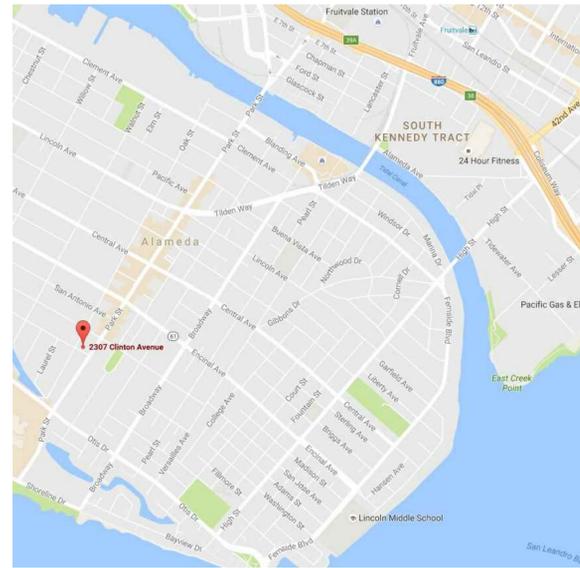


RESIDENTIAL ADDITION/REMODEL FOR:

JOHN PHAM & HUONG HUYNH
2307 CLINTON AVE
ALAMEDA, CA 94501
APN# 71-208-14

VICINITY MAP



SQUARE FOOTAGE SUMMARY

EXISTING 1ST FLOOR	938 SQ FT
EXISTING 2ND FLOOR	515 SQ FT
TOTAL EXISTING LIVING	1,453 SQ FT
PROPOSED 1ST FLOOR	1,010 SQ FT
PROPOSED 2ND FLOOR	1,018 SQ FT
TOTAL LIVING SPACE	2,028 SQ FT
GARAGE	316 SQ FT
(E) BEDROOMS	3
(E) BATHROOMS	2
(N) BEDROOMS	4
(N) BATHROOMS	3

PROJECT DATA

APN:	71-208-14
ZONING:	SFR R-5
OCCUPANCY:	R3/U
TYPE OF CONSTRUCTION:	V B
LOT SIZE:	3,700 SQ. FT.
SPRINKLERS:	NO
YEAR BUILT:	1895
BUILDING HEIGHT:	2- STORY 24'-4"

TOTAL PROPOSED COVERAGE 1,326 SQ FT / LOT
AREA 3,700 SQ FT X 100 = 35.8% PROPOSED

SETBACKS

FRONT:	20'-0"
SIDE:	5'-0"
REAR:	--'-0"

SCOPE OF WORK

THIS PROJECT CONSISTS OF RAISING THE EXISTING HOUSE AND POURING A NEW FOUNDATION, COMPLETE REMODEL OF EXISTING WITH SECOND STORY ADDITION OF 575 SQ FT. NEW 200A ELEC PANEL, ELEC., W.H. AND HVAC.

CODE COMPLIANCE

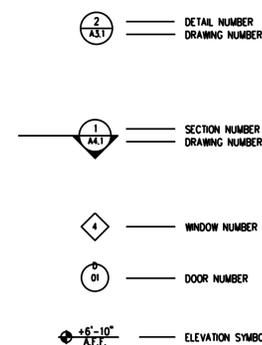
COMPLIES WITH THE 2013 CALIFORNIA RESIDENTIAL(CRC), BUILDING(CBC), MECHANICAL(CMC), PLUMBING(CPC), ELECTRICAL(CEC), FIRE(CFC) TITLE 24 ENERGY CODES, LOCAL MUNICIPAL CODE & 2013 CALIFORNIA GREEN BUILDING STANDARDS.

CONDITIONS OF APPROVAL

ABBREVIATIONS

A/C	AIR CONDITIONING	(E)	EXISTING	H.B.	HOSE BIBB	(R)	REPLACE
ACC	ACCESSIBLE	EA	EACH	HT	HEIGHT	REF	REFRIGERATOR
A.F.F.	ABOVE FINISH FLOOR	E.J.	EXPANSION JOINT	INT	INTERIOR	REQ'D	REQUIRED
ALT	ALTERNATE	ELEC	ELECTRICAL			RM	ROOM
APPROX	APPROXIMATE	ELEV	ELEVATION			R.O.	ROUGH OPENING
		EQ.	EQUAL	MAX	MAXIMUM		
BLDG	BUILDING	EQUIP.	EQUIPMENT	MECH	MECHANICAL	SM	SIMILAR
BLKG	BLOCKING			MIN	MINIMUM	S.M.S.	SHEET METAL SCREW
B.O.	BOTTOM OF			MISC	MISCELLANEOUS	SPEC	SPECIFICATION
BOTT	BOTTOM	F.A.U.	FORCED AIR UNIT			SO	SQUARE
B.U.R.	BUILT UP ROOFING	F.E.	FIRE EXTINGUISHER	(N)	NEW	S.S.	STAINLESS STEEL
		F.F.E.	FINISH FLOOR ELEVATION	N.I.C.	NOT IN CONTRACT	STD	STANDARD
		F.H.	FIRE HYDRANT			STL	STEEL
CAB	CABINET	FIN.	FINISH	O.C.	ON CENTER	STRUC	STRUCTURAL
CBC	CALIFORNIA BUILDING CODE	FLR	FLOOR	O.D.	OUTSIDE DIAMETER		
C.J.	CONSTRUCTION JOINT	F.O.S.	FACE OF STUD	OPP	OPPOSITE	T&G	TONGUE & GROOVE
CLG	CEILING	FTG	FOOTING	O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED	T.O.	TOP OF
CLR	CLEAR			O.F.O.I.	OWNER FURNISHED, OWNER INSTALLED	TYP	TYPICAL
CMU	CONCRETE MASONRY UNIT						
CONC	CONCRETE						
CRC	CALIFORNIA RESIDENTIAL CODE						
DTL	DETAIL	GA.	GAUGE			UBC	UNIFORM BUILDING CODE
DOUG FIR	DOUG FIR	GALV	GALVANIZED	PERF	PERFORATED	U.O.N.	UNLESS OTHERWISE NOTED
DIAMETER	DIAMETER	GLB	GLUE LAMINATED BEAM	PL	PLATE	WC	WATER CLOSET
DIM	DIMENSION	G.S.M.	GALVANIZED SHEET METAL	PLUMB.	PLUMBING	W.H.	WATER HEATER
DN	DOWN	GWB	GYPSUM WALLBOARD	PT	PRESSURE TREATED	WP	WEATHER PROOF
DW	DISHWASHER						
DWG	DRAWING						

SYMBOLS



SHEET INDEX

DRAWING LIST

CS	COVER SHEET
A0.1	SITE PLAN
A1	ELEVATIONS EXISTING
A1.1	ELEVATIONS NEW
A2	1ST FLOOR PLAN
A2.1	2ND FLOOR PLAN
A3	FOUNDATION VENTING PLAN
A5	ROOF PLAN
A6	SECTIONS & DETAILS
A7	DETAILS
E1	ELECTRICAL
T24	CF1R
GB1	CALGREEN RESIDENTIAL MANDATORY MEASURES

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KUOOP
DESIGNS
davidk@kuoopdesigns.com
916.877.5123
3162 OAKWOOD ROAD
CAMERON PARK CA 95682

COVER SHEET

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RESIDENTIAL ADDITION FOR:
JOHN PHAM & HUONG HUYNH
2307 CLINTON AVE
ALAMEDA, CA 94501
APN# 71-208-14

DATE: 11.15.2016
SCALE: PER SHEET
DRAWN BY: DAVID
PLAN NO.: 1679

SHEET:
CS

Exhibit 1
Item 7-A, 2-2-17
Historical Advisory Board

REVISIONS	DATE

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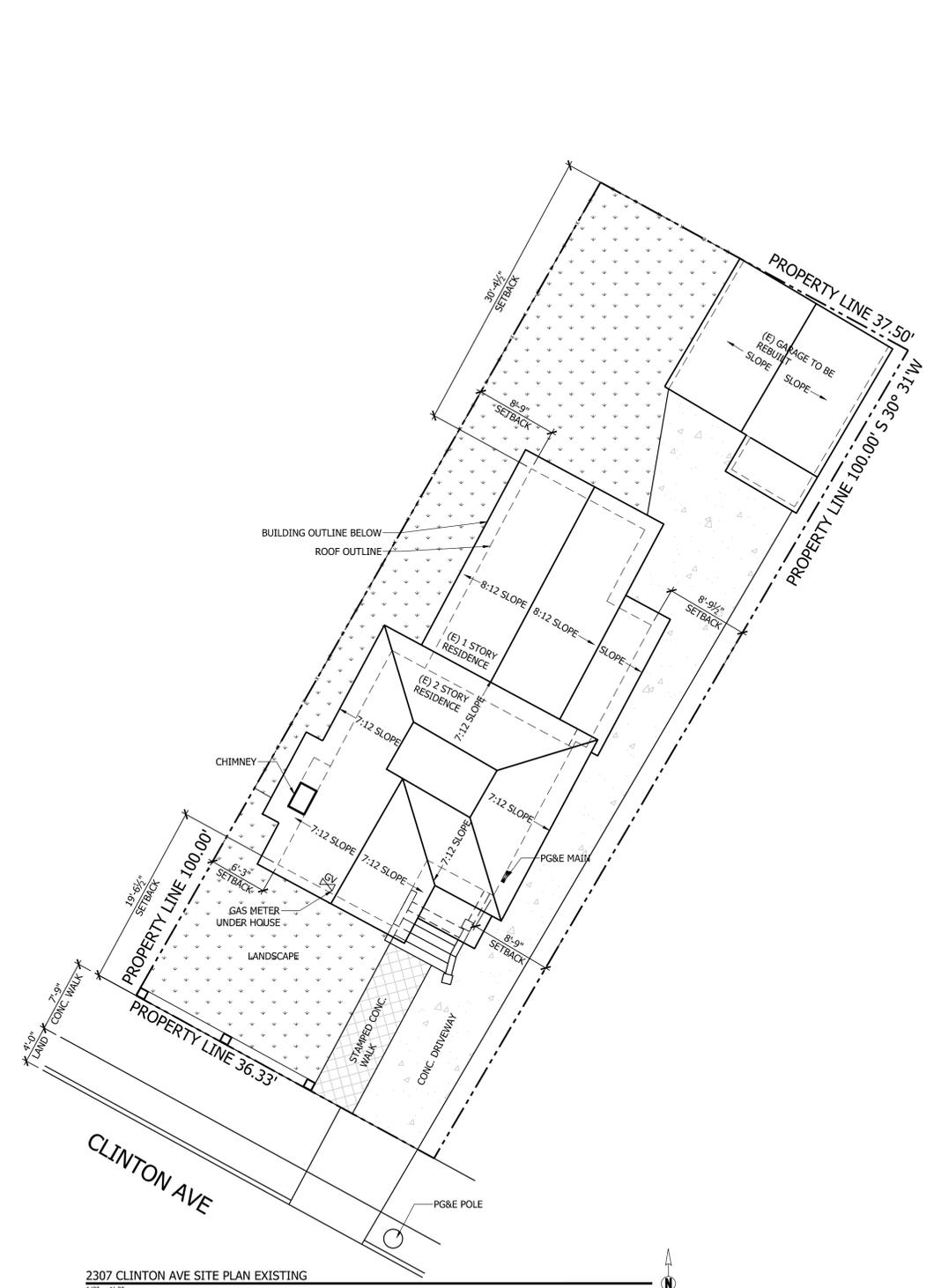
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SITE PLAN

