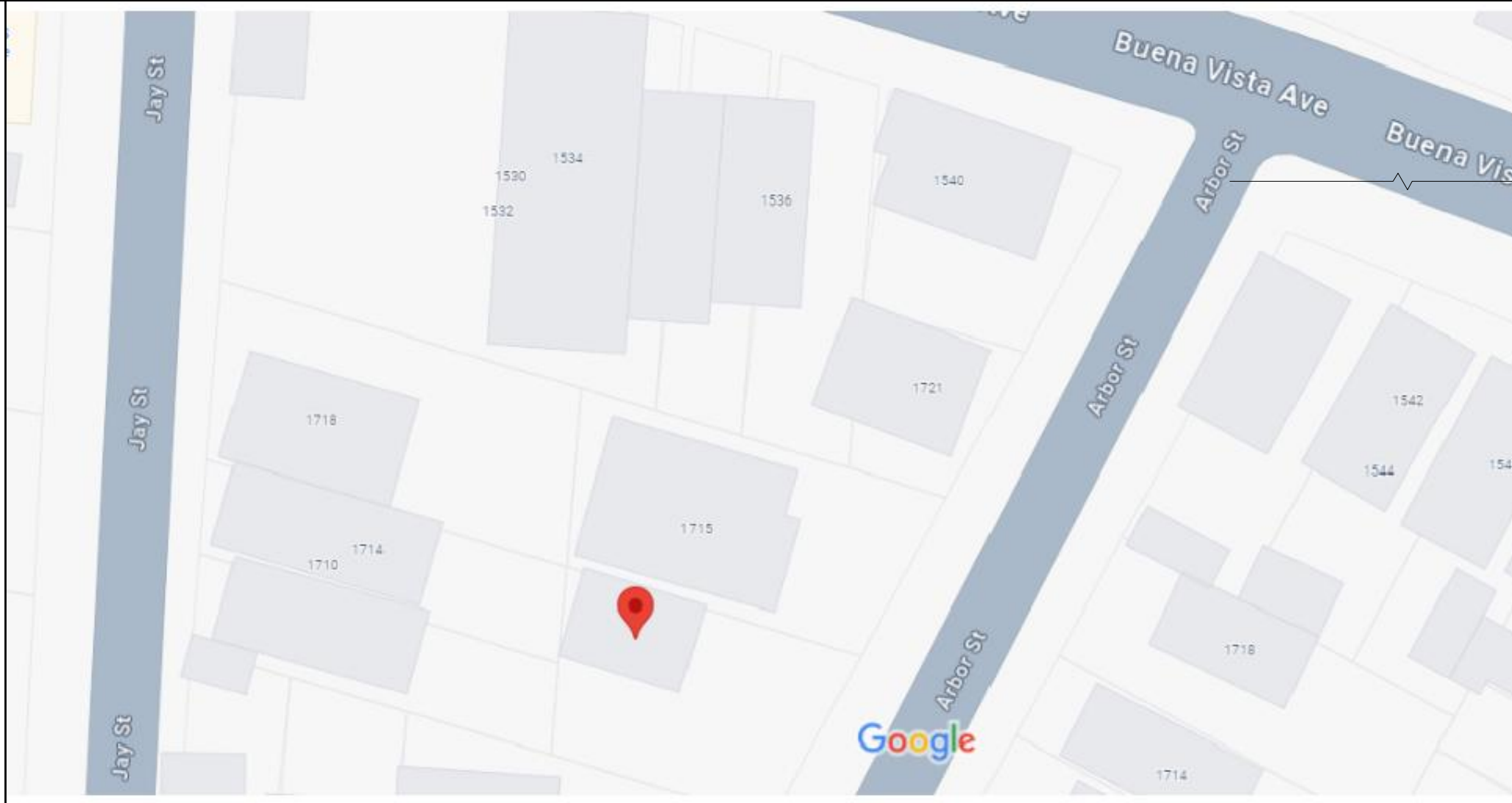
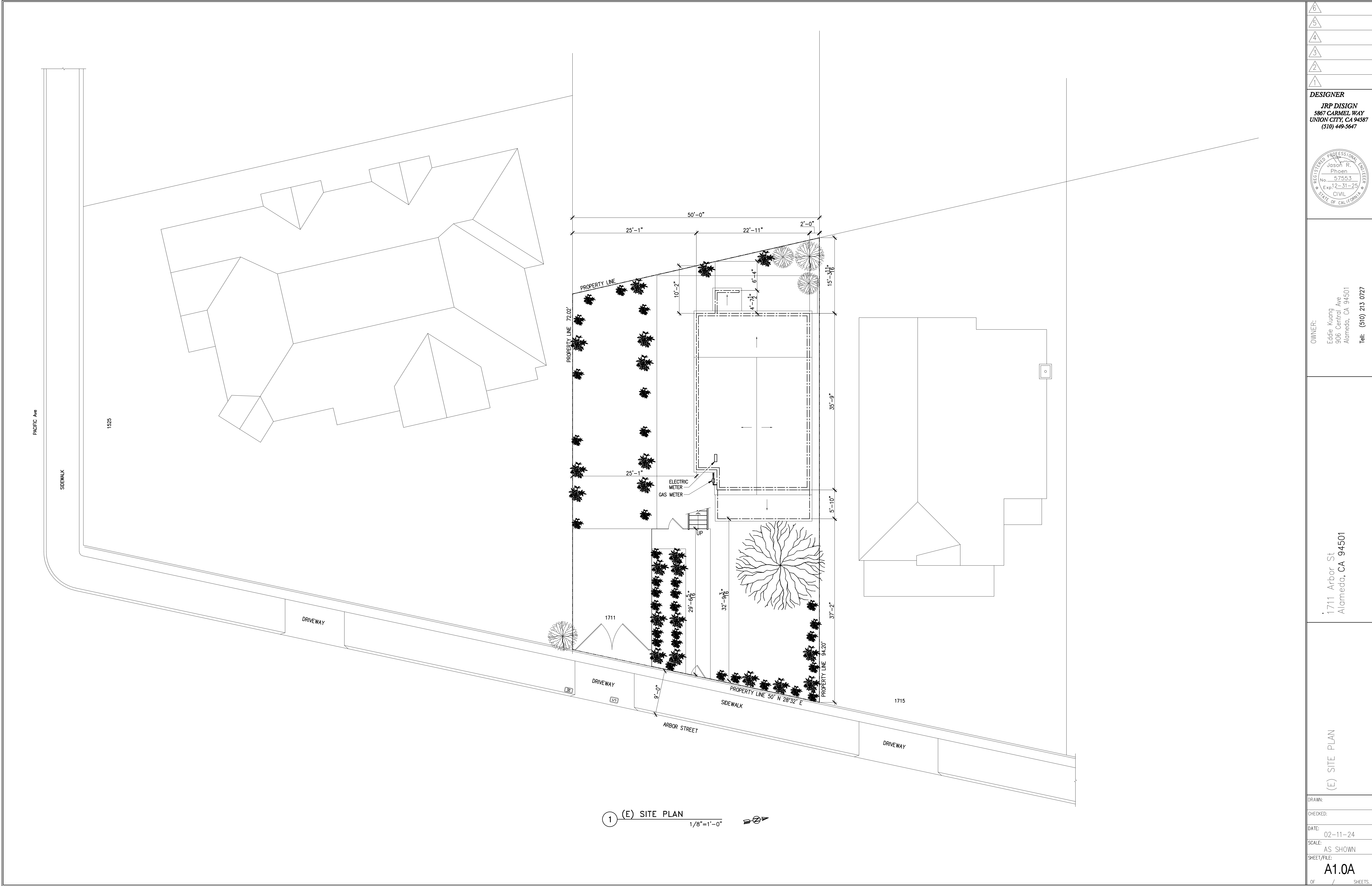
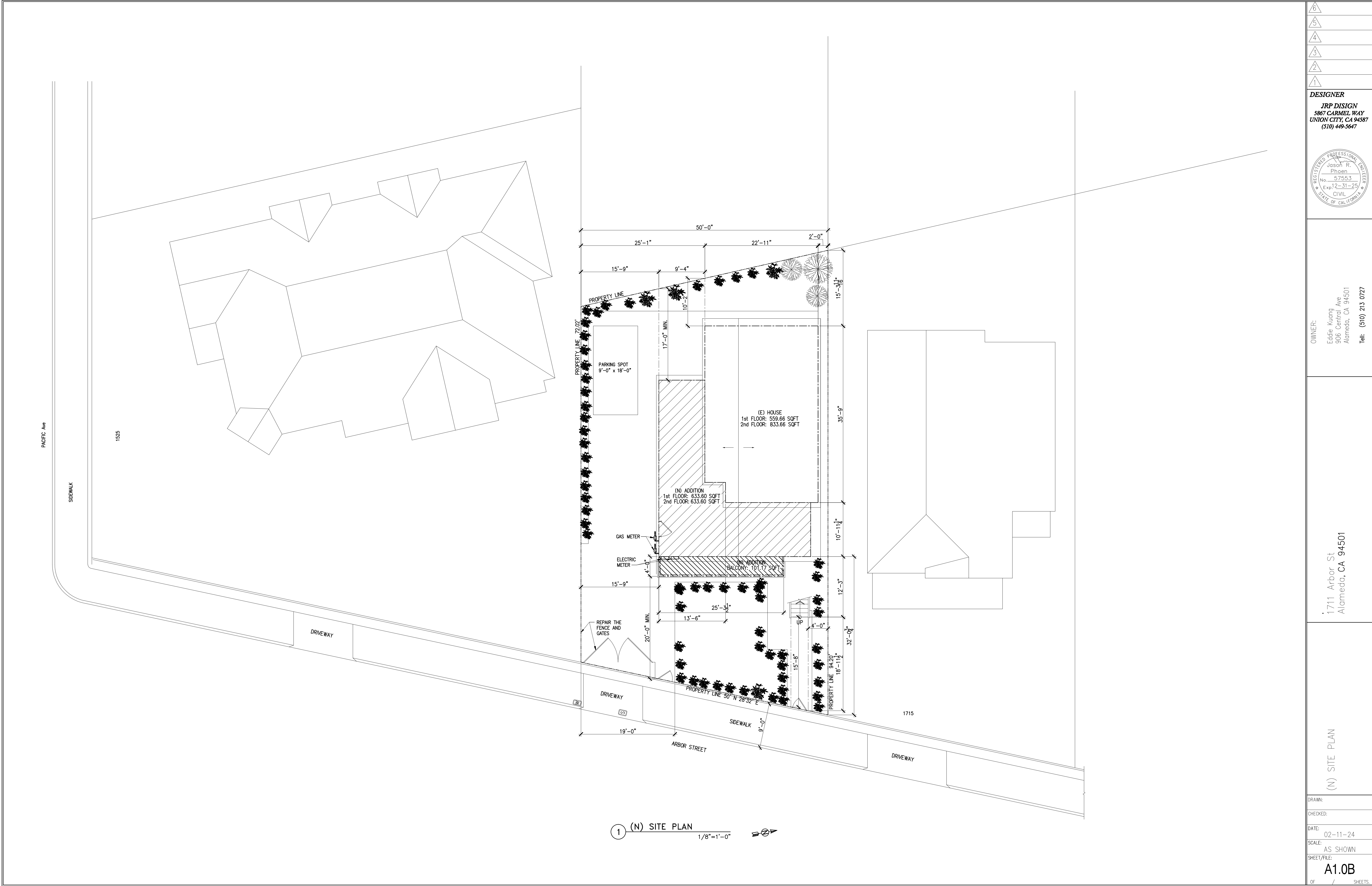


