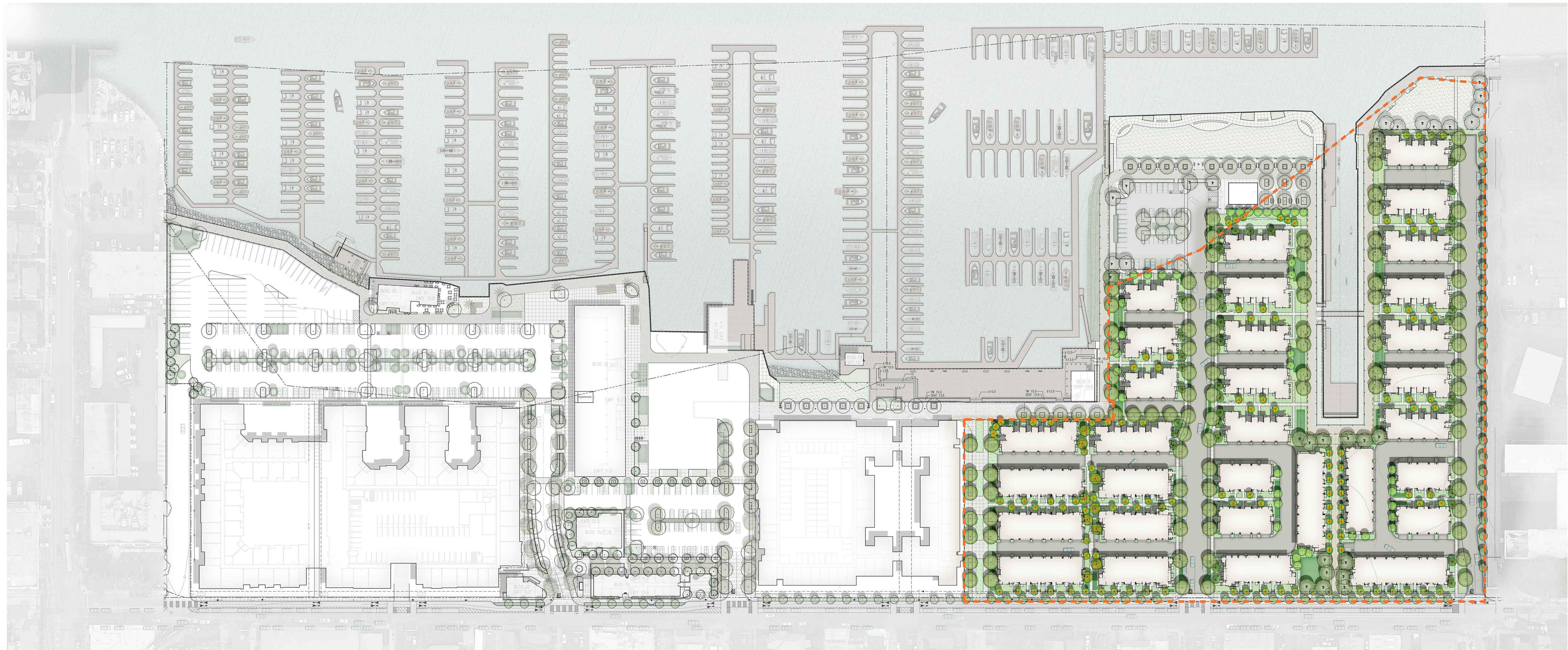


# ALAMEDA MARINA DEVELOPMENT

## DESIGN REVIEW SUBMITTAL - TOWNHOME



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ALAMEDA MARINA

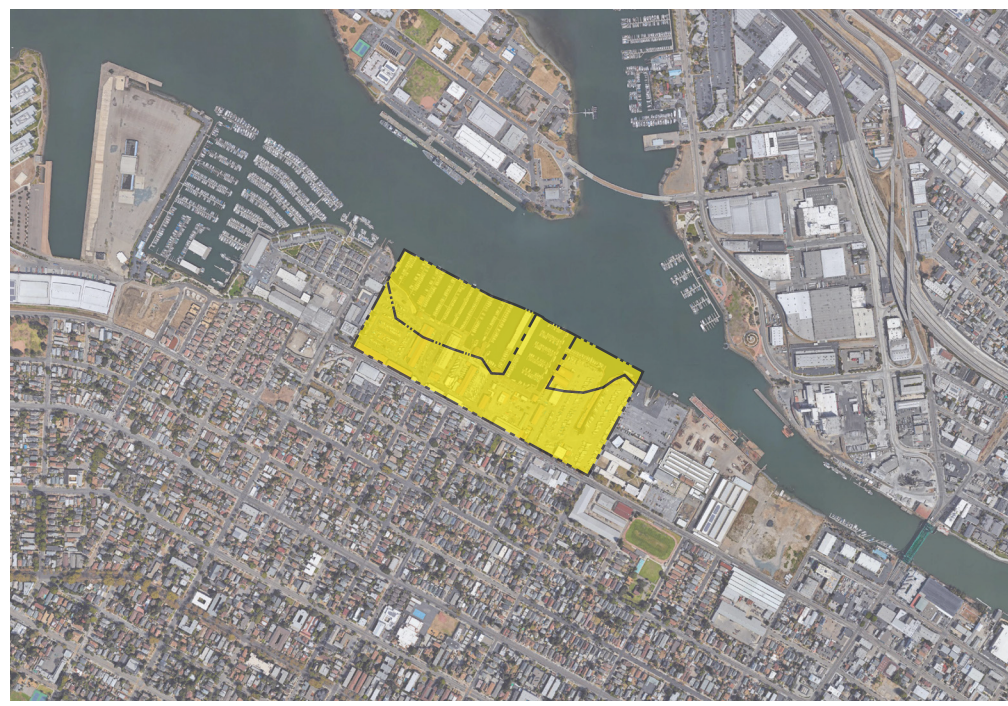
ALAMEDA MARINA TOWNHOMES  
ALAMEDA, CA # 2014-0798.01

DESIGN REVIEW  
NOVEMBER 25, 2019

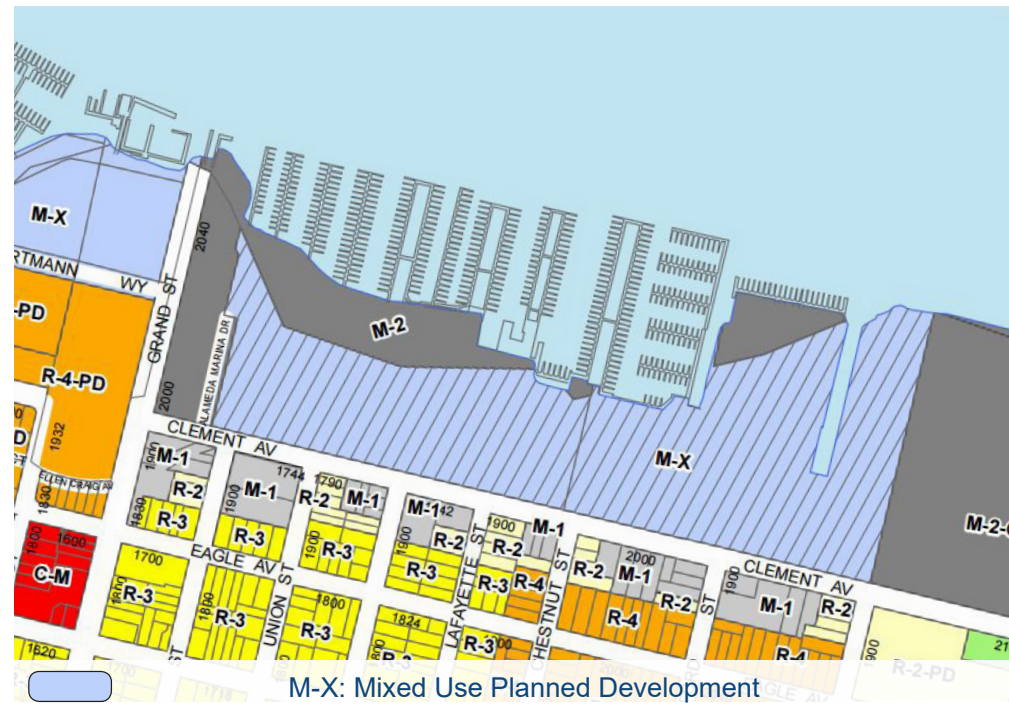
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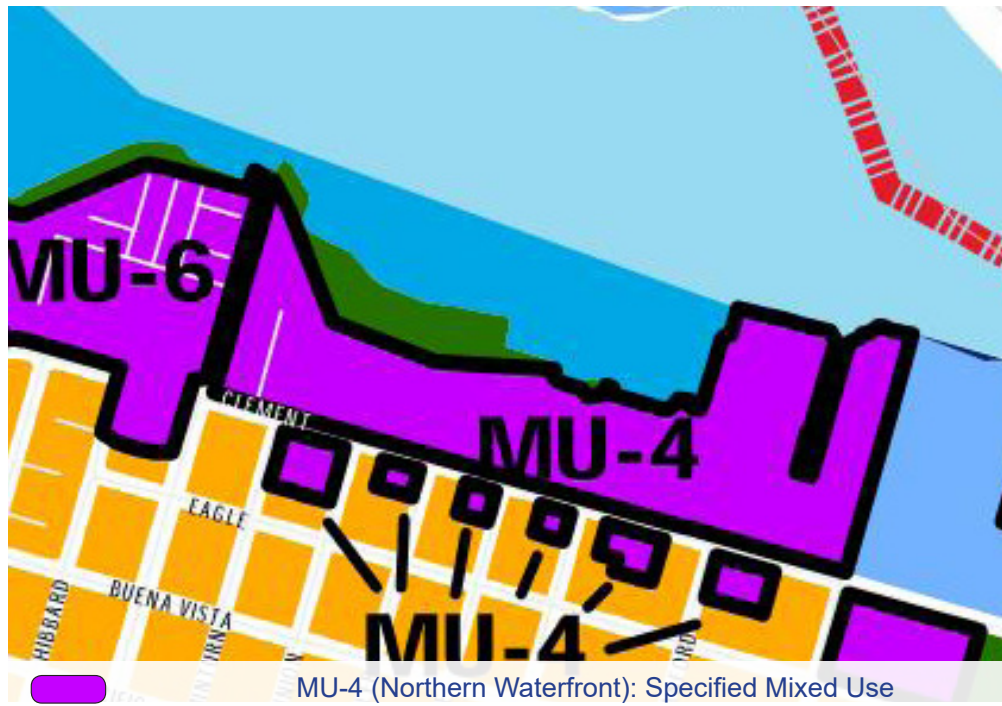




Vicinity Map



City Land Use Map



City General Plan Map

## 2012 2015 2016 2017 2018 2019

PSI & City of Alameda execute new 66-year Tidelands lease

1st of many stakeholder meetings held

Draft Master Plan submitted to City of Alameda

City of Alameda Planning Board workshop leads to 6 month long Planning Board Subcommittee session

March First BCDC DRB Meeting

May Revised Master Plan submitted

May Planning Board unanimously recommends Master Plan for approval by City Council

July City Council certifies the EIR and unanimously approves Master Plan

Aug BCDC Major Permit application submitted

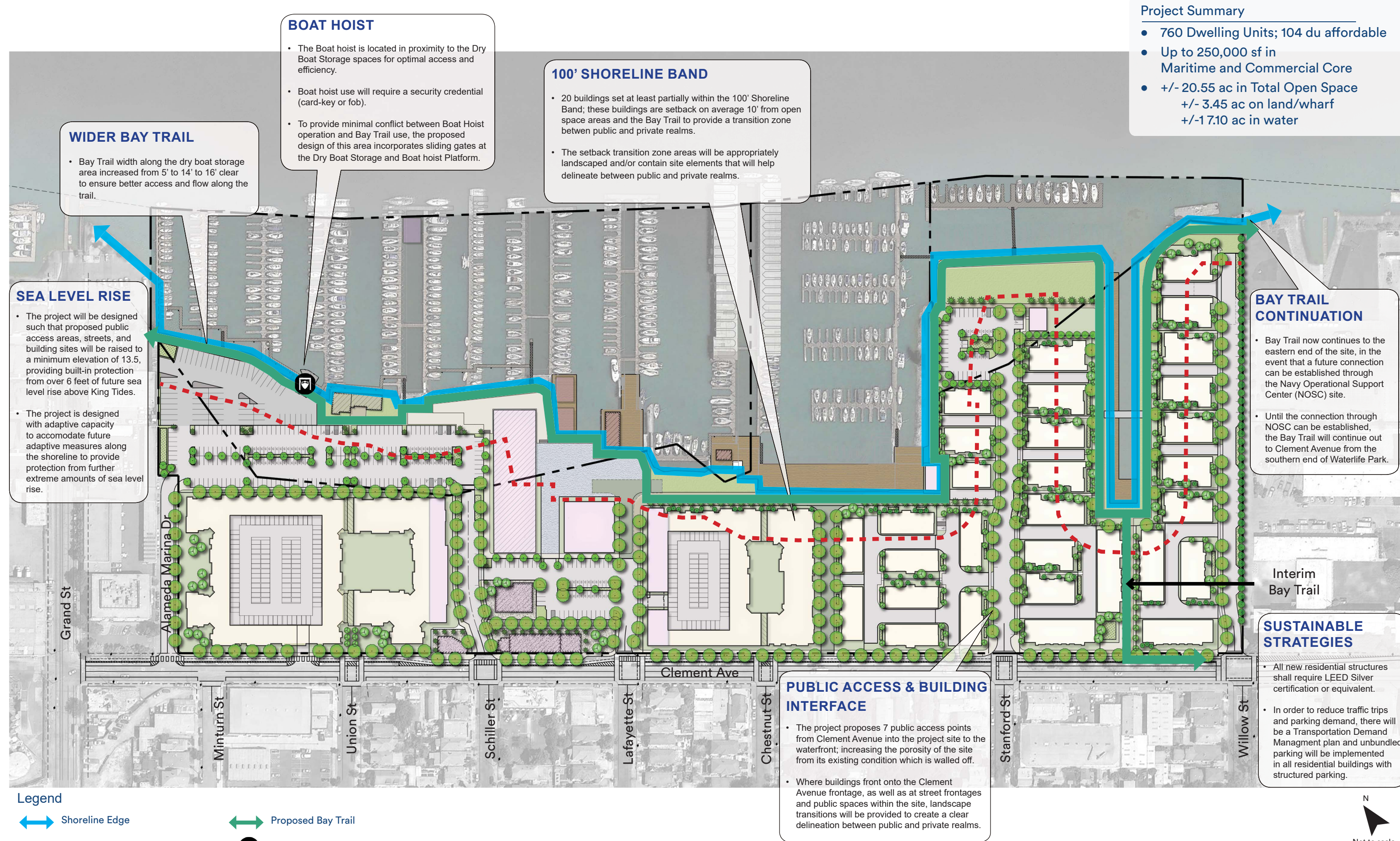
Sept Second BCDC DRB Meeting

Feb/Mar City of Alameda Planning Board Design Review : Open Space Development Plan

City of Alameda Historical Advisory Board

US Army Corps of Engineers: Interagency Meeting

## PROJECT TIMELINE BACKGROUND



## JULY 2018 CITY COUNCIL APPROVED MASTER PLAN



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ALAMEDA MARINA

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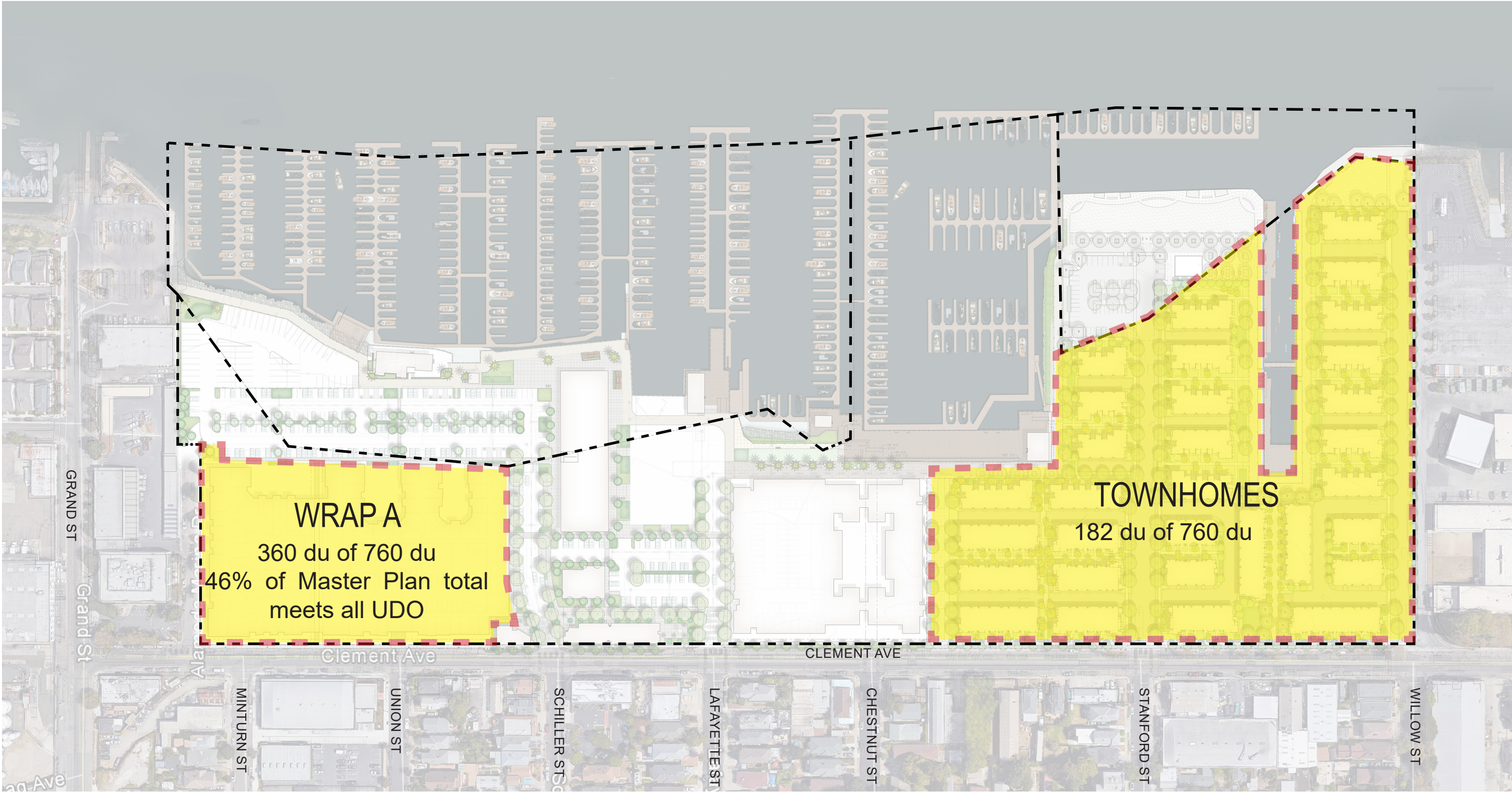
## MAY 2019 PLANNING BOARD APPROVED OPEN SPACE DEVELOPMENT PLAN

## MASTER PLAN OVERALL SITE PLAN: TOWNHOMES LOCATION

MASTER PLAN BACKGROUND

A0.0.0





UNIVERSAL RESIDENTIAL DESIGN ORDINANCE OF MASTER PLAN DIAGRAM

UNIVERSAL RESIDENTIAL DESIGN ORDINANCE (A.M.C 30-18)	MASTER PLAN	TOWNHOMES
<p>a. <i>Visitability.</i> To ensure that all new residential dwellings units subject to the provisions of this section meet the basic needs of a wide range of guests to enter and use critical portions of the home, all units subject to this section shall include the following features:</p> <ol style="list-style-type: none"><li>1. An accessible exterior access to an accessible entry;</li><li>2. An accessible interior access from the accessible entry to an accessible powder room, accessible common use room or an accessible bedroom, and adaptable internal stairs;</li><li>3. Blocking within the walls to support future installation of grab bar/hand rails in all bathrooms; and</li><li>4. If ground floor open space is provided, then an accessible path of travel to the open space shall be provided.</li></ol>	<p>The goal of the Master Plan is to have as many of the residential units meet visitability.</p>	<p>Currently 76% of the units proposed in the Townhomes neighborhood meet the all of 4 of the visitability requirements.</p> <p>See unit plan sheets for more detailed information.</p>
<p>b. <i>Universal Design.</i> To ensure that a share of all new dwelling units are usable by the greatest number of people with the widest reasonable range of abilities or disabilities, to the greatest extent feasible, thirty (30%) percent of all new residential units in a residential development of five (5) or more units shall include the following features:</p> <ol style="list-style-type: none"><li>1. An accessible exterior access to an accessible entry;</li><li>2. An accessible interior access from the accessible entry to an accessible bathroom, an accessible common use room, an accessible bedroom, accessible kitchen, accessible common or private open space; accessible laundry facility, and adaptable internal stairs;</li><li>3. In determining the number of universally designed units required by this subsection, any decimal fraction less than 0.5 shall be rounded down to the nearest whole number, and any decimal fraction of 0.5 or more shall be rounded up to the nearest whole number.</li></ol>	<p>Master Plan max unit total: 760 du</p> <p>Universal Design Units required: 760 du x 0.30 = 228 du</p> <p>Total Universal Design Units:</p> <ul style="list-style-type: none"><li>• Wrap A: 360 du</li><li>• Townhomes: 23 du</li><li>• Total: 383 du (50%)</li></ul>	<p>Total Townhome units: 23 du</p> <p>12% of the units proposed in Townhome neighborhood meet the Universal Design requirements; combined with the approved Wrap A building the total of Universal Design units is 50% of the allowed total in the Master Plan.</p>
<p>c. <i>Optional Features.</i> Any residential development that includes an on-site sales office in which a buyer may purchase a unit prior to completion of construction of the unit must offer buyers the opportunity to select and purchase additional universal design features from a pre-approved list of offered features. The seller of the residential dwelling units shall prepare a brochure or checklist of the additional universal design features and pricing for the features that will be offered. The brochure or checklist shall be reviewed and pre-approved by the Planning Board concurrently with the discretionary permits for the development. The office shall have an accessible exterior access to the primary entrance, and be fully accessible per the Americans with Disabilities Act (ADA).</p>	<p>N/A</p>	<p>Noted.</p>

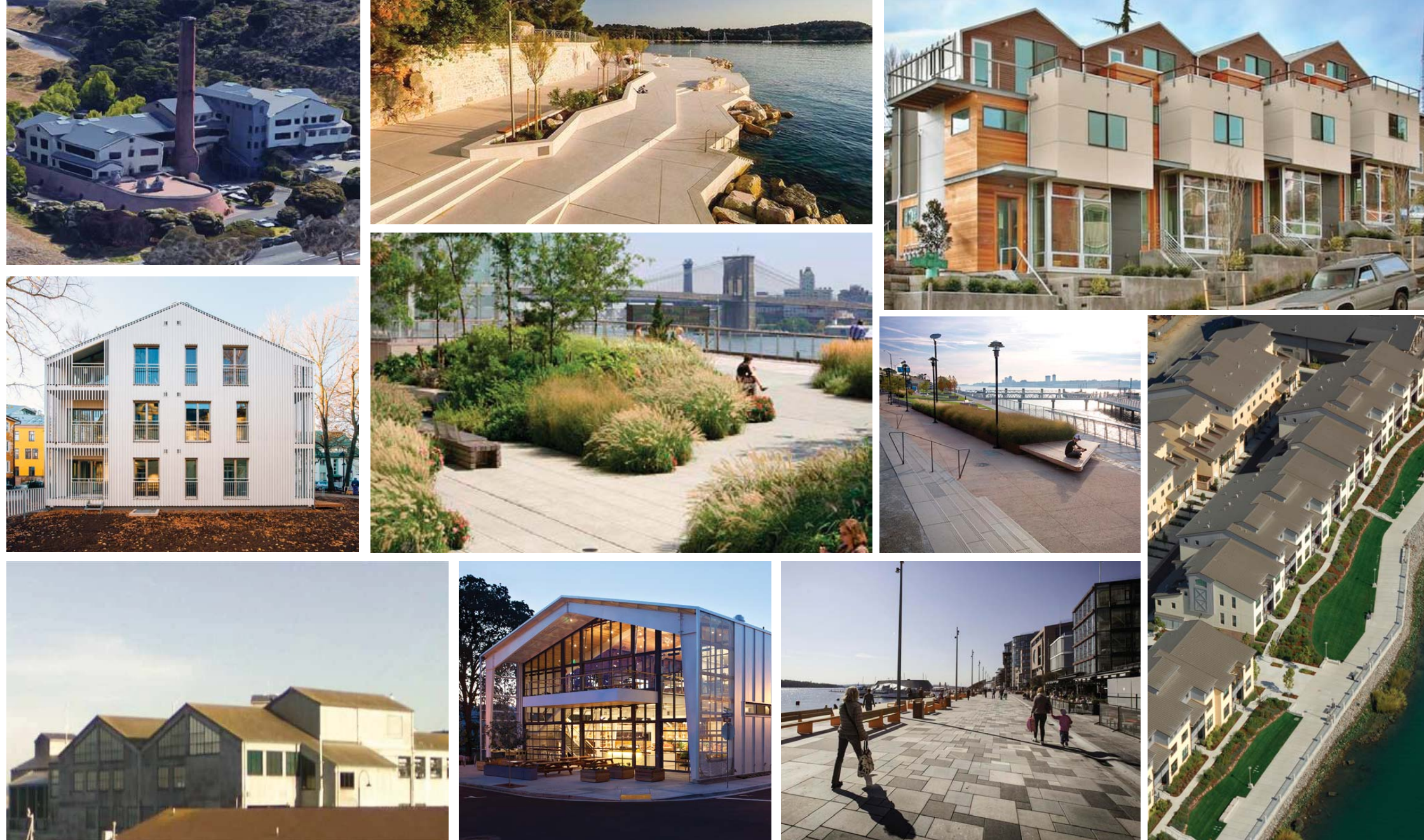




Exhibit 6.6 - Allowable Building Height Diagram

7 TYPOLOGIES AND DESIGN GUIDELINES

DESIGN CHARACTER IMAGERY



\*Building character example images are for reference only

TYPOLOGIES AND DESIGN GUIDELINES 7

DESIGN CHARACTER IMAGERY



\*Building character example images are for reference only

MASTER PLAN DESIGN CHARACTER IMAGERY



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ALAMEDA MARINA TOWNHOMES  
ALAMEDA, CA # 2014-0798.01

