THE DISCREPANCIES, IN WRITING, AT THE TIME OF BID SUBMISSION TO THE ARCHITECT.
21. PROVIDE FIRE BLOCKING & CAULK W/APPROVED SEALANTS AT ALL LOCATIONS AS REQ'D BY CODE.

POWER/LIGHTING NOTES

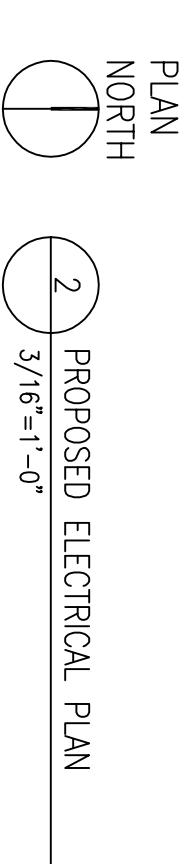
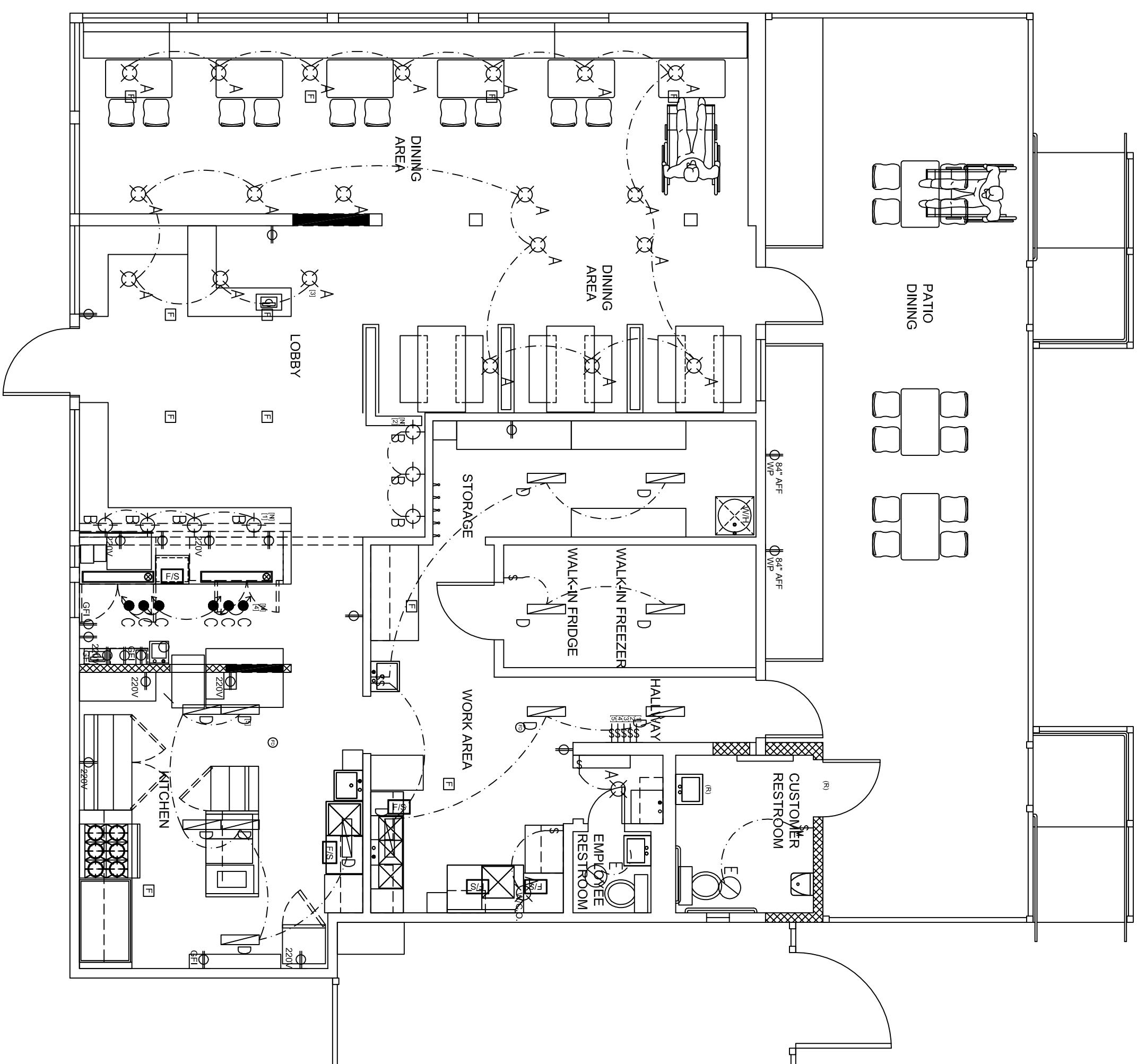
1. THE LIGHTING INTENSITY IN THE FOLLOWING AREAS SHALL HAVE LIGHT INTENSITY OF 10 FOOT-CANDLES MEASURED 30" ABOVE FLOOR. THE AREAS ARE: FOOD AND UTILITY STORAGE ROOMS, REFRIGERATION STORAGE, REST ROOM AND DRESSING ROOM.
2. THE LIGHT INTENSITY IN THE KITCHEN, IN FOOD PREPARATION AREAS, AND ALL SERVICE AREAS SHALL HAVE 20 FOOT CANDLES OF LIGHT 30" ABOVE THE FLOOR.
3. ALL ELECTRICAL EQUIPMENTS SHALL HAVE THEIR OWN SEPARATE POWER.
4. ALL ELECTRICAL EQUIPMENTS THAT ARE NOT EQUIPPED WITH FACTORY INSTALLED CORDS SHALL BE "HARD-WIRE" TO THE ELECTRICAL SYSTEM.
5. NOTE ON GENERAL WALL RECEPTACLES - ALL THE WALL RECEPTACLES ARE DUPLEX TYPE ON A 20 AMP CIRCUIT BREAKER.
6. ALL OUT-DOOR ELECTRICAL POWERS FOR COMPRESSORS ETC. SHALL HAVE WEATHER PROOF BOXES.
7. CEILING LIGHTS: PROVIDE AN AUTOMATIC TIMER TO TURN OFF ALL THE INTERIOR LIGHTS FOR THE KITCHEN AND DINING ROOMS DURING NON-BUSINESS HOURS.
8. REST ROOMS: PROVIDE OCCUPANCY SENSORY CONTROLS
9. OUTSIDE SIGN: PROVIDE AN AUTOMATIC TIMER ALSO FOR OUTSIDE SIGN.
10. PARKING LIGHTS: PROVIDE AN ASTRONOMIC TIMER FOR THE PARKING LIGHTS IF PARKING LOT IS INCLUDED.
11. EXIT/EMERGENCY LIGHTS: POWER TO THE EXIT LIGHTS SHALL BE ON AT ALL TIMES AND SHALL NOT PASS THROUGH ANY OF THE AUTOMATIC SHUT OFF CONTROLS.
12. OVERRIDE ON/OFF SWITCHES: LIGHTING SWITCH FOR THE INDIVIDUAL ROOMS AND AREAS SHALL HAVE AN ON/OFF SWITCH TO OVERRIDE THE AUTOMATIC TIMERS CONTROLS AND CONTRACTORS.