ABBREVIATIONS		LOCATION MAP (N.T.S.)		APPLICABLE CODES		SITE PLAN S (SEE A1.0A AND A1.0B)	
A.B. A/C A.F.F. APP ARCH. ARCH'L BD. BLDG. BLK'G BM. B.O. BOT. B.O.W. B.U. CL. CLR. CL.G. COL. CSK COMP. CONC. CONT. CONTR. CRC C.T. DBL. DEL. DWR. DIM. (E) EA. ELEV. EQ. EXH EXP. EXT. F.A. F.D. FDN. F.G. FIN. FL./FLR. FLUOR. F.O. FTG. GA. GALV. G.B. G.I. GLB GFI GFRG GAM H.B. H.C. H.D. HDR. HT. INCL. INSUL. INT. JST. JT. L.H. L.H.R. L/S LT. MAX. M.B. MECH. MEMB. MTL. MFR. MIN. MTD. (N) N.I.C. N.I.S. O.A. O.C. OP. OPC. OPP. PL. P-LAM PLY. PROP. P.T. R. (R) R.D. REC. REG. REINF. REQ'D REV. R.H. R.H.R. RM. R.W. R.W.L. S.C. S.D. SHTG SIM. SIM. SQ. S.S.D. T. T&G TBG TEMP. THK. T.O.C. T.O.W. TYP. U.O.N. UHMW W/ W.C. W.H. W.P. W.W.M. WIN. W/O WD. ANCHOR BOLT AIR CONDITION ABOVE FINISHED FLOOR APPROVED ARCHITECT ARCHITECTURAL BOAED BUILDING BLOCKING BEAM BY OWNER BOTTOM BASE OF WALL BUILT-UP CENTER LINE CLEAR CEILING COLUMN COUNTER SINK COMPOSITION CONCRETE CONTINUOUS CONTRACTOR COLD-ROLLED CHANNEL CERAMIC TILE DOUBLE DETAIL DRAWER DIMENTION EXISTING EACH ELEVATION EQUAL EXHAUST EXPENSION EXTERIOR FLOOR AREA FLOOR DRAIN FOUNDATION FIXED GLAZING FINISH FLOOR FLOURESCENT FACE OF FOOTING GAUGE GALVANIZED GYPSUM BOARD GALVANIZED IRON GLUE-LAMINATED BEAM GROUND FAULT INTERRUPT GLASS FIBER REINFORCED GYPSUM GALVANIZED SHEET METAL HOSE BIB HOLLOW CODE HOLDDOWN HEADER HEIGHT INCLUDE(D) INSULATION INTERIOR JOIST JOINT LEFT HAND LEFT HAND REVERSE LANDSCAPE LIGHT MAXIMUM MACHINE BOLT MECHANICAL MEMBRANE METAL MANUFACTURER MINIMUM MOUNTED NEW NOT IN CONTRACT NOT TO SCALE OVERALL ON CENTER OPERABLE OPENING OPPOSITE PLATE PLASTIC LAMINATE PLYWOOD PROPERTY PRESSURE-TREATED RISER RE-LOCATE(D) ROOF DRAIN RECESSED REGISTER REINFORCED REQUIRED REVERSE RIGHT HAND RIGHT HAND REVERSE ROOM REDWOOD RAINWATER LEADER SOLID CORE SMOKE DETECTOR SHEATING SIMILAR SQUARE SEE STRUCTURAL DRAWINGS TREAD TONGUE & GROOVE TO BE DETERMINED TEMPERED THICK TOP OF CURB TOP OF WALL TYPICAL UNLESS OTHERWISE NOTE ULTRA HIGHT MOLECULAR WEIGHT POLY-ETHELENE WITH WATER CLOSET WATER HEATER WATERPROOF WELDED WIRE MESH WINDOW WITHOUT WOOD				2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE 2022 CALIFORNIA FIRE CODE 2022 EDITION OF THE TITLE 24 STANDARDS CITY / COUNTY CODES AND ORDINANCES DRAWING INDEX A1.0 PROJECT INFORMATION A1.0A (E) SITE PLAN A1.0B (N) SITE PLAN A1.1 (E) FLOOR PLANS A1.2 (N) PLANS A2.0 ELEVATIONS A2.0A ELEVATIONS A2.1 ELEVATIONS A3.0 DETAILS S1.1 (N) FOUNDATION & FLOOR FRAMING PLAN (N) 2ND FLOOR FRAMING PLAN S1.2 (N) CEILING FRAMING PLAN, (N) ROOF FRAMING PLAN S1.3 SECTIONS, DETAILS S3.0 DETAILS		6 5 4 3 2 1 DESIGNER JRP DESIGN 5867 CARMEL WAY UNION CITY, CA 94587 (510) 449-5647 REGISTERED PROFESSIONAL ENGINEER Jason R. Phoen No. 57553 Exp. 12-31-25 CIVIL STATE OF CALIFORNIA OWNER: Eddie Kuang 906 Central Ave Alameda, CA 94501 Tell: (510) 213 0727 PROJECT DESCRIPTION 1st FLOOR: ADD 1 BEDROOM, 1 BATH AND LIVING ROOM. 2nd FLOOR: REMODEL KITCHEN AND BATH, RECONFIGURE THE KITCHEN, RECONSTRUCT BALCONY. PROJECT DATA PARCEL NUMBER: 72-355-9 USE CODE: SINGLE FAMILY RES HOME WITH NON-ECONOMIC 2ND UNIT ZONING: R-1-6 OCCUPANCY GROUP: R-3 CONSTRUCTION TYPE: V-B CONSTRUCTION YEAR: 1894 NUMBER OF UNIT: 2 NUMBER OF STORES: 2 (E) MAIN HOUSE: 1341.00 SQ FT (N) MAIN HOUSE: 3066.50 SQ FT LOT SIZE: 3735.00 SQ FT	
GENERAL NOTES 1. CONSTRUCTOR TO ENSURE THAT ALL WORKS ARE IN CONFORMANCE WITH ALL GOVERNING CODES AND REGULATIONS, WHETHER OR NOT INDICATED ON THE PLANS 2. CONSTRUCTOR SHALL FIELD VERIFY EXISTING SITE/BUILDING CONDITION AND DIMENSIONS, AND SHALL NOTIFY ARCHITECT IMMEDIATELY FOR ANY DISCREPANCY WITH THE PLANS PRIOR TO COMMENCEMENT OF ANY RELATED WORKS. 3. LIVING SPACES CEILING HEIGHT TO BE 7'-6" MIN., BATHROOM, AND HALLWAY CEILING HEIGHT TO BE 7'-0" MIN., TYP. 4. BEDROOM WINDOWS FOR PURPOSES OF EMERGENCY ESCAPE AND RESCUE SHALL HAVE A MIN. CLEAR OPEN-ABLE WIDTH DIMENSION OF 20" MIN., AND CLEAR OPERABLE HEIGHT OF 24" MIN., OPEN-ABLE OF 5.7 SQFT MIN. FURTHERMORE WINDOW SILL SHALL BE NOT MORE THAN 44" ABOVE FINISH FLOOR. 5. ALL HABITABLE ROOMS TO BE PROVIDED WITH NATURAL LIGHT AND VENTILATION BY MEANS OF EXTERIOR OPENINGS, FOR NATURAL LIGHT THE GLAZED AREA OF THE OPENING TO BE MIN. 8% FLOOR AREA OF THE ROOM BEING SERVED, FOR VENTILATION THE OPERABLE AREA TO BE MIN. 4% FLOOR AREA OF THE ROOM BEING SERVED. 6. ALL EXTERIOR PROPERTY LINE WALLS TO CONFORM WITH THE REQUIRED FIRE RESISTANCE RATING PER CBC TABLE 602, OR SHALL BE REPLACED AND RETROFIT TO PROVIDE THE REQUIRED FIRE RETED ASSEMBLY. 7. ALL MANUFACTURED ITEMS SHALL BE INSTALLED AS PER MANUFACTURE'S SPECIFICATIONS AND RECOMMENDATIONS UNLESS OTHERWISE NOTED. 8. TEMPERED GLASS TO HAVE A PERMANENT LABEL. 9. INSTALLATION FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO FIELD INSPECTOR AT THE TIME OF INSPECTION. 10. BY USING OF ARCHITECT'S PLANS THE OWNER AND GENERAL CONTRACTOR HAVE AGREED TO INDEMNIFY THE ARCHITECT FOR ALL LEGAL COSTS ASSOCIATED WITH ANY DISPUTES AND HOLD ARCHITECT HARMLESS; THE ARCHITECT'S LIABILITY OF THIS PROJECT IS LIMITED TO FEES RECEIVED FOR SERVICE RENDERED. 11. RELOCATED (E) FURNACE PROVIDE COMBUSTION AIR FROM EXTERIOR AND PROVIDE 25 GA. SHEET METAL DUCTS PER CMC 2013 CHP. AND CMC 802.6 & 802.8 FLOOR GAS VENT & SFMC 802.6.2. 12. RELOCATE 50 GALLON TANK WATER HEATER WITH NEW SEISMIC ANCHOR TO WALL. PROVIDE +18" RAISED PLATFORM.		PLUMBING NOTES 1. KITCHEN FAUCET TO HAVE A MAX FLOW RATE OF 1.8 gpm. 2. PROVIDE SINGLE FLUSH TOILETS WITH MAX FLOW RATE OF 1.28 gpm. SHOWER HEAD TO EMIT MAX. 1.8 gpm. IF MULTIPLE SHOWER HEADS SERVE ONE SHOWER, THE COMBINED FLOW CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 gpm @ 80 psi OR THE SHOWER TO ALLOW ONLY ONE OUTLET TO BE IN OPERATION AT A TIME. FAUCETS NOT TO EXCEED 1.5 gpm. LAVATORY FAUCETS SHALL HAVE A MAX FLOW RATE OF 1.2 gpm AND 0.8 gpm MIN. 3. SHOWER COMPARTMENT SHALL HAVE A MIN FINISHED INTERIOR OF 1,024 SQ INCHES AND SHALL ENCOMPASS A 30 INCHES DIAMETER CIRCLE, TO BE MEASURED AT A HEIGHT EQUAL TO THE TOP IF THE THRESHOLD. THE AREA AND DIMENSIONS SHALL BE MAINTAINED TO A POINT OF NOT LESS THAN 70 INCHES ABOVE THE SHOWER DRAIN OUTLET WITH NO PROTRUSIONS OTHER THAN THE FIXTURE VALVE OR VALVES, SHOWER HEAD, SOAP DISHES, SHELVES AND SAFETY GRAB BARS OR RAILS. 