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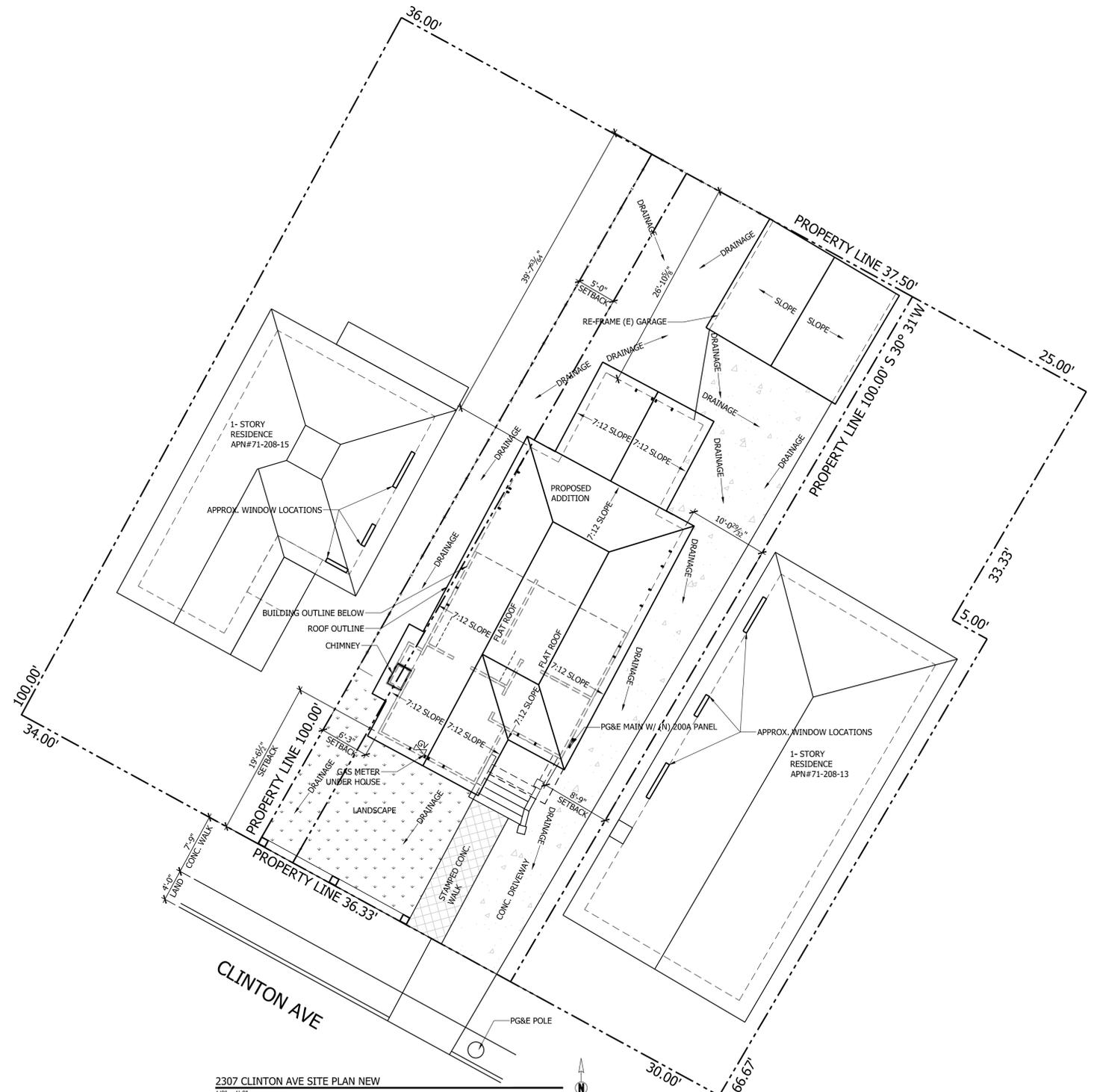
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A0.1



2307 CLINTON AVE SITE PLAN EXISTING
 1/8" = 1'-0"



2307 CLINTON AVE SITE PLAN NEW
 1/8" = 1'-0"



26'-4" ROOF HT. ABV. GROUND LEVEL

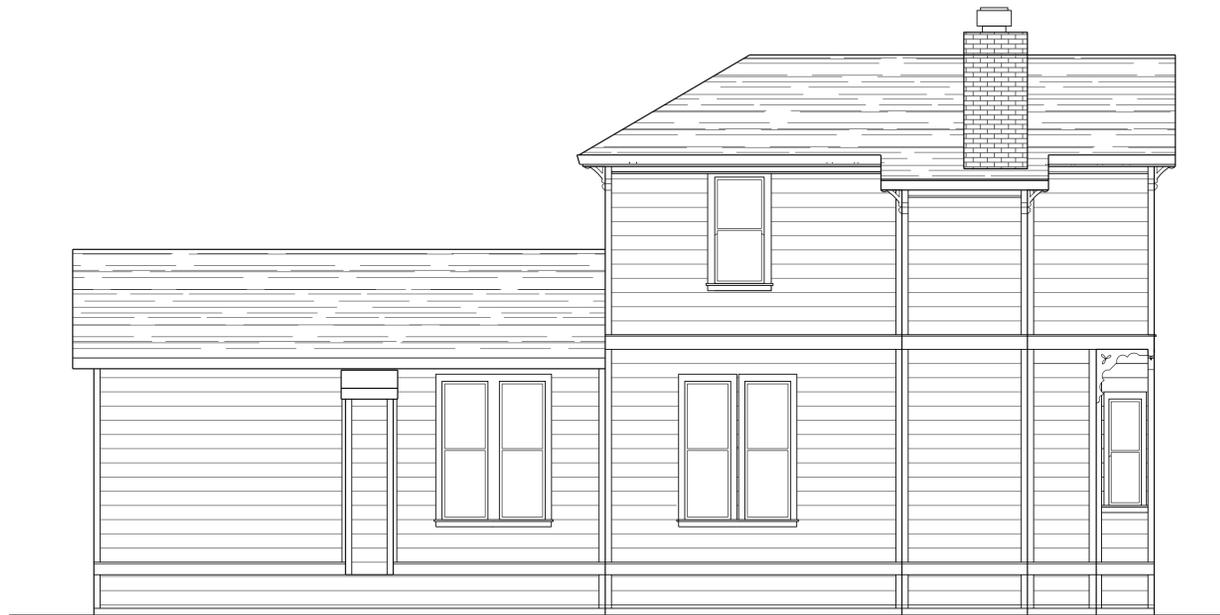
19'-5" PLATE HT.

9'-10" PLATE HT.

+0'-0" FINISH FLOOR

-2'-6" GROUND LEVEL

FRONT (SOUTH) ELEVATION
1/4" = 1'-0"



26'-4" ROOF HT. ABV. GROUND LEVEL

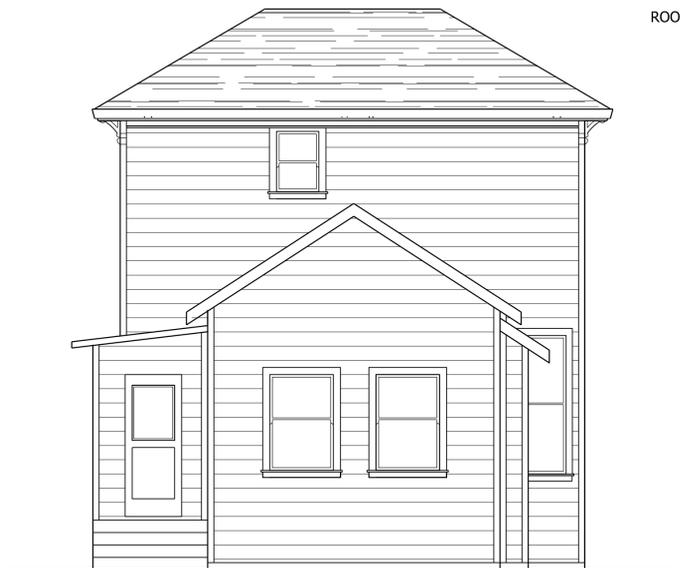
19'-5" PLATE HT.

9'-10" PLATE HT.

+0'-0" FINISH FLOOR

-2'-6" GROUND LEVEL

LEFT (WEST) ELEVATION
1/4" = 1'-0"



26'-4" ROOF HT. ABV. GROUND LEVEL

19'-5" PLATE HT.

9'-10" PLATE HT.

+0'-0" FINISH FLOOR

-2'-6" GROUND LEVEL

REAR (NORTH) ELEVATION
1/4" = 1'-0"



26'-4" ROOF HT. ABV. GROUND LEVEL

19'-5" PLATE HT.

9'-10" PLATE HT.