LIGHT FIXTURE SCHEDULE

ID	DESCRIPTION	QT
A	CEILING LIGHT INCANDESCENT 36 WATT	20
B	WALL MOUNTED LIGHT	7
C	RECESSED ADJUSTABLE SPOTLIGHT	6
D	FLUORESCENT CEILING LIGHT	12
E	RESTROOM WHITE 40 WATT FLUORESCENT	2

ELECTRICAL LEGEND

	110 VOLT DUPLEX OUTLET
	GFI
	220 VOLT DUPLEX OUTLET 220V
	RECESSED LIGHT SUITABLE FOR DAMP LOCATIONS
	SINGLE POLE SWITCH
	OCCUPANCY SENSOR SWITCH (MANUAL ON / AUTOMATIC OFF)



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A3.0

PLUMBING NOTES

- VERIFY LOCATION OF (E) PLUMBING & WATER DISTRIBUTION, DRAIN, WASTE & VENT LINES, ETC. PRIOR TO INSTALLING NEW PLUMBING SYSTEM. REMOVE ALL ABANDONED WORK & RELOCATE & CONCEAL ITEMS TO REMAIN.
- CONTRACTOR SHALL VERIFY PLUMBING REQUIREMENTS OF EQUIPMENT & OPERATOR. PLUMBING WORK SHALL BE COORDINATED WITH FIXTURE, APPLIANCE & EQUIPMENT INSTALLED BY OTHER TRADES.
- CONNECT NEW WASTE LINES TO (E) WASTE & SEWER LINE. UNDERGROUND WASTE PIPING & PIPING UNDER BUILDING TO BE SERVICE WEIGHT CAST IRON (ABS ACCEPTABLE IF APPROVED BY OWNER), NO-HUB OR APPROVED COMPRESSION GASKET SEALS TO BE USED. ABOVE GROUND WASTE PIPING, 3" & LARGER, TO BE SERVICE-WEIGHT CAST IRON, NO-HUB, ABOVE GROUND & WASTE & VENT PIPING, 2-1/2" & SMALLER, TO BE COPPER TYPE DMV OR ABS, NO-HUB CAST IRON WITH MATCHING DRAWDOWN FITTINGS AT EXTERIOR APPLICATIONS, ABS AT INTERIOR APPLICATIONS IF APPROVED BY OWNER.
- ALL DOMESTIC WATER PIPING SHALL BE COPPER TUBING, TYPE L, HARD DRAWN WITH WROUGHT COPPER FITTINGS. USE 95-5 SOLDER IN ACCORDANCE WITH ASA.
- CONCEAL ALL PLUMBING IN JOIST SPACES, WALLS & SOFFITS & AS NOTED ON PLANS.
- PLUMBING FIXTURES SHALL CONFORM TO CALIFORNIA ENERGY COMMISSION REQUIREMENTS

 - LAVATORY FAUCETS SHALL BE 1.5 GPM MAXIMUM
 - KITCHEN FAUCETS SHALL BE 1.8 GPM MAXIMUM

- WATER HEATER SHALL BE ANCHORED OR STRAPPED TO THE STRUCTURE. STRAPPING POINTS SHALL BE AT POINTS WITHIN THE UPPER & LOWER THIRDS & SHALL MAINTAIN A MIN. CLEARANCE OF 4" FROM THE WATER HEATER CONTROLS. PER CPC/CBC.
- THE PLUMBING DIAGRAMS INCLUDED IN THE CONTRACT DRAWINGS INDICATE THE GENERAL SCOPE OF THE WORK AND MAY NOT DEPICT ALL EXISTING FIELD CONDITIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE FIELD CONDITIONS OF ALL ROUTES, MATERIALS, DIMENSIONS, ETC. IF IT IS FOUND THAT FIELD CONDITIONS VARY FROM THE CONTRACT DRAWINGS, THE CONTRACTOR SHALL SUBMIT THE DISCREPANCIES, IN WRITING, AT THE TIME OF BID SUBMISSION TO THE ARCHITECT.
- PROVIDE FIRE BLOCKING & CAULK W/ APPROVED SEALANTS AT ALL LOCATIONS AS REQD. BY CODE.
- PROVIDE EARTHQUAKE AUTOMATIC SHUT OFF VALVE IF REQUIRED AT ALL/ANY GAS METERS.

WATER SUPPLY NOTES

- HOT WATER: THE RESTAURANT SHALL HAVE THE HOT WATER SUPPLY SYSTEM TO SUPPLY AND MAINTAIN A 120 DEGREES AT ALL TIMES.
- WATER HEATER: THE HOT WATER POWER SHALL BE ABLE TO SUPPLY AND MAINTAIN THE HOT WATER TO A 120 DEGREES WITH A CALCULATION TO SHOW THE BTU REQUIRED.
- CHECK VALVE: THE COLD WATER SUPPLY TO THE AUTOMATIC HOT WATER BROMLER AND SUCH SHALL BE INSTALLED WITH SHUT OFF VALVE AND A CHECK VALVE.
- HOSE: HOSE, HOSE BIBB WITH HIGH OR LOW TEMPERATURE SHALL INSTALL INSULATED, LABELED EVERY 20FT, CHANGE OF DIRECTION, AND AT ANY PENETRATION OF A FLOOR, WALL, OR CEILING.