4. SHOWER AND SHOWER/ TUB WALLS SHALL BE PROVIDED WITH A NON-ABSORBENT SURFACE TO THE HEIGHT OF NOT LESS THAN 6' ABOVE THE FLOOR. USE CEMENT BOARD BACKING AT THE WALL. 5. SHOWER AND TUB/ SHOWERS SHALL BE PROVIDED WITH PRESSURE-BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/ THERMOSTATIC MIXING VALVE CONTROLS. 6. WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING AT THE TUB/ SHOWER IS LESS THAN 60 INCHES ABOVE A STANDING SURFACE, SAFETY GLAZING IS TO BE PROVIDED. SHOWER DOORS TO BE 22 INCHES MIN WIDE. WITH A OUTWARD SWING. 7. LOCATE ONE RECEPTACLE OUTLET WITHIN 3 FEET OF THE OUTSIDE EDGE OF EACH BASIN. THE RECEPTACLE OUTLET SHALL BE LOCATED ON A WALL THAT IS ADJACENT TO THE BASIN OR ON THE SIDE OR THE FACE OF THE BASIN CABINET NOT MORE THAN 12 INCHES BELOW THE COUNTERTOP. 8. PROVIDE A DEDICATED 20 amp CIRCUIT AT EACH BATHROOM TO SERVE OUTLETS ONLY (NOT LIGHTING). ALL OUTLETS TO BE GFCI PROTECTED. 9. ALL ADDED/ REPLACED 125 volt, 15 AND 20 amp RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. 10. EXHAUST FAN TO BE MIN 50 cfm AND DUCT TO TERMINATE AT ROOF UNO AND TO BE SWITCHED SEPARATED FROM LIGHTING. ALL BATHROOM EXHAUST FANS TO BE CONTROLLED BY A HUMIDISTAT AND BE ENERGY START RATED (REQUIRED IF NO WINDOW WITH AN OPENING OF 1.5 SQFT). 11. ALL HOT WATER LINES THRU ANY UNCONDITIONED OR UN-INSULATED SPACES AND THE FIRST 6 FEET OF THE COLD WATER LINE TO ANY HOT WATER HEATER SHALL BE INSULATED.		PROJECT DIRECTORY OWNER: Eddie Kuang 906 Central Ave Alameda, CA 94501 Tell: (510) 213 0727			
ELECTRICAL & LIGHTING NOTES 1. ALL DIMENSIONS MEASURED TO CENTERLINE OF BOXES. 2. GENERAL CONTRACTOR SHALL REVIEW ALL ARCHITECTURAL DRAWINGS INCLUDING FINAL PLANS, ELECTRICAL PLANS AND MECHANICAL PLANS BEFORE FRAMING. COORDINATE RECESSED LIGHT FIXTURE LOCATION, SHAFTS, AND HVAC DUCTWORK PRIOR TO FRAMING. IT IS IMPERATIVE THAT RECESSED LIGHT FIXTURES DO NOT FALL ON FRAMING MEMBERS. 3. AFTER FRAMING IS COMPLETED REVIEW FINAL LOCATION OF ALL SWITCHES, LIGHTS, OUTLETS, T.V., AUDIO, PHONE, ETC. WITH OWNER ARCHITECT PRIOR TO GYP. BD. CLOSE-IN. 4. All 125-volt T, SINGLE PHASE 15 and 20-AMP RECEPTS TO SERVE COUNTERTOP SURFACES, INSTALLED WITH IN 6 FEET OF A WET BAR OR KITCHEN SINK, LAUNDRY OR UTILITY SHALL HAVE GROUND FAULT INTERRUPTER PROTECTION. PER NED SECT 210-8. 5. PROVIDE AT LEAST 2 SEPARATE 20 amp CIRCUITS FOR SMALL KITCHEN APPLIANCES WHICH ARE LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLET ONLY. 6. PROVIDE ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE FORALL 120 VOLT, SINGLE PHASE, 15 AND 20 AMP BRANCH CIRCUITS SUPPLYING NEW OUTLETS LOCATED IN THE KITCHEN, DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS, TO PROTECT BRANCH CIRCUIT. ALL TO BE LISTED TAMPER RESISTANT RECEPTACLES. 7. SMOKE AND CO ALARM TO BE LOCATED AS REQUIRED BY CODE. 8. HIGH EFFICACY AND LOW EFFICACY LIGHTING MUST BE SWITCHED SEPARATELY. ALL LIGHTING IN KITCHEN AND BATH AND IN AREAS OF WORK TO BE HIGH EFFICACY. 9. AT THE BATHROOM AND LAUNDRY, ONE LIGHT MIN TO BE CONTROLLED BY A VACANCY SENSOR. 10. LIGHTING IN ROOMS OTHER THAN KITCHENS, BATHROOMS, GARAGES, LAUNDRY ROOMS, CLOSETS LESS THAN 70 SQ FT AND DETACHED STORAGE BUILDING LESS THAN 1,000 SQ FT SHALL BE HIGH EFFICACY OR CONTROLLED BY EITHER DIMMERS OR VACANCY SENSORS. 11. RECESSED LUMINARIES IN INSULATED CEILINGS SHALL BE RATED FOR ZERO CLEARANCE INSULATION COVER (IC) AND SHALL INCLUDE A LABEL CERTIFYING AIR TIGHT DESIGNATION (AT) WITH AIR LEAKAGE LESS THAN 2.0 CFM AT 75 PASCAL. THEY SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINARY HOUSING AND CEILING. IF RECESSED LIGHTS ARE EQUIPPED WITH BALLASTS, THEY SHALL ALLOW BALLAST MAINTENANCE AND REPLACEMENT WITHOUT REQUIRING THE CUTTING OF HOLES ON CEILING. THEY SHALL NOT CONTAIN SCREW BASE SOCKETS. 12. OUTDOOR LIGHTING PERMANENTLY MOUNTED TO RESIDENTIAL BUILDING OR BUILDINGS OF SAME LOT SHALL BE HIGH EFFICACY OR CONTROLLED BY A MANUAL ON AND OFF SWITCH WITH MOTION SENSOR AND EITHER PHOTO CONTROL, ASTRONOMICAL TIME CLOCK OR ENERGY MANAGEMENT CONTROL SYSTEM. OUTDOOR LIGHT FIXTURE TO BE WATERPROOF. 13. ANY SCREW BASED LUMINARIES INSTALLED SHALL CONTAIN LAMPS MARK JAS-2016 OR JAB-2016-E AND BE CONTROLLED BY A VACANCY SENSOR OR A DIMMER SWITCH. 14. ALL OUTDOOR RECEPTACLES TO HAVE GFCI PROTECTION. 15. LIGHT FIXTURES LOCATED IN TUB AND SHOWER ENCLOSURES ARE TO BE LABELED "SUITABLE FOR WET LOCATIONS". 16. PROVIDE DEDICATED 20-AMP BRANCH CIRCUIT FOR BATHROOM. RECEPTACLE OUTLETS, CIRCUIT CAN NOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC., EXCEPTION WHERE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIP. W/IN SAME BATHROOM SHALL BE ALLOWED.		MECHANICAL NOTES ① VENTS FOR GAS APPLIANCES SHALL TERMINATE NOT LESS THAN 5 FEET FROM PROPERTY LINES WHEN PENETRATING AN EXTERIOR WALL OR 4 FEET FROM OPENING INTO BUILDINGS. ② FAN AND DUCT OPENINGS (ENVIRONMENTAL AIR DUCTS) SHALL TERMINATE A MINIMUM OF 3 FEET FROM PROPERTY LINES WHEN PENETRATING AN EXTERIOR WALL OR 3 FEET FROM OPENINGS INTO BUILDINGS. ③ FURNACE IN ATTIC OR CRAWL SPACE MUST HAVE AN ACCESS PLATFORM, LIGHTING SWITCH AND RECEPTACLE. PROVIDE A RECEPTACLE WITH A FUSIBLE LINK FOR THE FURNACE. ④ PROVIDE AN AUTOMATIC SHUT OFF VALVE FOR ALL NEW GAS PIPING. ⑤ COVER ALL DUCT OPENINGS AND PROTECT MECHANICAL EQUIPMENT DURING CONSTRUCTION. DRAWING SYMBOLS FIN. FL. +0'-0" DATUM POINT, DIMENSION POINT 1 A1.0 (DRAWING NUMBER) (SHEET NUMBER) SECTION TAG 1 A1.0 (DRAWING NUMBER) (SHEET NUMBER) DETAIL TAG 1 A1.0 (DRAWING NUMBER) (SHEET NUMBER) EXTERIOR ELEVATION TAG ① DOOR NUMBER ① WINDOW NUMBER		LEGEND NEW WALL NEW WALL WITH R-13 INSULATION EXISTING WALL TO REMAIN EXISTING WALL TO BE REMOVED CARBON DETECTOR SMOKE DETECTOR SMOKE DETECTOR (110v) WASHER DRYER SINK WATER HEATER FURNACE FLOURESCENT LIGHT WITH VENT AND BACKDRAFT DAMPER MECHANICAL VENTILATOR CAPABLE TO PROVIDE 5 AIR CHANGE PER HOUR FOR BATHROOM RECESSED CEILING EXHAUST FAN 12"x12" RECESSED CEILING SUPPLY AIR GRILL 12"x6" RECESSED CEILING SUPPLY AIR GRILL SINGLE SWITCH 3 WAY SWITCH DIMMER SWITCH SPRINKLER HEAD CEILING LIGHT WALL OUTLET WALL OUTLET (GROUND FAULT INTERRUPT) FLOURESCENT LIGHT WALL LIGHT DROPPED PENDANT LIGHT LIGHTING WITH SENSOR TRACK LIGHT EYE BALL LIGHT SURFACE MOUNTED CEILING LIGHT FIXTURE			
NOTES PROJECT INFORMATION DRAWN: CHECKED: DATE: 02-11-24 SCALE: AS SHOWN SHEET/FILE: A1.0 OF / SHEETS							