DESIGN REVIEW  
NOVEMBER 25, 2019

DEVELOPMENT STANDARDS INFO  
MASTER PLAN COMPLIANCE

A0.2.0

ALAMEDA MARINA MASTER PLAN DEVELOPMENT STANDARDS (CH.6)	PROPOSED
<b>VISUAL CORRIDOR:</b> Visual corridors from Clement to the waterfront through Wrap A and Wrap B will meet the following standards: <ul style="list-style-type: none"><li>Two-story, 20' wide</li></ul>	<b>VISUAL CORRIDOR:</b>  N/A
<b>BUILDING SETBACKS:</b> Clement Avenue: 12'-0" minimum Internal Street: 8'-0" minimum Internal Park: 10'-0" minimum	<b>BUILDING SETBACKS:</b> Clement Avenue: 15'-0" Internal Street: 8'-0" (along Stanford Street & Willow Street) Internal Park: 10'-0" to lawn near Building D; 14' to dog park
<b>BUILDING HEIGHT:</b> All new construction shall have a maximum height of 45' to 65', as height is defined in Chapter 30-2 of the Alameda Municipal Code, as shown on Alameda Master Plan exhibit 6.6.	<b>BUILDING HEIGHT:</b>  Maximum height : 38 feet
<b>PARKING:</b> Residential Parking: Each residential building with parking contained within a common shared structure shall provide a maximum of 1.5 spaces for each unit in the building. Townhomes are exempt from the Residential Parking provisions and may be constructed with an enclosed garage that holds a maximum of 2 cars, which will not be managed by the Parking Owner Operator (PO).  Unbundled parking will be implemented in all residential buildings with structured parking.  Non-Residential Parking: Approximately 348 public parking spaces shall be provided, managed and marked for use by marina patrons, maritime and commercial patrons, and open space users.	<b>PARKING:</b> Residential Parking: 182 du x 2.0 spaces = 364 spaces total in enclosed garages.          Non-Residential Parking: N/A



ALAMEDA MARINA MASTER PLAN BUILDING DESIGN GUIDELINES (CH.7.2)	PROPOSED
<p><b>SITING &amp; ORIENTATION:</b></p> <ul style="list-style-type: none"> <li>• Orient building fronts toward the streets, pedestrian promenades/paths, waterfront and other public spaces, wherever possible.</li> <li>• Establish a consistent alignment of building façades that frame the edges of the street, pedestrian promenades/paths and other public spaces. Street-level uses, primary building entries, storefronts and building lobbies must address the street frontage.</li> <li>• Where ground floor retail/commercial space exists a minimum of 70% of the frontage facing onto a street, paseo, or open space shall be at the property line or minimum setback.</li> <li>• Arrange buildings to create a variety of outdoor spaces such as courtyards, pathways and other common open space that encourage social activity and promote pedestrian connectivity.</li> <li>• Orient buildings to maximize views of the waterfront and open space.</li> <li>• Position buildings to optimize daylight access and resident privacy.</li> <li>• Consider passive solar design when locating windows and overhangs.</li> <li>• Design common outdoor spaces between buildings to be functional, provide appropriate amenities and site furnishing, and incorporate interpretive maritime elements at key locations.</li> </ul>	<p><b>SITING &amp; ORIENTATION:</b></p> <p>Buildings comply, see site plan A1.0.0</p> <p>Buildings comply, see site plan A 1.0.0</p> <p>Not applicable</p> <p>Buildings comply, see site plan A1.0.0</p> <p>Buildings comply, see site plan A1.0.0</p> <p>Buildings comply, see site plan A1.0.0</p> <p>Site design complies, see landscape plan</p>
<p><b>BUILDING DESIGN:</b></p> <ul style="list-style-type: none"> <li>• There shall be clear glazing facades with a minimum of 60% of the linear frontage (i.e. not height or area) at all retail/commercial buildings</li> <li>• Ground floors at retail/commercial buildings shall have a minimum glazing/opening height of 14’.</li> <li>• All ground floor retail space shall have a minimum height of 14’.</li> </ul>	<p><b>BUILDING DESIGN:</b></p> <p>Not applicable</p> <p>Not applicable</p> <p>Not applicable</p>
<p><b>ENTRIES:</b></p> <ul style="list-style-type: none"> <li>• Orient building entries toward public spaces such as streets, pedestrian promenades/paths, waterfront and other public spaces, whenever feasible.</li> <li>• Building entries shall be the prominent feature of the front façades.</li> <li>• Incorporate design features such as entry stoops, porches, awnings or other coverings, hedge landscaping, etc. scaled to a pedestrian level experience for residential buildings to differentiate between public and private spaces along the street.</li> <li>• Identify commercial building entrances by incorporating recessed entries, awnings and/or other distinct architectural elements.</li> </ul>	<p><b>ENTRIES:</b></p> <p>Buildings comply, see site plan A1.0.0</p> <p>Buildings comply, see building elevations A 2.1.0-A2.1.5 &amp; A 3.1.0-A3.1.5</p> <p>Buildings comply, see building elevations A 2.1.0-A2.1.5 &amp; A 3.1.0-A3.1.5</p> <p>Not applicable</p>
<p><b>MASSING &amp; ARTICULATION:</b></p> <ul style="list-style-type: none"> <li>• Building massing and form shall be appropriate to the architectural style.</li> <li>• Front building elevations and elevations facing streets, pedestrian promenades/paths, waterfront and other public spaces with public right of way less than 50’ shall include plane breaks/modulation on the upper stories to create a more pedestrian friendly scale. Offset forms may include vertical breaks between stories or horizontal breaks between spaces, and shall incorporate changes in materials and colors as appropriate to the building style. Stepped massing and layered wall planes may incorporate cantilevered masses or balconies, recessed masses or inset balconies, and volume spaces.</li> <li>• Ground-floor façades shall be designed using articulation and material/color variations to create a visually interesting and varied pedestrian experience.</li> <li>• Upper-floor façades shall be differentiated from the ground floor façades by a transition line, which may be in the form of an articulated trim course, a shallow recess or cantilever, a continuous balcony, or other means appropriate to the building style, accompanied by a change of window size/rhythm, materials, colors or textures.</li> <li>• Lower height elements, such as recessed massing above ground floor, porches, entry features, bay windows, etc., are encouraged to articulate massing, establish pedestrian scale and add variety to the streetscene.</li> <li>• Use projections to emphasize design features such as entries, primary windows or outdoor spaces. Projections may include, but are not limited to, awnings, balconies, window/door surrounds, bay windows or dormers, roof overhangs, shed roof elements and tower elements.</li> <li>• Long walls with no windows or entries shall be articulated by changes in plane and/or material to break up the monotonous planes.</li> </ul>	<p><b>MASSING &amp; ARTICULATION:</b></p> <p>Buildings comply, see building elevations A 2.1.0-A2.1.5 &amp; A 3.1.0-A3.1.5</p> <p>Buildings comply, see building elevations A 2.1.0-A2.1.5 &amp; A 3.1.0-A3.1.5</p> <p>Buildings comply, see building elevations A 2.1.0-A2.1.5 &amp; A 3.1.0-A3.1.5</p> <p>Waterside buildings have a strong rhythm of cantilevered bays that create a definitive transition. Landside buildings use a combination of bays and balconies to differentiate the upper floors from the ground floor.</p> <p>Buildings comply, see building elevations A 2.1.0-A2.1.5 &amp; A 3.1.0-A3.1.5</p> <p>Buildings comply, see building elevations A 2.1.0-A2.1.5 &amp; A 3.1.0-A3.1.5</p> <p>Buildings comply, see building elevations A 2.1.0-A2.1.5 &amp; A 3.1.0-A3.1.5</p>

ALAMEDA MARINA MASTER PLAN BUILDING DESIGN GUIDELINES (CH.7.2)	PROPOSED
<p><b>ROOF CONSIDERATIONS:</b></p> <ul style="list-style-type: none"> <li>• Roof form, ridgelines, pitch, materials and colors shall be compatible with the architectural style of the building.</li> <li>• Variety in roof forms and/or building/ridge heights is encouraged along the streets, pedestrian promenades/paths, waterfront, and other public spaces to provide visual interest.</li> <li>• Where flat roofs are used, the buildings are encouraged to have pronounced parapet treatments complementary to the design vocabulary of the building.</li> </ul>	<p><b>ROOF CONSIDERATIONS:</b></p> <p>The buildings are modern in their style and flat roofs are utilized, consistent with the style.</p> <p>Bay windows, corner projections, and other elements are used to provide varied heights and visual interest.</p> <p>Simple parapet edges are employed in the designs, consistent with a modern architectural language.</p>
<p><b>MATERIALS &amp; COLORS:</b></p> <ul style="list-style-type: none"> <li>• Incorporate a range of colors and materials that are complementary to the building's architectural style to produce diversity and provide visual interest.</li> <li>• Use durable, non-corrosive building materials that are appropriate to the marina environment, including, but are not limited to, stucco, wood, brick, tile, stone, metal and glass.</li> <li>• Buildings are encouraged to incorporate materials salvaged from the site.</li> <li>• The building color palette shall be appropriate to the waterfront environment and compatible with the existing environment. Variations in shade or tone that are reflective of nature can be used to enhance forms and heighten interest.</li> <li>• Changes in materials and colors shall occur at interior corners of the building façades.</li> </ul>	<p><b>MATERIALS &amp; COLORS:</b></p> <p>Buildings comply, see building elevations A 2.1.0-A2.1.5 &amp; A 3.1.0-A3.1.5</p> <p>Primary exterior building materials are stucco, fiber cement siding, and metal (railings, awnings, etc)</p> <p>not applicable</p> <p>Buildings comply, see building elevations A 2.1.0-A2.1.5 &amp; A 3.1.0-A3.1.5</p> <p>Buildings comply, see building elevations A 2.1.0-A2.1.5 &amp; A 3.1.0-A3.1.5</p>
<p><b>CORNER TREATMENTS:</b></p> <ul style="list-style-type: none"> <li>• Corner buildings are encouraged to have enhanced treatments on both street-facing sides, which may include wrap-around porches or balconies, recessed stories above the ground floor, feature windows, awnings, tower elements, or other façade detailing.</li> <li>• At corner buildings, primary facade materials and details shall wrap around to side elevations.</li> <li>• The primary entry to corner buildings are encouraged to be located at the corner.</li> </ul>	<p><b>CORNER TREATMENTS:</b></p> <p>Buildings comply, see building elevations A 2.1.0-A2.1.5 &amp; A 3.1.0-A3.1.5</p> <p>Buildings comply, see building elevations A 2.1.0-A2.1.5 &amp; A 3.1.0-A3.1.5</p> <p>Townhomes on the ends of buildings have their entries on the side of the building or on the corner</p>
<p><b>ALLEY TREATMENT:</b></p> <ul style="list-style-type: none"> <li>• Plane offsets and stepped massing (recessed or cantilevered) along the alleys are encouraged to provide visual interest and articulation.</li> <li>• Consider incorporating architectural projections such as balconies, bays, eaves or other elements.</li> <li>• Use similar material window trims, colors and appropriate details as the front elevation.</li> <li>• Residential buildings shall use enhanced garage door patterns or finishes that complement the building's design vocabulary, as appropriate.</li> <li>• Provide planting areas between garage doors where feasible to soften the alley environment.</li> </ul>	<p><b>ALLEY TREATMENT:</b></p> <p>Buildings comply, see building elevations A 2.1.0-A2.1.5 &amp; A 3.1.0-A3.1.5</p> <p>Buildings comply, see building elevations A 2.1.0-A2.1.5 &amp; A 3.1.0-A3.1.5</p> <p>Buildings comply, see building elevations A 2.1.0-A2.1.5 &amp; A 3.1.0-A3.1.5</p> <p>Buildings comply, see building elevations A 2.1.0-A2.1.5 &amp; A 3.1.0-A3.1.5</p> <p>Site design complies, see landscape plan</p>
<p><b>SURROUNDING AREA CHARACTER:</b></p> <ul style="list-style-type: none"> <li>• All new development should complement the building forms, architectural styles and landscape patterns of neighboring development. This may be accomplished through a combination of massing, materials, colors, or details.</li> <li>• New development should respect existing historic or potentially historic structures in the immediate area through the use of similar materials and proportions and the avoidance of overwhelming scale and visual obstruction.</li> <li>• Transitions between existing and new buildings should be gradual. The height and mass of new projects should not create abrupt changes from those of existing buildings.</li> </ul>	<p><b>SURROUNDING AREA CHARACTER:</b></p> <p>The architecture of the townhomes has been selected to be consistent with other buildings being propose on the site and also to be evocative of the history of the site and its maritime history.</p>



ALAMEDA MARINA MASTER PLAN BUILDING DESIGN GUIDELINES (CH.7.2)	PROPOSED
<b>SITE CHARACTER:</b> <ul style="list-style-type: none"><li>Natural amenities such as views, the Bay Trail, and similar features unique to the site shall be preserved and incorporated into development proposals, if feasible.</li><li>Some structures which are historic or are otherwise distinctive should also be preserved and incorporated into development proposals where feasible and appropriate.</li><li>Buildings should not back on to existing or potential amenities. High activity areas, such as building entries, restaurant dining areas, or major pedestrian routes should be oriented to create a connection between the amenity and the project.</li></ul>	<b>SITE CHARACTER:</b> <p>Site plan is compliant and consistent with the Master Plan. See site plan.</p> <p>The graving dock is incorporated into the site plan and is a major focal point of the site design</p> <p>Site design complies, see site plan A1.0.0</p>
<b>INTERFACES:</b> <ul style="list-style-type: none"><li>Loading areas, access and circulation driveways, trash, and storage areas and rooftop equipment should be located as far as possible from adjacent residence and should never be located next to residential properties without fully mitigating their negative effects.</li><li>Adjacent residential and non-residential uses should be as segregated as is necessary to maintain a livable residential environment by landscaping or building orientation and activity limitations</li><li>However, when adjacent residential and non-residential uses can mutually profit from connection rather than separation, applicable connective elements such as walkways, common landscaped areas, building orientation, and unfenced property lines should be employed, and are strongly encouraged.</li><li>Parking lots for commercial uses should have no access from or to an otherwise intact residential street and should be separated from the residential street.</li></ul>	<b>INTERFACES:</b> <p>Not applicable</p> <p>A landscape buffer is provided between residential units and the adjacent waterfront amenities. See landscape plan</p> <p>Site design complies, see site plan A1.0.0</p> <p>Site design complies, see site plan A1.0.0</p>
<b>FUNCTIONAL ELEMENTS:</b> <ul style="list-style-type: none"><li>Gutters and downspouts shall be integrated into the design of the building. Exposed gutters and downspouts must be colored to match or complement the surface to which they are attached.</li><li>Both roof-mounted and ground-mounted mechanical equipment such as air conditioning/heating equipment, pool/spa equipment, etc. (excluding solar panels) shall be screened from view of streets, pedestrian promenades/paths, and other public spaces.</li><li>Mechanical devices such as exhaust fans, vents and pipes shall be painted to match or compliment the colors of the surfaces to which they are attached.</li></ul>	<b>FUNCTIONAL ELEMENTS:</b> <p>Buildings comply, see building elevations</p> <p>Buildings shall comply, details will be provided</p> <p>Not applicable</p>
<b>REFUSE COLLECTION, SERVICE &amp; LOADING AREAS:</b> <ul style="list-style-type: none"><li>Locate loading and service areas or the rear or the side of the building away from primary street facades and public view, or screen such areas from public view.</li><li>Locate loading and service areas in a manner that minimize conflicts with pedestrian and vehicular circulation.</li><li>Outdoor refuse collection areas shall be enclosed and screened from view by walls or fences, and shall not be located adjacent to public streets.</li><li>Fences and walls that provide screening shall be designed as an integral part of the building design and be constructed of durable materials, with textures and colors that are complementary to the adjacent buildings.</li></ul>	<b>REFUSE COLLECTION, SERVICE &amp; LOADING AREAS:</b> <p>Not applicable</p>
<b>SUSTAINABLE STRATEGIES:</b> <p>All new residential structures shall require LEED Silver certification or equivalent as part of the project's sustainability vision implementation. Sustainable building techniques may include the use of recycled materials where appropriate, high efficiency energy standards, incorporation of renewable power generation.</p>	<b>SUSTAINABLE STRATEGIES:</b> <p>Building designs shall achieve a LEED Silver certification or equivalent</p>





WATERSIDE

- 4 PLEX\_ A COLOR SCHEME
- 4 PLEX\_ B COLOR SCHEME
- 5 PLEX\_ A COLOR SCHEME
- 5 PLEX\_ B COLOR SCHEME
- 6 PLEX\_ A COLOR SCHEME
- 6 PLEX\_ B COLOR SCHEME

LANDSIDE

- 5 PLEX\_ A COLOR SCHEME
- 5 PLEX\_ B COLOR SCHEME
- 7 PLEX\_ A COLOR SCHEME
- 7 PLEX\_ B COLOR SCHEME
- 8 PLEX\_ A COLOR SCHEME
- 8 PLEX\_ B COLOR SCHEME
- 9 PLEX\_ A COLOR SCHEME
- 9 PLEX\_ B COLOR SCHEME

PROJECT DATA

TOTAL UNITS: 182 du total

WATERSIDE SEE A2.1.0 -A2.8.0 for elevations, building plans and unit plans

CONSTRUCTION TYPE: TYPE VB  
OCCUPANCY: R-3 TOWNHOUSE  
FIRE SPRINKLER: NFPA 13D  
BUILDING HEIGHT: +/- 38'

BUILDING SUMMARY

Building	Plan 1	Plan 2	Plan 3	Plan 4	# of Bldg's	Total Units	%
4-Plex	0	2	1	1	3	12	14%
5-Plex	0	3	1	1	12	60	71%
6-Plex	0	4	1	1	2	12	14%
Total					17	84	100%

DETAILED UNIT SUMMARY

Unit Type	Description	# Unit Total	%	NSF*	Approx Net Total SF	*U.D.O		Private Open space			Garage		
						Visitability	**Accessibility	Porch (sf)	Deck (sf)	Roof Deck (sf)	total (sf)	Type	area(sf)
Plan 1	3 bd/3.5 ba	50	60%	2,132	106,600 sf	X			55	405	23,000	Side x Side	380
Plan 2	4 bd/3.5 ba	17	20%	2,545	43,265 sf	X			62	524	9,962	Side x Side	378
Plan 3	4 bd/3.5 ba	17	20%	2,670	45,390 sf	X	X		62	524	9,962	Side x Side	378
Sub-Total		84	100%		195,255 sf	84	17						
Average Unit Size		2,324.46	sf			100%	20%				42,924		

Garage Breakdown

	Total	%
Side x Side	84	100%
Tandem	0	0%

LANDSIDE

SEE A3.1.0 -A3.10.0 for elevations, building plans and unit plans

CONSTRUCTION TYPE: TYPE VB  
OCCUPANCY: R-2 CONDOMINIUM  
FIRE SPRINKLER: NFPA 13  
BUILDING HEIGHT: +/- 38'

BUILDING SUMMARY

Building	Plan 1	Plan 2	Plan 3	Plan 4	Plan 5	Plan 6	Plan 7	# of Bldg's	Total Units	%
5-Plex	2			1	1	2		4	20	20%
7-Plex	2	1	1	1	1		1	4	28	29%
8-Plex	3			2	1	2		4	32	33%
9-Plex	4			2	1	1	1	2	18	18%
Total								14	98	100%

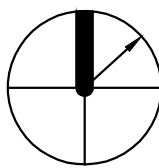
DETAILED UNIT SUMMARY

Unit Type	Description	# Unit Total	%	NSF*	Approx Net Total SF	*U.D.O		Private Open space			Garage			
						Visitability	**Universal Design Accessible	Porch (sf)	Deck (sf)	Private Roof Deck (sf)	Total (sf)	Garage	Garage (sf)	
Plan 1	2bd/2.5 ba	36	37%	1,462	52,632 sf				66		2,376	Tandem	474	
Plan 2	2bd/2.5 ba	4	4%	1,438	5,752 sf				67	250	1,268	Tandem	410	
Plan 3	2bd/2.5 ba	4	4%	1,575	6,300 sf				57	400	1,828	Tandem	526	
Plan 4	2bd/Den/3.5 ba	16	16%	1,772	28,352 sf	X			67	-	1,072	Side x Side	429	
Plan 5	3bd/3.5 ba	14	14%	2,055	28,770 sf	X			68	280	4,872	Side x Side	404	
Plan 6	3bd/3.5 ba	18	18%	2,140	38,520 sf	X			110	58	200	6,624	Side x Side	367
Plan 7	3bd/3.5 ba	6	6%	2,328	13,968 sf	X			83	48	200	1,986	Side x Side	367
Sub-Total		98	100%		174,294 sf	54	6				20,026			
Average Unit Size		1,779	100%			55%	6%							