WATER HEATER CALCULATIONS

FIXTURES	# OF COMPARTMENTS	x GPH	GPH
3-COMPARTMENT SINK	3	25	75
HAND WASH SINK	3	5	15
FOOD PREP SINK	1	10	10
MOP SINK	1	10	10

TOTAL GALLONS PER HOUR = 110 GPH

BTU INPUT = TOTAL GPH x 0.4 = 110 GPH x 0.4 = 44 BTU

BTU INPUT = BTU INPUT x .15 (ELECTRICAL) = 44 GPH x 0.15 = 6.6 KW

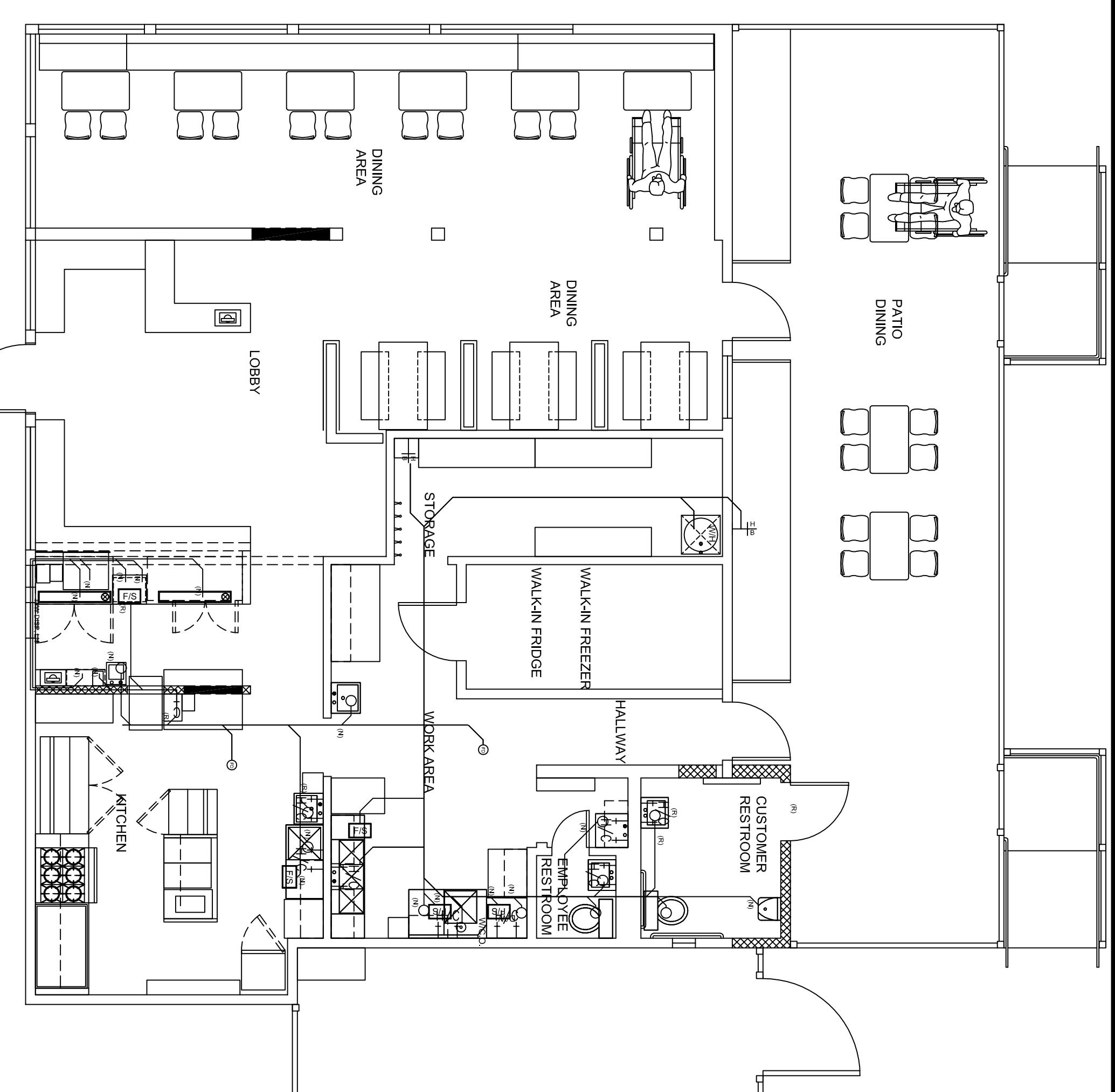
PLUMBING FIXTURES SCHEDULE

Fixture	Water Pipe Sizes	Drain to Sanitary	Model	Notes
COLD	HOT	F/S	WASTE	G/T
3-COMPARTMENT SINK	1/2"	1/2"	YES	YES
PREP SINK	1/2"	1/2"	YES	ADVANCE TABCO
HAND SINK	1/2"	1/2"	YES	WESTERN STAR 2NSF1717X2D18
MOP SINK	1/2"	1/2"	YES	T&S MODEL 7-PS-60
DISMACHINE	1/2"	1/2"	YES	ECOLAB ES-2000
EMPLOYEE LAVATORY	1/2"	1/2"	YES	KOHLER K-2005
CUSTOMER LAVATORY	1/2"	1/2"	YES	KOHLER K-2005
FLOOR DRAIN				
WATER HEATER	3/4"	3/4"		PHEM ROD-156-82
FLOOR SINK				P/T RELEASE TO BACK AREA; 6" S. STEEL LEGS
RESTROOM FAUCET				ZURN Z 1900
RESTROOM GRAB BAR				ZURN Z 415
RESTROOM GRAB BAR				GLACIER BAY 13-0010-ADA
URINAL				MONL L4601
				KOHLER K-10546-BS 48"
				KOHLER K-10544-BS 36"
				AMERICAN STANDARD 6550.001.020

*ALL HAND SINKS TO BE INSTALLED WITH WALL-MOUNTED LIQUID SOAP AND SINGLE TOWEL DISPENSERS.