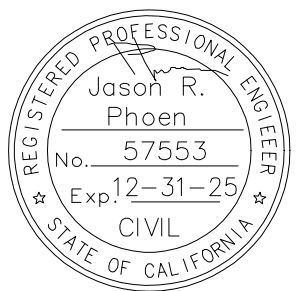


6		
5		
4		
3		
2		
1		
DESIGNER JRP DESIGN 5867 CARMEL WAY UNION CITY, CA 94587 (510) 449-5647		
		
OWNER:	Eddie Kuang 906 Central Ave Alameda, CA 94501	Tell: (510) 213 0727
1711 Arbor St Alameda, CA 94501		
(E) SITE PLAN		
DRAWN:		
CHECKED:		
DATE:	02-11-24	
SCALE:	AS SHOWN	
SHEET/FILE:	A1.0A	
OF	SHEETS	



- 6
- 5
- 4
- 3
- 2
- 1

DESIGNER
JRP DESIGN
5867 CARMEL WAY
UNION CITY, CA 94587
(510) 449-5647



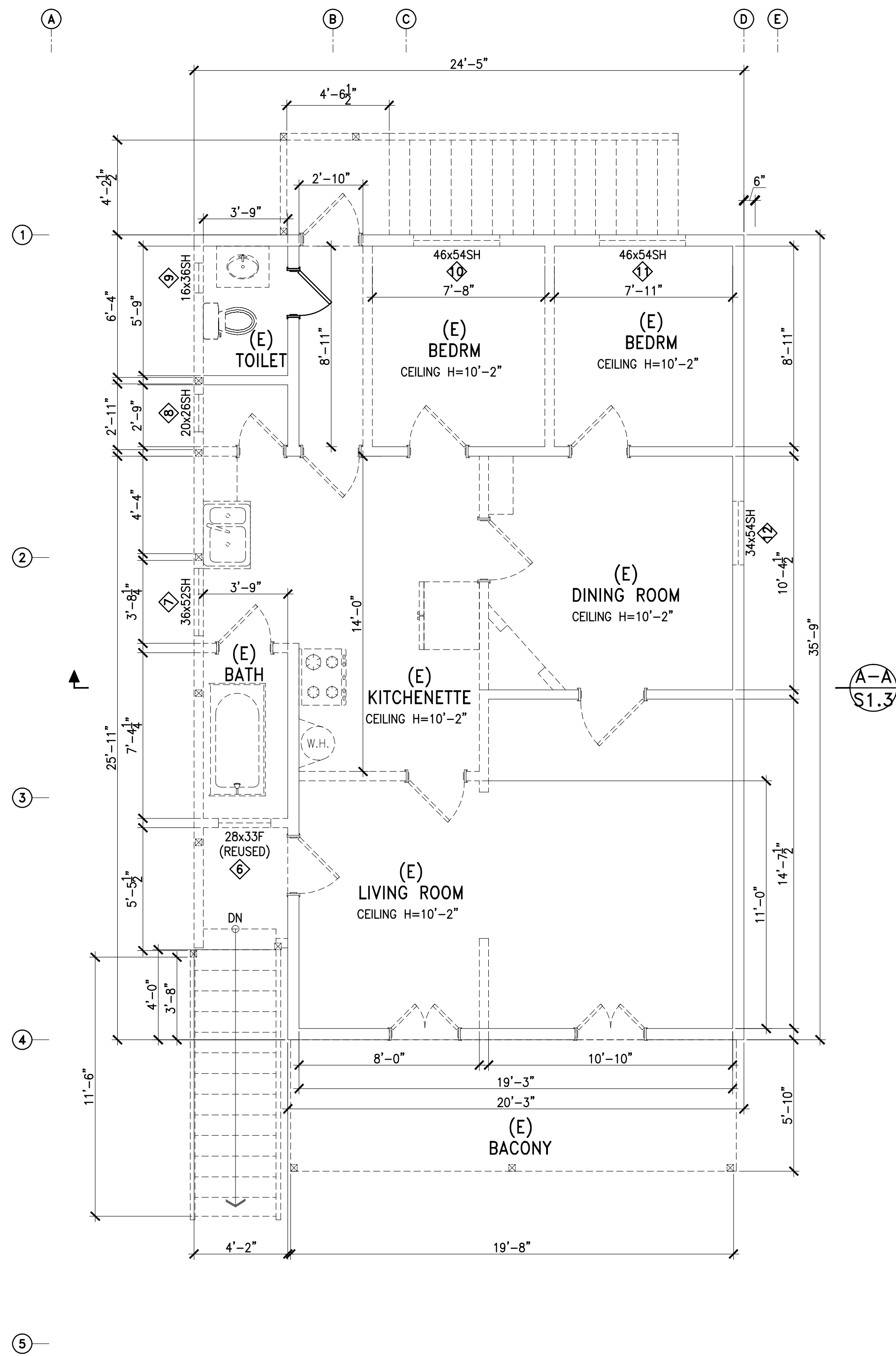
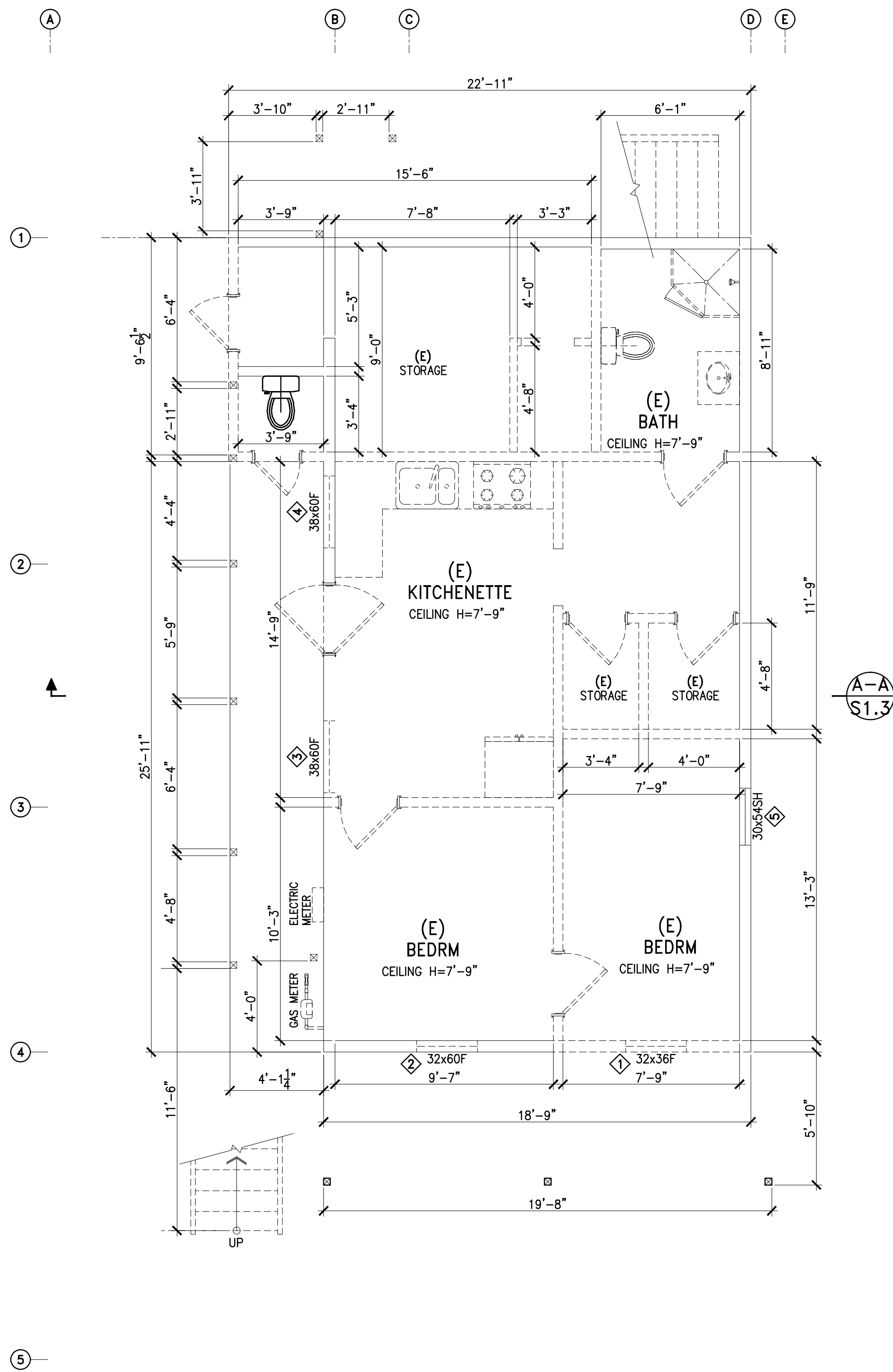
OWNER:
Eddie Kuang
906 Central Ave
Alameda, CA 94501
Tel: (510) 213 0727

1711 Arbor St
Alameda, CA 94501

(N) SITE PLAN

DRAWN:
CHECKED:
DATE: 02-11-24
SCALE: AS SHOWN
SHEET/FILE:

A1.0B
OF / SHEETS



- NEW WALL
- NEW WALL WITH R-13 INSULATION
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED

3 (E) ROOF PLAN
1/4"=1'-0"

6
5
4
3
2
1

DESIGNER
JRP DESIGN
5867 CARMEL WAY
UNION CITY, CA 94587
(510) 449-5647



OWNER:
Eddie Kuang
906 Central Ave
Alameda, CA 94501
Tel: (510) 213 0727

1711 Arbor St
Alameda, CA 94501

(E) PLANS

DRAWN:
CHECKED:
DATE: 02-11-24
SCALE: AS SHOWN
SHEET/FILE:

A1.1
OF / SHEETS

WINDOW SCHEDULE									
No.	ROOM		WINDOW TYPE		WINDOW MATERIAL		WINDOW SIZE		MUNTINS /GRIDS
	EXISTING	NEW	EXISTING	NEW	EXISTING	NEW	EXISTING W"xD"	NEW W"xD"	
1	BED		FIXED		WOOD		32x36		5/8x5/8
2	BED		FIXED		WOOD		32x60		5/8x5/8
3	KITCHEN		FIXED		WOOD		38x60		
4	KITCHEN		FIXED		WOOD		38x60		
5	BED		SINGLE HUNG		WOOD		30x54		
6	BATH		FIXED		WOOD		28x33		REUSED
7	KITCHEN		SINGLE HUNG		WOOD		36x52		
8	KITCHEN		SINGLE HUNG		WOOD		20x26		
9	TOILET		SINGLE HUNG		WOOD		16x36		
10	BED		SINGLE HUNG		WOOD		46x54		
11	BED		SINGLE HUNG		WOOD		46x54		
12	DINING		SINGLE HUNG		WOOD		34x54		
13	KITCHEN		SINGLE HUNG		FIBREX		36x46	5/8x5/8	
14	LIVING		SINGLE HUNG		FIBREX		36x60	5/8x5/8	
15	LIVING		SINGLE HUNG		WOOD		36x60		
16	BED		SINGLE HUNG		WOOD		36x60		
17	EXERCISE		SINGLE HUNG		WOOD		36x60		
18	EXERCISE		SINGLE HUNG		WOOD		36x60		
19	EXERCISE		SINGLE HUNG		WOOD		30x60		
20	BATH		SINGLE HUNG		WOOD		24x46		
20	EXERCISE		SINGLE HUNG		WOOD		36x60		

WINDOW SCHEDULE									
No.	ROOM		WINDOW TYPE		WINDOW MATERIAL		WINDOW SIZE		MUNTINS /GRIDS
	EXISTING	NEW	EXISTING	NEW	EXISTING	NEW	EXISTING W"xD"	NEW W"xD"	
21	STORAGE		SINGLE HUNG		WOOD		36x60		
22	STORAGE		SINGLE HUNG		WOOD		36x60		
23	OFFICE		SINGLE HUNG		WOOD		36x60		
24	BED		SINGLE HUNG		WOOD		36x60		
25	BATH		SINGLE HUNG		WOOD		24x46		
26	KITCHEN		SINGLE HUNG		WOOD		36x60		
27	KITCHEN		SINGLE HUNG		WOOD		36x60		
28	BED		SINGLE HUNG		WOOD		36x60		
29	BATH		SINGLE HUNG		WOOD		24x46		
30	BED		SINGLE HUNG		WOOD		36x60		
31	LAUNDRY		SINGLE HUNG		WOOD		30x60		
32	LAUNDRY		SINGLE HUNG		WOOD		36x60		
33	BATH		SINGLE HUNG		WOOD		24x46		
34	BATH		SINGLE HUNG		WOOD		36x46		
35	BED		SINGLE HUNG		WOOD		36x60		
36	LIVING		SINGLE HUNG		WOOD		36x60		
37	LIVING		SINGLE HUNG		WOOD		36x60		
38	DINING		SINGLE HUNG		WOOD		36x60		
39	DINING		FIXED		WOOD		28x33		REUSED

NOTE: ALL ESCAPE WINDOW MIN. NET OPENING 5.7 SF. MIN. OPENING HEIGHT 24" AFF ABOVE FINISH FLOOR AND WIDTH 20". SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR.

ABBREVIATION:

F AFF ABOVE FINISH FLOOR
SL DOUBLE HUNG
SH SINGLE HUNG
SLIDER

GENERAL NOTES:

- GRAZED SHOWER ENCLOSURE PANELS AND SHOWER DOOR TO BE TEMPERED.
- SHOWER AND TUB/SHOWER WALLS ARE TO BE SMOOTH, HARD, NON-ABSORBENT SURFACES OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72" ABOVE THE DRAIN INLET.
- EXTERIOR LANDING AT DOOR NOT TO BE MORE THAN 7/8" LOWER THAN EXTERIOR DOOR THRESHOLD.

UTILITY NOTES:

- (N) WATER LINE TO TAP ONTO (E) WATER LINE AT MAIN HOUSE, NO (N) WATER METER OR METER UPGRADE.
- (N) ELECTRICAL LINES TO CONNECT TO (E) ELECTRICAL SERVICE METER.
- (N) GAS PIPE TO CONNECT TO (E) MAIN HOUSE GAS LINE, NO (N) GAS METER OR SERVICE UPGRADE.
- (N) WASTE WATER AND SEWER LINE TO CONNECT TO (E) MAIN HOUSE SEWER AND WASTE LINES.

LIGHTING NOTES:

- INSTALL MOTION SENSOR SWITCH FOR KITCHEN AND BEDROOM LIGHTING FIXTURES.
- ALL NEW CIRCUITS ARE ARC FAULT PROTECTIVE.
- ALL RECESS CAN LIGHTS ARE IC RATED AND CERTIFIED AIR TIGHT.
- GRAZED SHOWER ENCLOSURE PANELS AND SHOWER DOOR TO BE TEMPERED.
- SHOWER AND TUB/SHOWER WALLS ARE TO BE SMOOTH, HARD, NON-ABSORBENT SURFACES OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72" ABOVE THE DRAIN INLET.
- EXTERIOR LANDING AT DOOR NOT TO BE MORE THAN 7/8" LOWER THAN EXTERIOR DOOR THRESHOLD.
- LL 125 VOLT, 15 AMP AND 20 AMP RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT PER CEC 406.11.