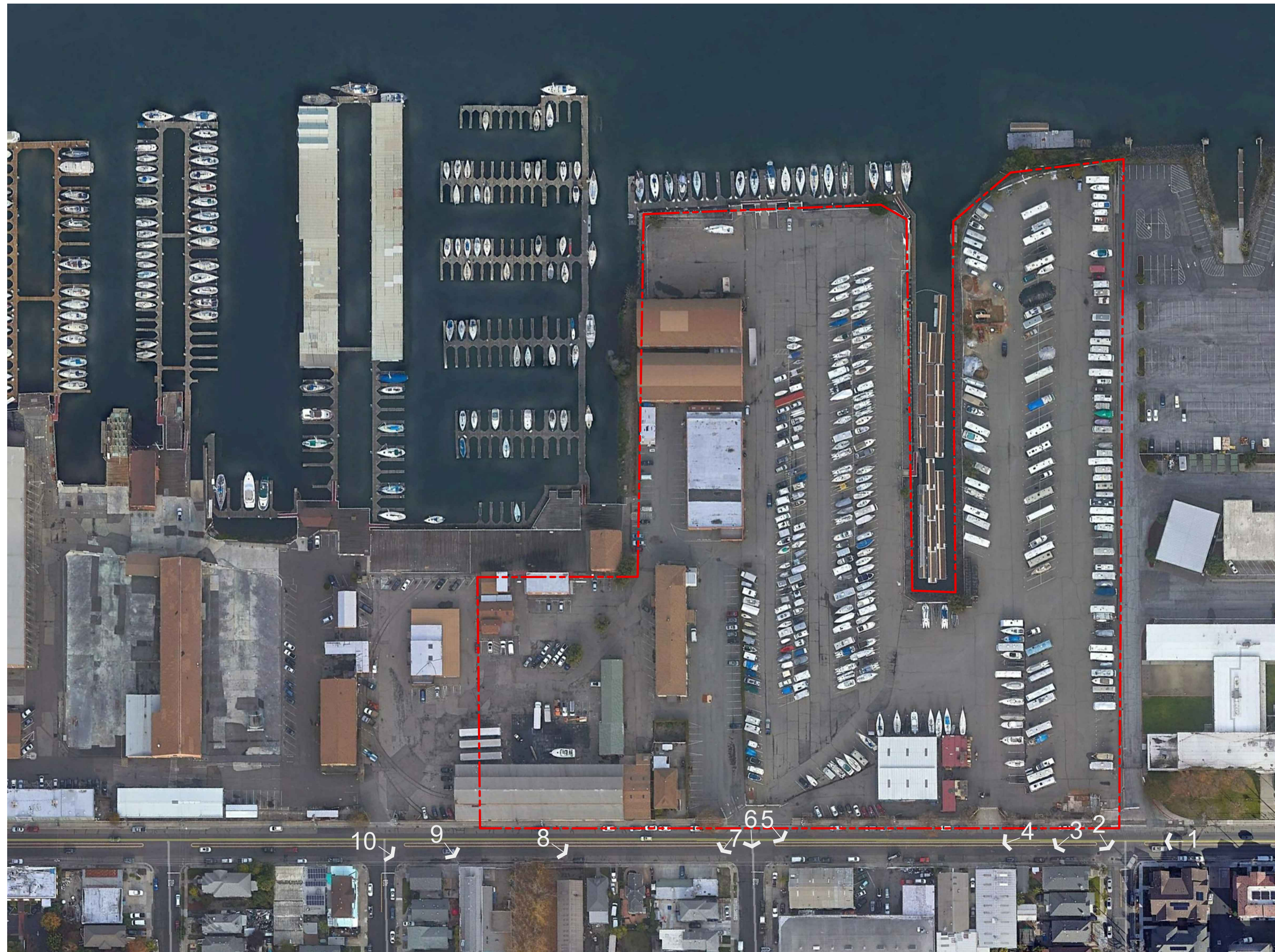
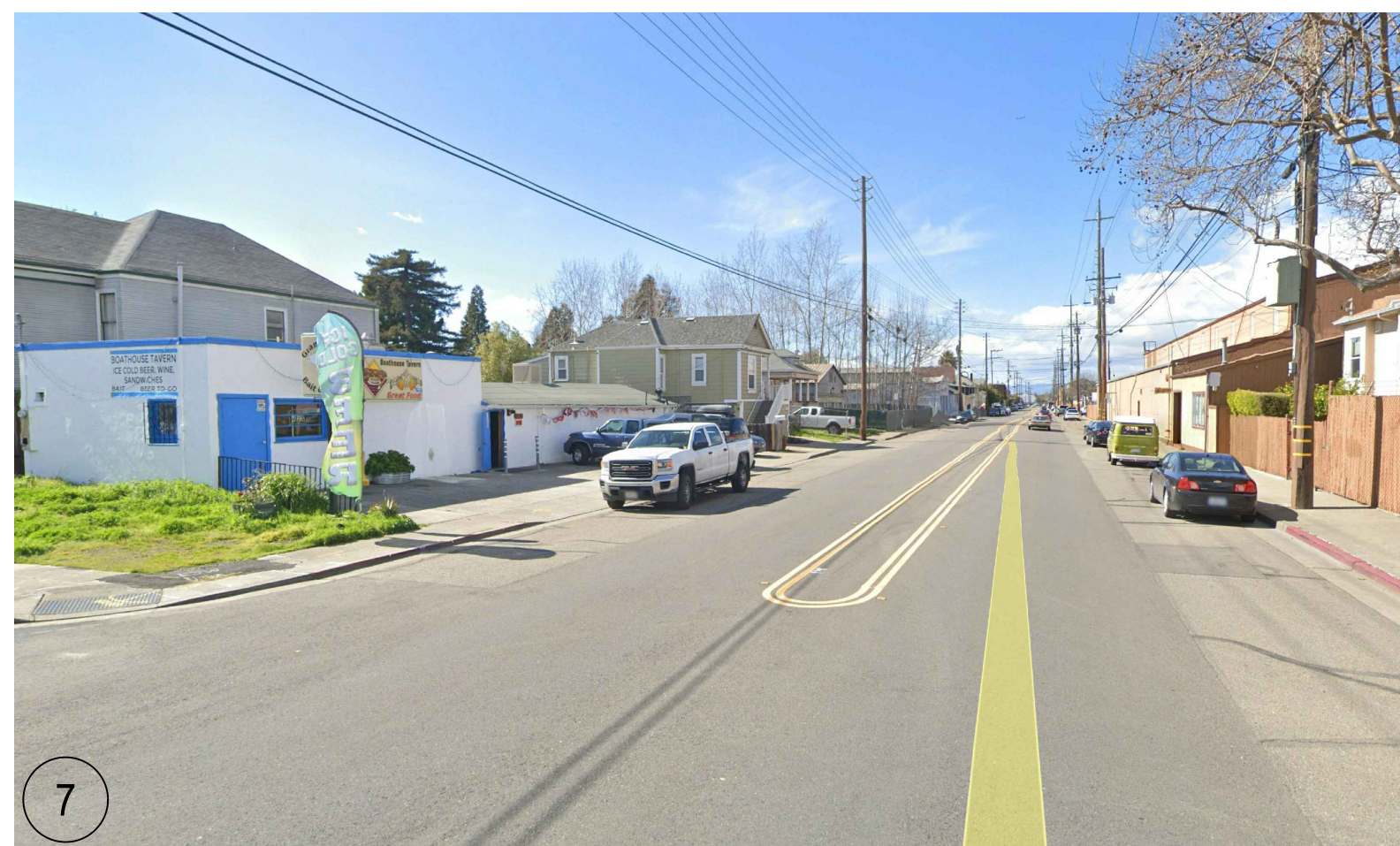
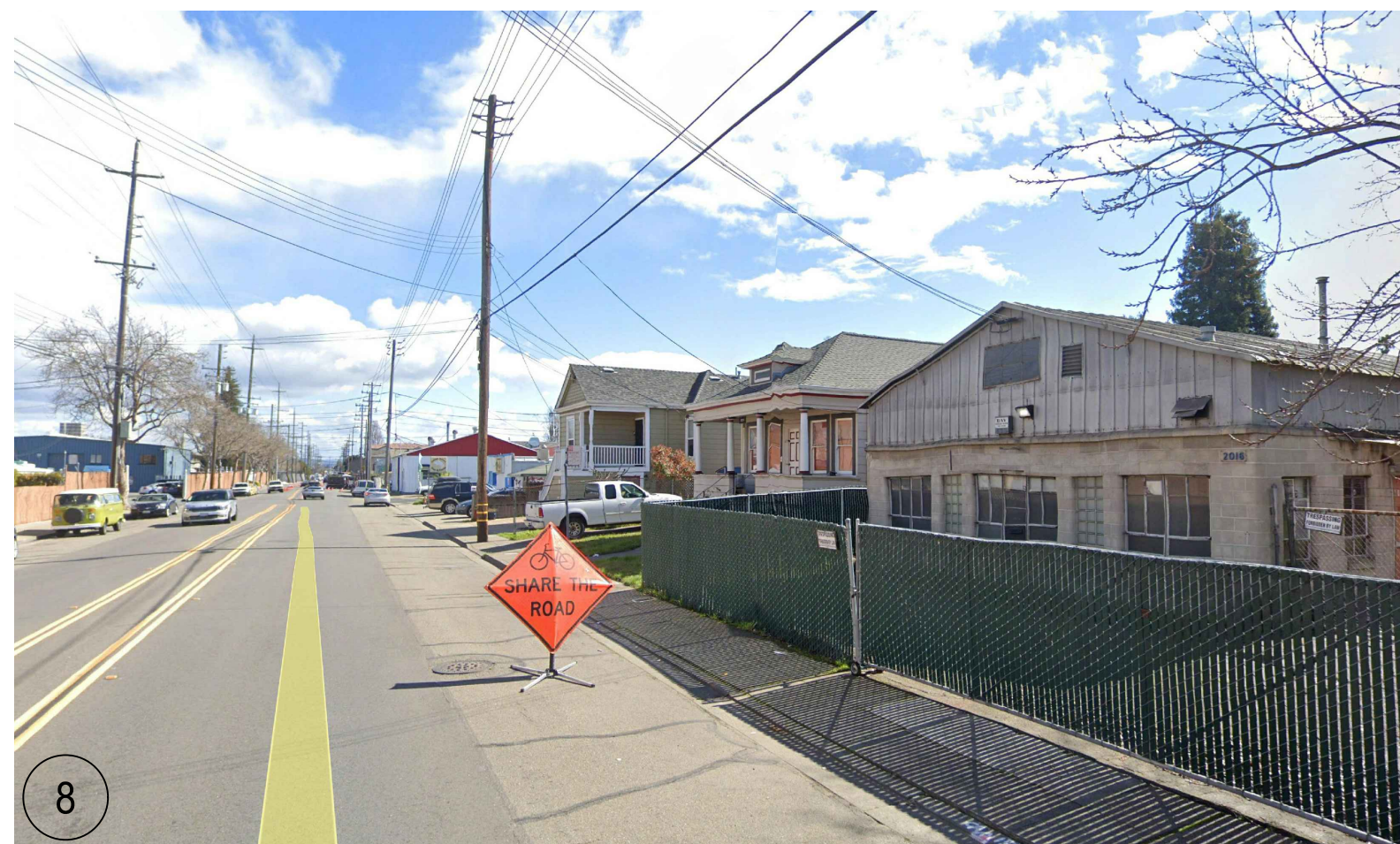
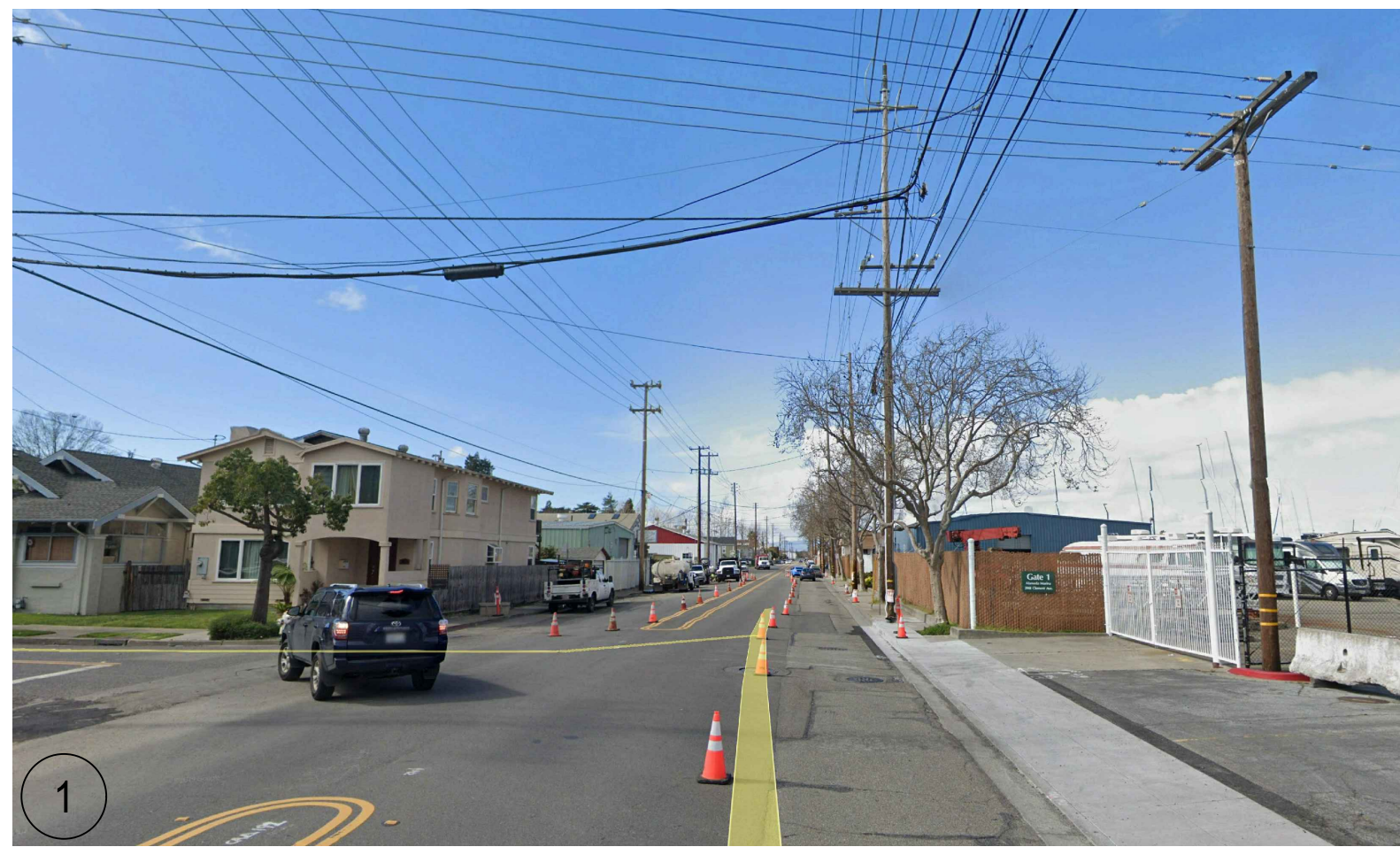
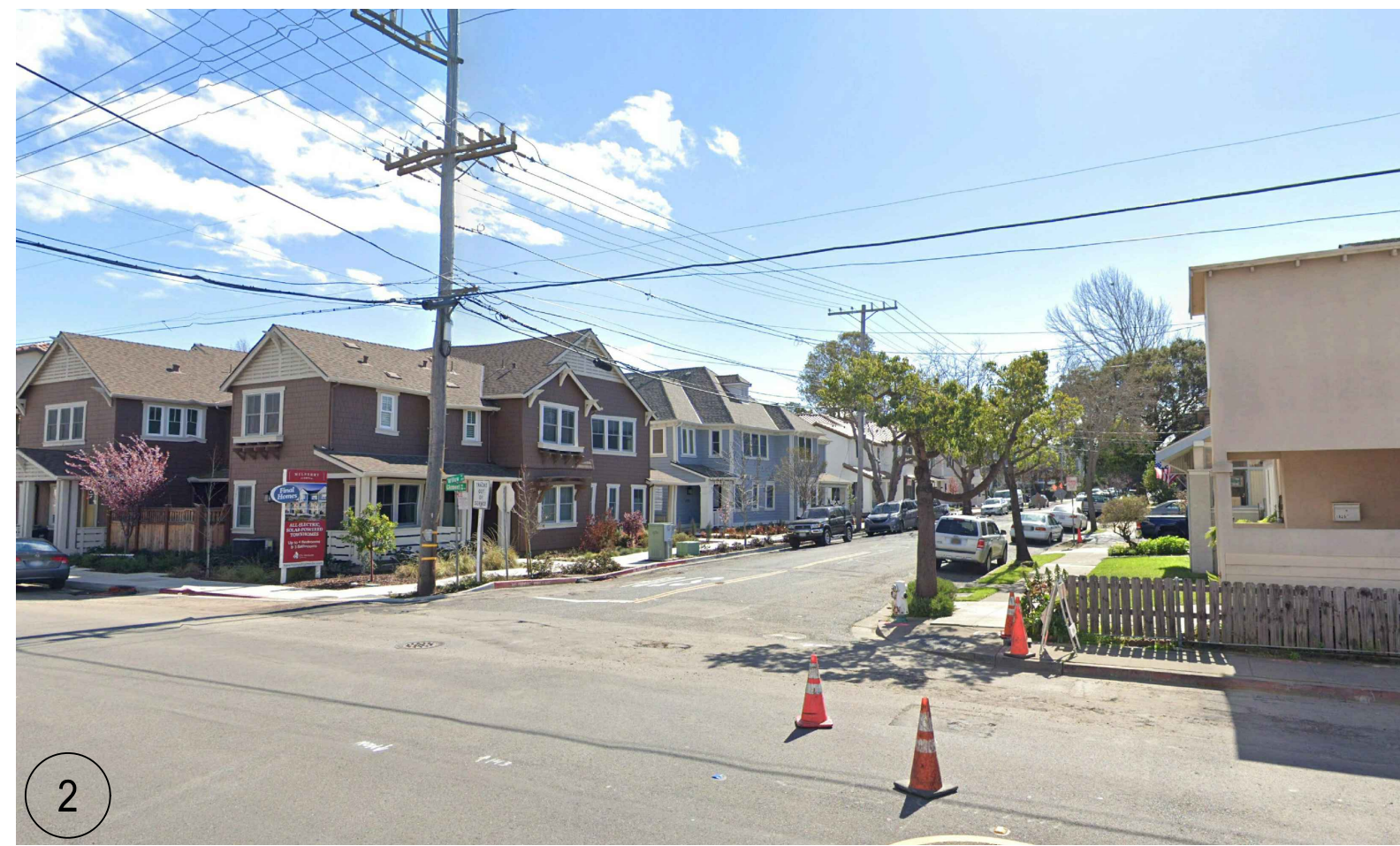
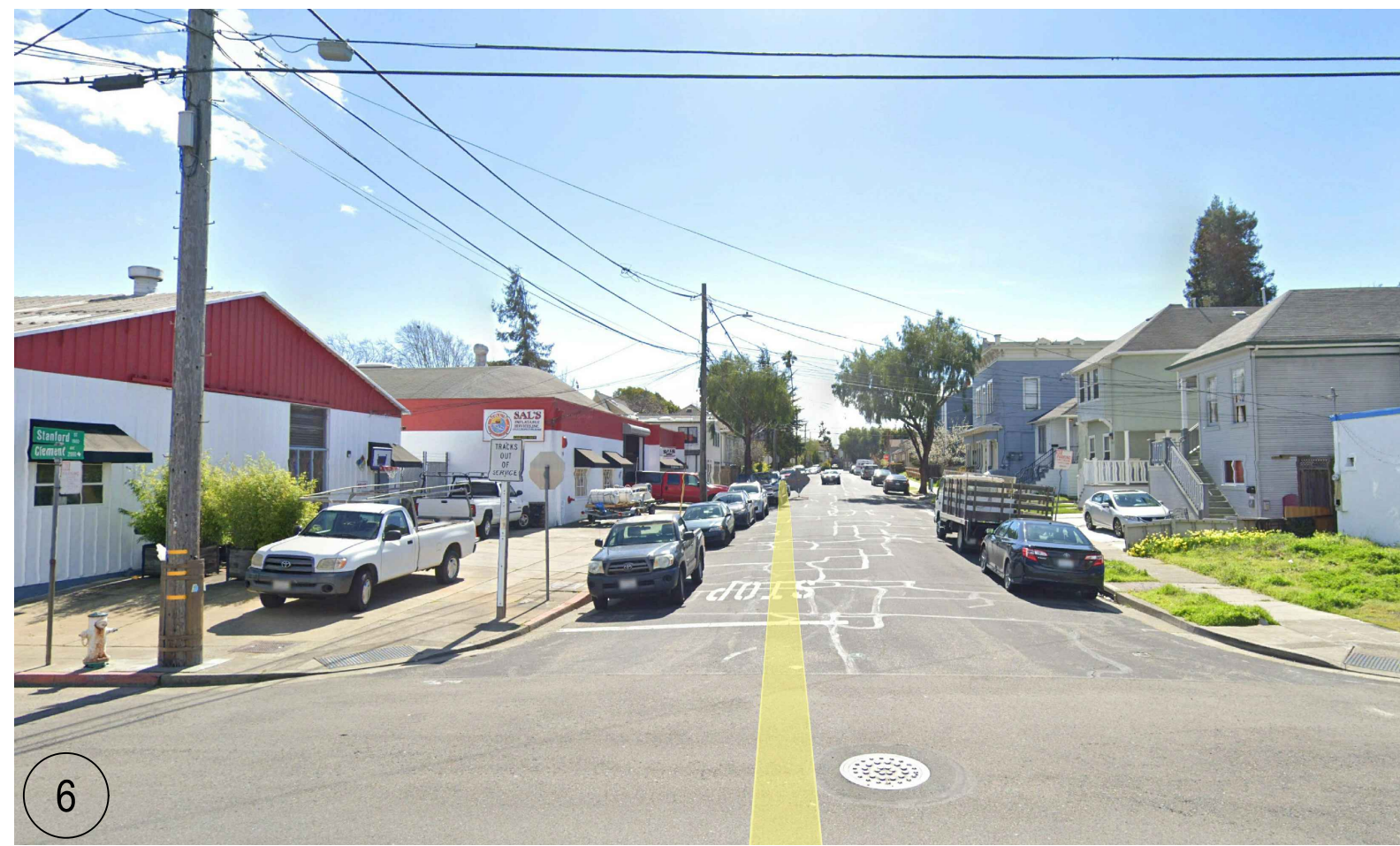
Garage Breakdown

	Total	%
Side x Side	54	55%
Tandem	44	45%

- \* U.D.O : Universal Residential Design Ordinance (A.M.C 30-18)  
Approx. percentages dependant on site grading and related conditions
- \*\* Note: Accessibility per A.M.C 30-18 not CBC chapter 11A







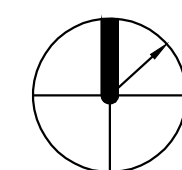
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ALAMEDA MARINA

**ALAMEDA MARINA TOWNHOMES**  
ALAMEDA, CA # 2014-0798.01

**DESIGN REVIEW**  
NOVEMBER 25, 2019



Not To Scale  
NTS

VICINITY MAP

A1.1.0



LANDSIDE

5, 7, 8 & 9 Plex 3 Story CONDOMINIUM -TYPE VB

CODE INFORMATION

THIS PROJECT SHALL COMPLY WITH ALL OTHER REGULATIONS AND ORDINANCES ADOPTED BY JURISDICTION HAVING AUTHORITY.

APPLICABLE CODES:

- 2016 CALIFORNIA BUILDING CODE (CBC)
- 2016 CALIFORNIA ELECTRICAL CODE (CEC)
- 2016 CALIFORNIA MECHANICAL CODE (CMC)
- 2016 CALIFORNIA PLUMBING CODE (CPC)
- 2016 CALIFORNIA FIRE CODE (CFC)
- 2016 CALIFORNIA GREEN BUILDING STANDARD CODE (CAL GREEN)
- 2016 BUILDING ENERGY EFFICIENCY STANDARDS

CODE SUMMARY

USE & OCCUPANCY (CBC SECTION 310.4 & 312.1)	R-2: BUILDINGS CONTAINING MORE THAN TWO DWELLING UNITS U: PRIVATE GARAGES
SEPARATIONS: (CBC SECTION 420)	WALLS SEPARATING DWELLING UNITS (R2) SHALL BE 1-HOUR FIRE PARTITIONS COMPLYING WITH CBC SECTION 708.  WALLS SEPARATING PRIVATE GARAGES (U) FROM DWELLING UNIT (R2) SHALL BE SEPARATED BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE PER 406.3.4.1. DOORS SHALL BE 20 MIN RATED.  FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS (R2) AND DWELLING UNITS (R2) / GARAGES (U) SHALL BE 1-HR RATED HORIZONTAL ASSEMBLIES COMPLYING WITH CBC SECTION 711.  DOOR BETWEEN PRIVATE GARAGE (U) AND ITS OWN DWELLING UNIT (R2) SHALL BE 20MIN RATED - SELF-CLOSING, SELF-LATCHING, SOLID WOOD DOOR OR SOLID OR HONEYCOMB CORE STEEL DOOR, MINIMUM 1-3/8 INCHES (34.9 MM) THICK.  DOORS IN RATED CONSTRUCTION SHALL COMPLY WITH CBC SEC 716.5
TYPE OF CONSTRUCTION:	TYPE VB, 3-STORY
FIRE SPRINKLERS:	FIRE SPRINKLER: NFPA 13
ALLOWABLE HEIGHT: (CBC TABLE 504.3 & SECTION 504)	TYPE V-B: (WITH NFPA 13) 60 FEET MAXIMUM (WITHOUT AREA INCREASE) 40 FEET MAXIMUM (WITH AREA INCREASE) 65' FEET PER PROJECT DEVELOPMENT STANDARDS
ACTUAL HEIGHT:	< 40 FEET - SEE ELEVATIONS
ALLOWABLE STORIES: (CBC TABLE 504.4 & SEC 504.4)	R-2, TYPE V-B: 3 STORIES (2 STORIES BASE ALLOWABLE + 1 STORY SPRINKLER INCREASE FOR NFPA 13) U, TYPE V-B: 2 STORIES
ALLOWABLE FLOOR AREA: (CBC SEC 406 & SEC 508)	IN R OCCUPANCIES WITH NOT MORE THAN THREE STORIES ABOVE GRADE PLANE, THE AGGREGATE SUM OF THE RATIOS FOR PORTIONS OF MIXED-OCCUPANCY MULTI-STORY BUILDINGS SHALL NOT EXCEED ONE(1)  IN R OCCUPANCIES WITH MORE THAT THREE STORIES ABOVE GRADE PLANE, THE AGGREGATE SUM OF THE RATIOS FOR PORTIONS OF MIXED-OCCUPANCY MULTT-STORY BUILDINGS SHALL NOT EXCEED TWO(2)  GROUP U IS PERMITTED TO BE 1,000 SQ. FT. PER GARAGE WHEN PROVIDING 1-HOUR FIRE BARRIERS BETWEEN GARAGES. MULTIPLE PRIVATE GARAGES ARE PERMITTED IN A BUILDING WHERE EACH PRIVATE GARAGE IS SEPARATE BY A 1-HR FIRE BARRIER
RATED EXTERIOR WALLS (CBC TABLE 601)	TYPE VB, 3-STORY: NOT REQUIRED
FIRE RESISTIVE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE: (TABLE 602)	FIRE SEPARATION DISTANCE ≥ 10' FOR TYPE VB CONSTRUCTION AND R3 OCCUPANCY SHALL BE ZERO (0) (NON-RATED)  FIRE SEPARATION DISTANCE < 10' FOR TYPE VB CONSTRUCTION AND R2 OCCUPANCY SHALL BE ONE (1) - (1 HOUR)
ALLOWABLE OPENINGS (CBC TABLE 705.8)	UNPROTECTED SPRINKLERED - PER C.B.C. TABLE 705.8 SEE SITE PLAN FOR FIRE SEPARATION DISTANCE AND SHEET A0.50 FOR ACTUAL AREA OF OPENINGS IN EXTERIOR WALLS.
ACCESSIBILITY:	SHALL COMPLY WITH CBC CHAPTER 1102A.3 MULTI-STORY DWELLINGS

WATERSIDE

4, 5, & 6 Plex 3 Story TOWNHOUSE CONDOMINIUM -TYPE VB

CODE INFORMATION

THIS PROJECT SHALL COMPLY WITH ALL OTHER REGULATIONS AND ORDINANCES ADOPTED BY JURISDICTION HAVING AUTHORITY.