PLUMBING LEGEND

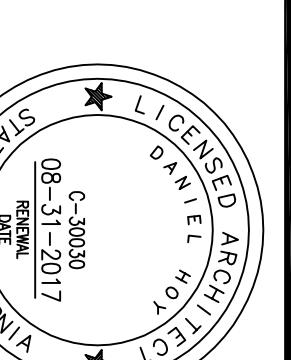
○	MOP SINK
○	WALL CLEAN-OUT
○	FLOOR DRAIN
○	F/F
○	G/T
○	W/C.O.
○	W/I
○	FLOOR SINK
○	GREASE TRAP
○	H/
○	H/C
○	HOT/COLD WATER



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1 EXISTING PLUMBING PLAN

2 3/16"=1'-0"

5 WATER HEATER DETAIL

4 MOP SINK DETAIL

1 EXISTING PLUMBING PLAN

2 3/16"=1'-0"

3 3/16"=1'-0"

4 MOP SINK DETAIL

5 WATER HEATER DETAIL

6 MOP SINK DETAIL

7 3/16"=1'-0"

8 MOP SINK DETAIL

9 3/16"=1'-0"

10 MOP SINK DETAIL

11 3/16"=1'-0"

12 MOP SINK DETAIL

13 3/16"=1'-0"

14 MOP SINK DETAIL

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50 MOP SINK DETAIL

51 3/16"=1'-0"

52 MOP SINK DETAIL

53 3/16"=1'-0"

54 MOP SINK DETAIL

55 3/16"=1'-0"

56 MOP SINK DETAIL

57 3/16"=1'-0"

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86 MOP SINK DETAIL

87 3/16"=1'-0"

HANDICAP ACCESS NOTES

- MAIN ENTRANCE AREA- THE ENTRY DOOR THRESHOLD SHALL NOT BE MORE THAN $\frac{1}{2}$ " HIGH. THE LANDING ON BOTH SIDES TO BE LEVEL WITH LESS THAN $\frac{1}{8}$ " PER FT. SLOPE. A NOTE STATING "THIS DOOR MUST REMAIN UNLOCKED DURING BUSINESS HOURS" AND "1" SIZE LETTERS ARE REQUIRED.
- THE FRONT DOOR: THE FRONT DOOR SHALL HAVE TO KICK PLATE AND AN INTERNATIONAL SIGN AS SHOWN IN THE DETAILS.
- EXIT DOOR: THE FIRE EXIT DOOR SHALL HAVE EMERGENCY PANIC HARDWARE. EXIT DOOR SHALL BE OPERABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- DOOR HANDLES: ALL INTERIOR DOOR HANDLES SHALL BE SINGLE LEVER TYPE.
- SWITCHES, THERMOSTATIC AND CONTROL DEVICES: INSTALL ALL WALL SWITCHES AND CONTROL DEVICES BETWEEN 15" TO 48" MAX. FROM THE FINISH FLOOR LEVEL.
- WALL RECEPTACLES: INSTALL WALL RECEPTACLES WITH A MIN. OF 15" TO 48" MAX. FROM THE FINISH FLOOR LEVEL.
- FAUCET HANDLES: FAUCET HANDLES FOR THE SINKS IN THE KITCHEN TO HAVE A SINGLE LEVER KNOBS WITH A 180° OR LESS TURN.
- AISLE CLEARANCE: PROVIDE 36" CLEAR WIDE ACCESS AISLES THROUGHOUT THE EMPLOYEE COMMON WORK AREA. HANDICAP DINING TABLES SHALL HAVE A CLEAR AREA UNDER THE TABLE OF 27" X 30" X 19" KNEE SPACE FOR WHEELCHAIR TO TURN.
- TABLES FOR WHEELCHAIR: HANDICAP TABLES PROVIDED FOR THIS DINING ROOM NEED MIN. OF 2. AISLE WIDTH: AISLE CLEARANCE BETWEEN DINING TABLES TO HAVE A MINIMUM OF 44". FOOD PREPARATION AREA AND FOOD SERVICE AREA SHALL HAVE A 36" WIDE CLEAR AISLES FOR WHEELCHAIR ACCESS.
- CASHIER TABLE: THE CASHIER TABLE SHALL HAVE A PORTION OF THE TABLE PROVIDED WITH A 34" H X 36" W SPACE FOR WHEELCHAIR ACCESSIBILITY.

HANDICAP RESTROOM NOTES:

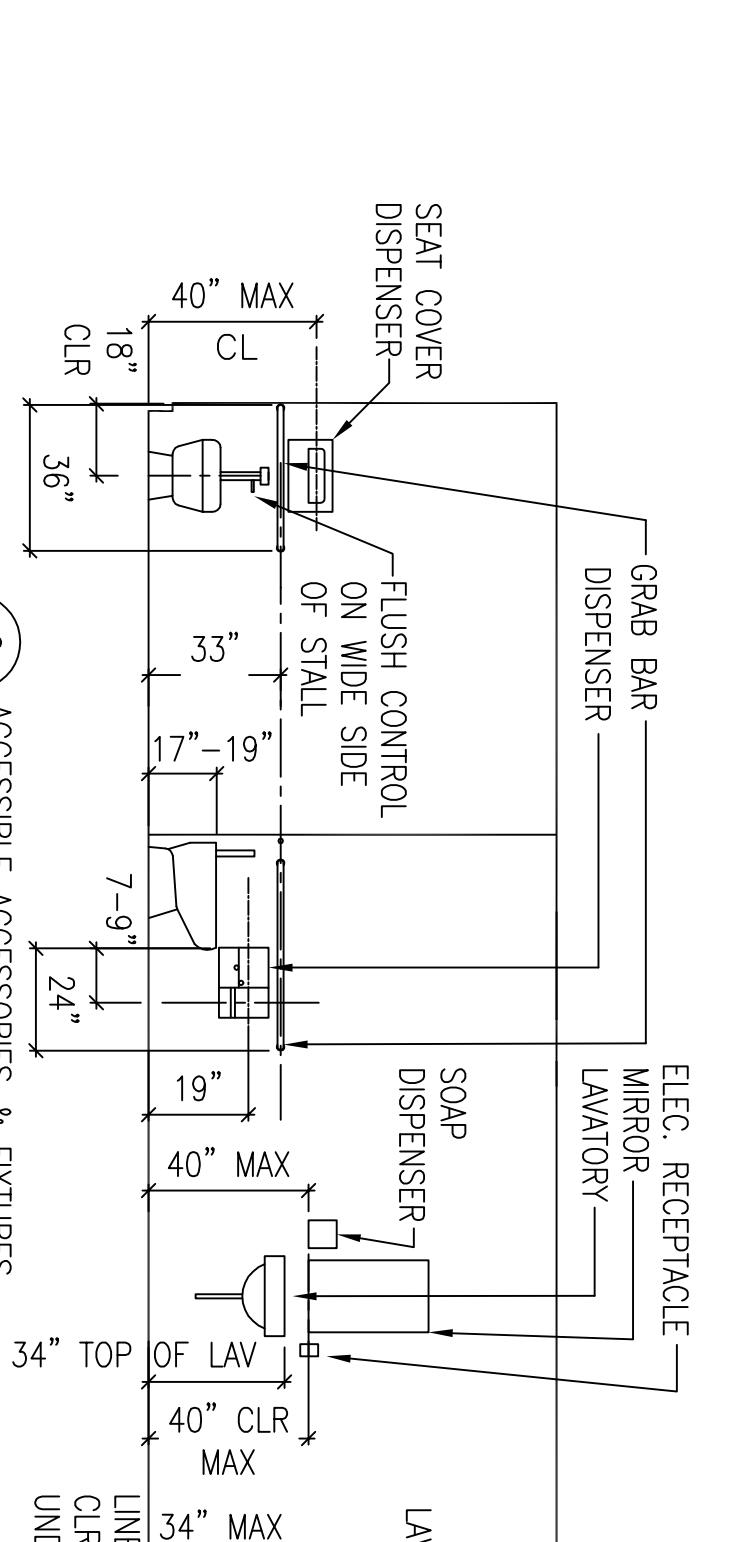
- TOILET DOOR CLEARANCE: ALL TOILET DOORS SHALL HAVE A 36" DOOR CLEARANCE, SELF-CLOSING AND TIGHT-FITTED TYPE. PROVIDE 60" CIRCULAR FLOOR CLEARANCE SPACE FOR WHEELCHAIR MANEUVER.
- DOOR SIGNS: INSTALL HANDICAP SIGNS ON THE TOILET DOORS AND BRAILLE ON THE SIGN OR ON THE WALL. INSULATIONS: INSULATE THE TOILET, LAVATORY, SINK, DRAIN PIPE, P-TRAP AND THE HOT WATER SUPPLY PIPES.
- WATER CLOSETS: HANDICAP TOILET BOWL SEAT TO BE AT 17"-19" HIGH. THE TOILET FLUSH SYSTEM SHOULD BE A 1.6 GALLON PER FLUSH TYPE.
- GRAB-BAR: INSTALL GRAB BARS AT 35" ON THE BACK AND ON THE SIDE WALL OF THE TOILET BOWL AT 42" LENGTH WITH 24" BEYOND THE FRONT OF THE TOILET BOWL.
- MIRROR AND SOAP: INSTALL SOAP HOLDING MIRROR, TOWEL HOLDER WITH PROPER HEIGHT AS SHOWN IN DETAILS.
- TOILET EXHAUST: THE TOILET EXHAUST FAN AND THE LIGHTING SHALL BE ACTIVATED TOGETHER BY THE SAME ON/OFF SWITCH.
- ELECTRICAL PLUG: INSTALL A 115V GFCI WALL RECEPTACLE 48" HIGH AND WITHIN 5' OF THE LAVATORY.
- INTERIOR WALL PANELS: INSTALL FRP PANEL 48" HIGH MIN. AND ON ALL 4 WALLS OF THE TOILET.
- INTERIOR FINISHES (HEALTH CODE REQUIREMENT): A) INSTALL FRP MIN. 48" HIGH ON ALL 4 WALLS OR INSTALL CERAMIC TILES. B) FLOOR TO BE CERAMIC TILES WITH INTEGRATED $\frac{3}{8}$ " RADIUS COVE BASE AND MIN. OF 5" HIGH. C) CEILING AND WALL SHALL BE SMOOTH WASHABLE SURFACES, LIGHT COLOR, AND WITH ENAMEL PAINT.
- DOORS SHALL MEET THE APPLICABLE REQUIREMENTS OF CBC AND ACCESSIBILITY.
- DOOR LITES IN RATED DOORS SHALL BE ST. FRAME W/ SAFETY GLASS.
- CONTRACTOR SHALL REVIEW DOOR SCHEDULE FOR DOOR FRAME AND HARDWARE REQUIREMENTS. PROVIDE SUBMITTAL TO ARCHITECT FOR REVIEW. VERIFY ALL DIMS. & CONDITIONS PRIOR TO ORDERING OR FABRICATION.
- MANUALLY OPERATED EDGE OR SURFACE MOUNTED FLUSH BOLTS OR ANY OTHER TYPE OF DEVICE THAT MAY BE USED TO CLOSE OR RESTRAIN A DOOR OTHER THAN BY OPERATION OF THE LOCKING DEVICE IS NOT PERMITTED.
- DOOR HARDWARE SHALL BE CENTERED BETWEEN 30" AND 44" ABOVE FLOOR.
- KEY LOCKSETS PER OWNER DIRECTION.