DESIGNER

JRP DESIGN
5867 CARMEL WAY
UNION CITY, CA 94587
(510) 449-5647



OWNER:

Eddie Kuang
906 Central Ave
Alameda, CA 94501

Tel: (510) 213 0727

1711 Arbor St
Alameda, CA 94501

(N) PLANS

DRAWN:

CHECKED:

DATE: 02-11-24

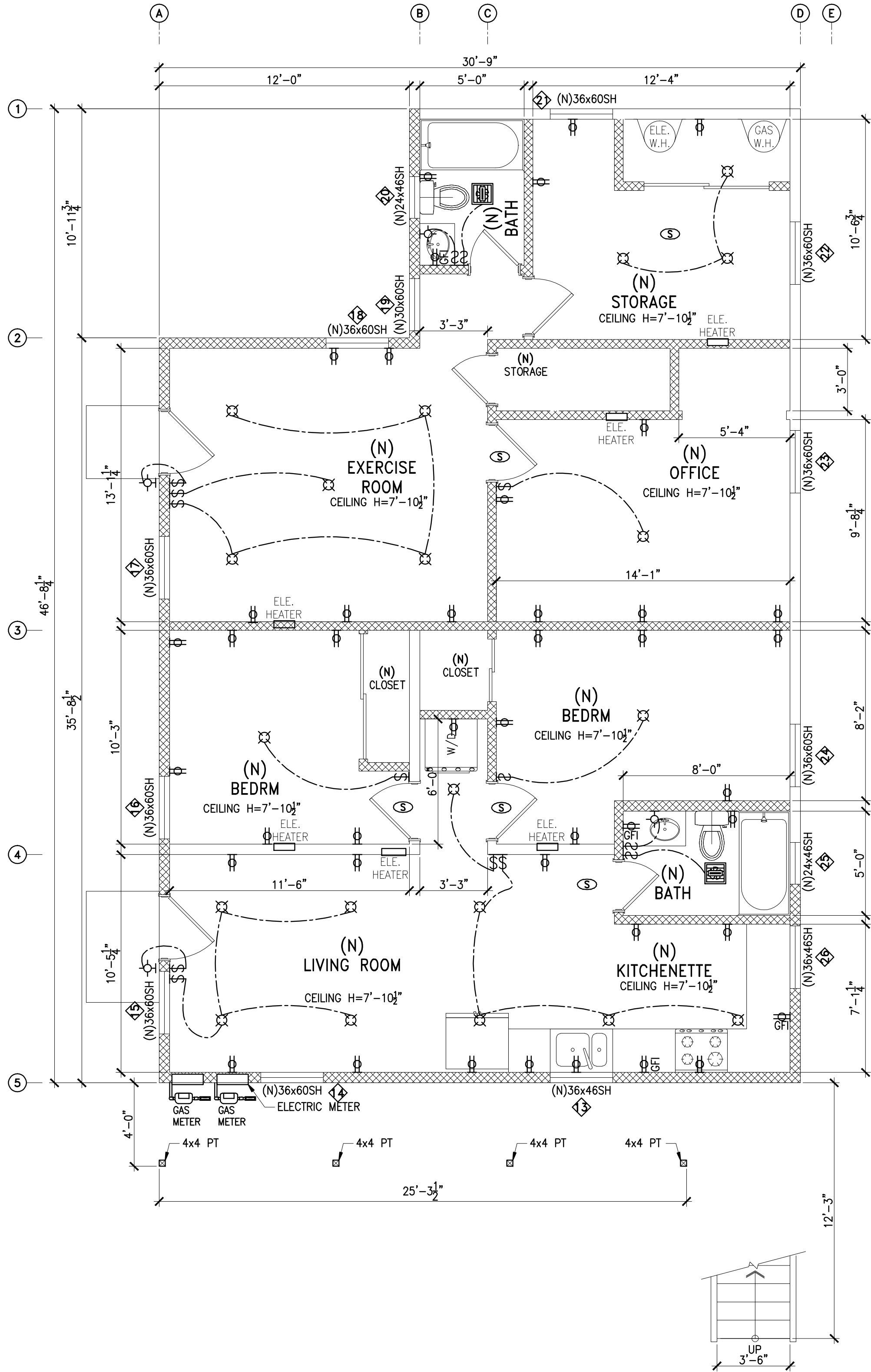
SCALE: AS SHOWN

SHEET/FILE:

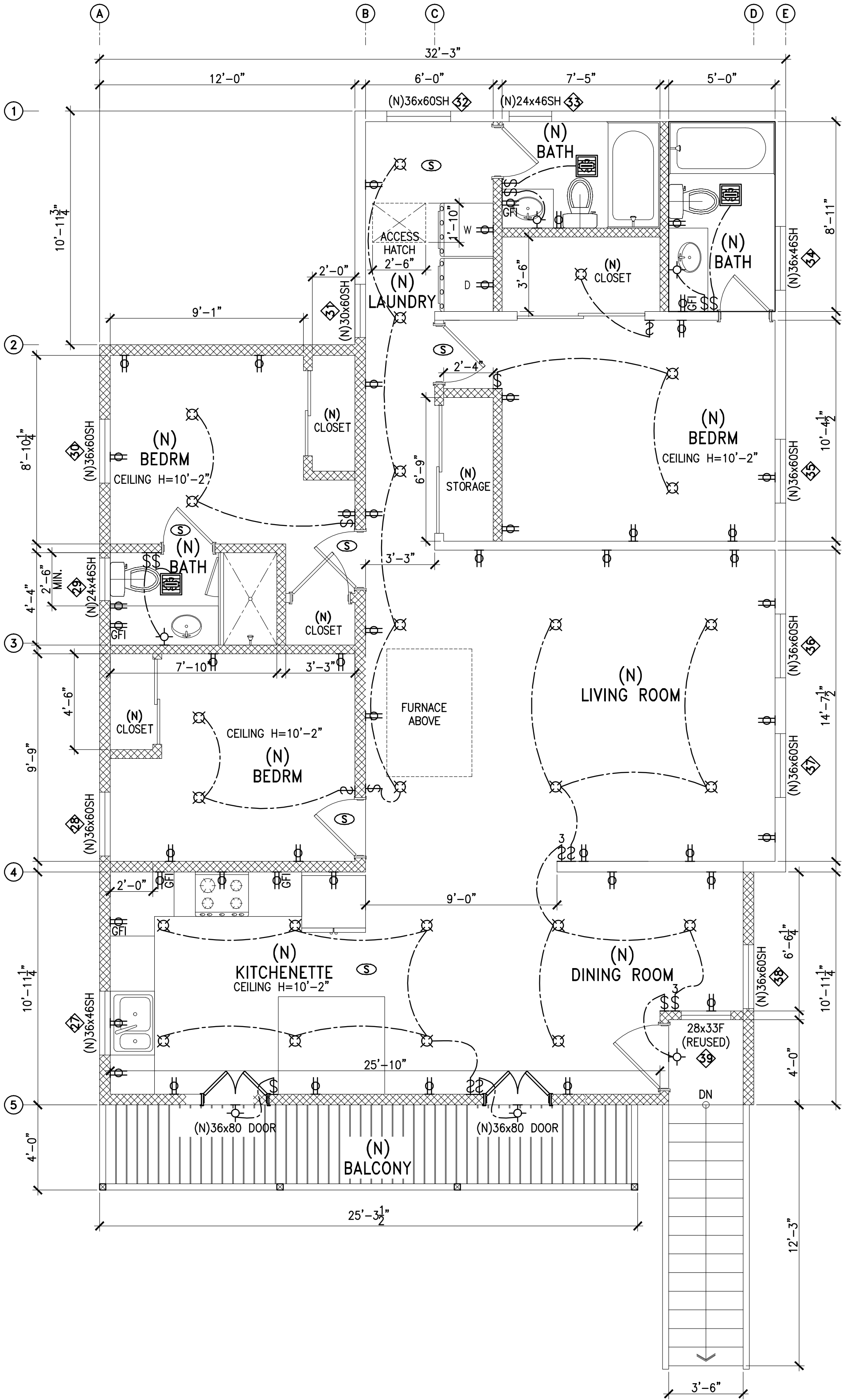
A1.2

OF

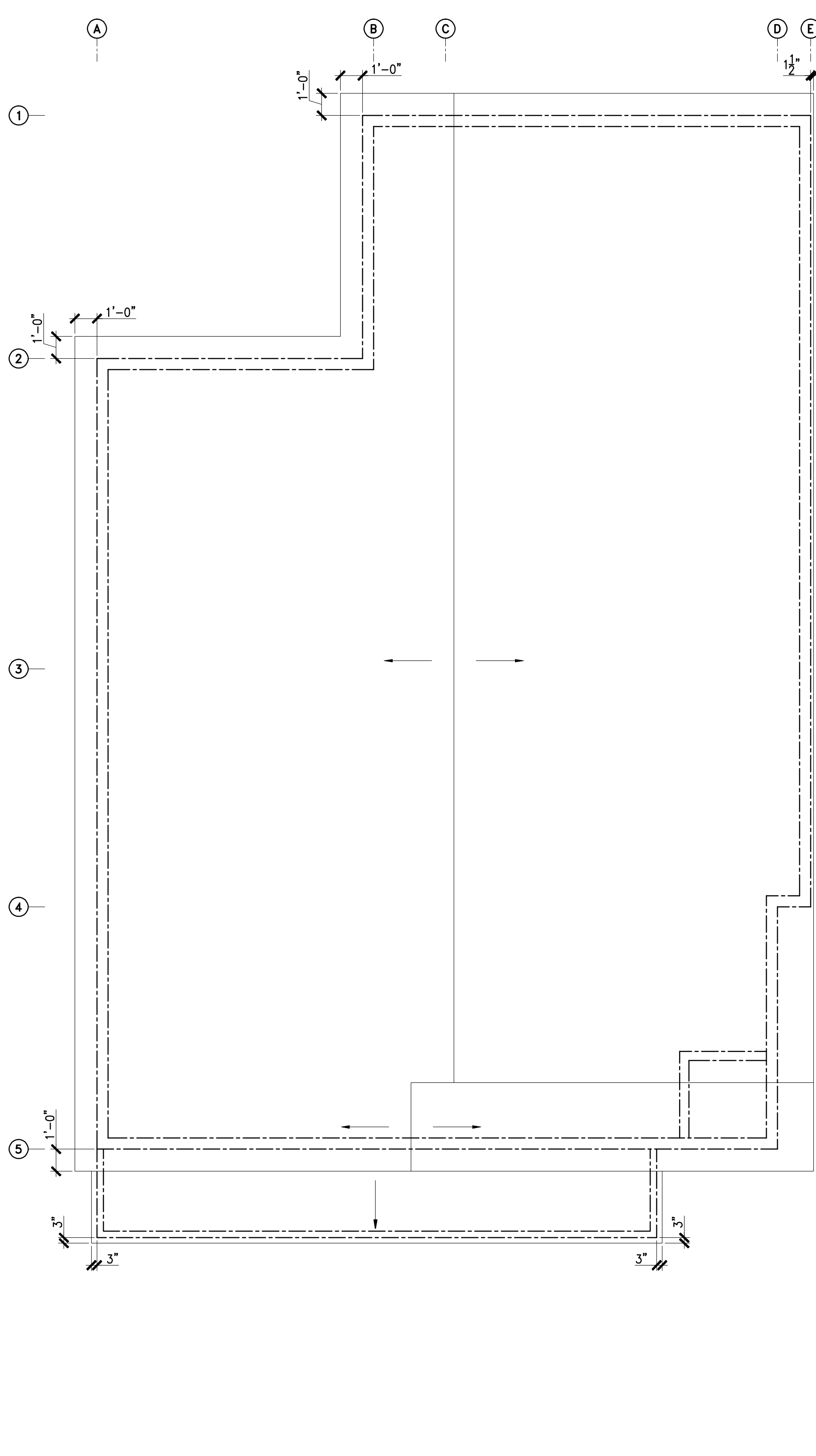
SHEETS



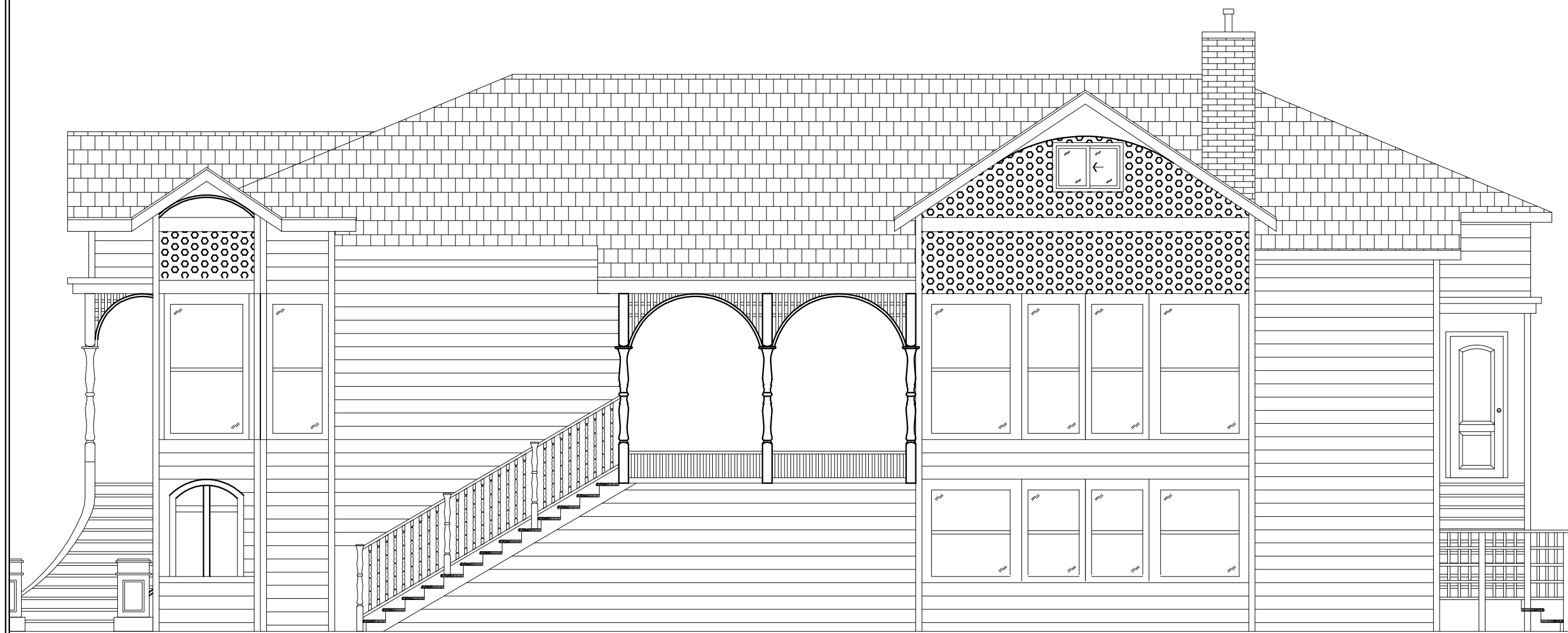
1 (N) 1ST FLOOR PLAN
1/4"=1'-0"



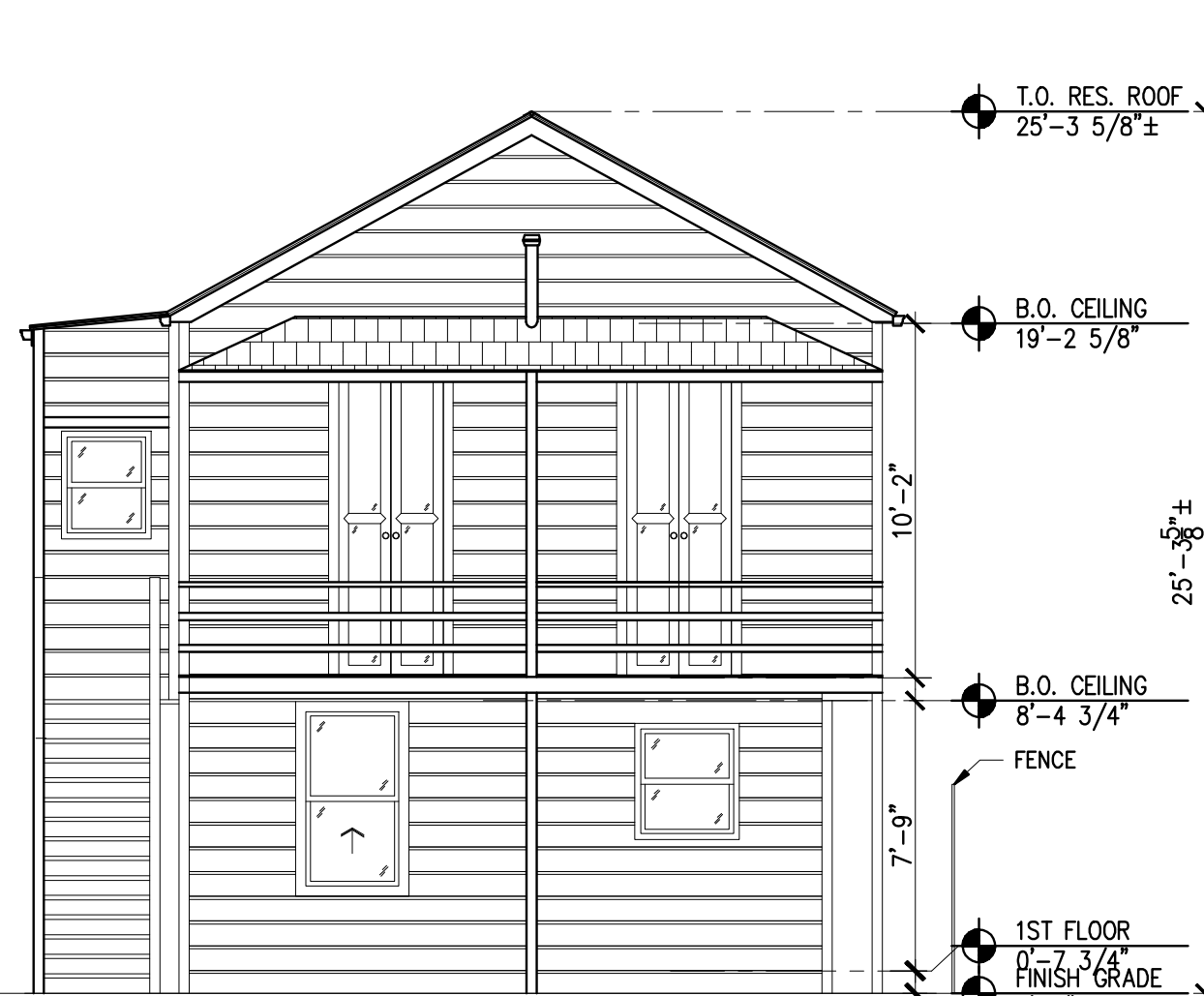
2 (N) 2ND FLOOR PLAN
1/4"=1'-0"



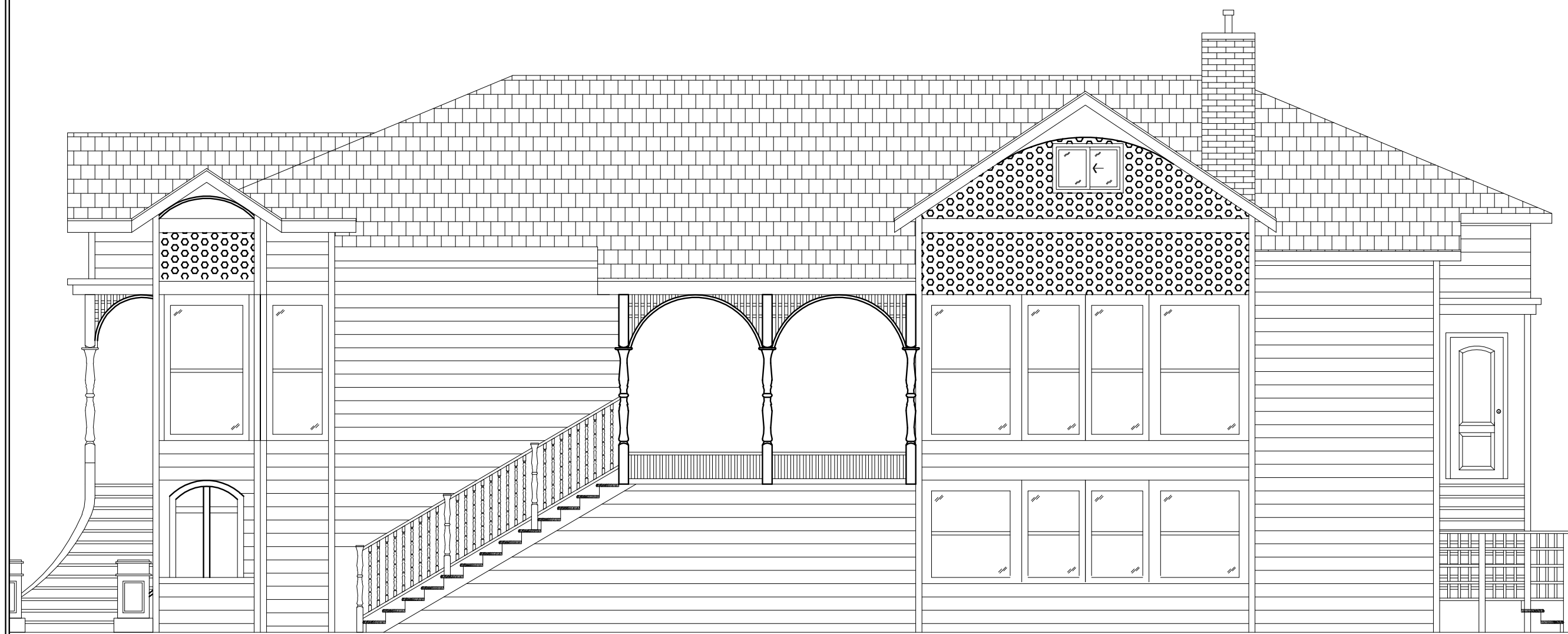
3 (N) ROOF PLAN
1/4"=1'-0"



FENCE



① (E) EAST ELEVATION
3/16"=1'-0"