+0'-0" FINISH FLOOR

-2'-6" GROUND LEVEL

RIGHT (EAST) ELEVATION
1/4" = 1'-0"

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KUOOP
DESIGNS
david@kuoopdesigns.com
916.877.5123
3162 OAKWOOD ROAD
CAMERON PARK CA 95682

RESIDENTIAL ADDITION FOR:
ELEVATIONS EXISTING

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SHEET:
A1

ELEVATION NOTES

- ALL NEW WINDOWS TO HAVE MAX U-FACTOR OF 0.32 SHGC 0.25 MAX
- ALL EGRESS WINDOWS TO HAVE MAX BOTTOM RAIL HEIGHT OF 44 INCHES. MIN CLEAR WIDTH SHALL BE 20 INCHES. MIN CLEAR HEIGHT SHALL BE 24 INCHES. MIN OPENABLE AREA SHALL BE 5.7 SQ FT.
- SIDING SHALL BE APPLIED OVER ONE LAYER OF GRADE D BUILDING PAPER, (CBC 1404.2/CRC R703.2)
- ROOF SLOPES >2:12 AND <4:12 WITH ASPHALT SHINGLES SHALL HAVE TWO LAYERS OF 15LB FELT APPLIED SHINGLE STYLE, (CBC 1507.2.2/CRC 905.2.2)
- PROVIDE ALL UNDER-FLOOR AREAS WITH CROSS VENTILATION AT 1/150 FOR THE ENTIRE AREA WITH ONE VENT WITHIN 3' OF EACH CORNER. SCREENS OVER THE OPENINGS SHALL HAVE 1/8" TO 1/4" OPENINGS, (CBC 1203/CRC R408)
- ATTIC AREAS SHALL HAVE CROSS VENTILATION AT 1/150 FOR THE ENTIRE AREA WITH 50% OF THE REQUIRED VENT AREA BE VENTILATORS LOCATED A MIN. OF 3' ABOVE EAVE OR CORNICE VENTS. SCREENS OVER THE OPENINGS SHALL HAVE 1/8" TO 1/4" OPENINGS, (CBC1203/CRC R806)
- PROVIDE ATTIC ACCESS (22"x30") AND UNDER-FLOOR ACCESS (18"x24") FOR NEW AREAS, (CBC 1209/CRC R408.4)
- PROVIDE UNDERFLOOR CLEARANCE OF 18" FROM JOIST TO EARTH AND 12" CLEARANCE FROM GIRDERS TO EARTH, (CBC 2304.11.2.1/CRC R317.1)

RESIDENTIAL LIGHTING REQUIREMENTS

EXTERIOR LIGHT REQUIREMENTS: ALL LIGHT FIXTURES PERMANENTLY MOUNTED TO THE HOUSE OR OTHER BUILDINGS ON THE SITE MUST BE HIGH EFFICACY OR PROVIDED WITH AN INTEGRAL MOTION SENSOR AND PHOTO CONTROL. LIGHTS LOCATED AROUND POOLS, SPAS, FOUNTAINS, ETC. ARE EXEMPT.

FOUNDATION VENT CALCULATIONS:

NEW AREA OF UNDER FLOOR SPACE TO BE VENTED: 1010 SQ FT
SQ FT OF VENT REQUIRED 1010/150 = 6.7 SQ FT VENT REQ.

USE 6" X 14" WITH .43 SQ FT VENT EACH

6.7/.43 = 15.7 NEED 16 6X14 (OR EQUIVALENT) VENTS
DISTRIBUTED EQUALLY

ATTIC VENTILATION CALCULATIONS:

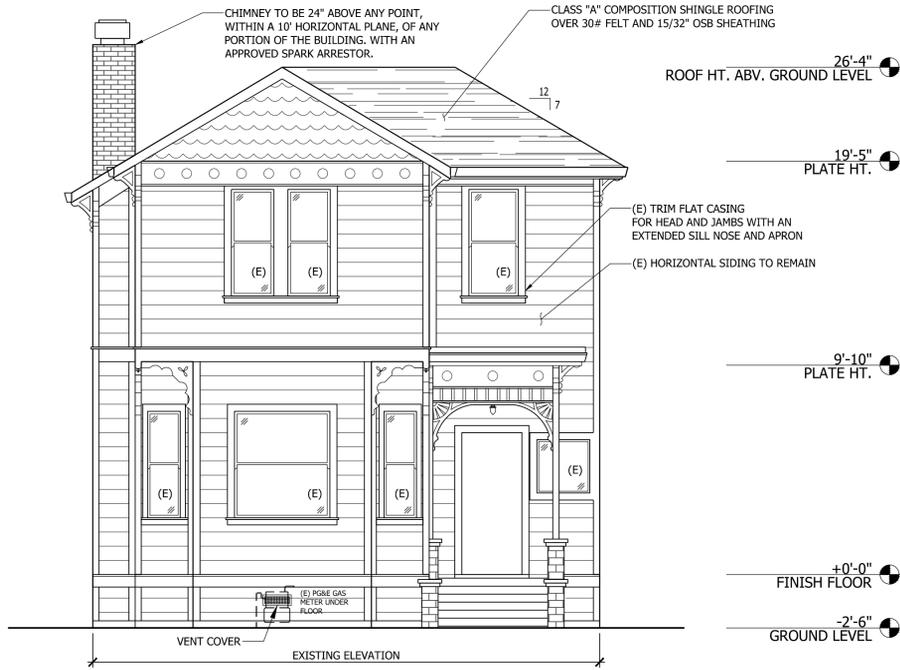
1018 SQ FT ATTIC/300 EQUAL TOTAL 3.4 SQ FT REQUIRED

NEED 1.7 SQ FT HIGH VENT
15' FRONT RIDGE VENT @ .125 SQ FT/LIN FT 1.9 SQ FT
12' REAR RIDGE VENT @ .125 SQ FT/LIN FT 1.5 SQ FT
TOTAL 3.4 SQ FT

OR (2) 14X24 GABLE VENT @ 1.0 SQ FT EA 2.0 SQ FT

NEED 1.7 SQ FT LOW VENT
(6) EAVE VENTS @ .3 SQ FT EACH EQUALS 1.8 SQ FT

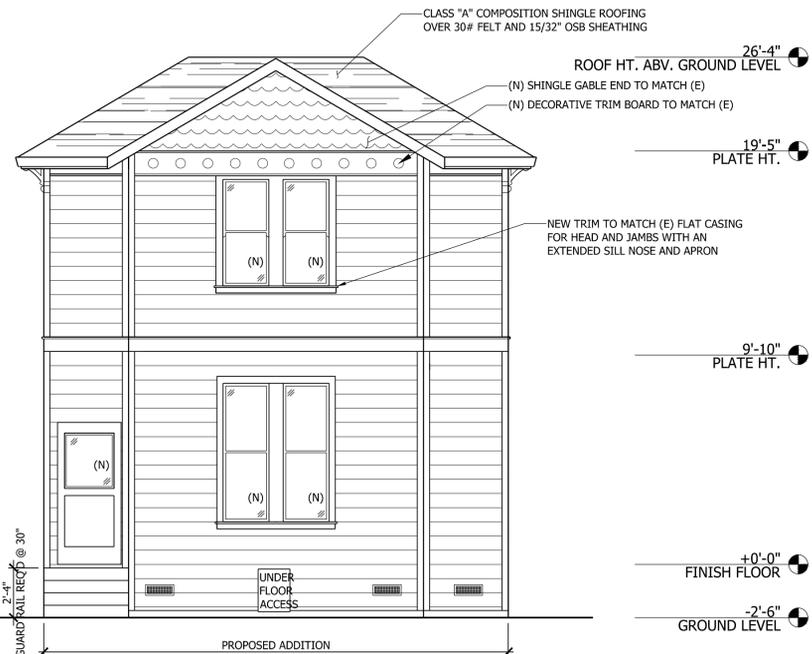
TOTAL TO BE INSTALLED 5.2 SQ FT W/ RIDGE VENTS
OR 3.8 SQ FT W/ GABLE VENTS



FRONT (SOUTH) ELEVATION
1/4" = 1'-0"



LEFT (WEST) ELEVATION
1/4" = 1'-0"



REAR (NORTH) ELEVATION
1/4" = 1'-0"



RIGHT (EAST) ELEVATION
1/4" = 1'-0"

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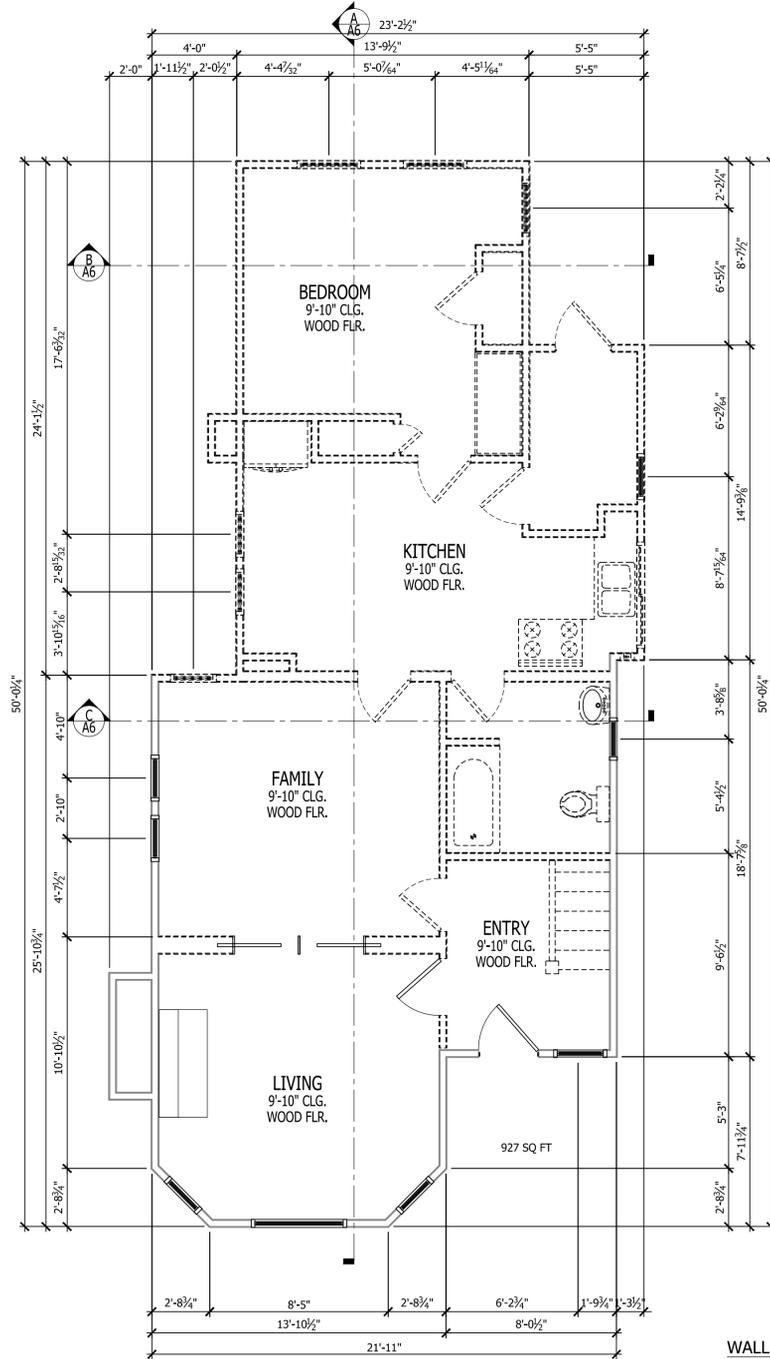
ELEVATIONS NEW