APPLICABLE CODES:

- 2016 CALIFORNIA BUILDING CODE (CBC)
- 2016 CALIFORNIA ELECTRICAL CODE (CEC)
- 2016 CALIFORNIA MECHANICAL CODE (CMC)
- 2016 CALIFORNIA PLUMBING CODE (CPC)
- 2016 CALIFORNIA FIRE CODE (CFC)
- 2016 CALIFORNIA GREEN BUILDING STANDARD CODE (CAL GREEN)
- 2016 BUILDING ENERGY EFFICIENCY STANDARDS

CODE SUMMARY

DEFINITIONS:

[ PER CRC R202 ]

OCCUPANCY GROUP:  
(CRC R302.2)

CONSTRUCTION TYPE

FIRE SPRINKLERS:

ALLOWABLE HEIGHT:

ALLOWABLE STORIES:  
(CBC TABLE 504.3 & SEC. 504.4)

ALLOWABLE FLOOR AREA

EXTERIOR WALL RATING:

MAXIMUM AREA OF EXTERIOR WALL OPENINGS:

SEPARATIONS:  
(CRC TABLE R302.1(2))

FIRE RESISTIVE RATING REQUIREMENTS FOR PROJECTIONS BASED ON FIRE SEPARATION DISTANCE:  
(PER CRC TABLE R302.1(2))

UTILITIES / THROUGH PENETRATIONS

ACCESSIBILITY:  
(PER CRC R320.1)

ATTACHED TOWNHOUSE: A SINGLE FAMILY DWELLING UNIT CONSTRUCTED IN A GROUP OF THREE OR MORE ATTACHED UNITS IN WHICH EACH UNIT EXTENDS FROM FOUNDATION TO ROOF AND WITH A YARD OR PUBLIC WAY ON AT LEAST TWO SIDES.

R-3 (ATTACHED TOWNHOUSE)  
U (PRIVATE GARAGES)

TYPE V-B

NFPA 13-R PER CFC SECTION 903.1.2 /CBC TABLES 504.3 & 506.2  
PER CFC SECTION D106. EXCEPTION: PROJECTS HAVING UP TO 200 DWELLING UNITS MAY HAVE A SINGLE FIRE APPARATUS ACCESS ROAD WHEN ALL BUILDINGS, INCLUDING NONRESIDENTIAL OCCUPANCIES, ARE EQUIPPED THROUGHOUT WITH APPROVED AUTOMATIC SPRINKLER SYSTEMS INSTALLED IN ACCORDANCE WITH SECTION 903.1.1 OR 903.1.2

3 STORIES, AND < 60 FEET

3 STORIES

R-3= UNLIMITED PER CBC TABLE 506.2  
U= 1,000 S.F. PER CBC 406.3.1

PER CRC R302.2 EACH TOWNHOUSE CONDOMINIUM SHALL BE SEPARATED BY A COMMON WALL CONSTRUCTED WITHOUT PLUMBING OR MECHANICAL EQUIPMENT, DUCTS OR VENTS RUNNING VERTICALLY IN THE COMMON WALL CAVITY. PER CRC R 302.2 ITEM 7 THE COMMON WALL SHALL BE NOT LESS THAN 1-HOUR FIRE RATED.

FIRE SEPARATION DISTANCE ≥ 3' FOR TYPE VB CONSTRUCTION AND R3 OCCUPANCY SHALL BE ZERO (0) (NON-RATED)

FIRE SEPARATION DISTANCE < 3' FOR TYPE VB CONSTRUCTION AND R3 OCCUPANCY SHALL BE ONE (1) - (1 HOUR)

REFER TO CIVIL SITE PLAN FOR SEPARATION DISTANCES.

FIRE SEPARATION DISTANCE ≥ 3' SHALL BE UNLIMITED (UNRATED)  
FIRE SEPARATION DISTANCE < 3' SHALL NOT BE ALLOWED

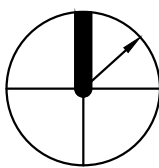
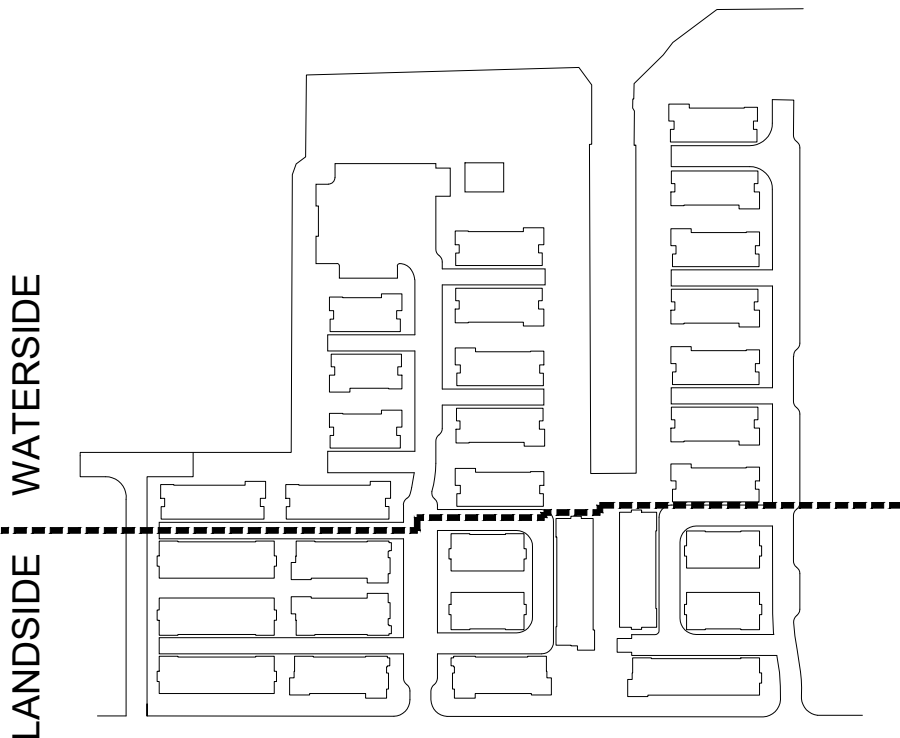
REFER TO SITE PLAN (SHEET A1.10) FOR FIRE SEPARATION DISTANCES.

FIRE SEPARATION DISTANCE ≥ 3' SHALL BE ZERO (0) (NON-RATED)  
FIRE SEPARATION DISTANCE 2' < 3' SHALL BE 1-HOUR ON THE UNDERSIDE

REFER TO SITE PLAN (SHEET A1.10) FOR FIRE SEPARATION DISTANCES.

ELECTRIC & GAS METERS LOCATED IN COMMON HOA MAINTAINED CLOSETS AT THE END OF EACH BUILDING ARE RUN THROUGH THE BUILDING Laterally IN A NON-RATED SOFFIT RACEWAY LOCATED IN THE GARAGES. ACCESS EASEMENTS EXIST FOR USE AND MAINTENANCE OF THE UTILITY RACEWAY. THROUGH PENETRATIONS OF THE 1-HOUR RATED COMMON WALL SEPARATING UNITS BY ELECTRICAL AND PLUMBING LINES SHALL BE PROTECTED IN ACCORDANCE WITH CRC R 302.4.1 & R 302.4.1.2 BY PROVIDING A THROUGH PENETRATION FIRESTOP SYSTEM.

DWELLING UNITS IN A BUILDING CONSISTING OF FOUR OR MORE CONDOMINIUM UNITS SHALL MEET THE REQUIREMENTS OF CALIFORNIA BUILDING CODE CHAPTER 11A - MULTISTORY DWELLINGS. REFER TO SITE PLAN FOR MORE INFORMATION AND LOCATION OF ACCESSIBLE UNITS. MULTI-DWELLING BUILDINGS WITH LESS THAN 4 UNITS ARE EXEMPT FROM ACCESSIBILITY REQUIREMENTS. 10% OF THE REMAINING UNITS THAT ARE NOT EXEMPT MUST BE MADE ACCESSIBLE BASED ON CBC SECTION 1102.3.1 (SEE SITE PLAN, SHEET A1.10).



KEY MAP n.t.s.



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ALAMEDA MARINA

ALAMEDA MARINA TOWNHOMES

ALAMEDA, CA # 2014-0798.01

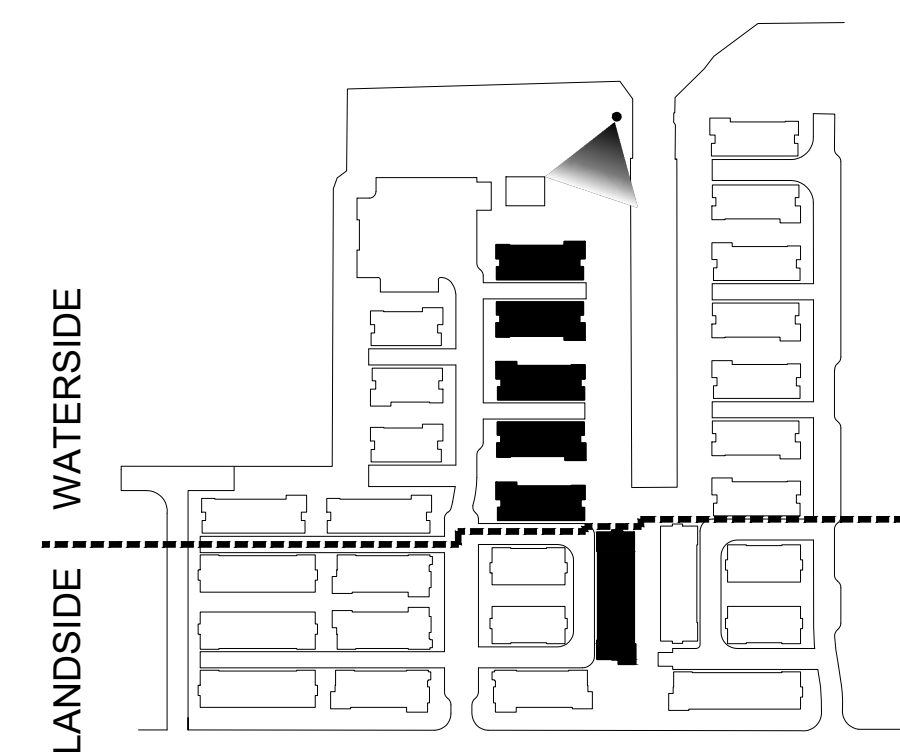
DESIGN REVIEW

NOVEMBER 25, 2019

CODE ANALYSIS  
WATERSIDE & LANDSIDE

A1.2.0





KEY MAP n.t.s.



WATERSIDE PERSPECTIVE AT HARBOR VIEW PARK

Notes:  
Refer to Landscape Sheets for landscape  
design, dimensions and detailed information.



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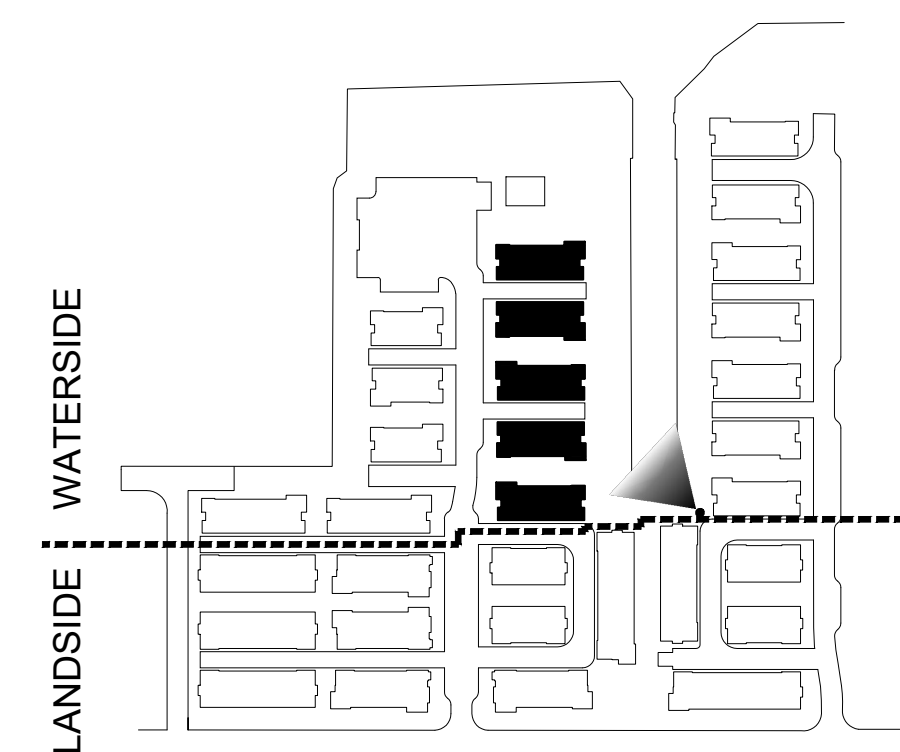
**DESIGN REVIEW**  
NOVEMBER 25, 2019

Scale: 1/8" = 1'-0"  
0 4 8 16

**WATERSIDE  
STREET SCENE**  
PERSPECTIVE

**A1.3.0**





KEY MAP n.t.s.



WATERSIDE PERSPECTIVE AT WATERLIFE PARK

Notes:  
Refer to Landscape Sheets for landscape  
design, dimensions and detailed information.



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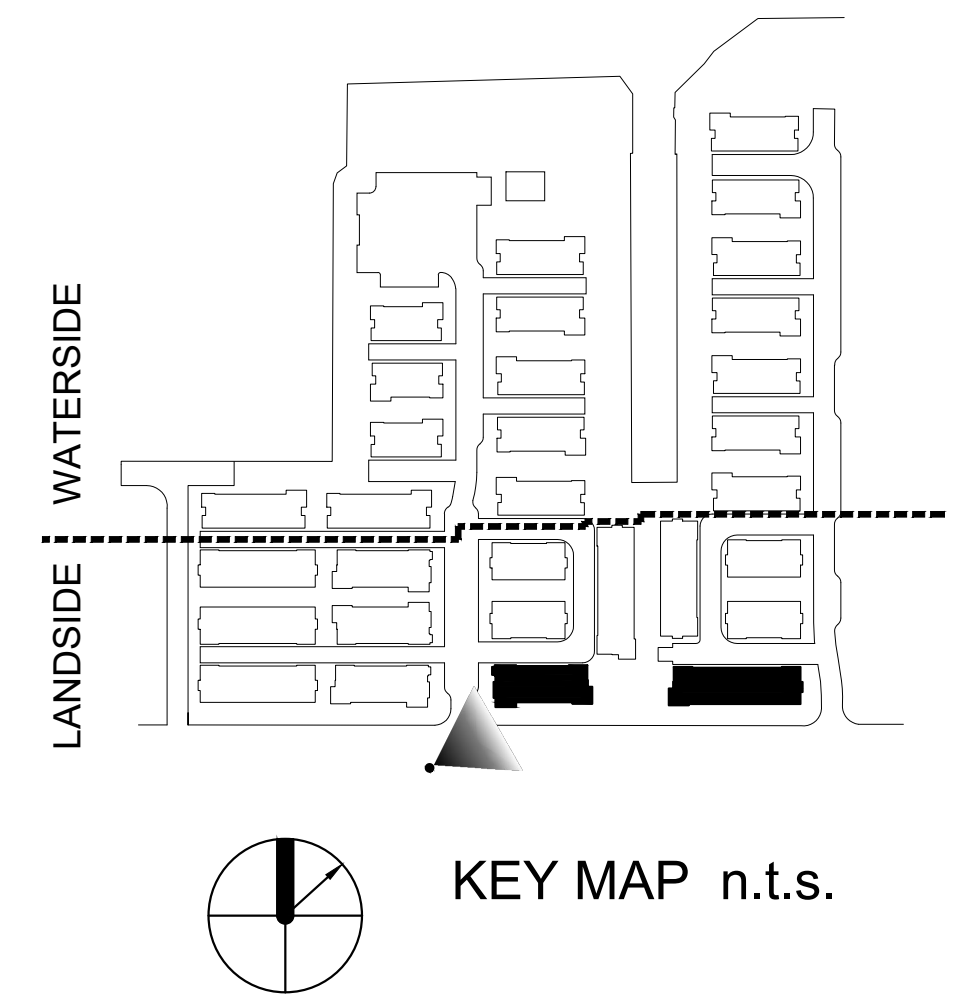
**DESIGN REVIEW**  
NOVEMBER 25, 2019

Scale: 1/8" = 1'-0"  
0 4 8 16

**WATERSIDE  
STREET SCENE**  
PERSPECTIVE

**A1.3.1**





STREET PERSPECTIVE AT CLEMENT AVE - STANFORD ST.

Notes:  
Refer to Landscape Sheets for landscape design, dimensions and detailed information.



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ALAMEDA MARINA

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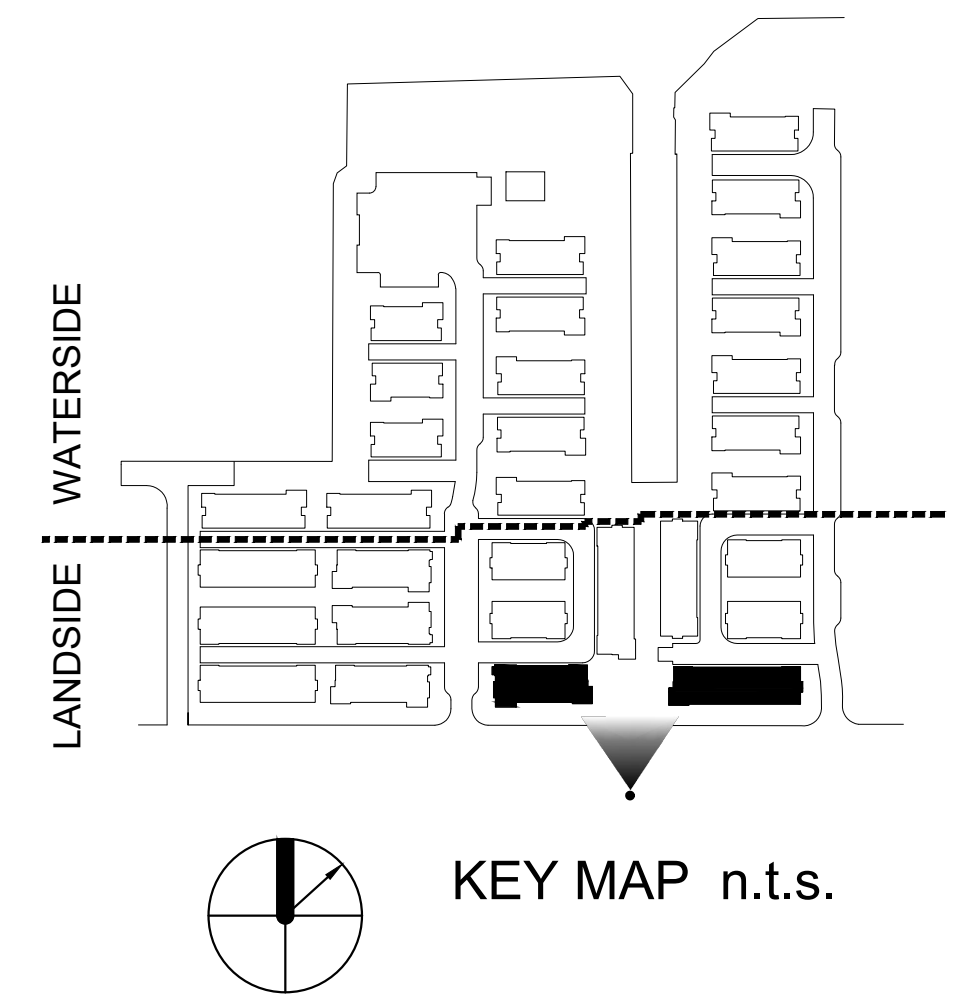
**DESIGN REVIEW**  
NOVEMBER 25, 2019

Scale: 1/8" = 1'-0"  
0 4 8 16

**LANDSIDE  
STREET SCENE**  
PERSPECTIVE

**A1.3.2**





PERSPECTIVE AT PUBLIC ACCESS FROM CLEMENT AVE TO WATERLIFE PARK

Notes:  
Refer to Landscape Sheets for landscape design, dimensions and detailed information.



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**ALAMEDA MARINA TOWNHOMES**  
ALAMEDA, CA # 2014-0798.01

**DESIGN REVIEW**  
NOVEMBER 25, 2019

Scale: 1/8" = 1'-0"  
0 4 8 16

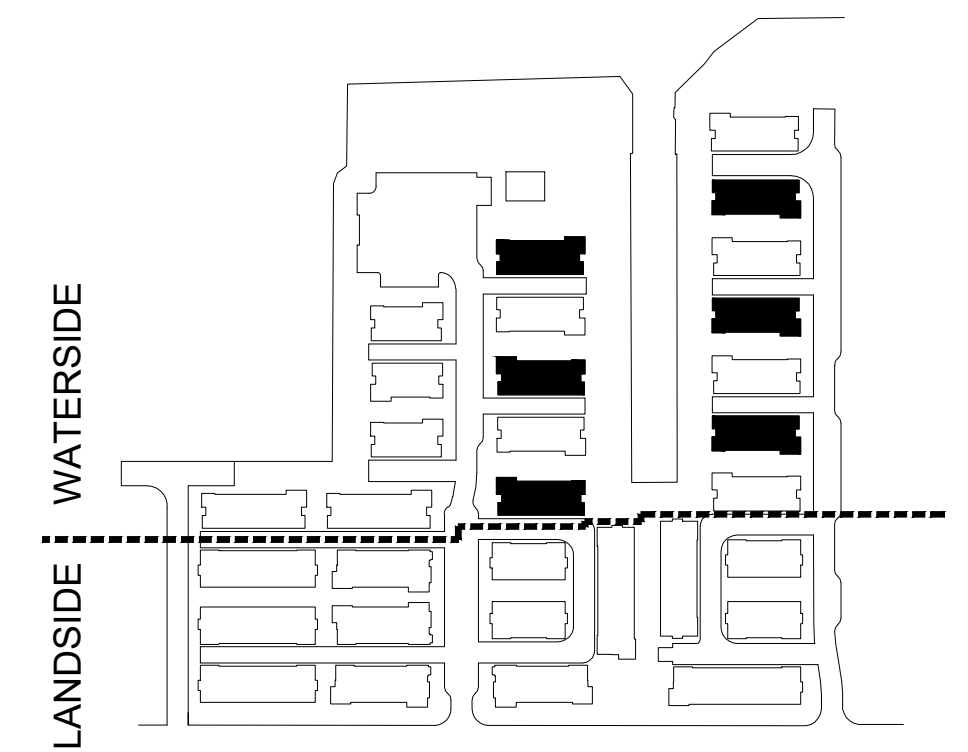
**LANDSIDE  
STREET SCENE**  
PERSPECTIVE

**A1.3.3**





FRONT LEFT PERSPECTIVE



KEY MAP n.t.s.