DOOR SCHEDULE

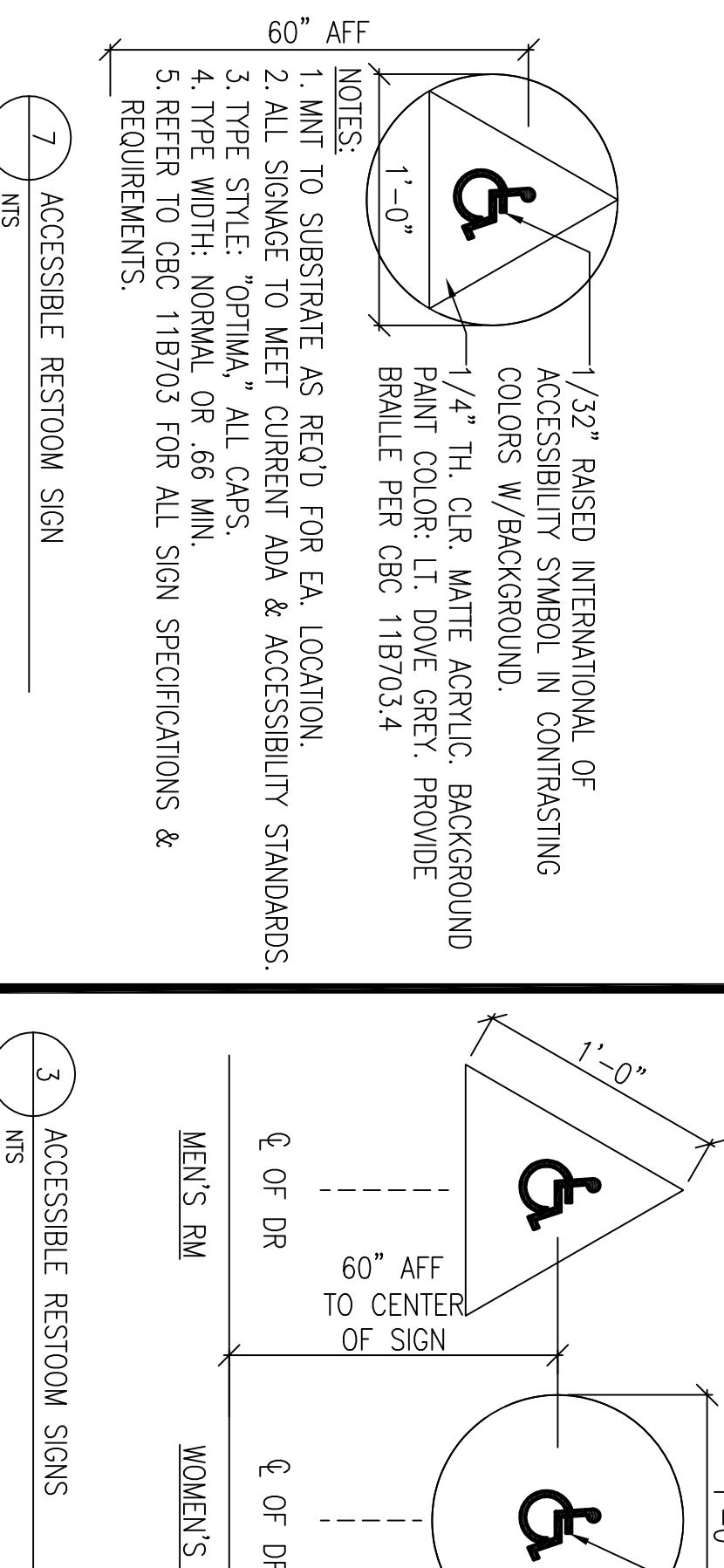
- VERIFY ALL DIMS W/ OWNER PRIOR TO FINAL FRAMING.
- ALL DOOR STYLES TO BE APPD BY OWNER PRIOR TO ORDERING.
- ALL DOORS SHALL BE EQUIPPED WITH SINGLE-EFFORT, NON-GRASP HARDWARE (I.E. LEVER) MOUNTED AT SAME HT. ABOVE FLR. AS (E).
- DOORS SHALL SWING TO THE FULLY OPEN POSITION WHEN AN OPENING FORCE NOT EXCEEDING 5 POUNDS IS APPLIED TO THE LATCH SIDE.
- DOOR HARDWARE @ ALL EXIT DRS. SHALL ALLOW DRPS. TO BE OPENED FROM THE INSIDE W/ O KEY, SPECIAL KNOWLEDGE, OR EFFORT.
- DOORS SHALL MEET THE APPLICABLE REQUIREMENTS OF CBC AND ACCESSIBILITY.
- DOOR LITES IN RATED DOORS SHALL BE ST. FRAME W/ SAFETY GLASS.
- CONTRACTOR SHALL REVIEW DOOR SCHEDULE FOR DOOR FRAME AND HARDWARE REQUIREMENTS. PROVIDE SUBMITTAL TO ARCHITECT FOR REVIEW. VERIFY ALL DIMS. & CONDITIONS PRIOR TO ORDERING OR FABRICATION.
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WINDOW SCHEDULE

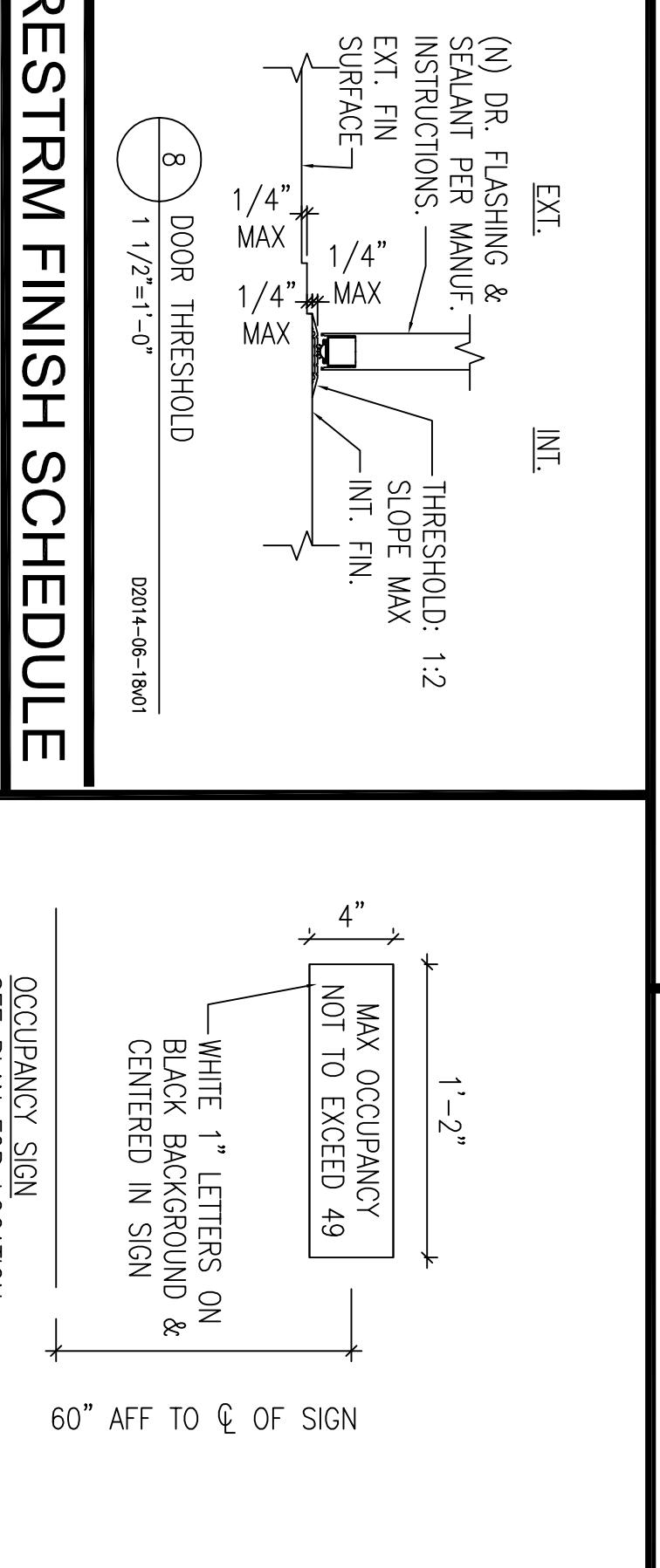
NUMBER	SIZE	THICKNESS	MATERIAL	FRAME	FINISH	HARDWARE	REMARKS
① EXISTING TO REMAN	3'0" x 6'5"	4-0"	SIL	GATE			SELF-CLOSING AT EXIT/RESTROOM DR
② OUTDOOR-GATE	3'0" x 6'5"	4-0"	SIL	GATE			
③ RESTROOM	3'0" x 6'5"	1-3/4"	SIL	SIL			SELF-CLOSING AT RESTROOM DR
④ OUTDOOR-GATE	5'0" x 6'5"	4-0"	SIL	GATE			