PLANNING ONLY

RESIDENTIAL ADDITION FOR:
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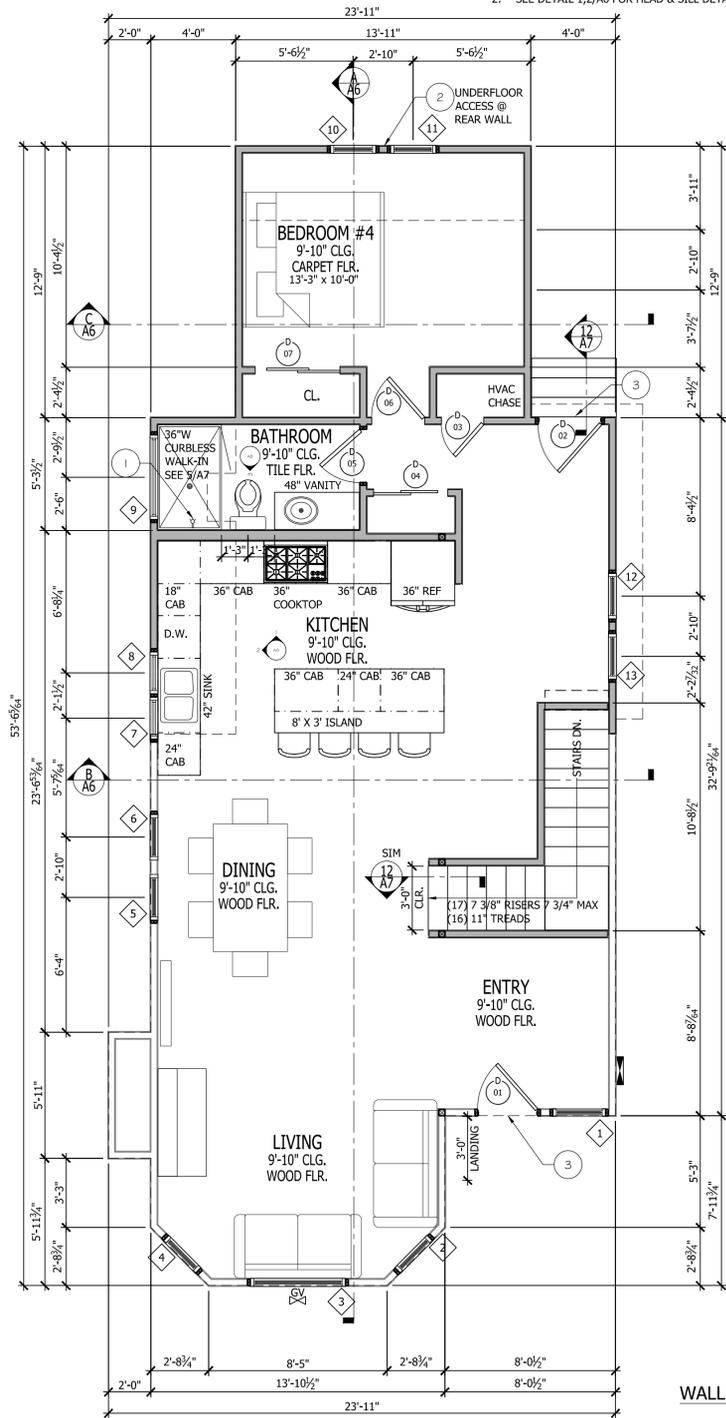
SHEET:
A1.1



2307 CLINTON 1ST FLOOR PLAN EXISTING
1/4" = 1'-0"

WINDOW SCHEDULE							DOOR AND FRAME SCHEDULE					
Number	SIZE		Style	Manufacturer	Color	Model	Notes	MARK	DOOR		Type	Manufacturer
	Width	Height							WD	HGT		
1	2'-6"	2'-6"	Single hung	--	--	--	WOOD EXISTING	1	2'-10"	6'-8"	HINGED - SINGLE - EXTERIOR	--
2	2'-2"	5'-0"	Single hung	--	--	--	WOOD EXISTING	2	3'-0"	6'-8"	HINGED - SINGLE - EXTERIOR	--
3	4'-6"	5'-0"	Single hung	--	--	--	WOOD EXISTING	3	2'-0"	6'-8"	HINGED - SINGLE - INTERIOR	--
4	2'-2"	5'-0"	Single hung	--	--	--	WOOD EXISTING	4	3'-6"	6'-8"	SLIDING - CLOSET - INTERIOR	--
5	2'-2"	6'-6"	Single hung	--	--	--	WOOD EXISTING	5	2'-6"	6'-8"	HINGED - SINGLE - INTERIOR	--
6	2'-2"	6'-6"	Single hung	--	--	--	WOOD EXISTING	6	2'-6"	6'-8"	HINGED - SINGLE - INTERIOR	--
7	2'-0"	4'-0"	Cosement	--	--	--	WOOD TEMP	7	4'-0"	6'-8"	SLIDING - CLOSET - INTERIOR	--
8	2'-0"	4'-0"	Cosement	--	--	--	WOOD TEMP					
9	4'-0"	2'-0"	Awning	--	--	--	WOOD TEMP					
10	2'-2"	6'-6"	Single hung	--	--	--	WOOD EGRESS					
11	2'-2"	6'-6"	Single hung	--	--	--	WOOD EGRESS					
12	2'-2"	6'-6"	Single hung	--	--	--	WOOD TEMP					
13	2'-2"	6'-6"	Single hung	--	--	--	WOOD TEMP					

- NOTE:**
- SEE ELEVATIONS FOR WINDOW TRIM
 - SEE DETAIL 1,2/A6 FOR HEAD & SILL DETAILS



2307 CLINTON 1ST FLOOR PLAN NEW
1/4" = 1'-0"

KEYNOTES

- SHOWER AND/OR TUB-SHOWER COMBINATIONS ARE TO BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. THE WATER TEMPERATURE MAXIMUM IS A SETTING OR 120 F. SHOWER WALLS SHALL BE FINISHED WITH A HARD, NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72" ABOVE THE DRAIN INLET
- A 18" X 24" UNDER-FLOOR ACCESS, UNOBSTRUCTED BY PIPES OR DUCTS AND WITHIN 20" OF EACH UNDER-FLOOR PLUMBING CLEANOUT AND NOT LOCATED UNDER A DOOR TO THE RESIDENCE, IS REQUIRED. PROVIDE A SOLID COVER OR SCREEN
- LANDING AT DOORS SHALL BE A MINIMUM OF THE WIDTH OF THE DOOR, AND EXTEND IN THE DIRECTION OF TRAVEL A MIN OF 36". A STAIR OPENING IS ACCEPTED IF THE DOOR DOES NOT SWING OVER THE TOP STEP OR OPEN OVER A LANDING THAT IS 7.75" LOWER THAN THE FLOOR LEVEL.

BUILDING NOTES:

- CONTRACTOR SHALL VERIFY SITE CONDITIONS AND ALL DIMENSIONS PRIOR TO STARTING WORK, ORDERING MATERIAL OR BUILDING. NOTIFY OWNER OF ANY DISCREPANCIES!
- CONTRACTORS SHALL FULLY COORDINATE WITH STRUCTURAL, MECHANICAL, ELECTRICAL AND ARCHITECTURAL COMPONENTS OF THE BUILDING.
- (N) INSTANT HOT WATER HEATER AND HVAC LOCATED UNDER HOUSE. PROVIDE MANUALS FOR INSPECTION
- MINIMUM 36-INCH DEEP LANDING OUTSIDE ALL EXTERIOR DOORS, (OTHER THAN MAIN ENTRANCE/EGRESS DOOR AT THE FRONT) NOT MORE THAN 7.75 INCHES LOWER THAN THRESHOLD FOR NEW IN-SWINGING (I.E. NOT SWINGING OVER THE LANDING) DOOR(S) OR SLIDING GLASS DOOR(S), PER 2013 CALIFORNIA RESIDENTIAL CODE R311.3.2.
- INSULATION:
 - 5.1. EXT WALL: R-13
 - 5.2. ATTIC SPRAY FOAM 1"=R6: R-30
 - 5.3. RAISED FLOOR W/ OUT CRAWLSPACE: R-19
 - 5.4. SLAB FOUNDATION
 - 5.5. DUCTS: R-6
- ALL EGRESS WINDOWS TO HAVE MAX BOTTOM RAIL HEIGHT OF 44 INCHES. MIN CLEAR WIDTH SHALL BE 20 INCHES. MIN CLEAR HEIGHT SHALL BE 24 INCHES. MIN OPENABLE AREA SHALL BE 5.7 SQ FT.
- SAFETY GLAZING TO BE IN ALL DOORS AND ANY WINDOWS WITHIN 24 INCHES OF DOOR. ALSO IN ALL WINDOWS SILLS WITHIN 18 INCHES OF FLOOR AND 60 INCHES FROM ANY TUB OR SHOWER DRAIN.
- NEW AND REPLACED WINDOWS ARE REQUIRED TO COMPLY WITH A MAX U-FACTOR OF 0.32 & 0.25 SHGC.
- PROVIDE DOUBLE TRIMMERS ON SPANS OVER SIX FEET.
- ALL DIMENSIONS ARE TO FACE OF STUD U.O.N.
- ALL WINDOWS AND DOORS ARE NEW U.O.N
- 2X6 WALL REQUIRED WHEN PIPING OUTER DIAMETER IS GREATER THAN 2" PER CRC 602.69.1
- ALL NEW HEADERS ARE 4X8 DF #2 MIN. UNLESS OTHERWISE NOTED (U.O.N.)
- ALL WALLS ARE 2X4 DF #2 @ 16" O.C. U.O.N.
- ALL FIRE BLOCKING SHALL BE INSTALLED IN LOCATIONS PER R302.11 CRC

MECHANICAL NOTES:

- THE CLOTHES DRYER EXHAUST DUCT IS LIMITED 14' TOTAL LENGTH, INCLUDING ELBOWS, FROM THE CLOTHES DRYER TO THE POINT OF TERMINATION. REDUCE THIS LENGTH BY 2' FOR EVERY ELBOW IN EXCESS OF 2. VENT DRYER THROUGH ROOF, IF LENGTH IS OVER 14FT WITH 2-90 DEGREE BENDS, USE VENT BOOSTER SUCH AS: ACME MIAMI "DRYER JET" MODEL #9460 TESTED TO CSA STANDARD C22.2 113-M 1984
- HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.
- EVERY DWELLING UNIT SHALL BE PROVIDED WITH HEATING FACILITIES CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68°F AT A POINT 3 FT ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS.