FRONT ELEVATION

MATERIAL LEGEND:

1. Stucco
2. Wood Color Siding
3. Fiber Cement Vertical Siding
4. Board and Batten Siding
5. Fiber Cement Trim
6. Metal Trellis
7. Entry Door
8. Building Address
9. Light Fixture
10. Unit Address
11. Garage Door
12. Metal Railing
13. Wood Post
14. Vinyl Window



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ALAMEDA MARINA

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ALAMEDA, CA # 2014-0798.01

**DESIGN REVIEW**  
NOVEMBER 25, 2019

Scale: 1/8" = 1'-0"  
0 4 8 16

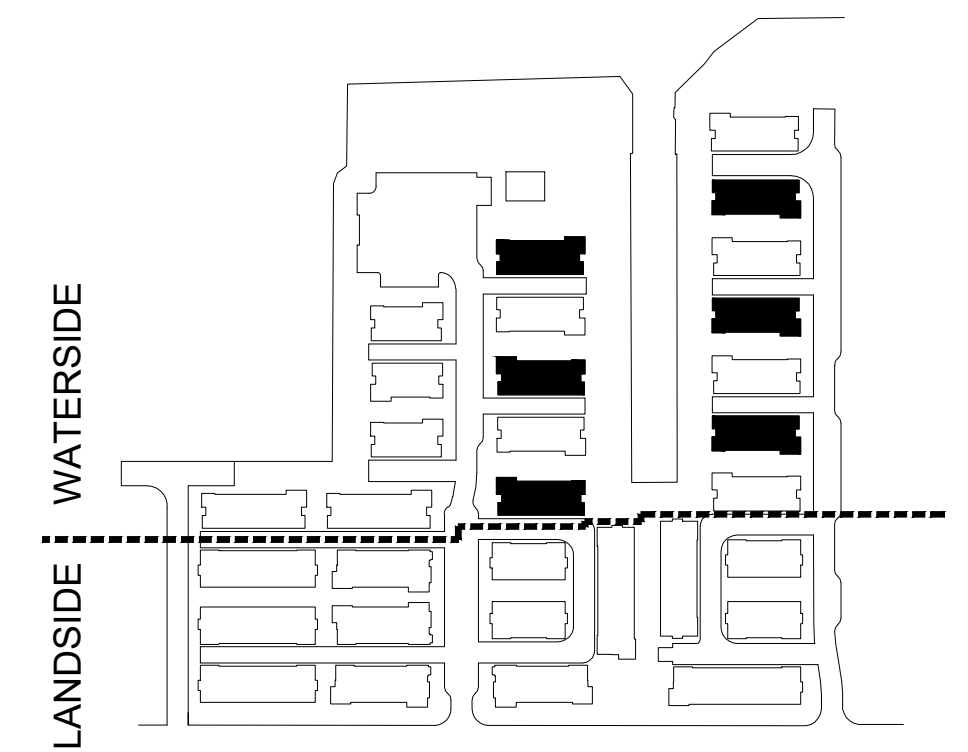
**WATERSIDE**  
**BUILDING ELEVATIONS- 5 PLEX**  
A COLOR SCHEME

**A2.1.0**

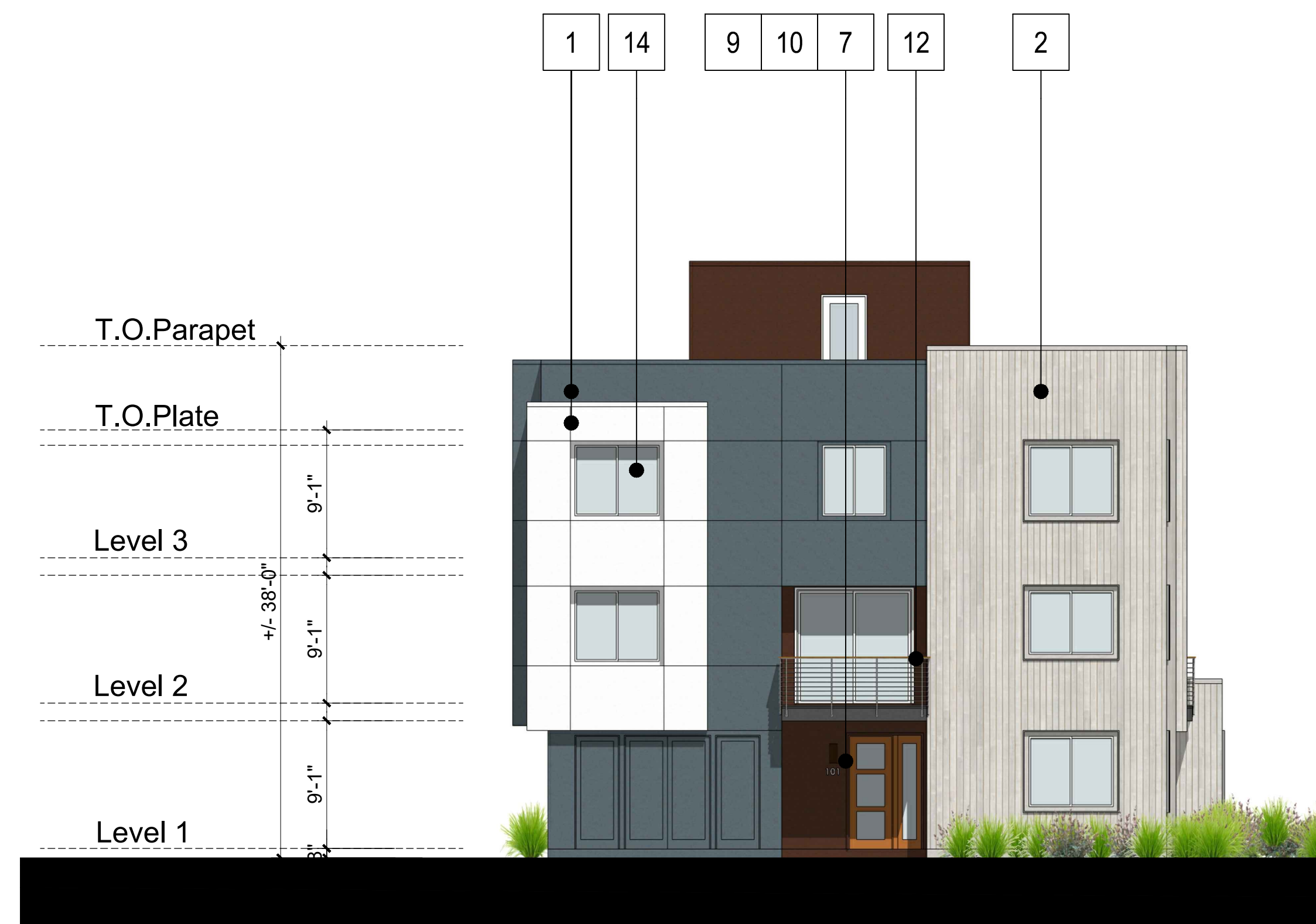




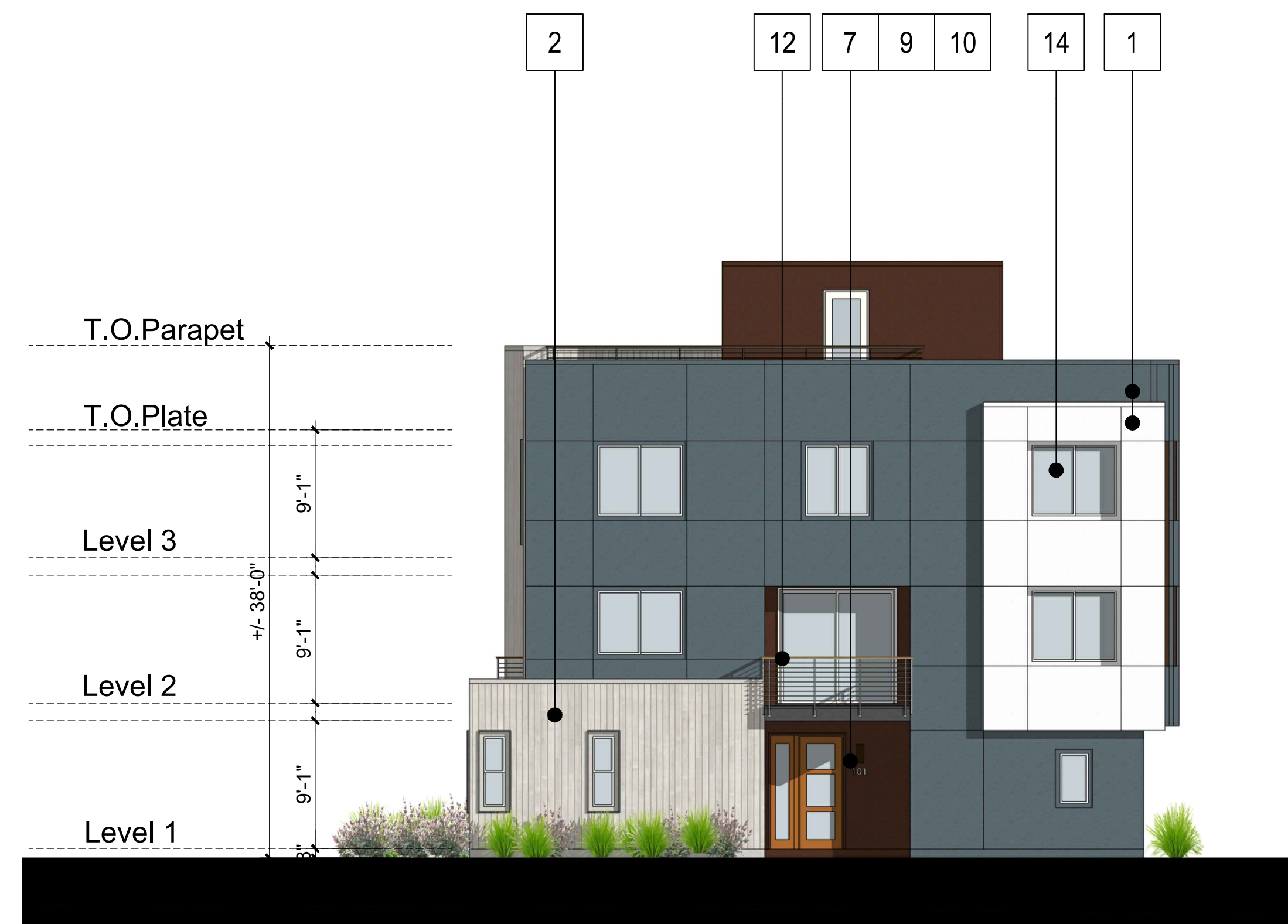
FRONT RIGHT PERSPECTIVE



KEY MAP n.t.s.



LEFT ELEVATION



RIGHT ELEVATION

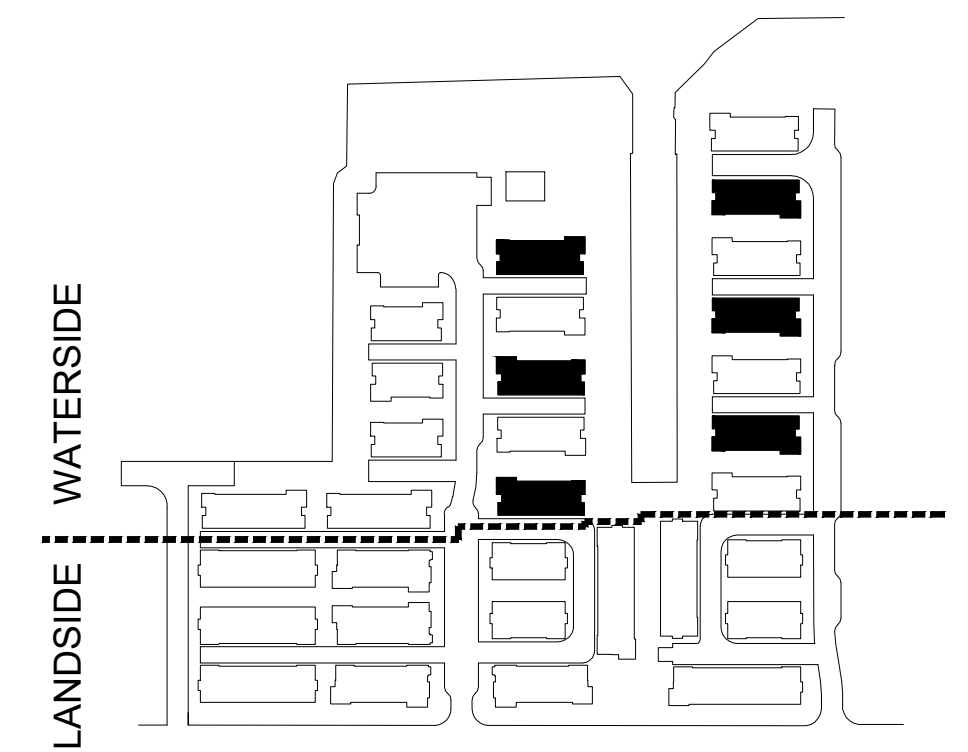
MATERIAL LEGEND:

1. Stucco
2. Wood Color Siding
3. Fiber Cement Vertical Siding
4. Board and Batten Siding
5. Fiber Cement Trim
6. Metal Trellis
7. Entry Door
8. Building Address
9. Light Fixture
10. Unit Address
11. Garage Door
12. Metal Railing
13. Wood Post
14. Vinyl Window





REAR RIGHT PERSPECTIVE



KEY MAP n.t.s.



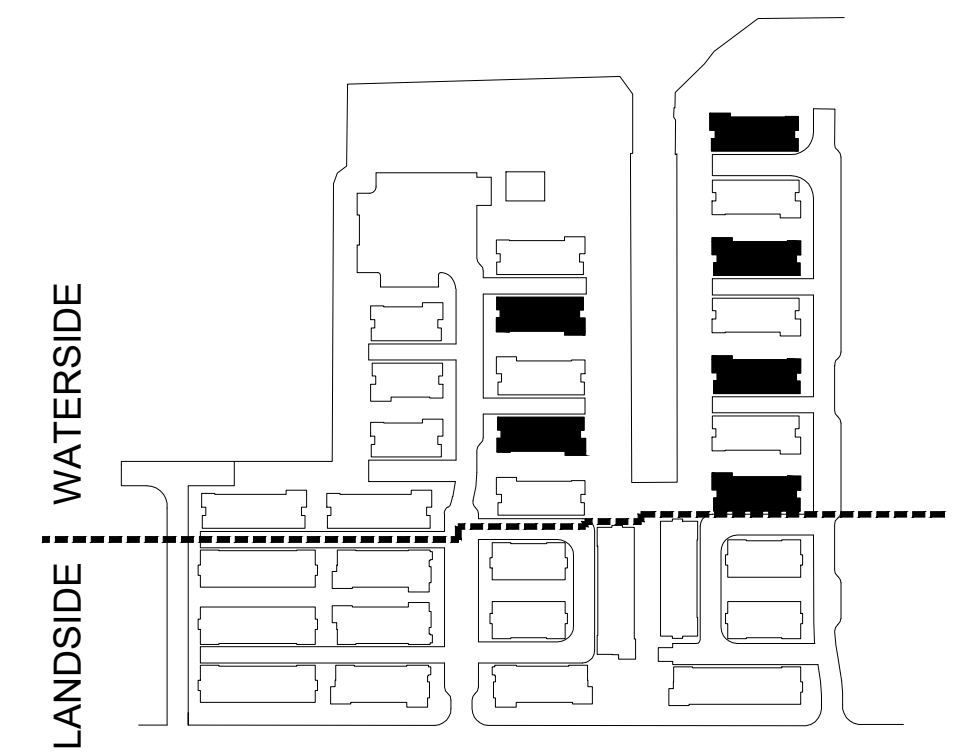
REAR ELEVATION

- MATERIAL LEGEND:**
- 1. Stucco
  - 2. Wood Color Siding
  - 3. Fiber Cement Vertical Siding
  - 4. Board and Batten Siding
  - 5. Fiber Cement Trim
  - 6. Metal Trellis
  - 7. Entry Door
  - 8. Building Address
  - 9. Light Fixture
  - 10. Unit Address
  - 11. Garage Door
  - 12. Metal Railing
  - 13. Wood Post
  - 14. Vinyl Window





FRONT LEFT PERSPECTIVE



KEY MAP n.t.s.



FRONT ELEVATION

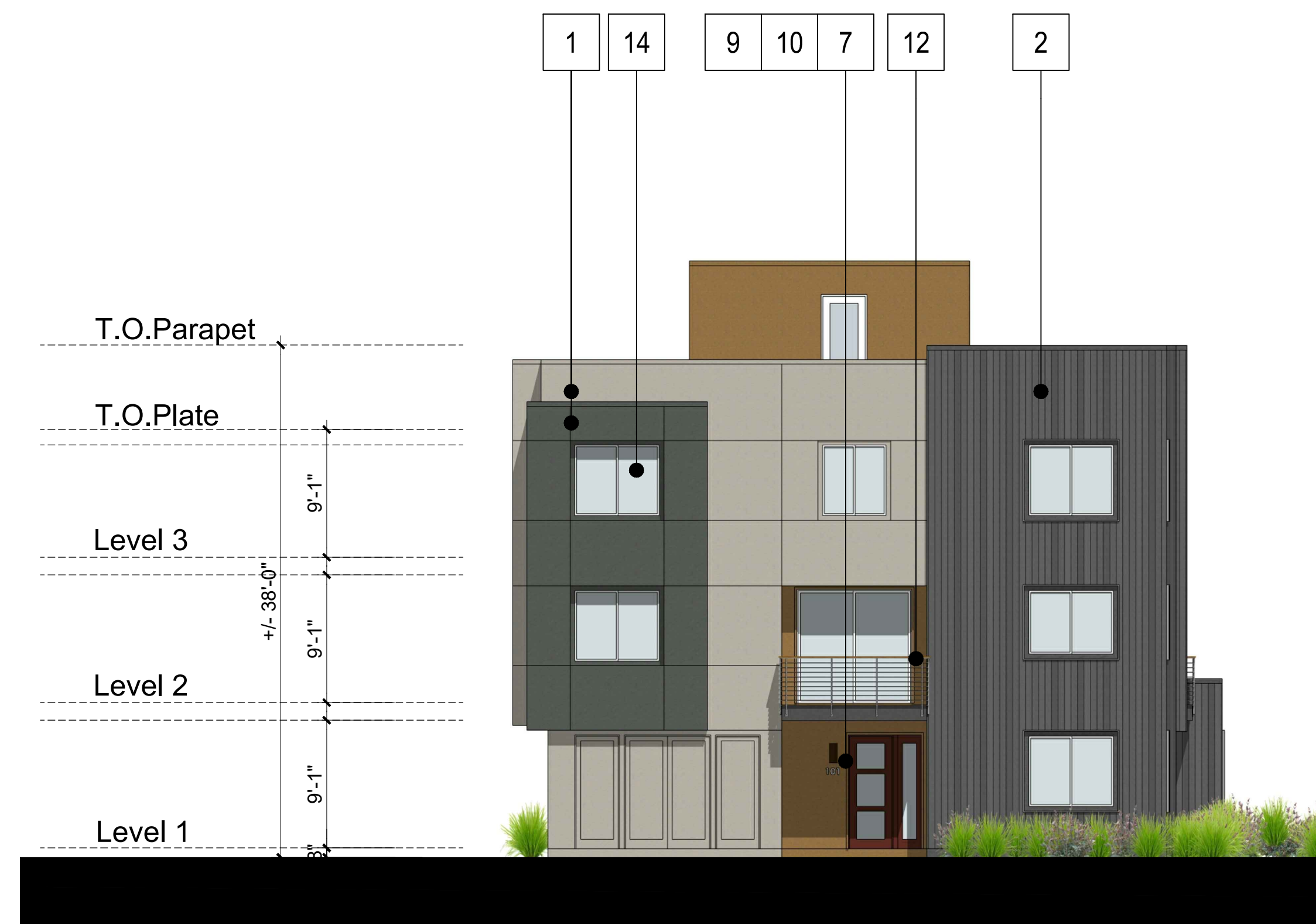
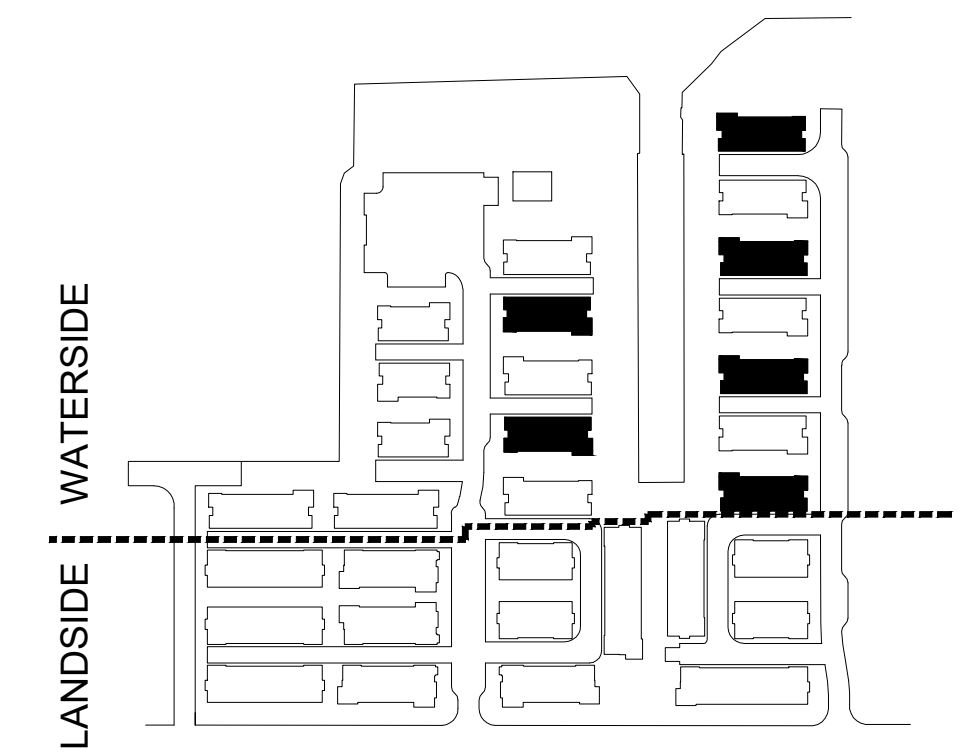
MATERIAL LEGEND:

1. Stucco
2. Wood Color Siding
3. Fiber Cement Vertical Siding
4. Board and Batten Siding
5. Fiber Cement Trim
6. Metal Trellis
7. Entry Door
8. Building Address
9. Light Fixture
10. Unit Address
11. Garage Door
12. Metal Railing
13. Wood Post
14. Vinyl Window