6 ACCESSIBLE ACCESSORIES & FIXTURES



7 ACCESSIBLE RESTROOM SIGN



8 DOOR THRESHOLD

02014-06-1801

NOTES:

1. MNT TO SUBSTRATE AS REQ'D FOR EA. LOCATION.

2. ALL SIGNS TO MEET CURRENT ADA & ACCESSIBILITY STANDARDS.

3. REFER TO CEC FOR ALL SIGN SPECIFICATIONS & REQUIREMENTS.

4. TYPE WIDTH: NORMAL OR .66 MIN.

5. REFER TO CBC 11B03 FOR ALL SIGN SPECIFICATIONS & REQUIREMENTS.

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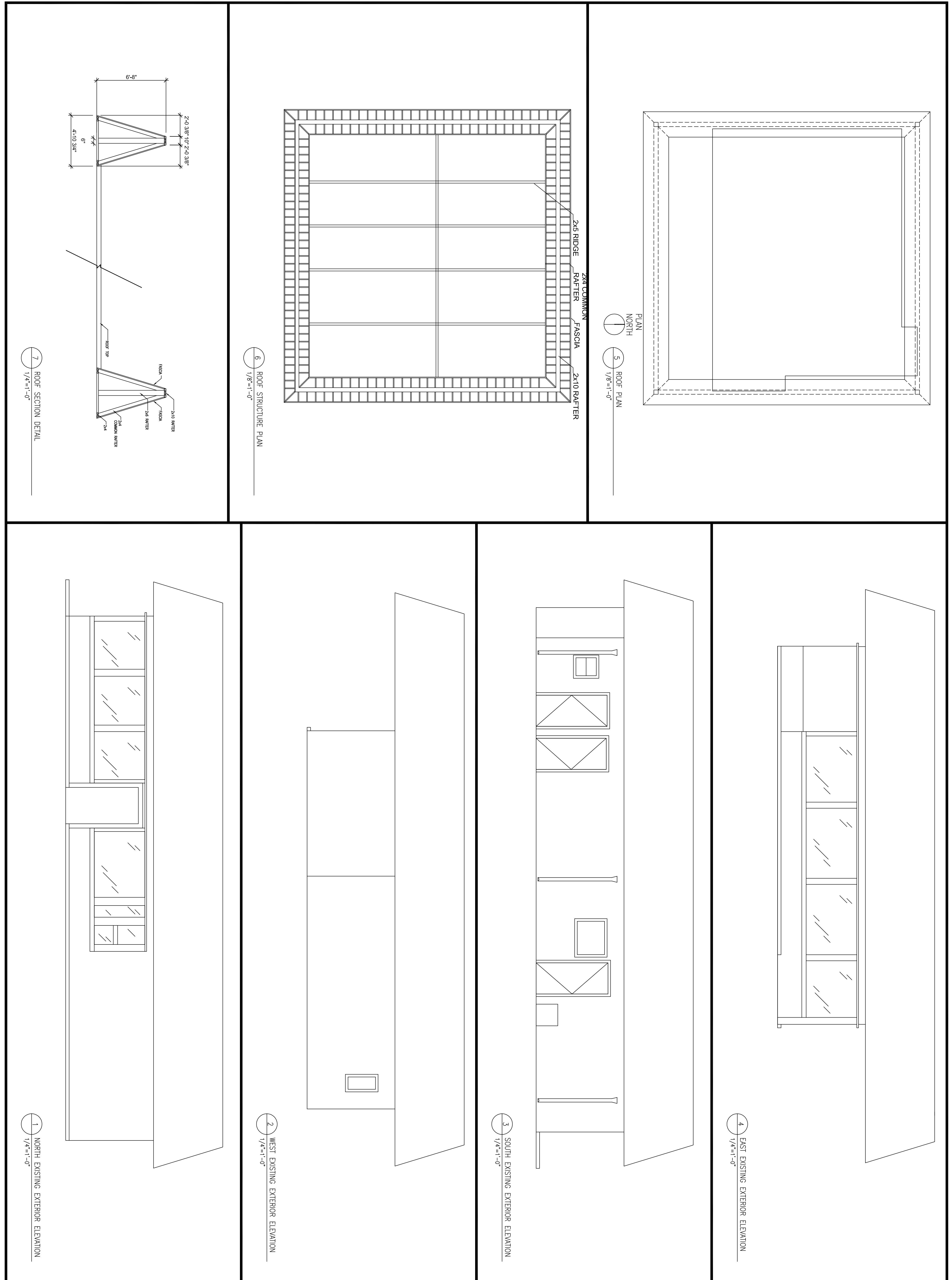
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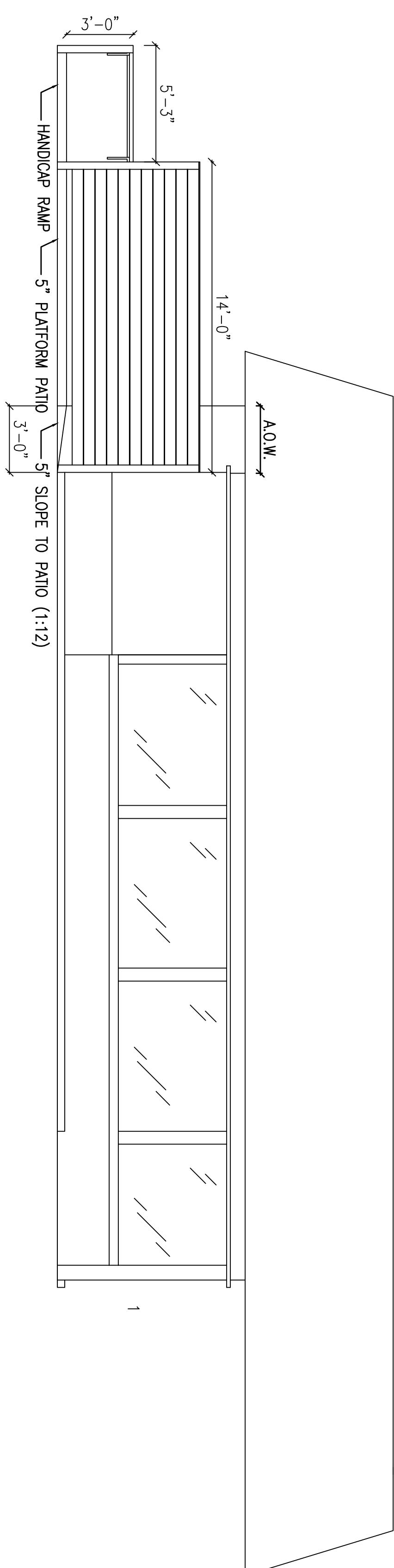
99. 1/2" = 1'-0"