PLUMBING NOTES:

- SHOWER AND/OR TUB-SHOWER COMBINATIONS ARE TO BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. THE WATER TEMPERATURE MAXIMUM IS A SETTING OR 120 F. SHOWER WALLS SHALL BE FINISHED WITH A HARD, NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72" ABOVE THE DRAIN INLET.
- WATER HEATER TO HAVE SEISMIC BRACING AS PER MANUFACTURERS INSTRUCTIONS OR STATE ARCHITECT OFFICE GUIDELINES, ALL STORAGE TYPE WATER HEATERS NEED A TEMPERATURE/PRESSURE RELIEF VALVE WITHIN A 3/4" HARD PIPE DRAIN WHICH TERMINATES 6" TO 24" ABOVE GRADE AND POINTING DOWNWARD. THE DRAIN PIPE SHALL MAINTAIN A DOWNWARD SLOPE TO THE EXTERIOR. WATER HEATER PAN SHALL BE INSTALLED WITH A 3/4" DRAIN. FIRST 5' HOT AND COLD SHALL BE INSULATED. AND A CATEGORY III OR IV VENT, OR B VENT WITH STRAIGHT PIPE BETWEEN THE OUTSIDE TERMINATION AND THE SPACE WHERE THE WATER HEATER IS INSTALLED AND A CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE BASE OF THE INSTALLED WATER HEATER AND ALLOWS NATURAL DRAINING WITHOUT PUMP.
- FIXTURES ABOVE SHOWERS AND BATHTUB AREAS SHALL BE RATED MOISTURE RESISTIVE.
- 2X6 WALL REQUIRED WHEN PIPING OUTER DIAMETER IS GREATER THAN 2" PER CRC 602.69.1
- PROVIDE A MINIMUM 3" SEDIMENT TRAP FOR THE GAS LINE TO THE WATER HEATER AND/OR THE FURNACE LOCATED ON THE APPLIANCE SIDE OF THE SHUTOFF FOR THE GAS TO EACH APPLIANCE (CPC 1210.8)
- PROVIDE 1" INSULATION ON FIRST 5 FT. OF HOT AND COLD WATER PIPES AT THE WATER HEATER, ALL PIPING WITH NOMINAL 3/4" OR LARGER, ALL HOT WATER PIPES FROM THE HEATING SOURCE TO THE KITCHEN (CEC 150 (j))
- ANTI-SIPHON DEVICES ARE REQUIRED AT ALL HOSE BIBBS. MIN ONE BACK AND ONE FRONT OF STRUCTURE. THIS IS TO PREVENT THE POSSIBLE BACKFLOW OF CONTAMINATED WATER INTO THE POTABLE WATER SYSTEM.

WATER CONSERVATION NOTES:

- ALL FIXTURES ARE NEW! PLUMBING FIXTURES AND PLUMBING FITTINGS SHALL MEET THE FOLLOWING STANDARDS:

LAVATORY FAUCETS	1.2 GPM MAX	JULY 1, 2016
KITCHEN FAUCETS	1.8 GPM MAX	JANUARY 1, 2016
WATER CLOSETS	1.28 GAL/FLUSH MAX	JANUARY 1, 2016
*SHOWER DEVICES	2.0 GPM MAX	JULY 1, 2016

* "SHOWER DEVICES" INCLUDES SHOWERHEADS, HANDSHOWERS AND BODY SPRAYS/JETS

SHOWER NOTES:

- THE SHOWER COMPARTMENT(S) REGARDLESS OF SHAPE, HAVING A MINIMUM INTERIOR FLOOR AREA OF 1,024 SQ INCHES AND ALSO CAPABLE OF ENCOMPASSING 30" CIRCLE PER 2013 CPC 408.6
- SHOWERS (AND TUB/SHOWERS) ARE PROVIDED WITH PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE CONTROLS, PER 2013 CPC 408.3 SHOWER (AND TUB/SHOWER) WALLS HAVE A SMOOTH, HARD, NONABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72" ABOVE THE DRAIN INLET PER 2013 CRC 307.2
- THE FINISHED FLOOR OF THE RECEPTOR SHALL SLOPE UNIFORMLY FROM THE SIDES TOWARD THE DRAIN NOT LESS THAN 1/4" PER FOOT AND NOT MORE THAN 1/2" PER FOOT
- DOORS AND PANELS OF SHOWER AND BATHTUB ENCLOSURES AND ADJACENT WALL OPENINGS WITHIN 60 INCHES VERTICALLY AND 60" HORIZONTALLY ABOVE THE ADJACENT TO THE STANDING SURFACE AND DRAIN INLET SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC PER 2013 CRC 308.4.5
- DOOR INTO THE ENCLOSE PROVIDES A MINIMUM 22" CLEAR WIDTH DIMENSION PER 2013 CPC 408.5 DOOR MUST OPEN OUTWARD
- THE LOCATION OF THE VALVE CONTROLS LOCATED ON THE SIDE WALL OR ARRANGED SO THAT THE SHOWER DOES NOT SPRAY DIRECTLY AT THE ENTRANCE.

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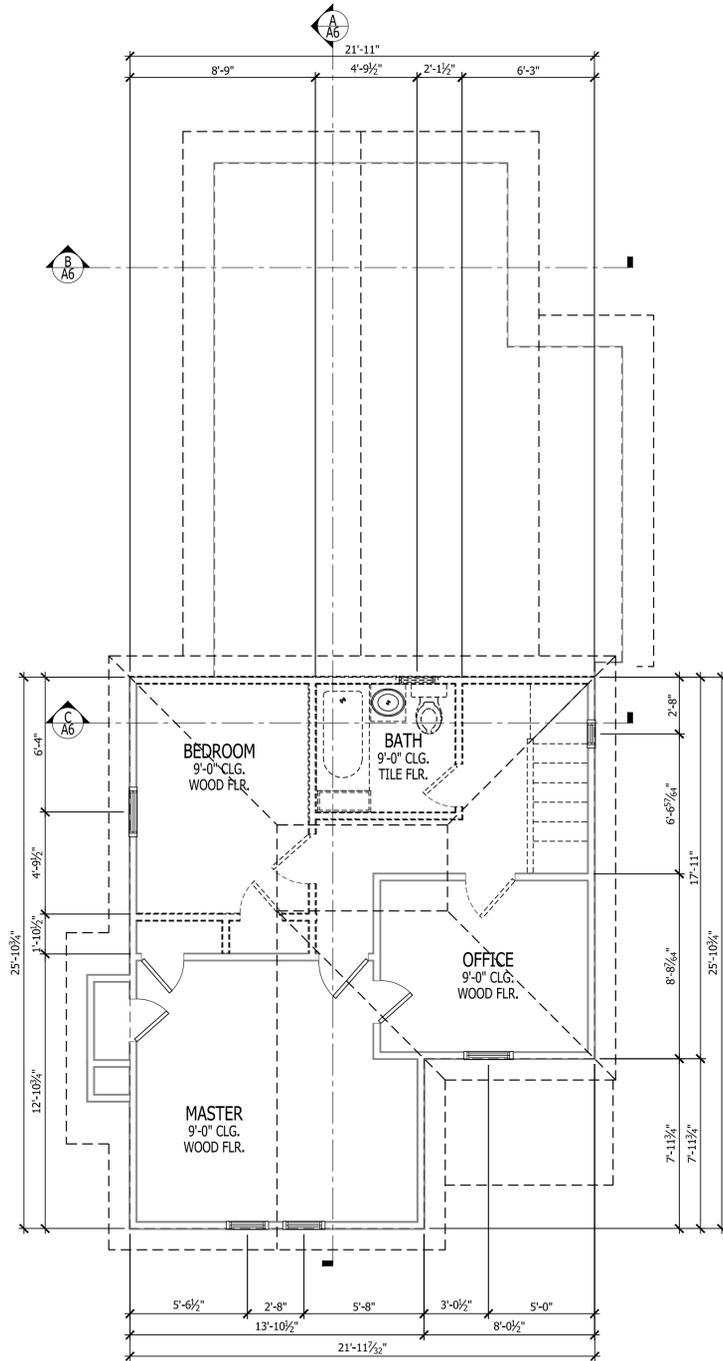
FACE TITLE
1ST FLOOR PLAN