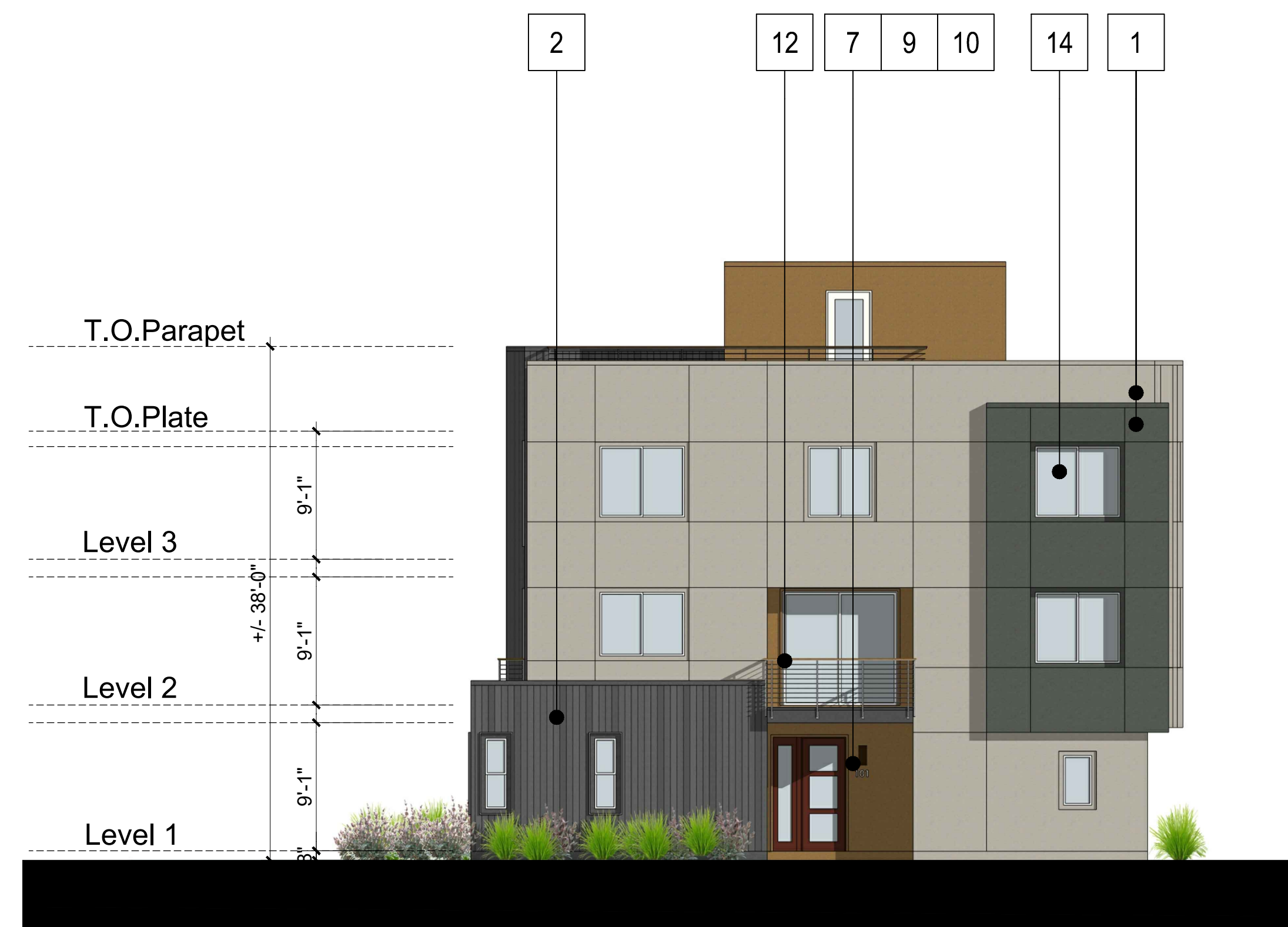




FRONT RIGHT PERSPECTIVE



LEFT ELEVATION



RIGHT ELEVATION

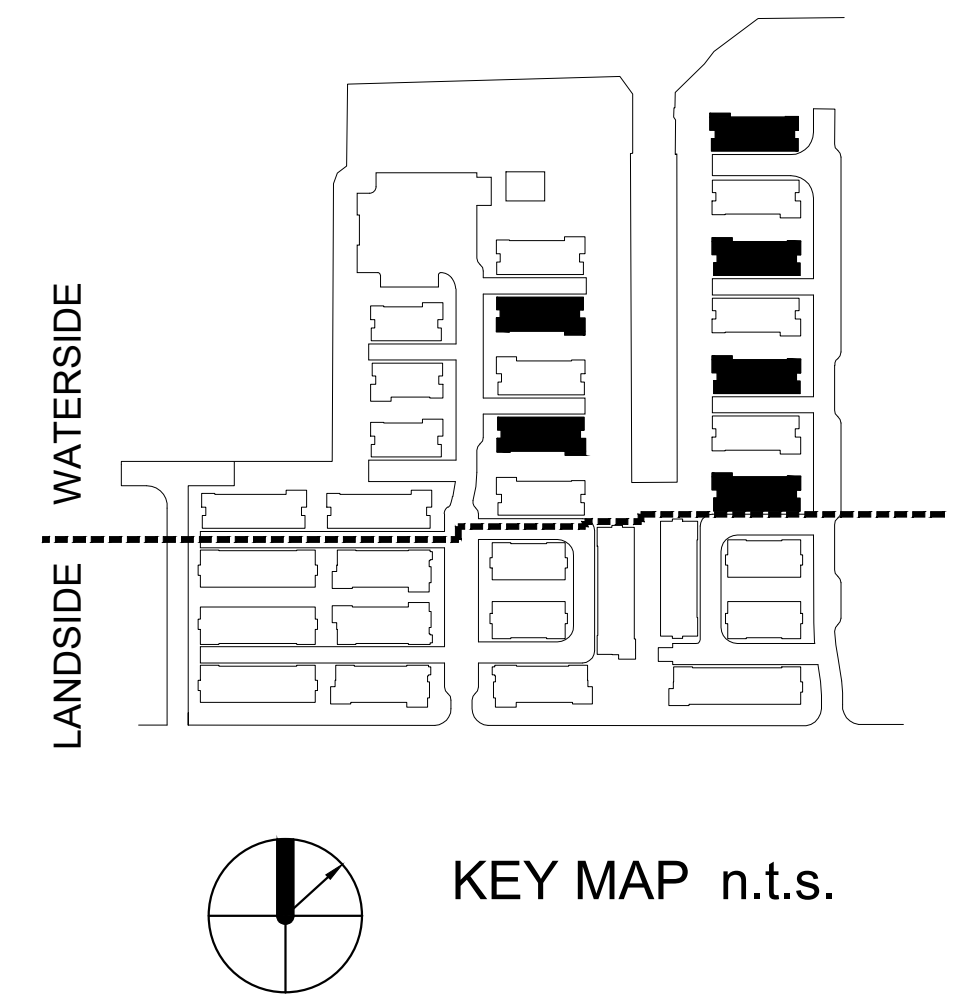
MATERIAL LEGEND:

1. Stucco
2. Wood Color Siding
3. Fiber Cement Vertical Siding
4. Board and Batten Siding
5. Fiber Cement Trim
6. Metal Trellis
7. Entry Door
8. Building Address
9. Light Fixture
10. Unit Address
11. Garage Door
12. Metal Railing
13. Wood Post
14. Vinyl Window





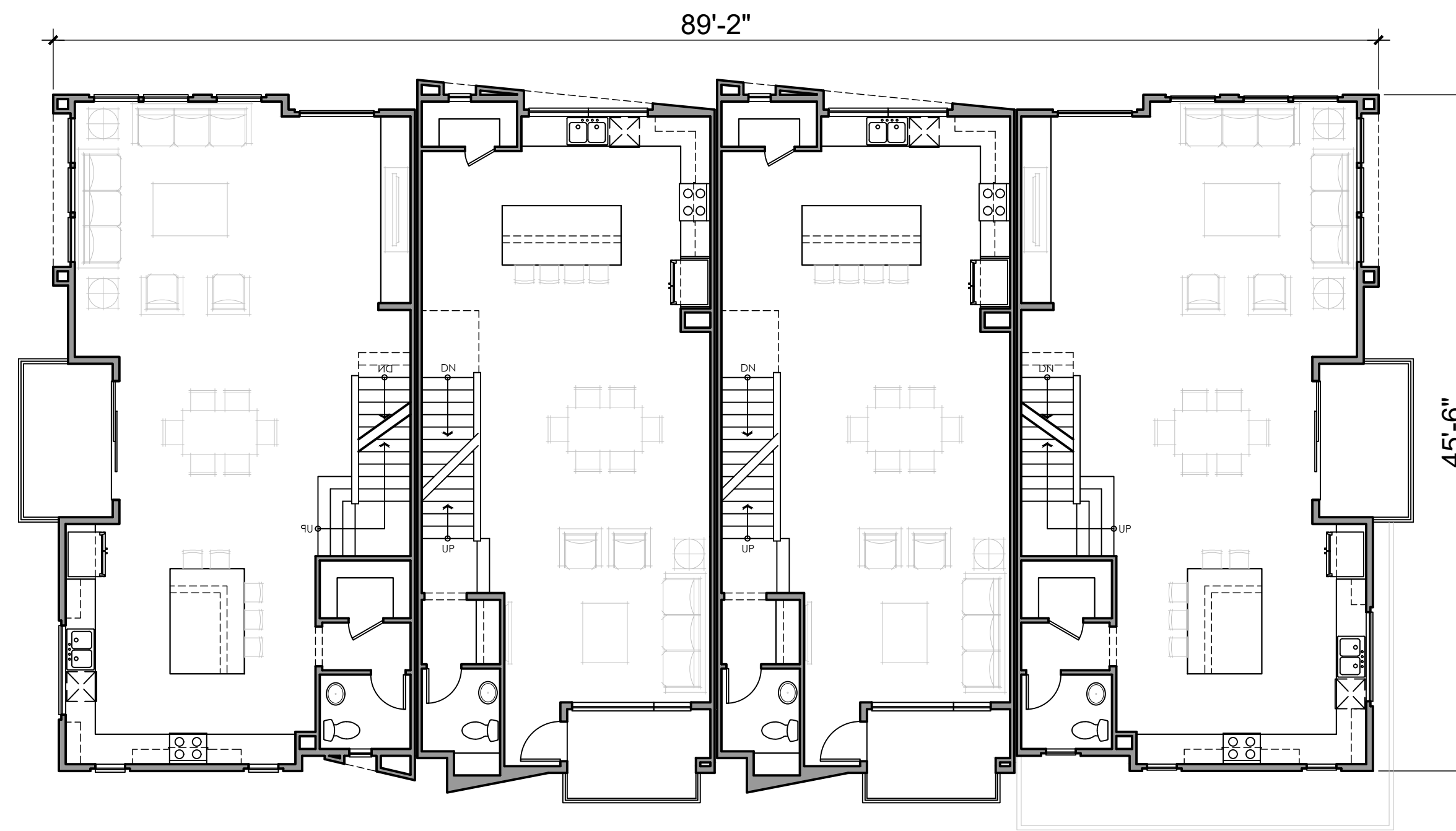
REAR RIGHT PERSPECTIVE



REAR ELEVATION

- MATERIAL LEGEND:**
- 1. Stucco
  - 2. Wood Color Siding
  - 3. Fiber Cement Vertical Siding
  - 4. Board and Batten Siding
  - 5. Fiber Cement Trim
  - 6. Metal Trellis
  - 7. Entry Door
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  - 9. Light Fixture
  - 10. Unit Address
  - 11. Garage Door
  - 12. Metal Railing
  - 13. Wood Post
  - 14. Vinyl Window





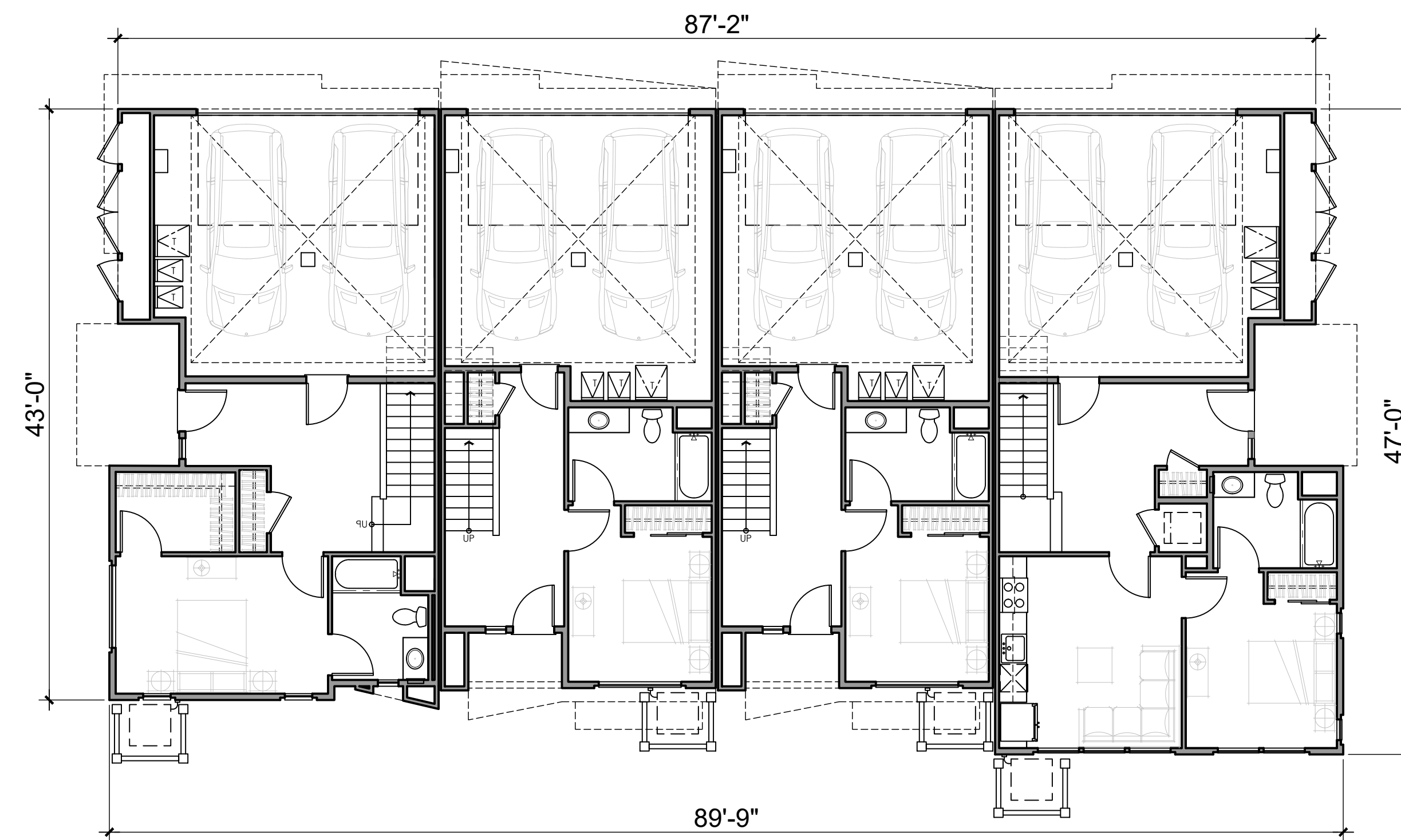
PLAN 3

PLAN 2

PLAN 2

PLAN 4

## LEVEL 2



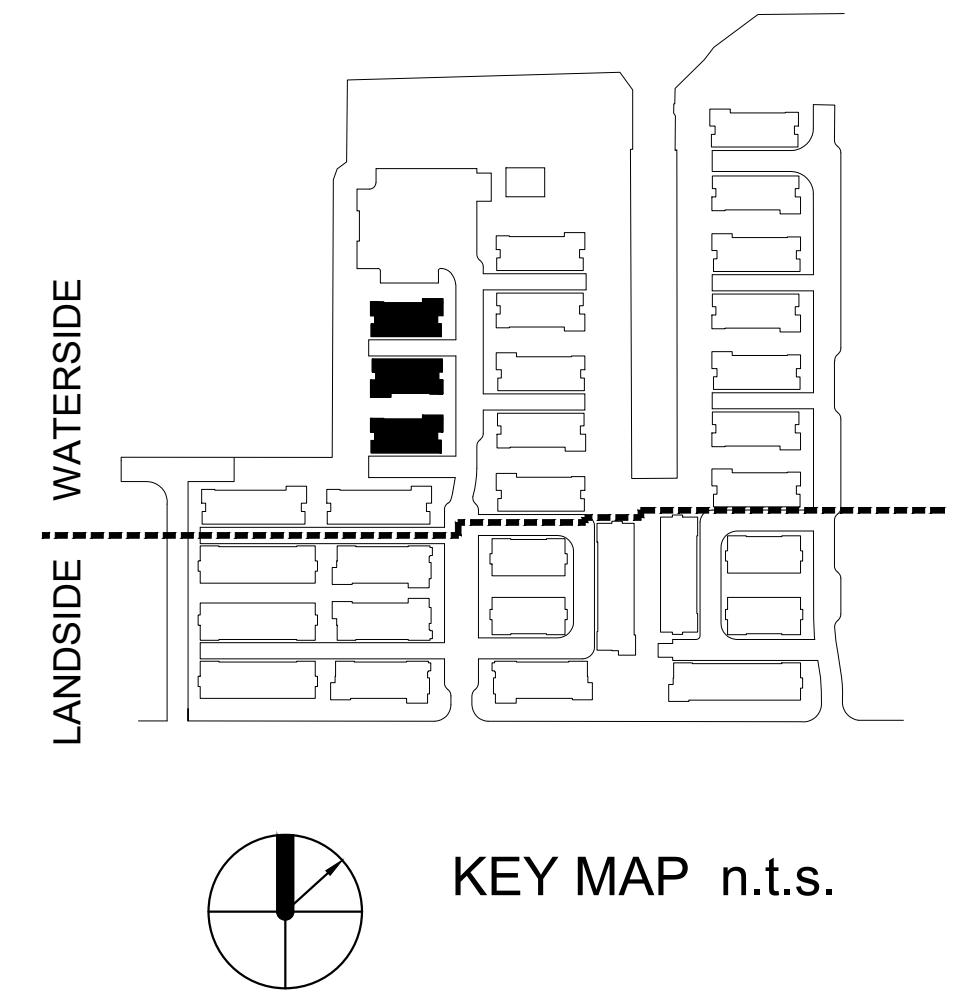
PLAN 3

PLAN 2

PLAN 2

PLAN 4

## LEVEL 1



**Architecture + Planning**  
The Leamington Building  
1814 Franklin Street  
Suite 400  
Oakland, CA 94612  
510.272.2910  
ktgy.com



ALAMEDA MARINA

**ALAMEDA MARINA TOWNHOMES**  
ALAMEDA, CA # 2014-0798.01

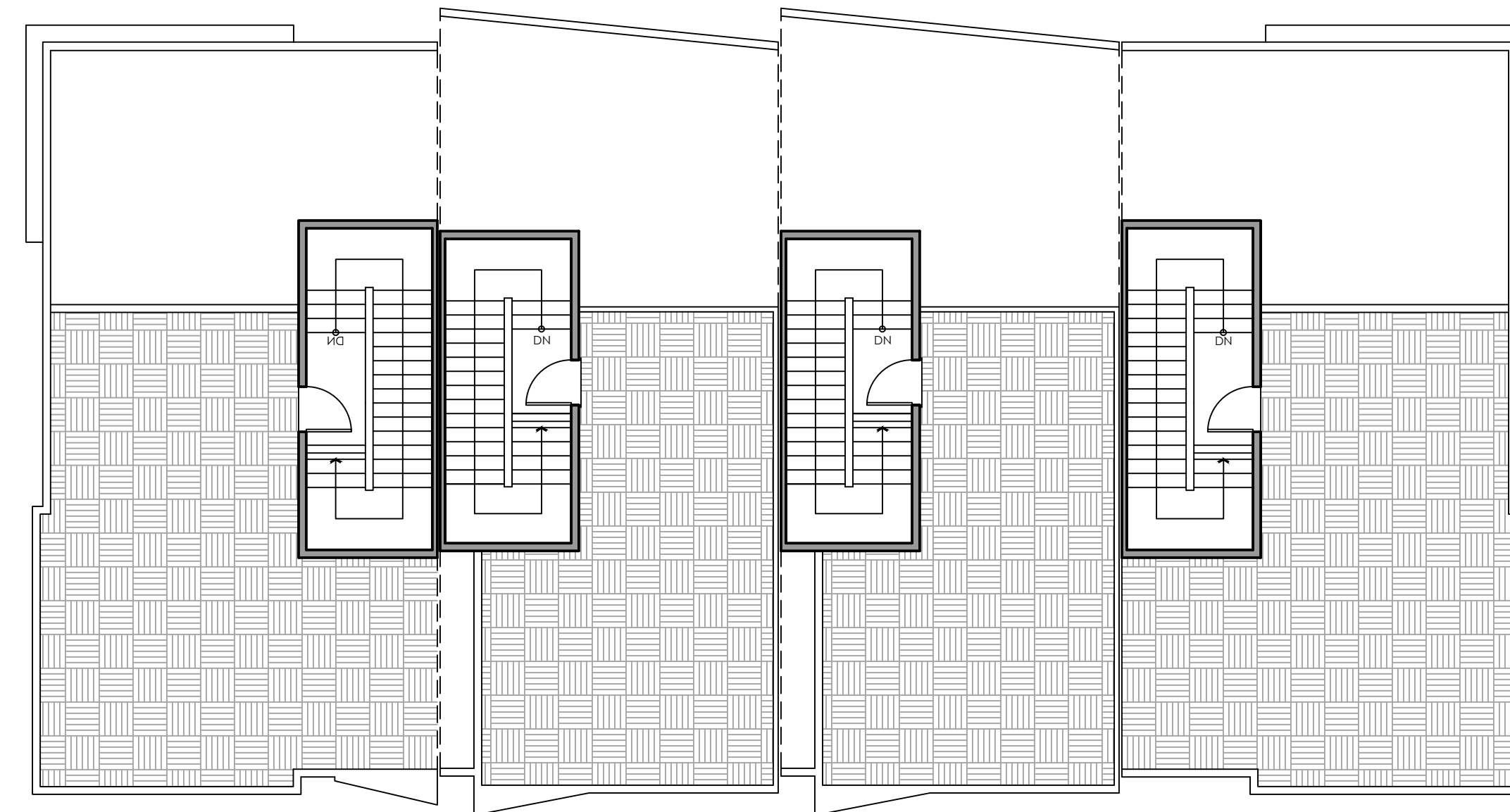
**DESIGN REVIEW**  
NOVEMBER 25, 2019

Scale: 1/8" = 1'-0"  
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**WATERSIDE**  
**BUILDING PLANS- 4 PLEX**