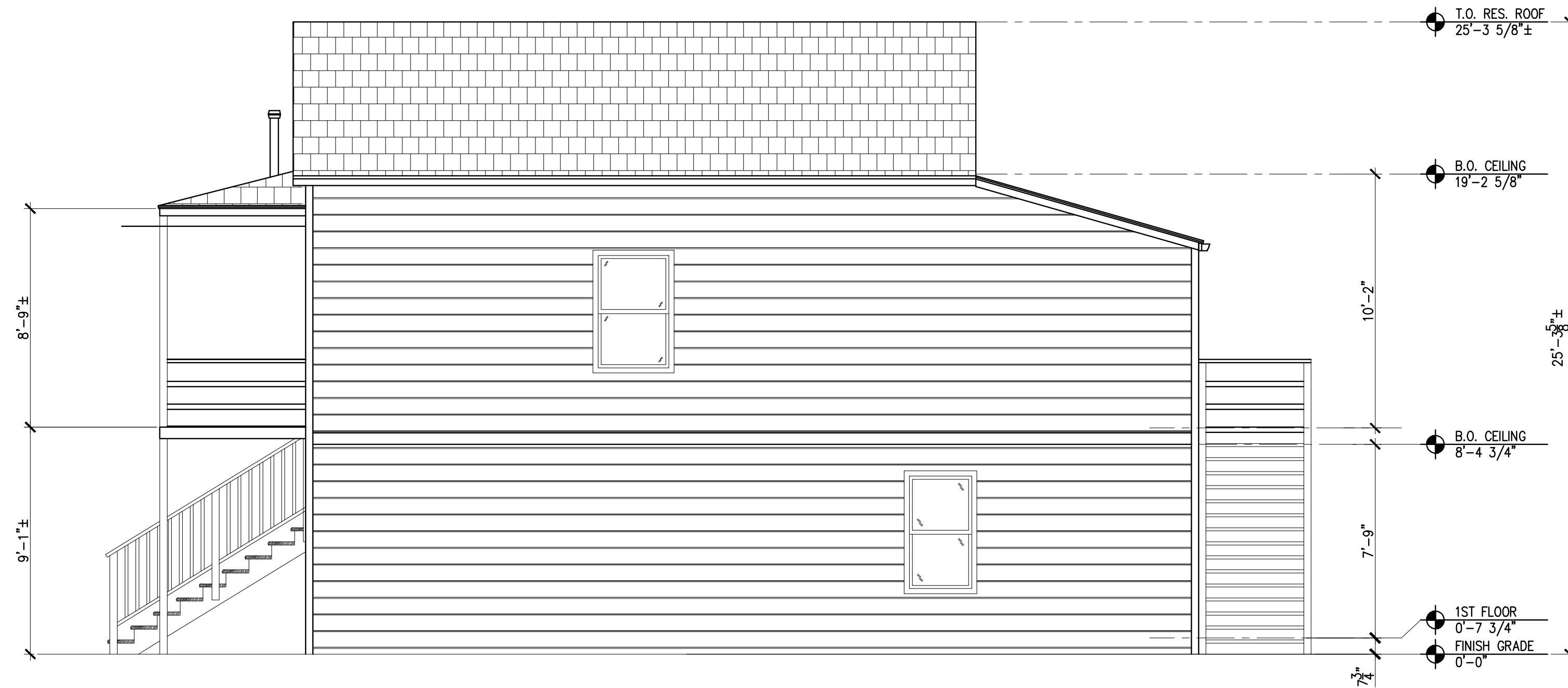
FENCE



③ (N) EAST ELEVATION
1/4"=1'-0"



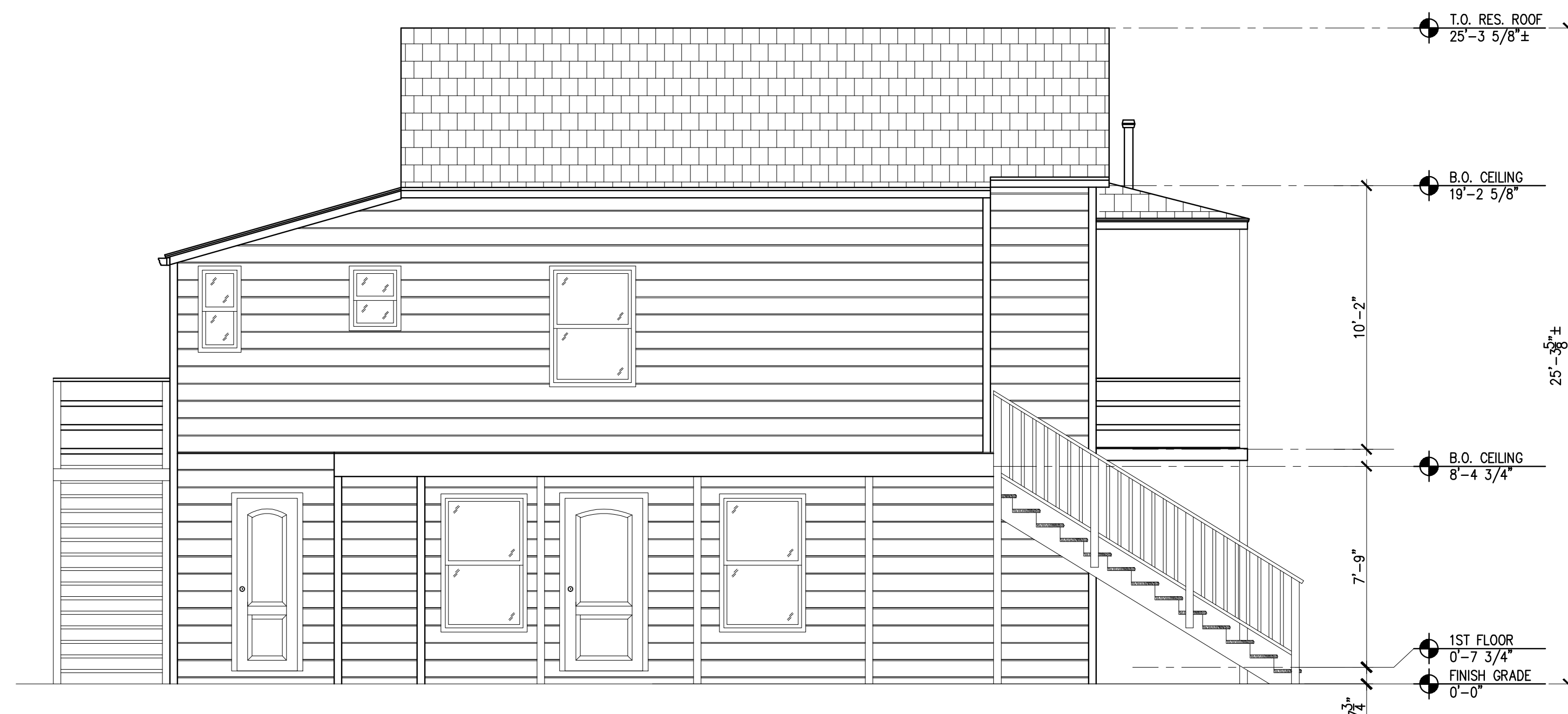
6		
5		
4		
3		
2		
1		
DESIGNER JRP DESIGN 5867 CARMEL WAY UNION CITY, CA 94587 (510) 449-5647		
		
OWNER:	1711 Arbor St Alameda, CA 94501	Tel: (510) 213 0727
ELEVATIONS		
DRAWN:		
CHECKED:		
DATE:	02-11-24	
SCALE:	AS SHOWN	
SHEET/FILE:	A2.0	
OF	/	SHEETS



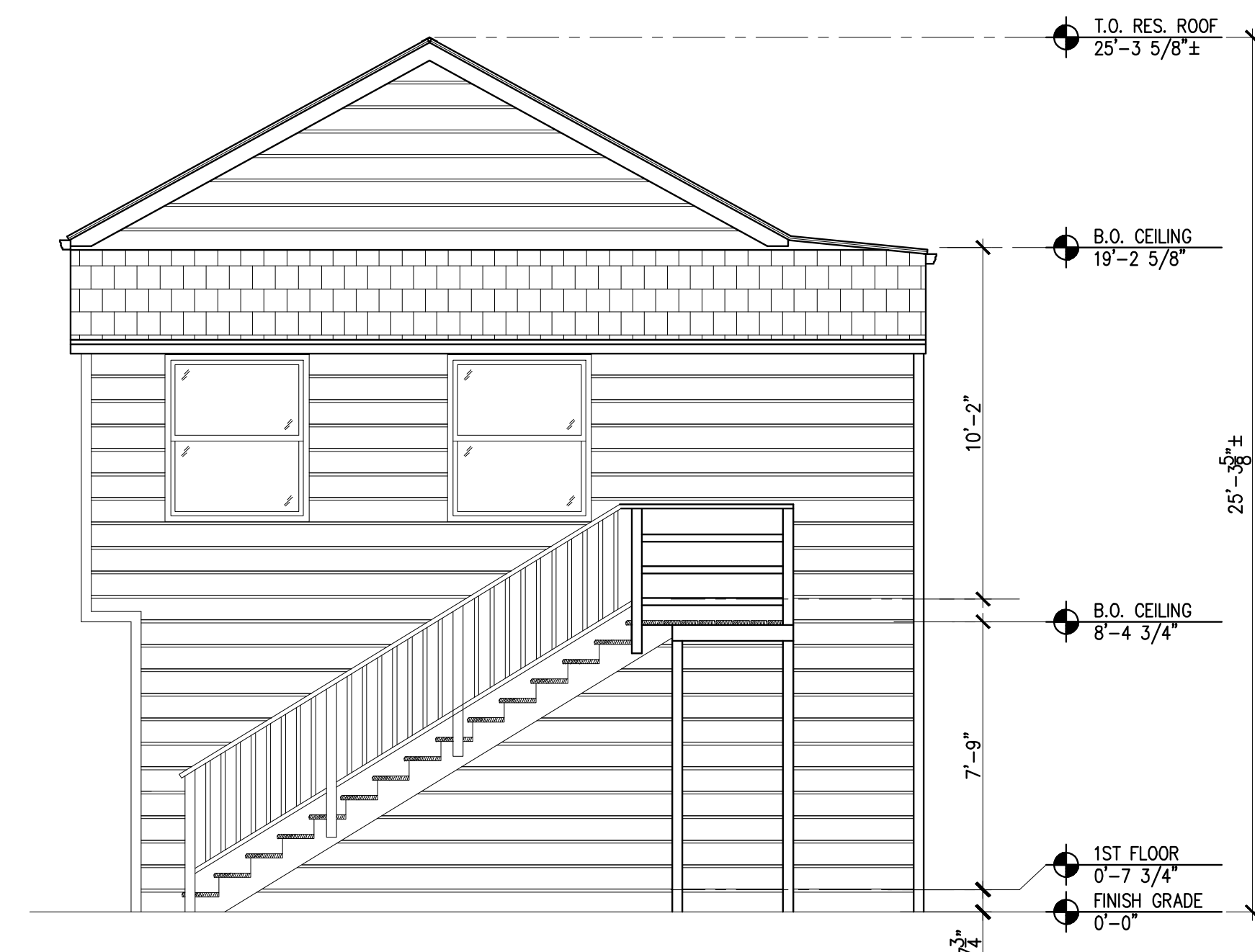
4 (E) NORTH ELEVATION
1/4"=1'-0"



3 (E) EAST ELEVATION
1/4"=1'-0"



2 (E) SOUTH ELEVATION
1/4"=1'-0"



1 (E) WEST ELEVATION
1/4"=1'-0"