PLANNING ONLY

RESIDENTIAL ADDITION FOR:
JOHN PHAM & HUONG HUYNH
2307 CLINTON AVE
ALAMEDA, CA 94501
APN# 71-208-14

DATE: 11.15.2016
SCALE: PER SHEET
DRAWN BY: DAVID
PLAN NO.: 1679

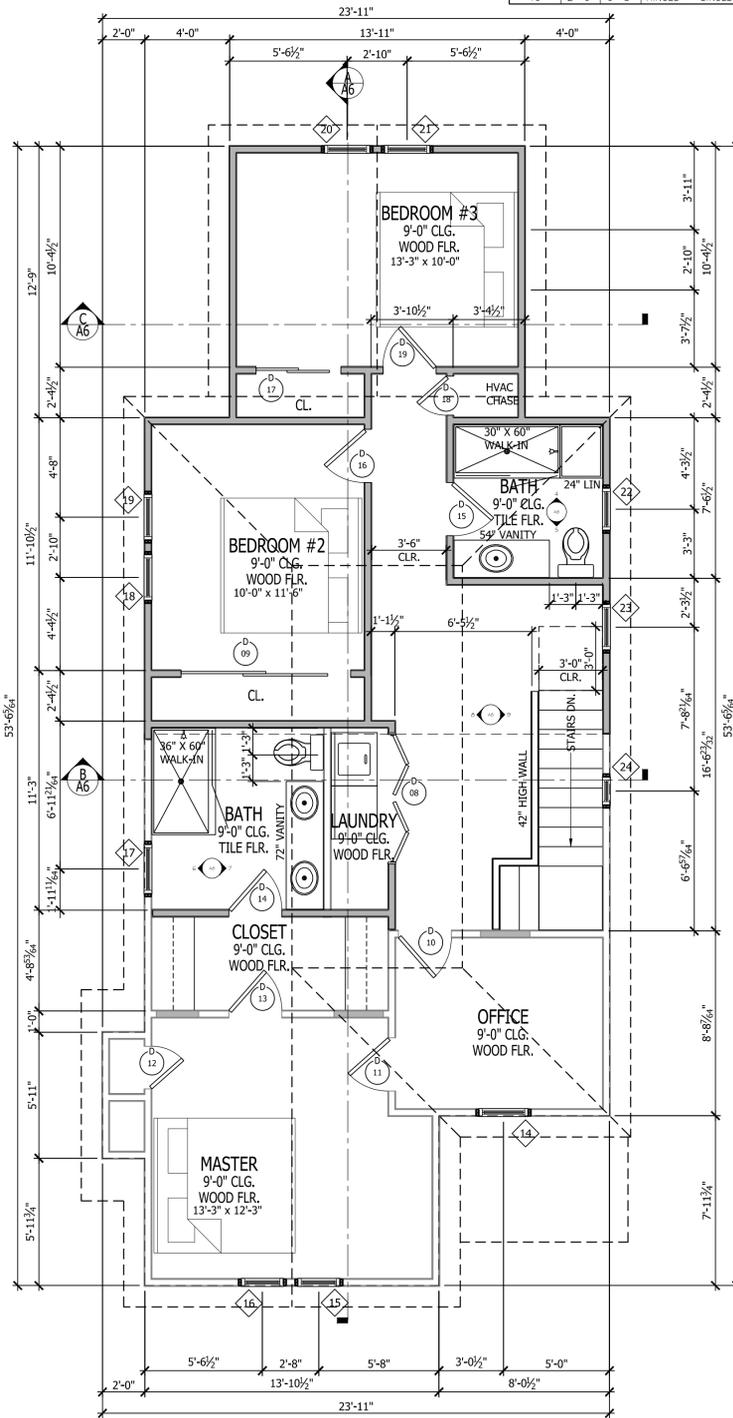
SHEET: **A2**



2307 CLINTON 2ND FLOOR PLAN EXISTING
1/4" = 1'-0"

WINDOW SCHEDULE							
Number	SIZE		Style	Manufacturer	Color	Model	Notes
	Width	Height					
14	2'-4"	5'-0"	Single hung	---	---	WOOD	EXISTING EGRESS
15	2'-0"	5'-0"	Single hung	---	---	WOOD	EXISTING EGRESS
16	2'-0"	5'-0"	Single hung	---	---	WOOD	EXISTING EGRESS
17	2'-4"	5'-0"	Single hung	---	---	WOOD	EXISTING TEMP
18	2'-2"	6'-6"	Single hung	---	---	WOOD	EGRESS
19	2'-2"	6'-6"	Single hung	---	---	WOOD	EGRESS
20	2'-2"	6'-6"	Single hung	---	---	WOOD	EGRESS
21	2'-2"	6'-6"	Single hung	---	---	WOOD	EGRESS
22	2'-0"	4'-0"	Single hung	---	---	WOOD	TEMP
23	2'-2"	6'-6"	Single hung	---	---	WOOD	TEMP
24	1'-4"	3'-6"	Single hung	---	---	WOOD	EXISTING TEMP

DOOR AND FRAME SCHEDULE					
MARK	SIZE		Type	Manufacturer	Notes
	WD	HGT			
8	6'-0"	6'-8"	BIFOLD - DOUBLE - INTERIOR	?	
9	8'-0"	6'-8"	SLIDING - CLOSET - INTERIOR	---	
10	2'-6"	6'-8"	HINGED - SINGLE - INTERIOR	---	
11	2'-6"	6'-8"	HINGED - SINGLE - INTERIOR	---	
12	2'-0"	6'-8"	HINGED - SINGLE - INTERIOR	---	
13	2'-6"	6'-8"	HINGED - SINGLE - INTERIOR	---	
14	2'-6"	6'-8"	HINGED - SINGLE - INTERIOR	---	
15	2'-6"	6'-8"	HINGED - SINGLE - INTERIOR	---	
16	2'-6"	6'-8"	HINGED - SINGLE - INTERIOR	---	
17	4'-0"	6'-8"	SLIDING - CLOSET - INTERIOR	---	
18	1'-10"	6'-8"	HINGED - SINGLE - INTERIOR	---	
19	2'-6"	6'-8"	HINGED - SINGLE - INTERIOR	---	



2307 CLINTON 2ND FLOOR PLAN NEW
1/4" = 1'-0"

KEYNOTES

1. SHOWER AND/OR TUB-SHOWER COMBINATIONS ARE TO BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. THE WATER TEMPERATURE MAXIMUM IS A SETTING OR 120 F. SHOWER WALLS SHALL BE FINISHED WITH A HARD, NON-ABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72" ABOVE THE DRAIN INLET.
2. THE CLOTHES DRYER EXHAUST DUCT IS LIMITED 14' TOTAL LENGTH, INCLUDING ELBOWS, FROM THE CLOTHES DRYER TO THE POINT OF TERMINATION. REDUCE THIS LENGTH BY 2' FOR EVERY ELBOW IN EXCESS OF 2. VENT DRYER THROUGH ROOF, IF LENGTH IS OVER 14FT WITH 2-90 DEGREE BENDS, USE VENT BOOSTER SUCH AS: ACME MIAMI "DRYER JET" MODEL #9460 TESTED TO CSA STANDARD C22.2 113-M 1984
3. A 22" X 30" ATTIC ACCESS IS REQUIRED FOR ALL ATTICS WHICH ARE MORE THAN 30" IN HEIGHT. THE ATTIC ACCESS NEEDS TO BE IN AN ACCESSIBLE LOCATION AND IS NOT TO BE LOCATED ABOVE A CLOSET SHELF OR POLE 30" MINIMUM HEADROOM IS REQUIRED ABOVE THE ACCESS.
4. LANDING AT DOORS SHALL BE A MINIMUM OF THE WIDTH OF THE DOOR, AND EXTEND IN THE DIRECTION OF TRAVEL A MIN OF 36". A STAIR OPENING IS ACCEPTED IF THE DOOR DOES NOT SWING OVER THE TOP STEP OR OPEN OVER A LANDING THAT IS 7.75" LOWER THAN THE FLOOR LEVEL.

BUILDING NOTES:

1. SEE SHEET A2 FOR NOTES.

REVISIONS	DATE

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KUOOP
DESIGNS
david@kuoopdesigns.com
916.877.5123
3162 OAKWOOD ROAD
CAMERON PARK CA 95682

2ND FLOOR PLAN

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SHEET:
A2.1

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DESIGNS
 davidk@kuoopdesigns.com
 916.877.5123
 3162 OAKWOOD ROAD
 CAMERON PARK CA 95682