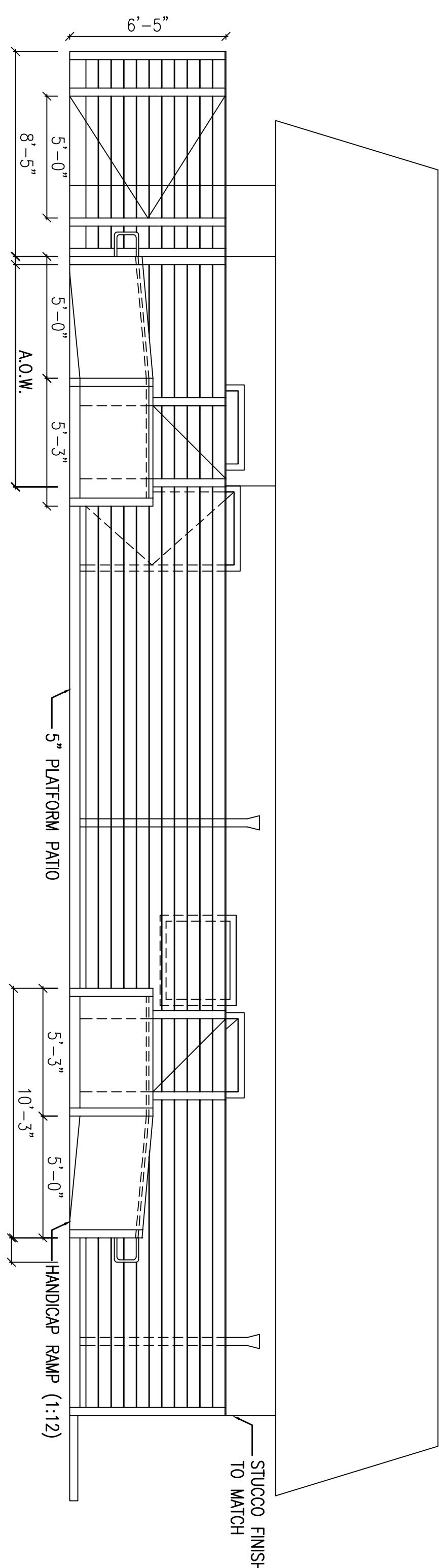
<p>Project Number: <input type="text"/> Drawn By: <input type="text"/> Checked By: <input type="text"/></p> <p>Issues: <input type="checkbox"/> Revision: <input type="checkbox"/> Description: <input type="text"/></p> <p>Number: <input type="text"/> Date: <input type="text"/></p>		<p>630 CENTRAL AVENUE ALAMEDA, CALIFORNIA, 94501</p> <p>COMMERCIAL TENANT IMPROVEMENT</p> <p>PLANS & SPECIFICATIONS ARE PREPARED AS INSTRUMENTS OF SERVICE FOR THE CLIENT AND ARE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED FOR OTHER WORK WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.</p> <p>LICENSED ARCHITECT C-3030 08-31-2017 STATE OF CALIFORNIA DCT</p> <p>DANIEL HOY, AIA ARCHITECTURE 1551 WEBSTER STREET, SUITE B1 ALAMEDA, CALIFORNIA 94501 P: 510-520-6528 F: 510-864-1183 E: dhoylea@earthlink.net</p>
<p>COMMERCIAL TENANT IMPROVEMENT NEPTUNE'S 630 CENTRAL AVE. ALAMEDA, CA 94501</p> <p>EXISTING EXTERIOR ELEVATIONS & ROOF PLAN</p>		<p>A6.0</p>

EXTERIOR MATERIALS SCHEDULE

	MATERIAL(S)	NOTES
1	WINDOWS TO REPAIR	
2	ENTRANCE DOOR DOUGLAS FIR WOOD	(N)
3	BULK HEAD	DOUGLAS FIR WOOD (N)
4	WALLS & TRIM DETAILS	LATEX EXTERIOR PAINT BEIGE STUCCO



4 EAST PROPOSED EXTERIOR ELEVATION
1/4=1'-0"

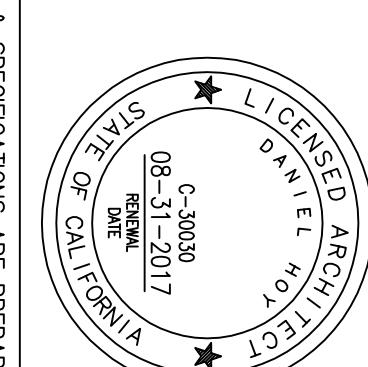


3 SOUTH PROPOSED EXTERIOR ELEVATION
1/4=1'-0"

630 CENTRAL AVENUE
ALAMEDA, CALIFORNIA, 94501

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Project Number Drawn By Checked By

Issues Revisions

Number Date Description

COMMERCIAL TENANT IMPROVEMENT
NEPINT'S
630 CENTRAL AVE.
ALAMEDA, CA 94501

EXTERIOR
ELEVATIONS
PROPOSED

A6.1

1 NORTH PROPOSED EXTERIOR ELEVATION
1/4=1'-0"