6
5
4
3
2
1

DESIGNER
JRP DESIGN
5867 CARMEL WAY
UNION CITY, CA 94587
(510) 449-5647



OWNER:
Eddie Kuang
906 Central Ave
Alameda, CA 94501
Tel: (510) 213 0727

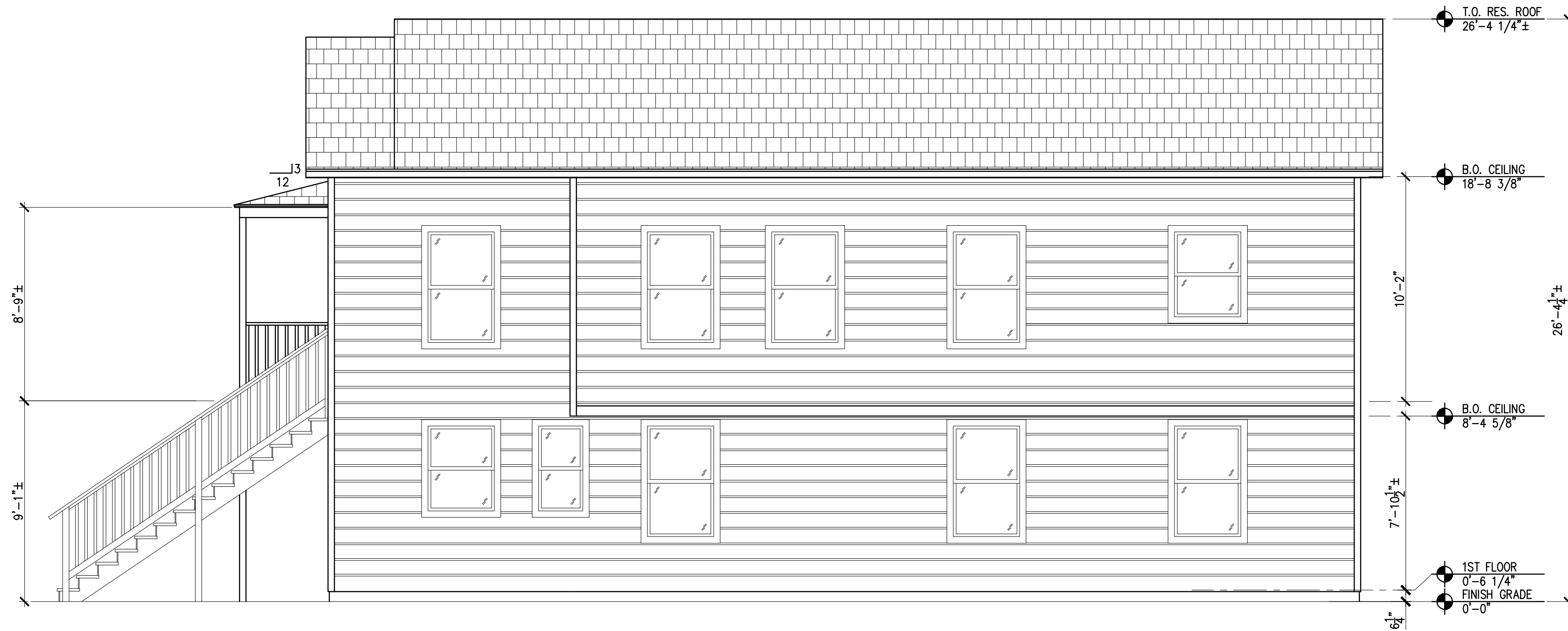
1711 Arbor St
Alameda, CA 94501

ELEVATIONS

DRAWN:
CHECKED:
DATE: 02-11-24
SCALE: AS SHOWN
SHEET/FILE:

A2.0A

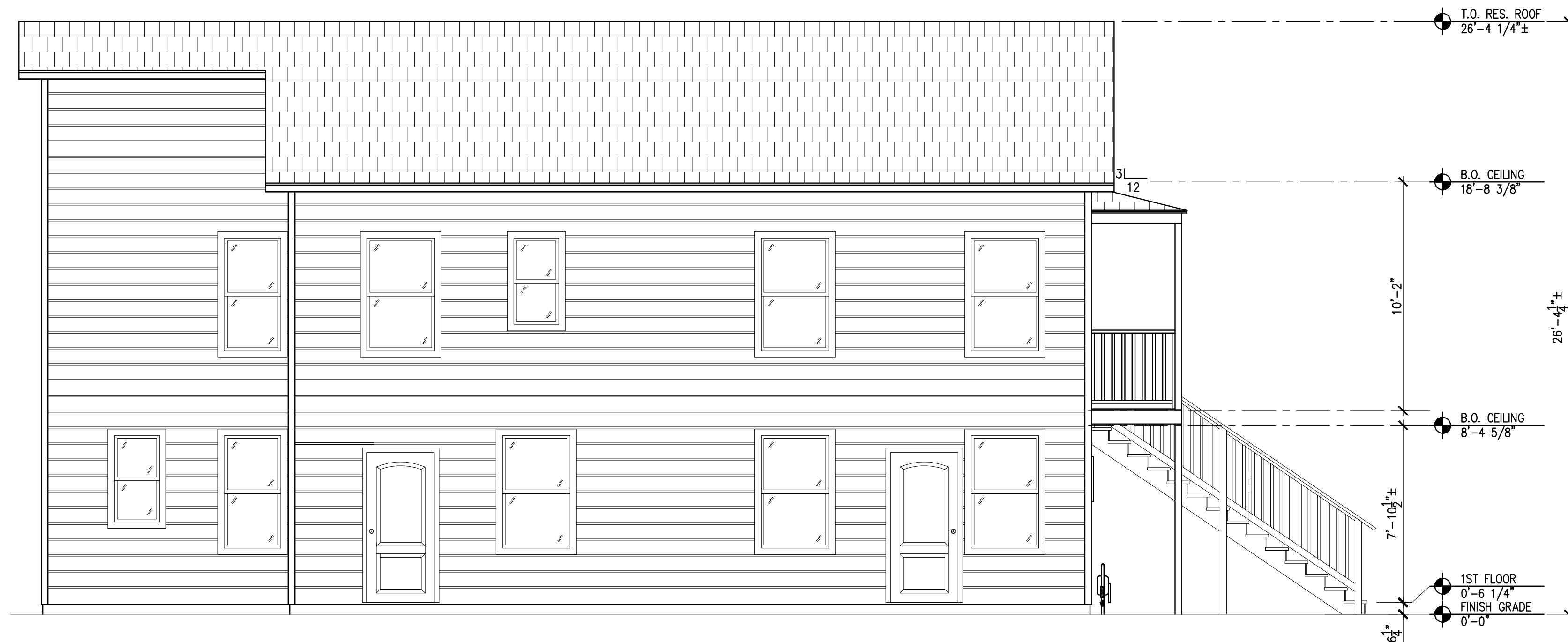
OF SHEETS



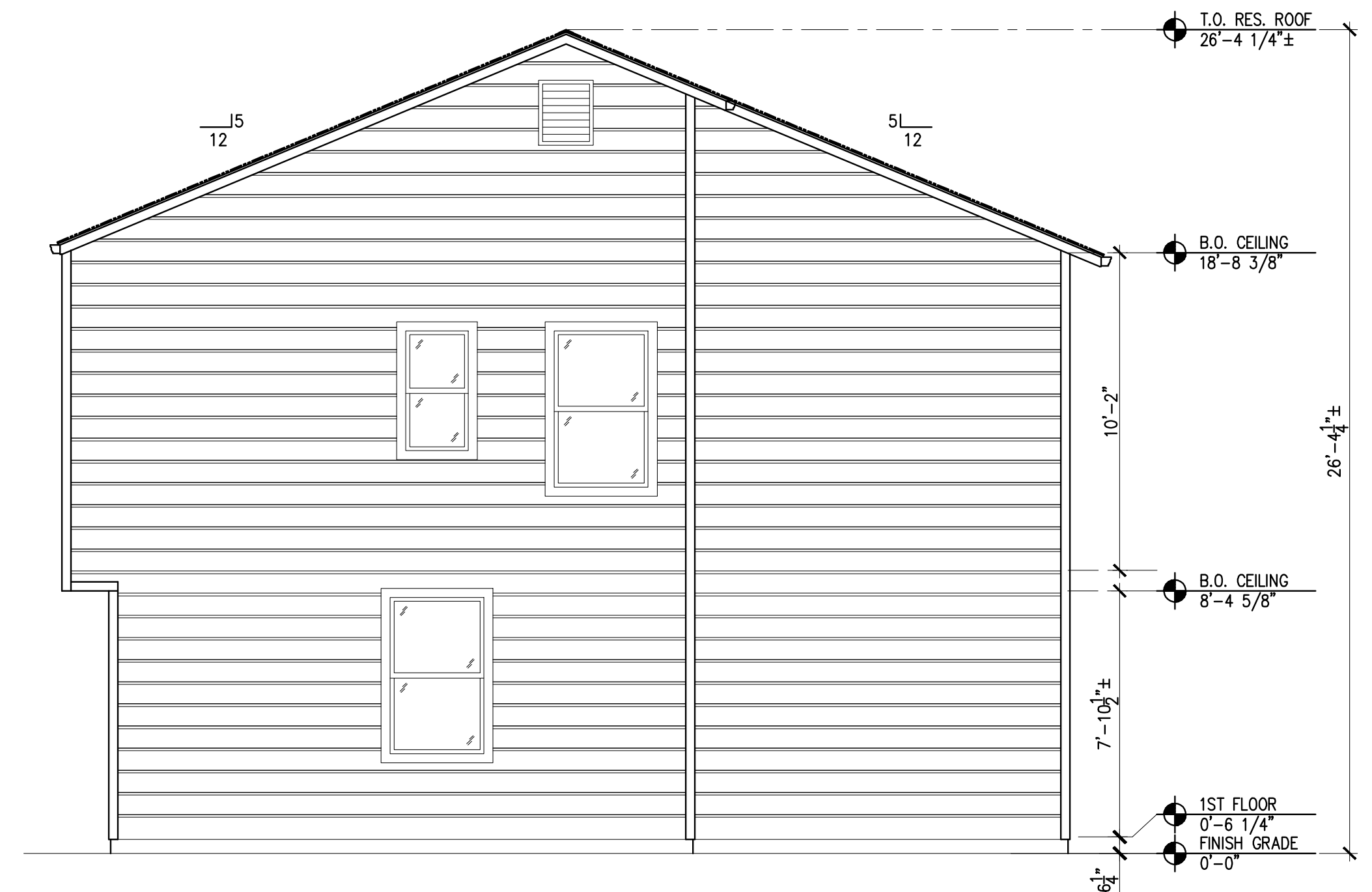
4 (N) NORTH ELEVATION
1/4"=1'-0"



3 (N) EAST ELEVATION
1/4"=1'-0"



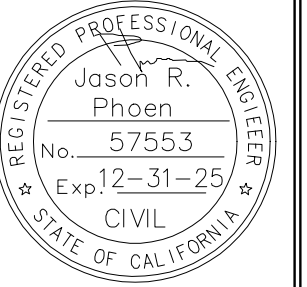
2 (N) SOUTH ELEVATION
1/4"=1'-0"



1 (N) WEST ELEVATION
1/4"=1'-0"

- 1
- 2
- 3
- 4
- 5
- 6

DESIGNER
JRP DESIGN
5867 CARMEL WAY
UNION CITY, CA 94587
(510) 449-5647



OWNER:
Eddie Kuang
906 Central Ave
Alameda, CA 94501
Tel: (510) 213 0727

1711 Arbor St
Alameda, CA 94501

ELEVATIONS

DRAWN:
CHECKED:
DATE: 02-11-24
SCALE: AS SHOWN
SHEET/FILE:

A2.1
OF SHEETS

[illegible]

1 BATH REFERENCE PLAN

NTS



2 _____

4'-6" MIN.

53" SHOWER DOOR

CONTROL VALVES AND SHOWER STALL HEAD ON SIDEWALL OF SHOWER COMPARTMENT

WATER CLOSET SHALL BE SET A 15" MIN. FROM F.S. CENTER TO ANY SIDEWALL (CPC 408.6)

1.2 GALLON PER FLUSH W/C

MEDICINE CABINET

266BHC

24" MIN.

20 AMP DEDICATED CIRCUIT

7'-0" MIN.

AVATORY

30"

6.5"

TILE FLOOR

LIGHT AND FAN

7 BATH REFERENCE PLAN

NTS



NTS

NOTE:

(F) TYP. OPENING IN EXTERIOR WALL ELEVATION

NTS



NTS

REGISTERED PROFESSIONAL ENGINEER
 Jason R. Phoen
 No. 57553
 Exp. 12-31-25
 CIVIL
 STATE OF CALIFORNIA

OWNER:
Eddie Kuang
906 Central Ave
Alameda, CA 94501
Tel: (510) 213 0727

1711 Arbor St
Alameda, CA 94501

DETAILS

DRAWN:
CHECKED:
DATE: 02-11-24
SCALE: AS SHOWN
SHEET/FILE:

A3.0