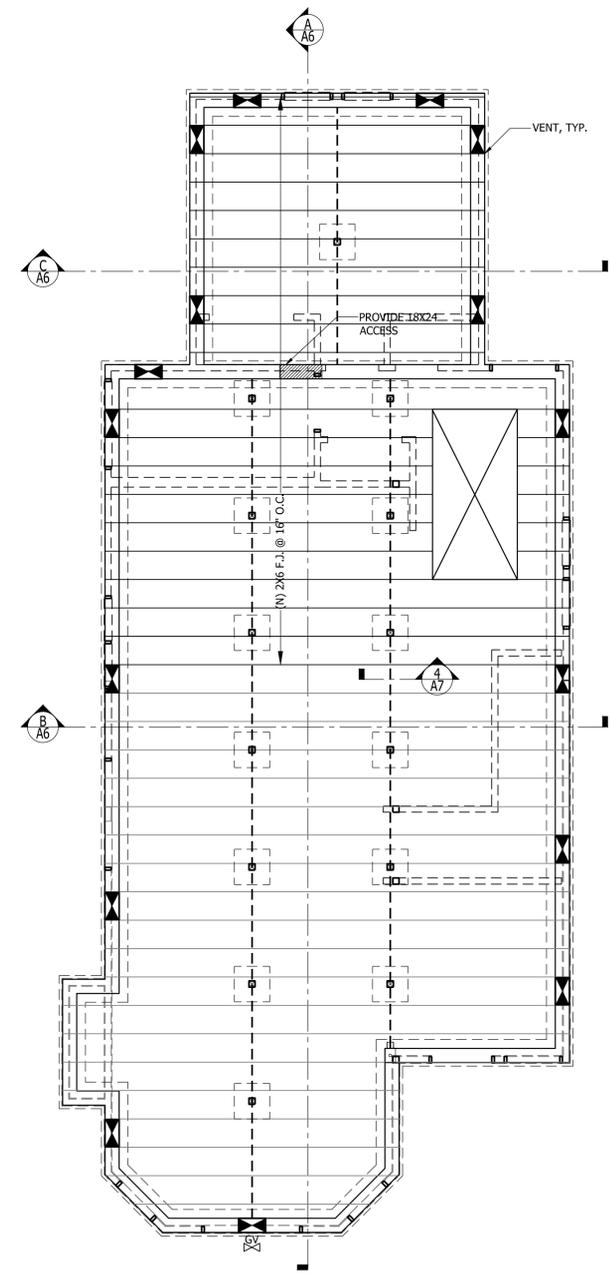
FOUNDATION VENTING PLAN

PLANNING ONLY

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SHEET: **A3**

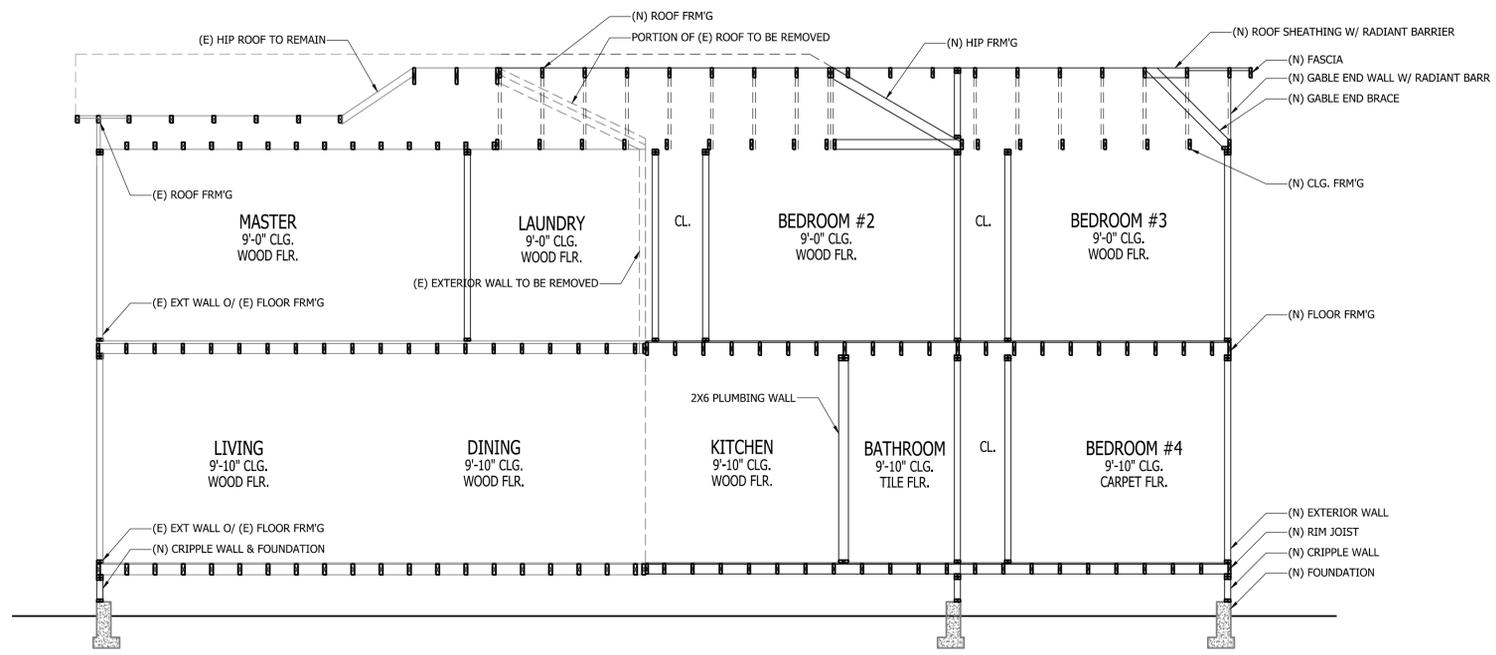


FOUNDATION NOTES:

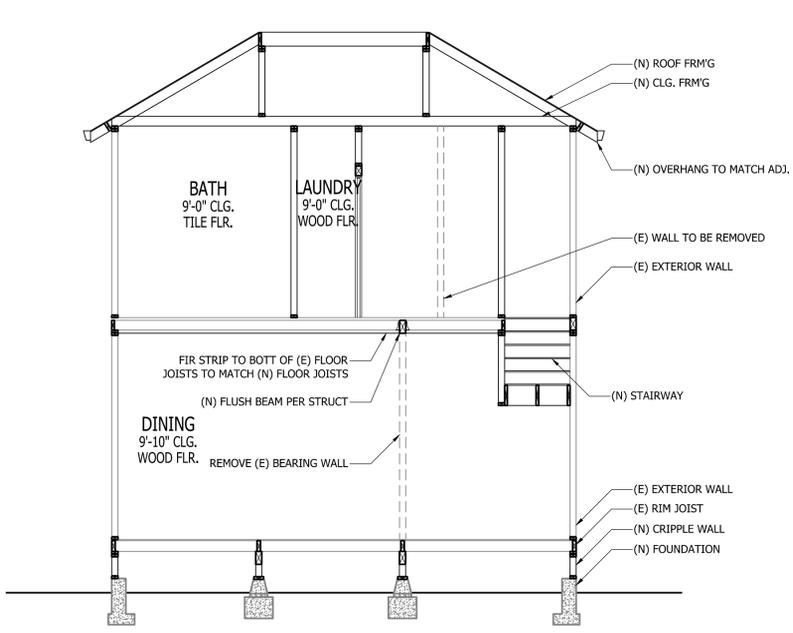
1. CONTRACTOR SHALL VERIFY SITE CONDITIONS AND ALL DIMENSIONS PRIOR TO STARTING WORK, ORDERING MATERIAL OR BUILDING, NOTIFY OWNER AND OR BUILDING DESIGNER OF ANY DISCREPANCIES!
2. PROVIDE MINIMUM 1/2" DIAMETER X 10" ANCHOR BOLTS WITH SIMPSON 3 X 3 X .229 BEARING PLATES @ 48" O.C., UN.O. THROUGH MINIMUM 2X P.T. D.F. SILL PLATES AT ALL PERIMETER AND BEARING WALLS AND AS NOTED AT SHEARWALL LOCATIONS. PROVIDE A MINIMUM OF TWO BOLTS PER SILL AND ONE BOLT WITHIN 12" OF END OF SILL.
3. PLATES, SILLS AND SLEEPERS TO BE FOUNDATION GRADE OR PRESSURE TREATED WOOD.
4. WOOD TO EARTH SEPARATION TO BE 8" MINIMUM UNLESS PRESSURE TREATED OR DECAY RESISTANT WOOD IS USED.
5. PROVIDE AN 18" X 24" UNDER FLOOR ACCESS, UNOBSTRUCTED BY PIPES OR DUCTS, WITHIN 20' OF EACH UNDER FLOOR PLUMBING CLEANOUT AND TO ANY ISOLATED AREA.
6. THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM BUILDING AT A SLOPE OF NOT LESS THAN 1:20 (5 PERCENT) FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IMPERVIOUS SURFACES WITHIN 10 FEET OF BUILDING SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM BUILDING.
7. ALL WOOD FRAMING MEMBERS, INCLUDING WOOD SHEATHING, THAT RESTS ON EXTERIOR FOUNDATION WALL AND ARE LESS THAN 8" FROM EXPOSED EARTH, SHALL BE OF NATURALLY DURABLE OR PRESERVATIVE-TREATED WOOD.
8. PIPES MAY PASS THROUGH STRUCTURAL CONCRETE IN SLEEVES OR OTHER APPROVED METHOD. THEY MAY NOT BE EMBEDDED.
9. BOTTOM OF ALL FOOTING TRENCHES SHALL BE CLEAN AND LEVEL.
10. ALL CONSTRUCTION SHALL CONFORM TO THE "CONVENTIONAL FRAMING PRACTICES" NOTED IN THE 2013 CRC.

FOUNDATION VENT CALCULATIONS:

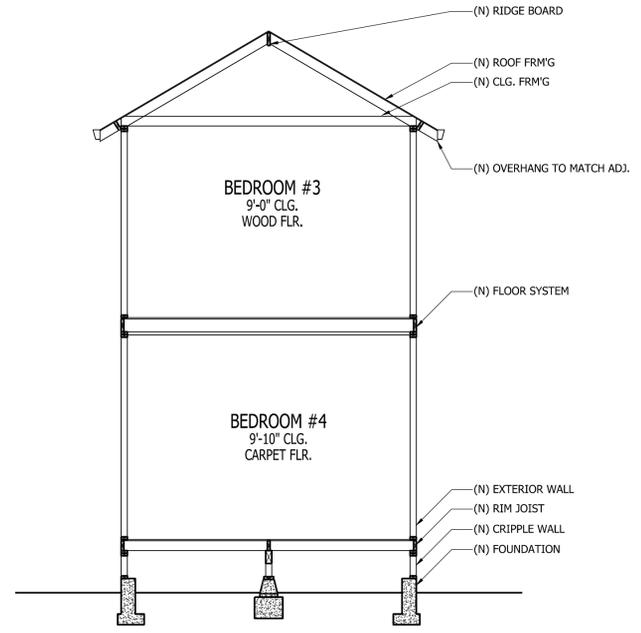
NEW AREA OF UNDER FLOOR SPACE TO BE VENTED: 1010 SQ FT
 SQ FT OF VENT REQUIRED: 1010/150 = 6.7 SQ FT VENT REQ.
 USE 6" X 14" WITH .43 SQ FT VENT EACH
 6.7/.43 = 15.7 NEED 16 6X14 (OR EQUIVALENT) VENTS
 DISTRIBUTED EQUALLY



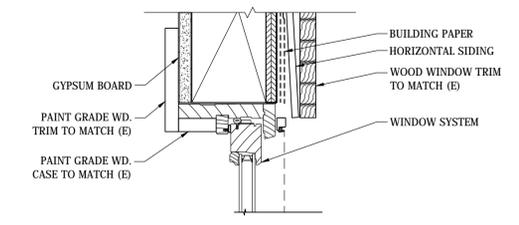
SECTION A
1/4" = 1'-0"



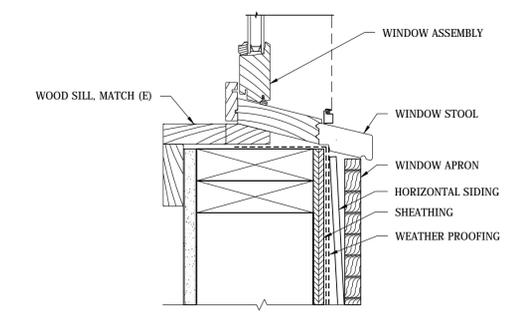
SECTION B
1/4" = 1'-0"



SECTION C
1/4" = 1'-0"



1 WINDOW HEAD CONDITIONS
A6 SCALE: 3" = 1'-0"
jcts:Shawn Arani Construction\1356 Marin Ave Albany_1356 Marin Ave\Views\DETAILS\Storefront Head.dwg - User - 10.28.2015 8:56:53 PM



1 WINDOW SILL CONDITIONS
A6 SCALE: 3" = 1'-0"
081171_Working\Views\Architecture\Detail\Door & Wdw\Wdw Sill.storedfront.dwg - medwards - 02.01.2010 2:04:14 PM

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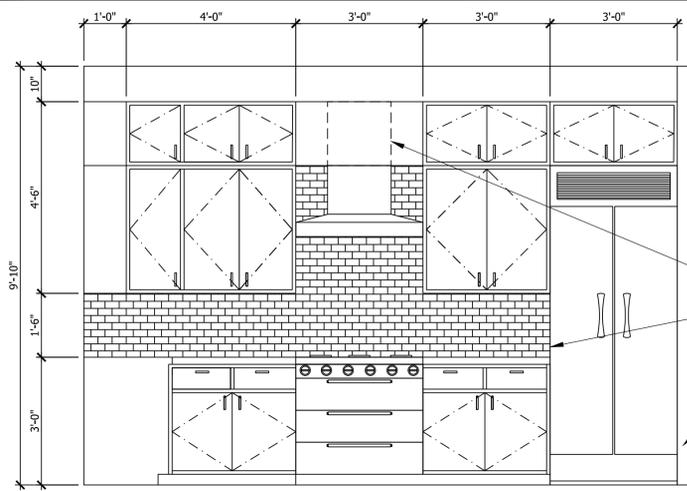
SECTION S & DETAILS