**A2.3.0**





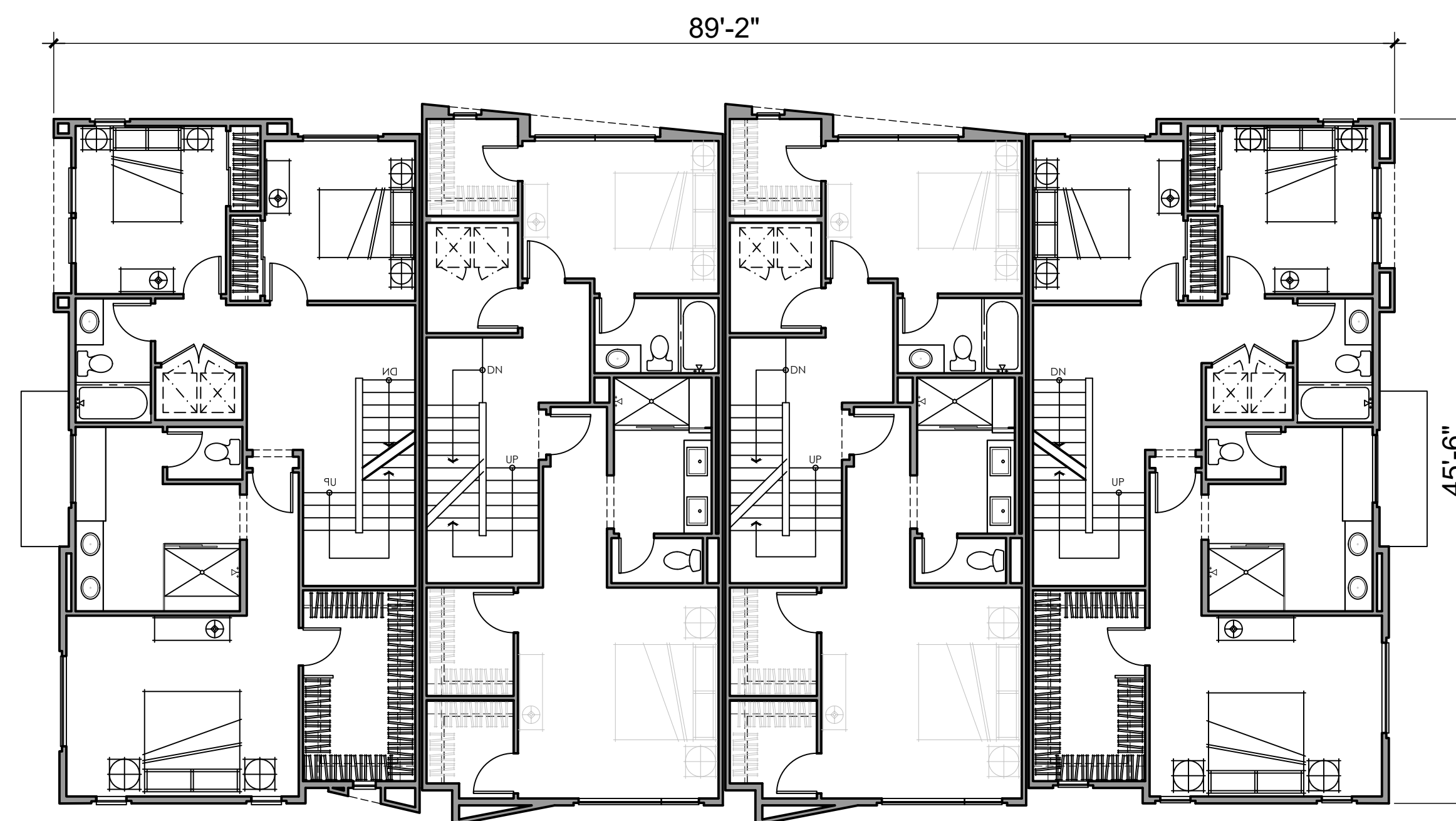
PLAN 3

PLAN 2

PLAN 2

PLAN 4

## ROOF



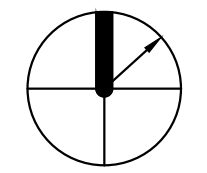
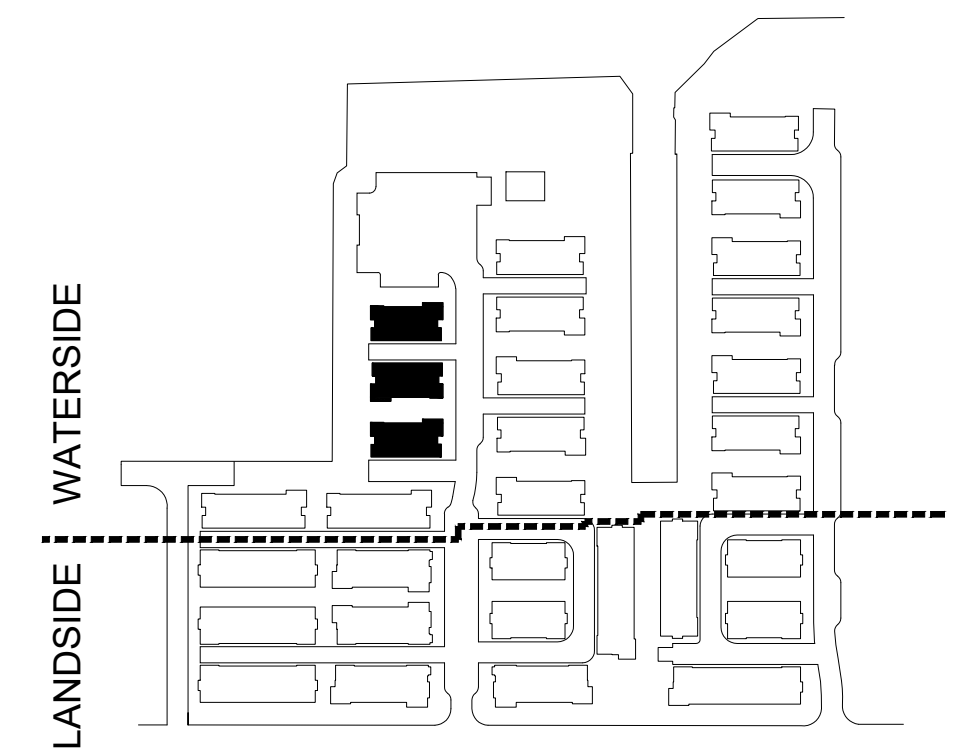
PLAN 3

PLAN 2

PLAN 2

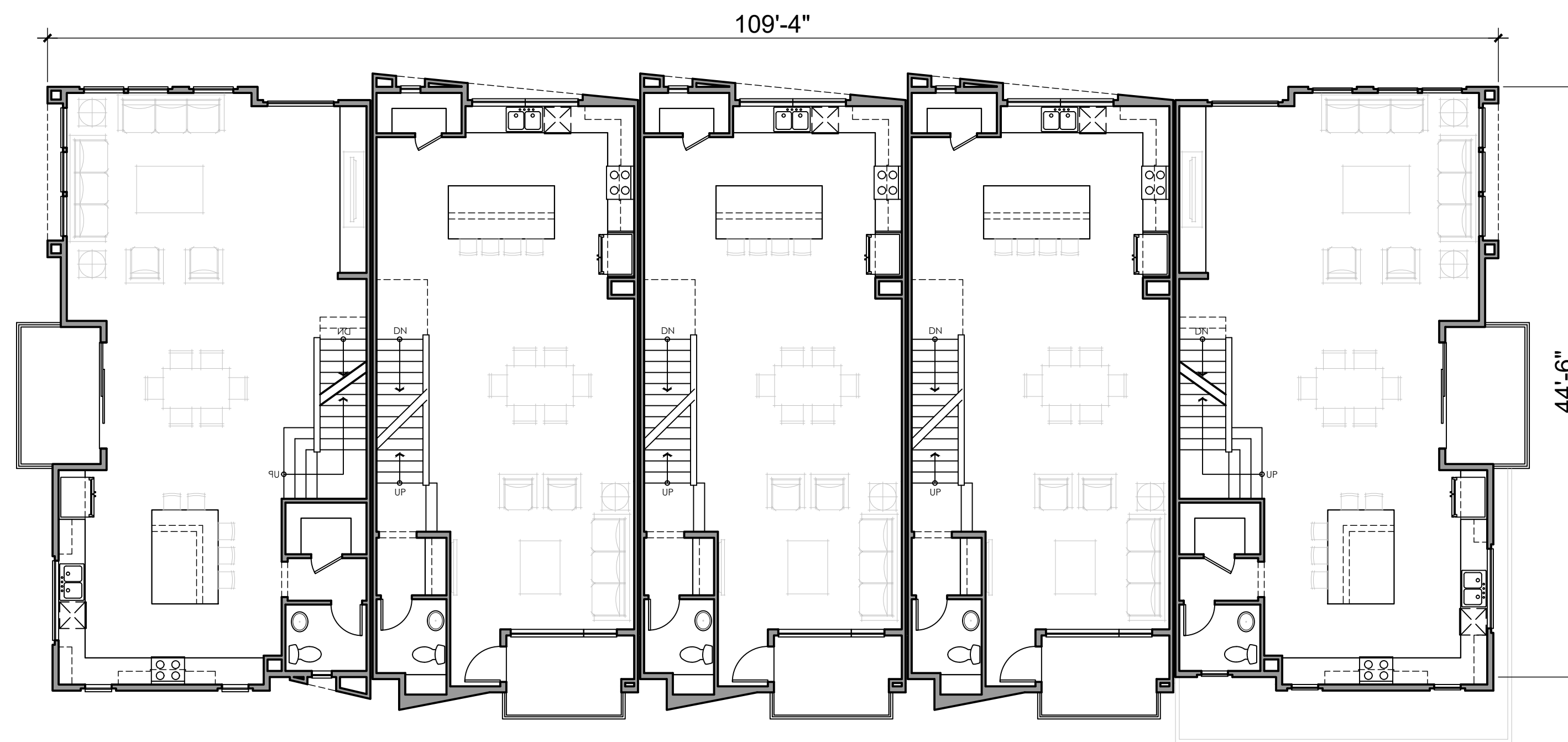
PLAN 4

## LEVEL 3



KEY MAP n.t.s.





PLAN 3

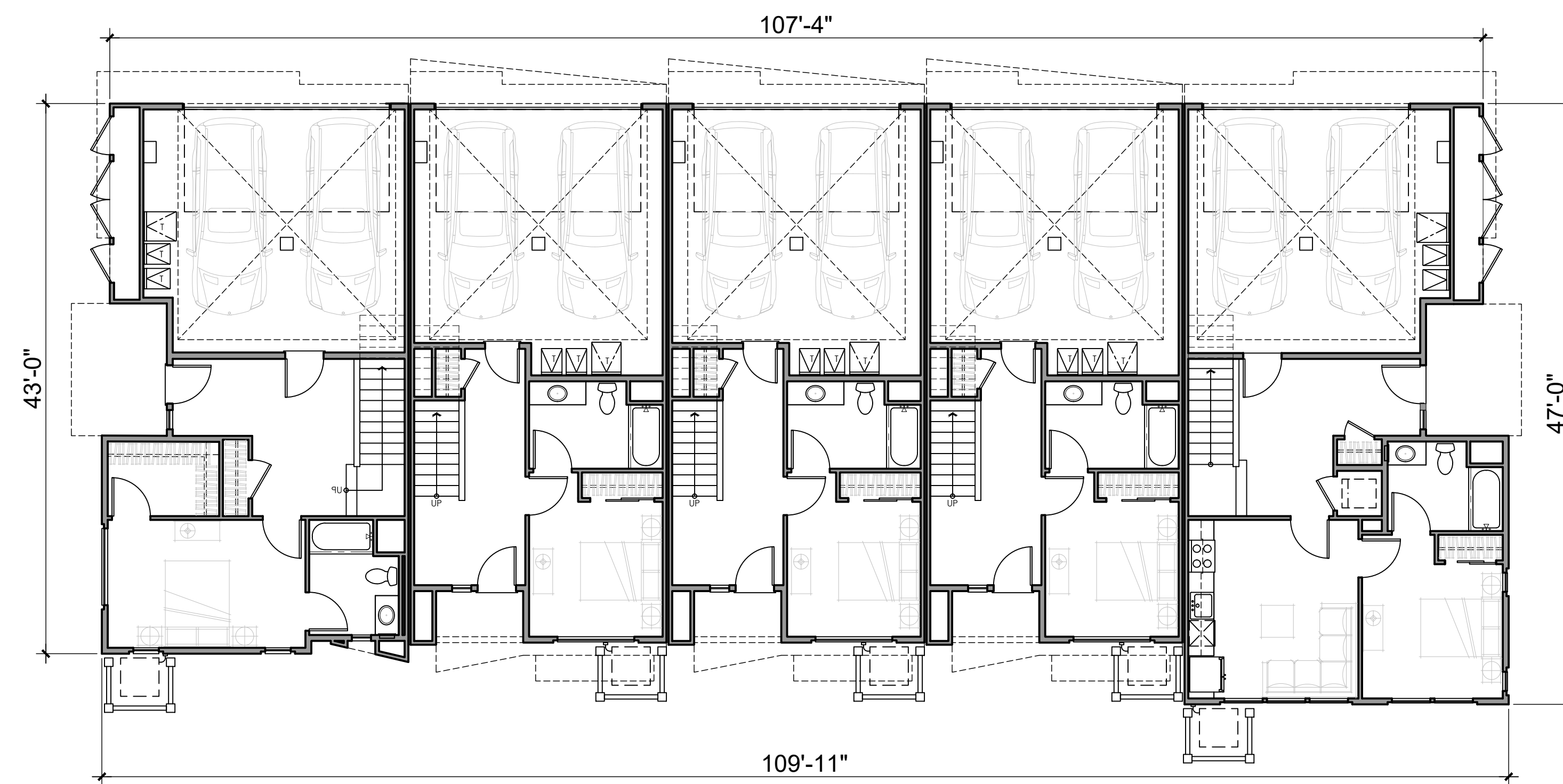
PLAN 2

PLAN 2

PLAN 2

PLAN 4

## LEVEL 2



PLAN 3

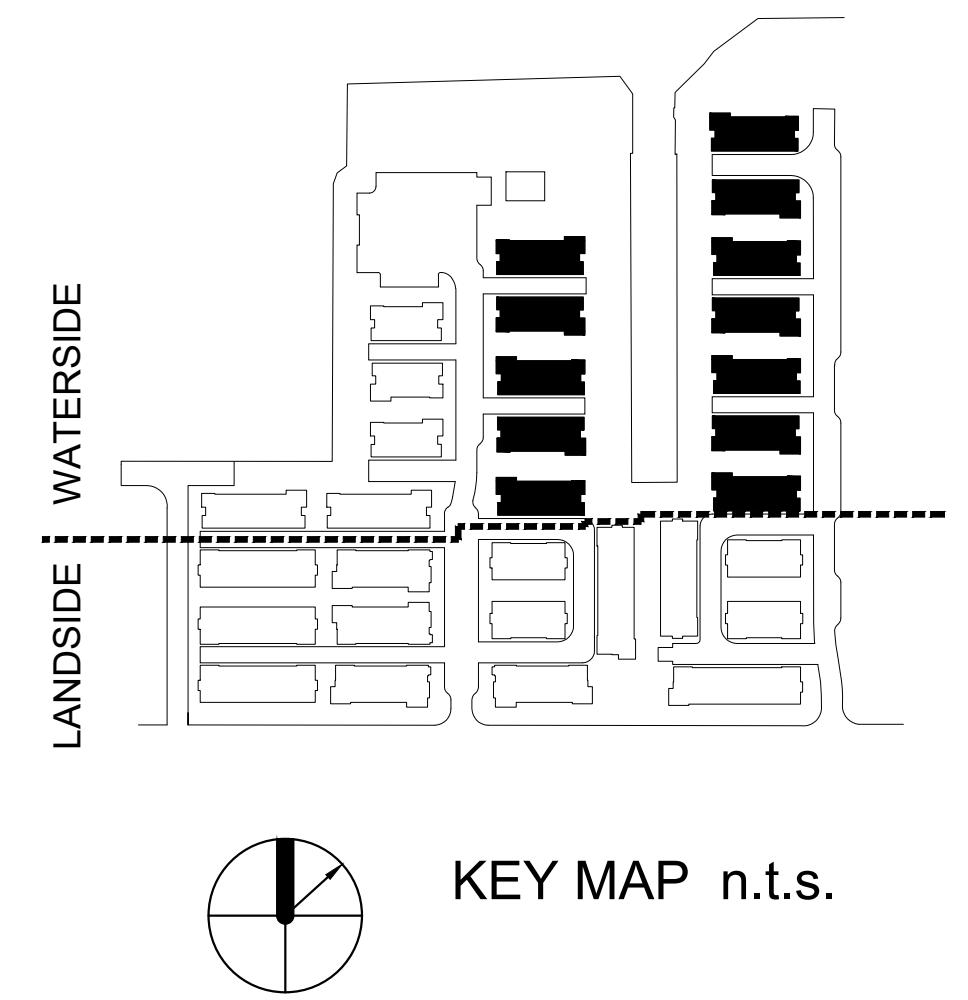
PLAN 2

PLAN 2

PLAN 2

PLAN 4

## LEVEL 1



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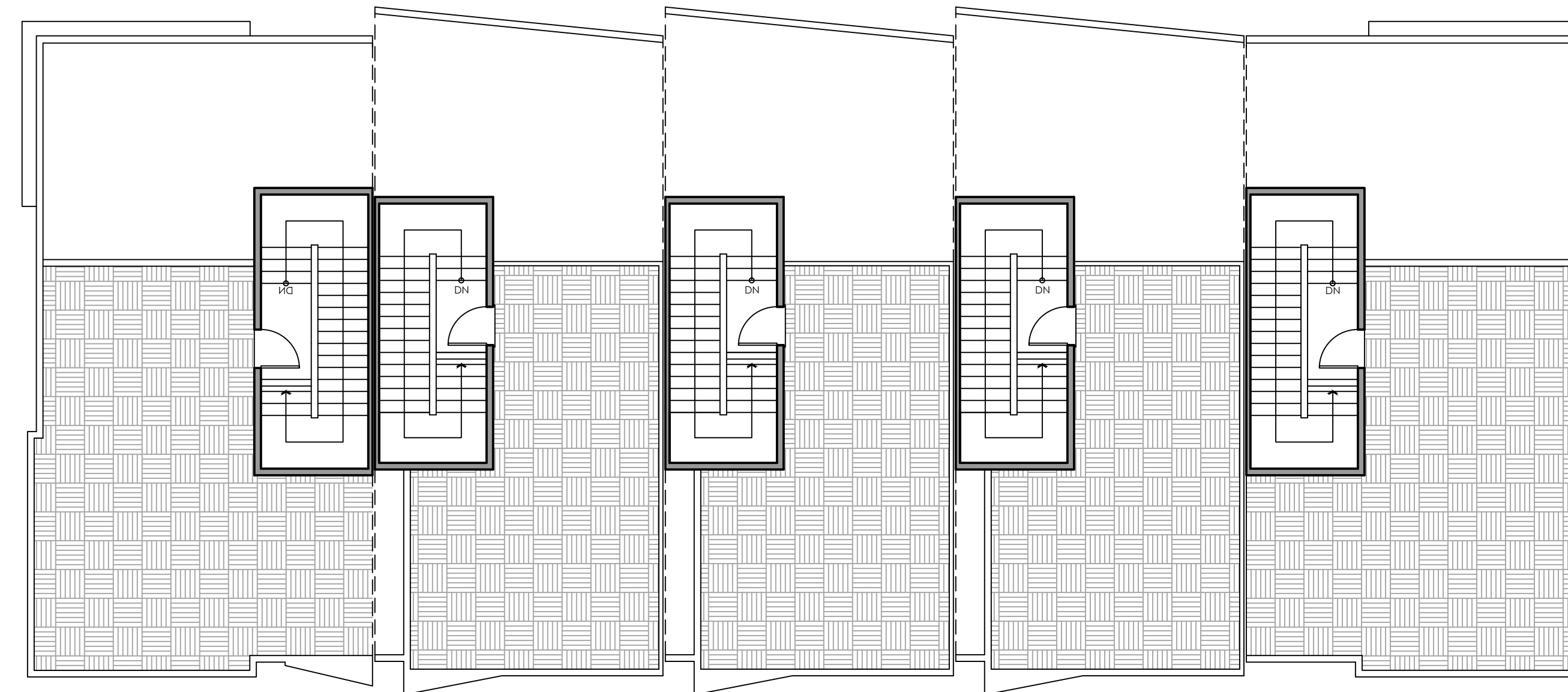
**DESIGN REVIEW**  
NOVEMBER 25, 2019

Scale: 1/8" = 1'-0"  
0 4 8 16

**WATERSIDE**  
**BUILDING PLANS- 5 PLEX**

**A2.4.0**





PLAN 3

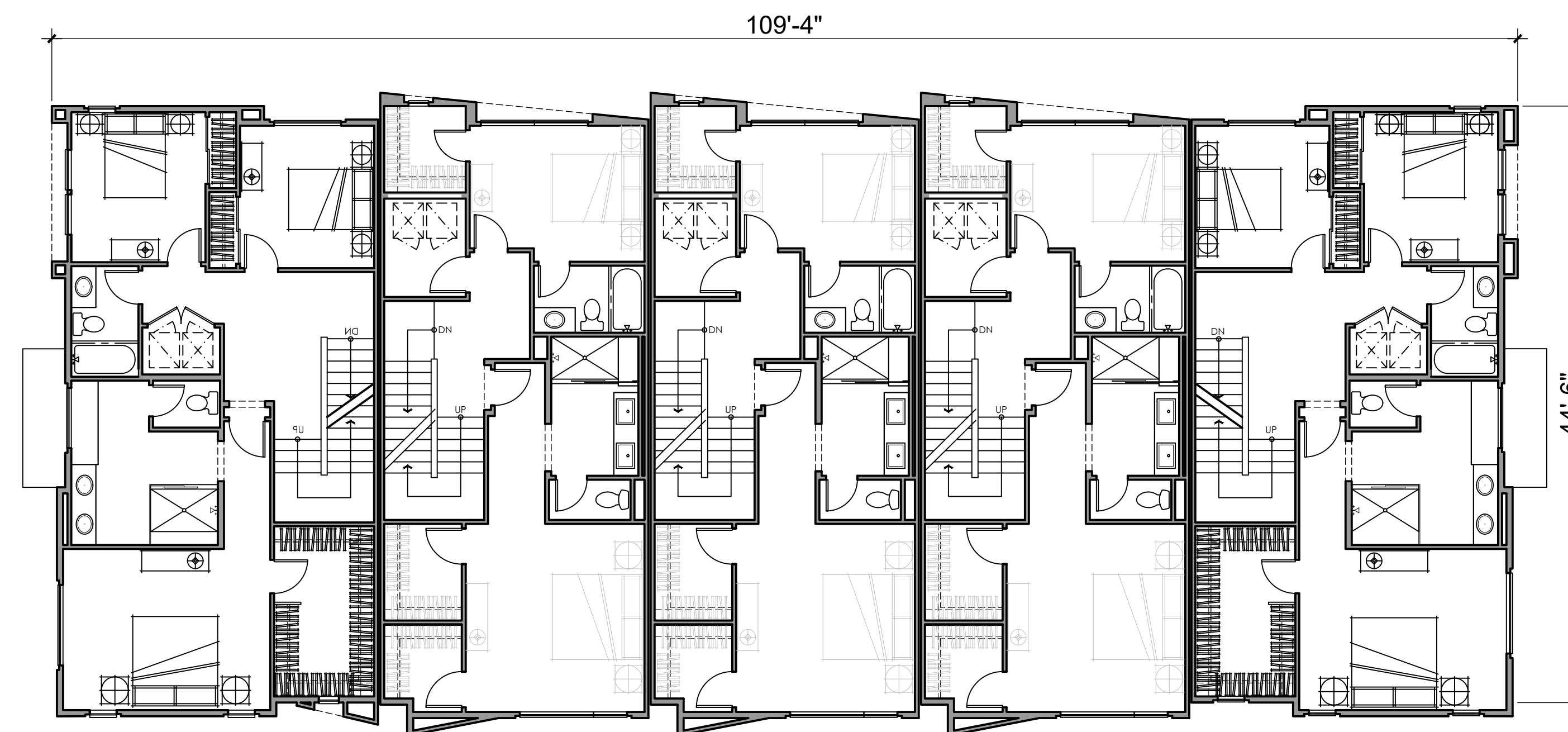
PLAN 2

PLAN 2

PLAN 2

PLAN 4

## ROOF



PLAN 3

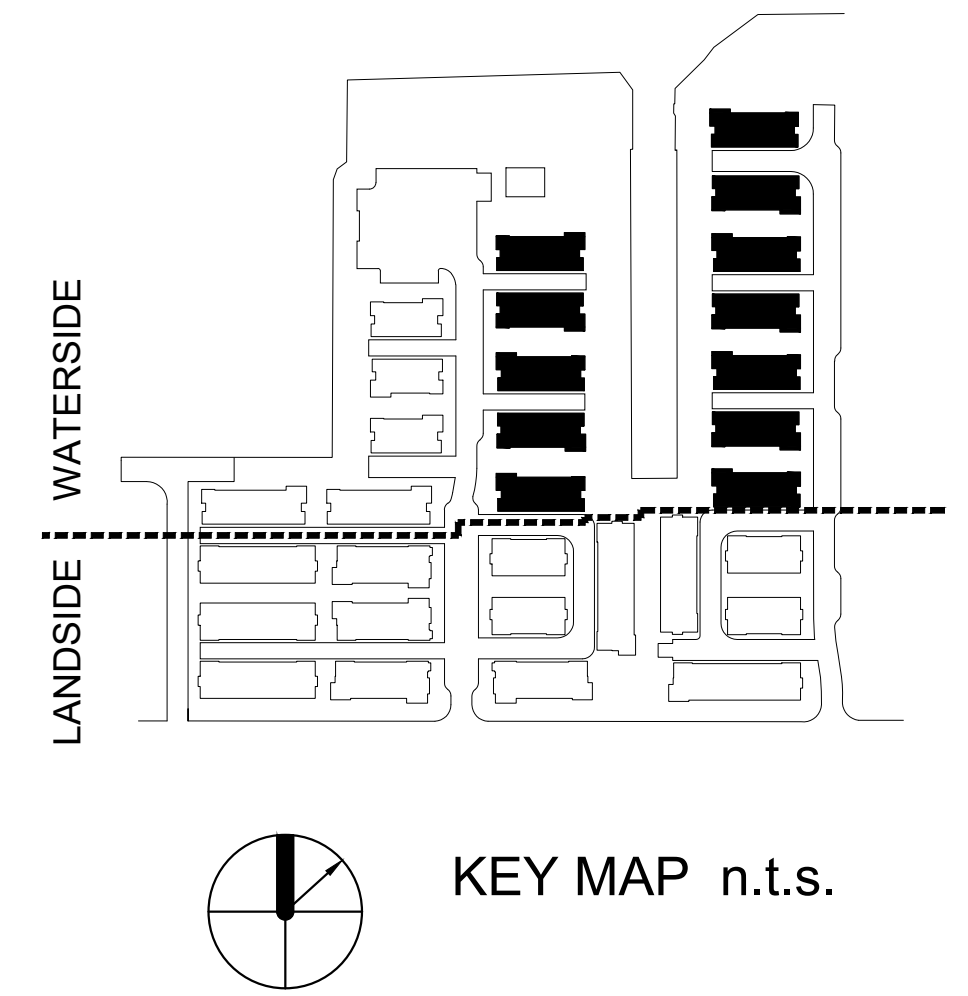
PLAN 2

PLAN 2

PLAN 2

PLAN 4

## LEVEL 3



KEY MAP n.t.s.