PLANNING ONLY

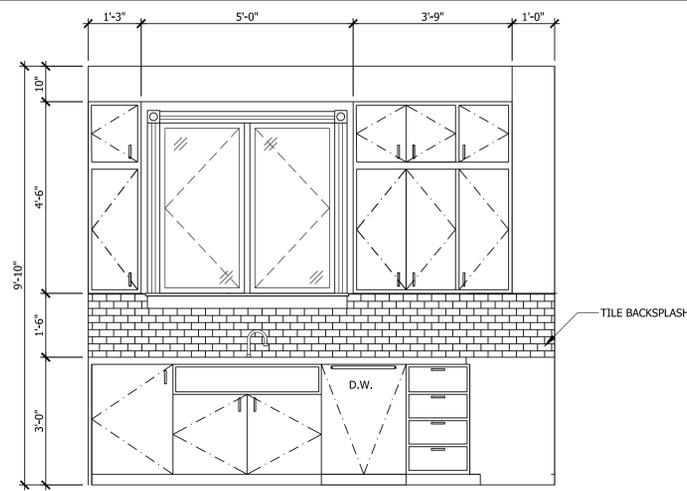
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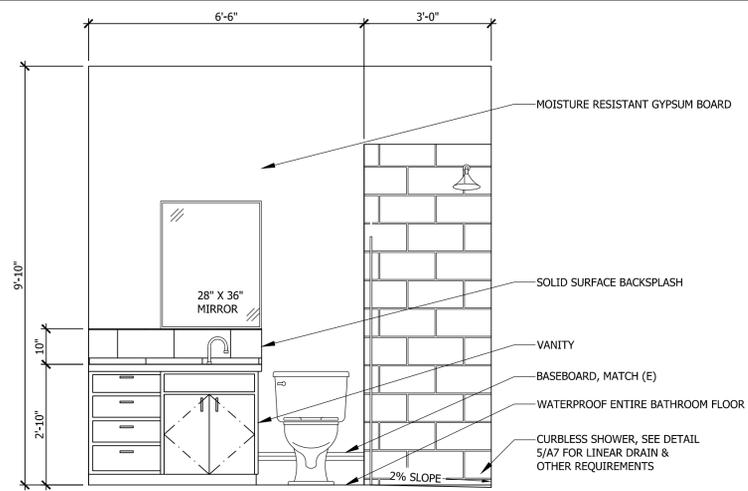
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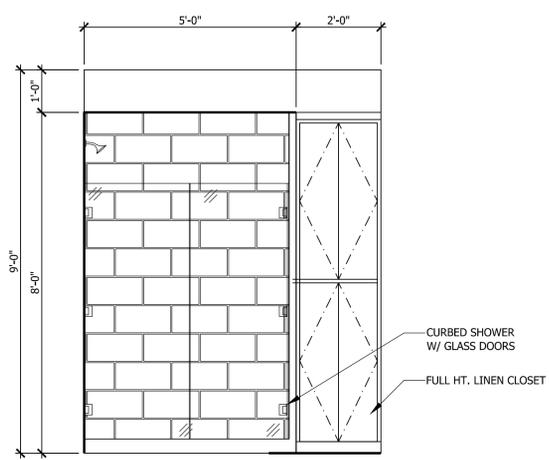
1 KITCHEN
1/2" = 1'-0"



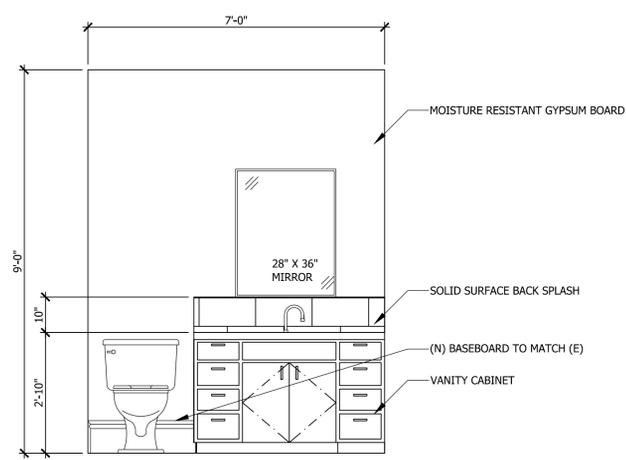
2 KITCHEN
1/2" = 1'-0"



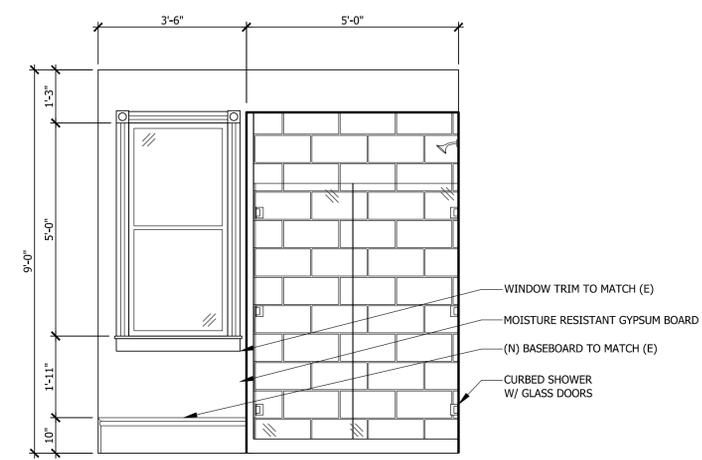
3 1ST FLOOR BATH
1/2" = 1'-0"



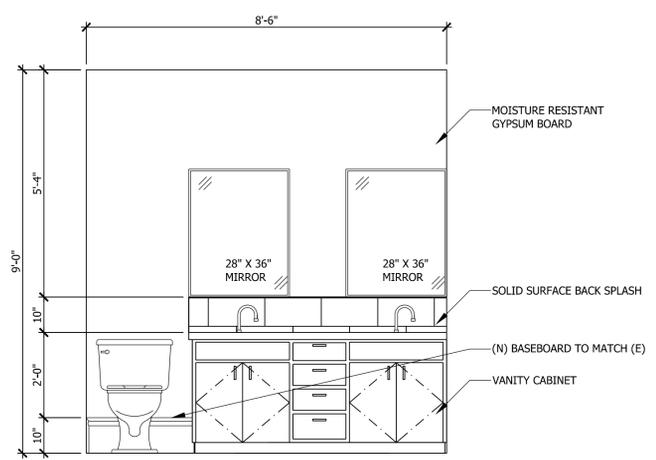
4 2ND FLOOR BATH
1/2" = 1'-0"



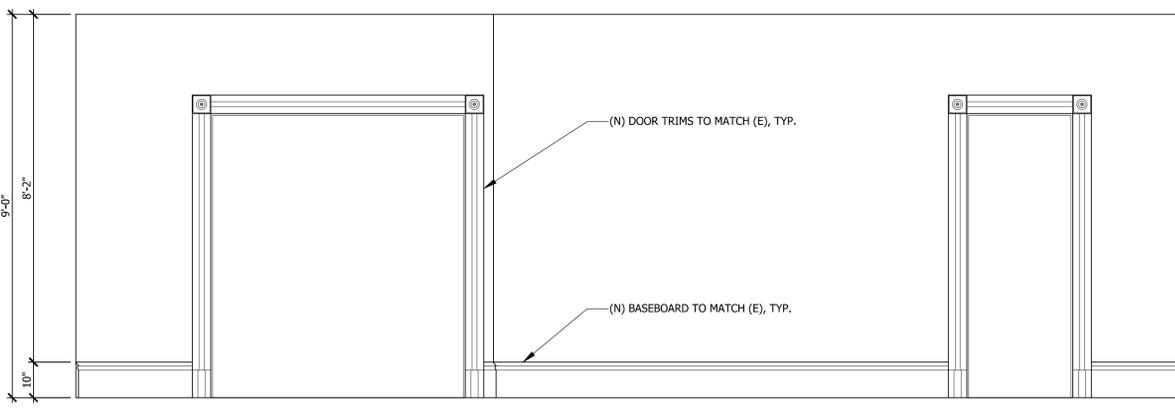
5 2ND FLOOR BATH
1/2" = 1'-0"



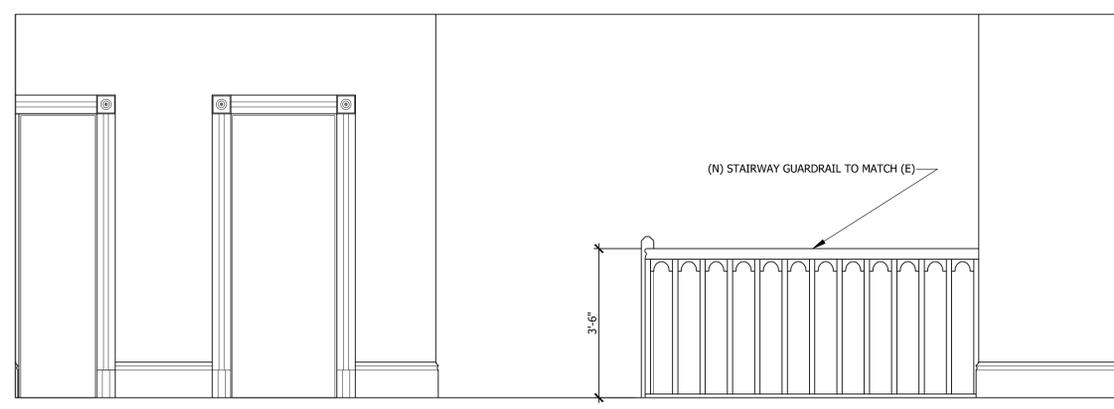
6 MASTER BATH
1/2" = 1'-0"



7 MASTER BATH
1/2" = 1'-0"



8 2ND FLR HALL
1/2" = 1'-0"



9 2ND FLR HALL
1/2" = 1'-0"

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INTERIOR ELEVATIONS

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