**Architecture + Planning**  
The Leamington Building  
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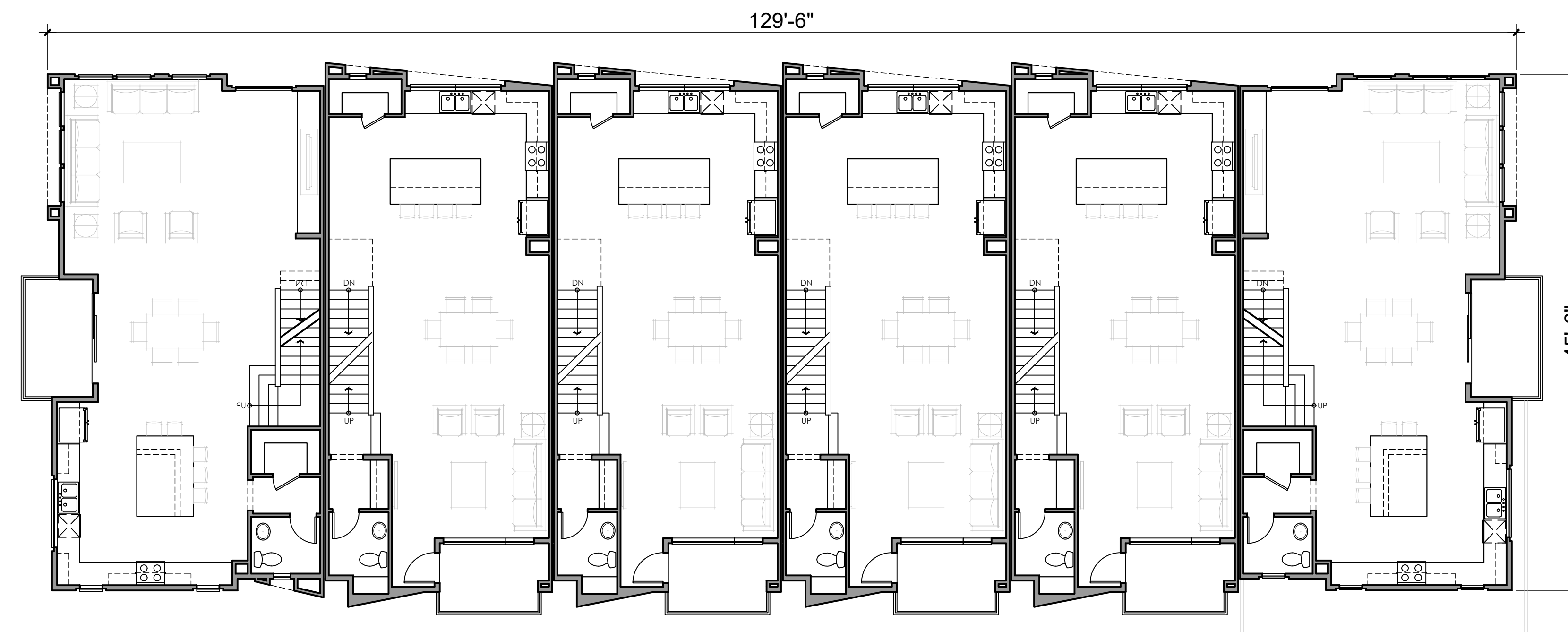
**DESIGN REVIEW**  
NOVEMBER 25, 2019

Scale: 1/8" = 1'-0"  
0 4 8 16

**WATERSIDE**  
**BUILDING PLANS- 5 PLEX**

**A2.4.1**





PLAN 3

PLAN 2

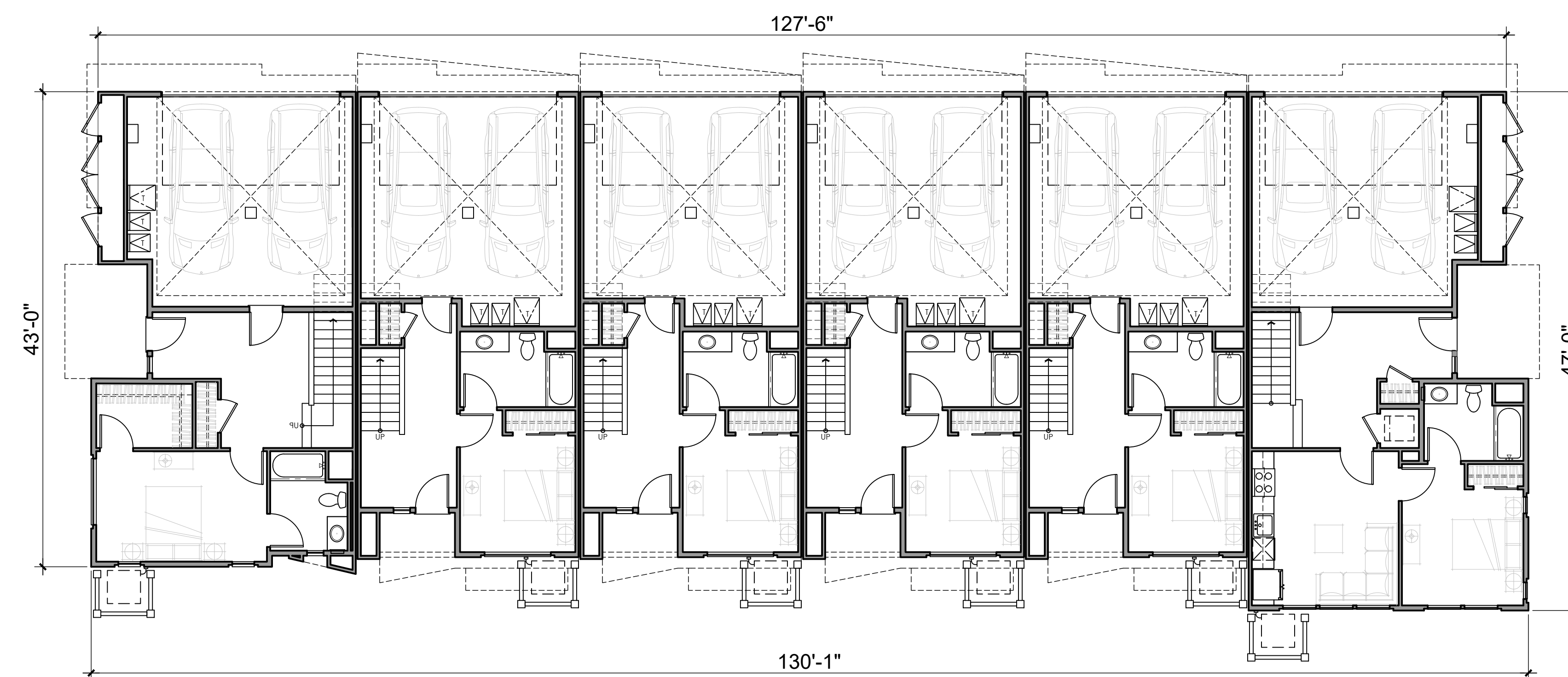
PLAN 2

PLAN 2

PLAN 2

PLAN 4

LEVEL 2



PLAN 3

PLAN 2

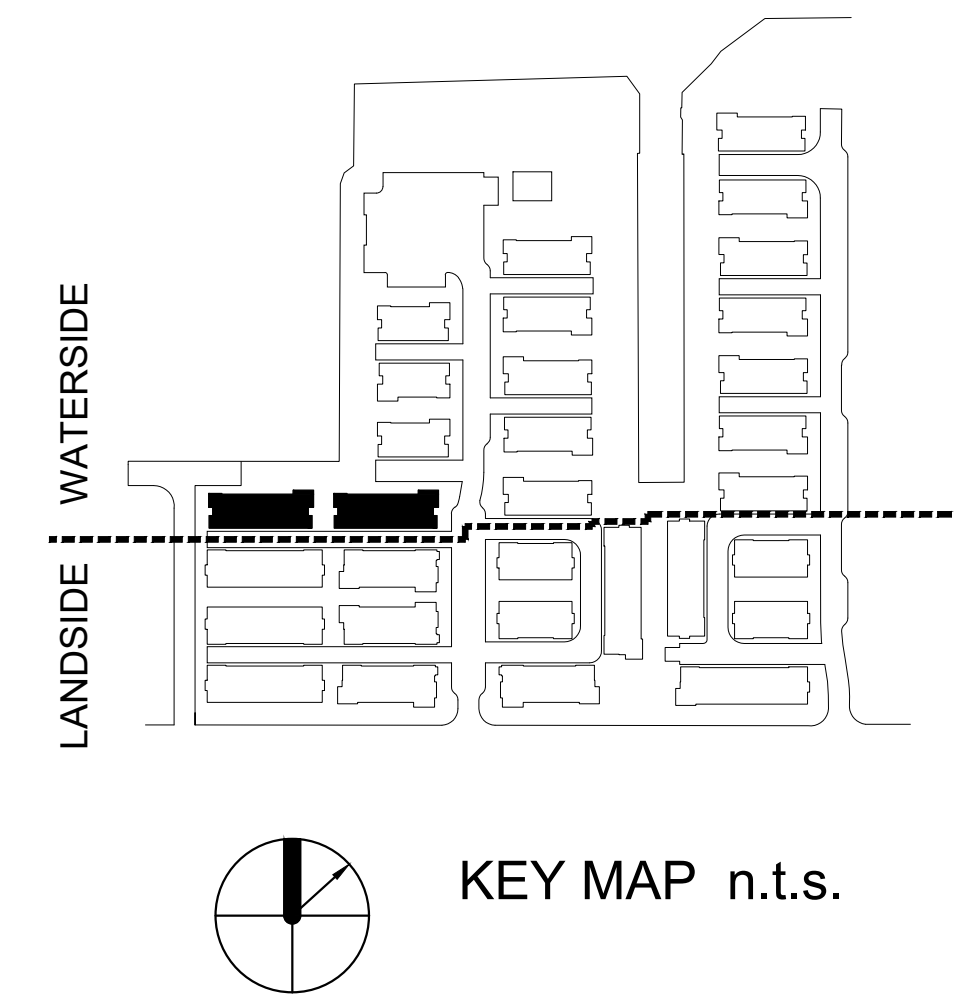
PLAN 2

PLAN 2

PLAN 2

PLAN 4

LEVEL 1



KEY MAP n.t.s.



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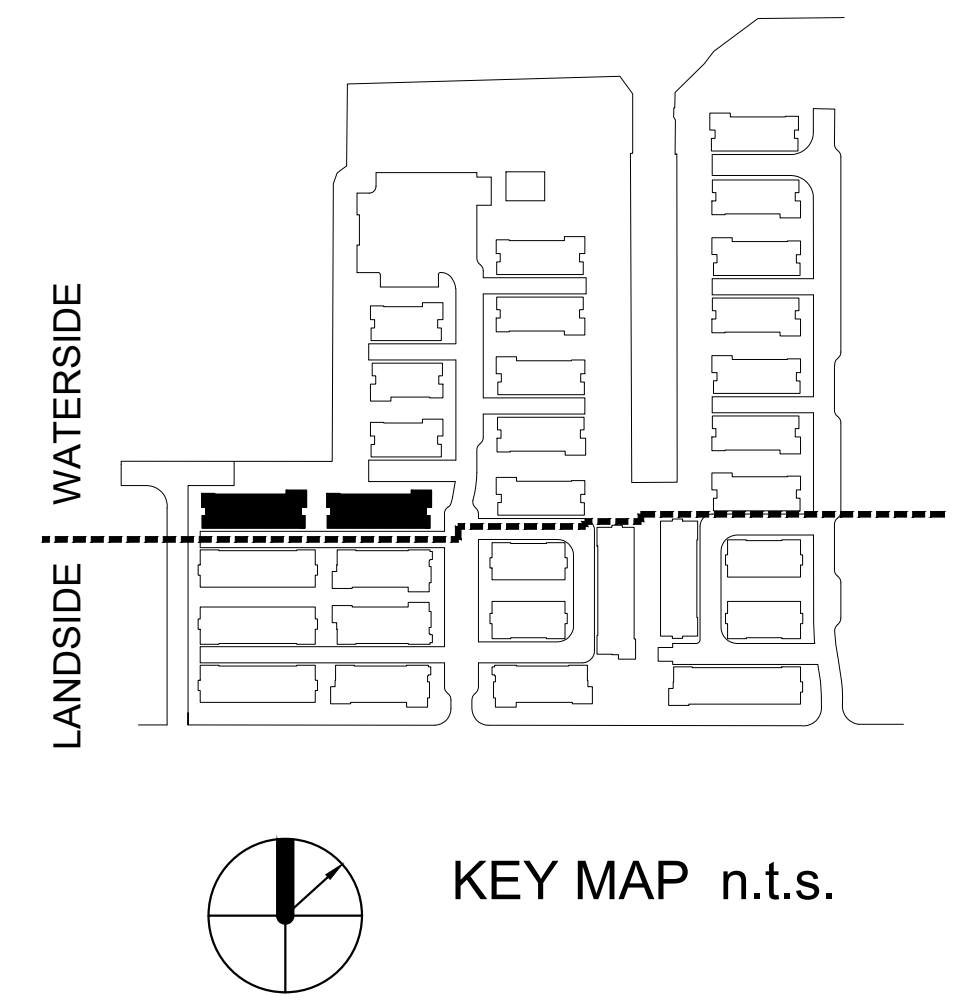
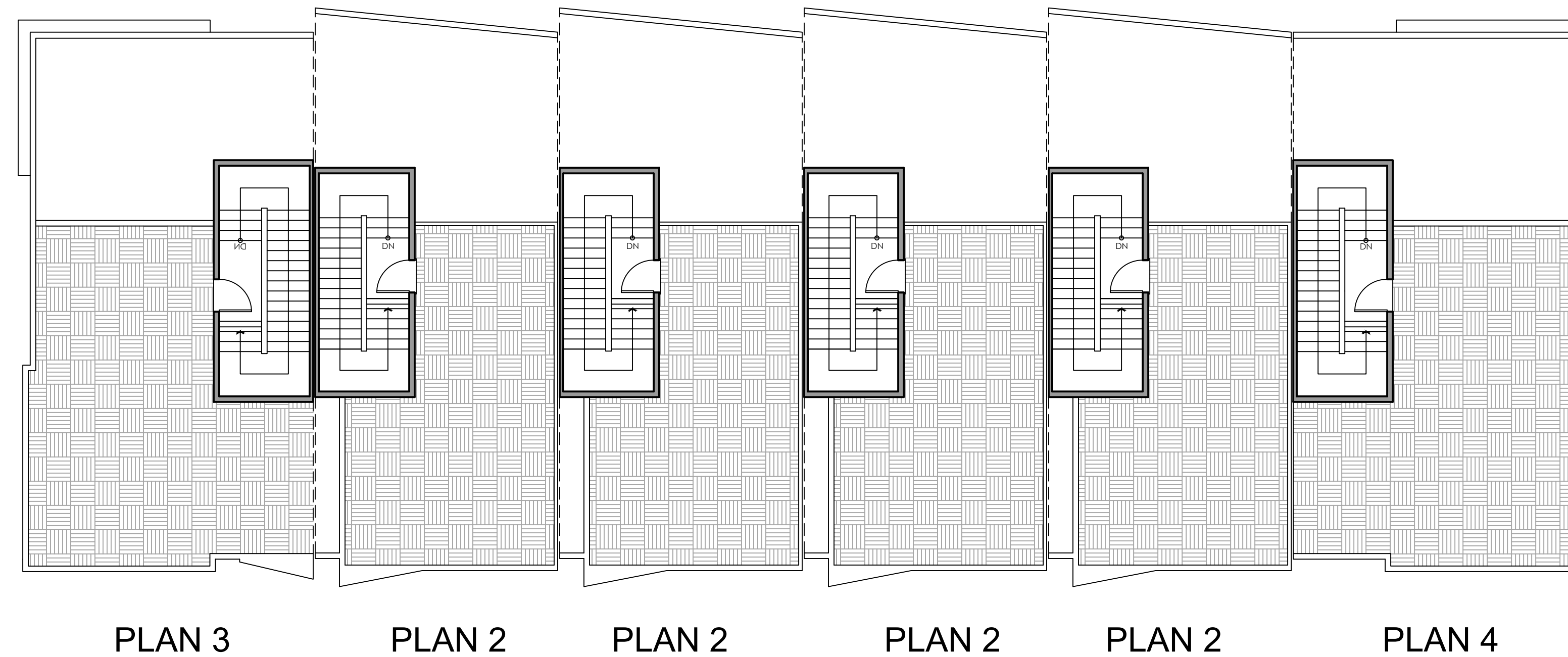
**DESIGN REVIEW**  
NOVEMBER 25, 2019

Scale: 1/8" = 1'-0"  
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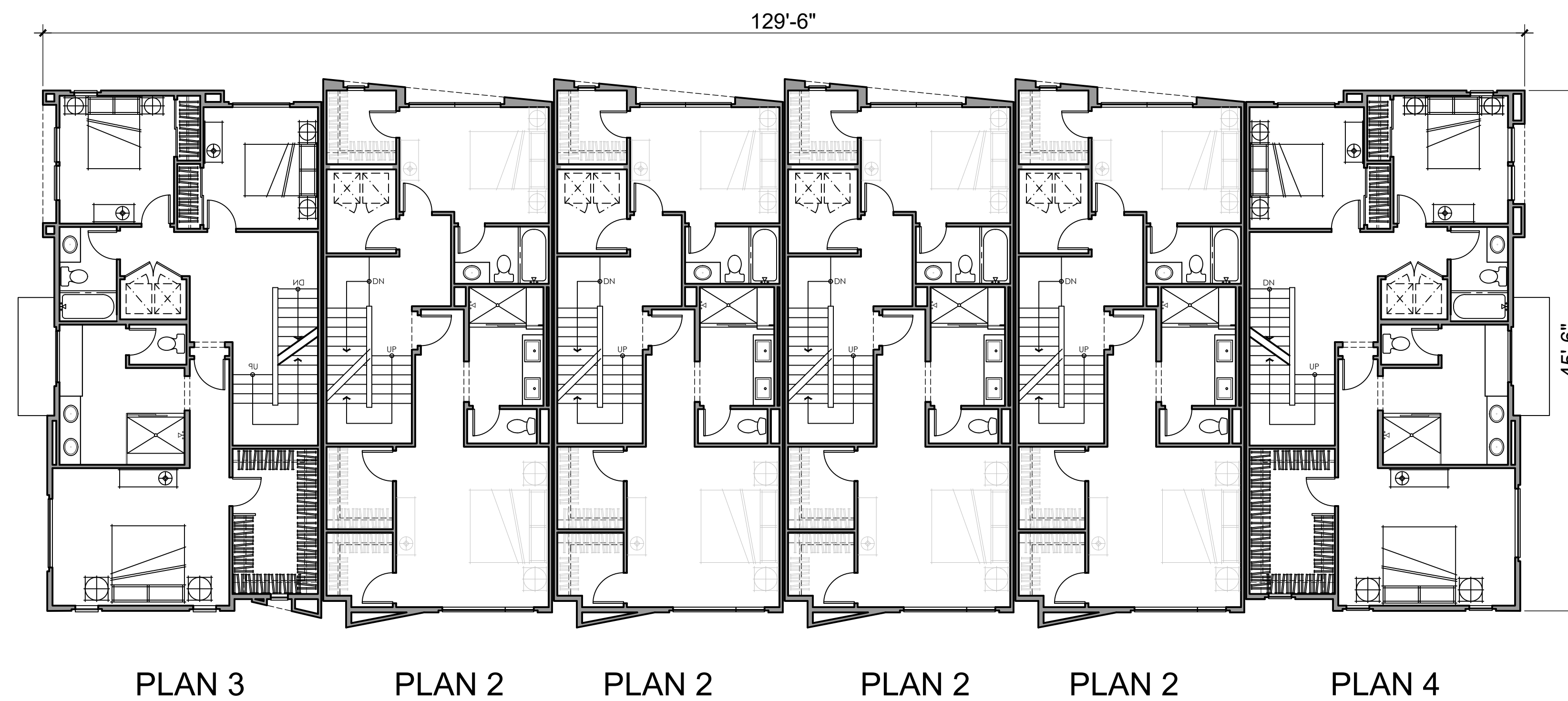
**WATERSIDE**  
**BUILDING PLANS- 6 PLEX**

**A2.5.0**





## ROOF



## LEVEL 3



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Oakland, CA 94612  
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ALAMEDA, CA    # 2014-0798.01

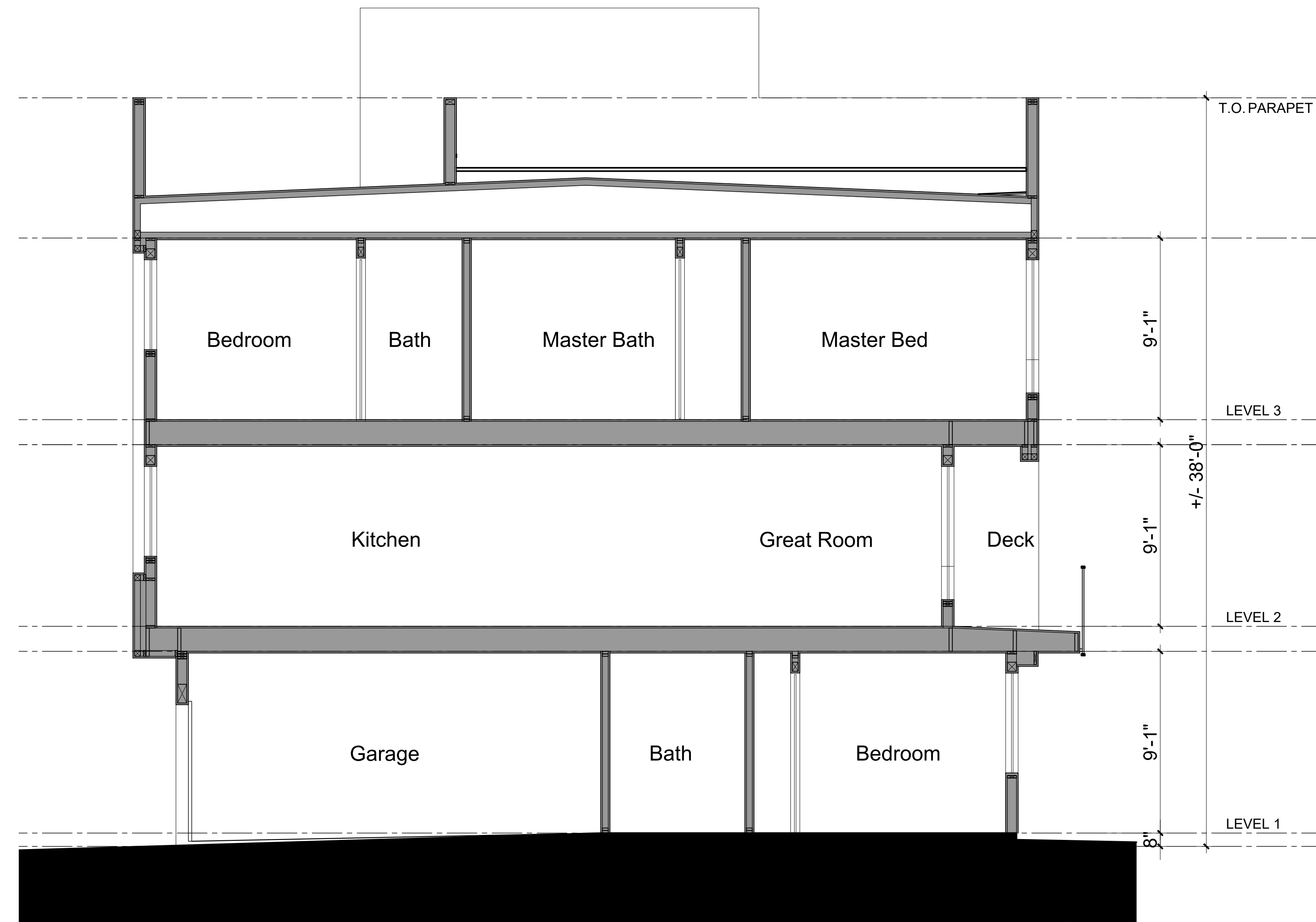
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NOVEMBER 25, 2019

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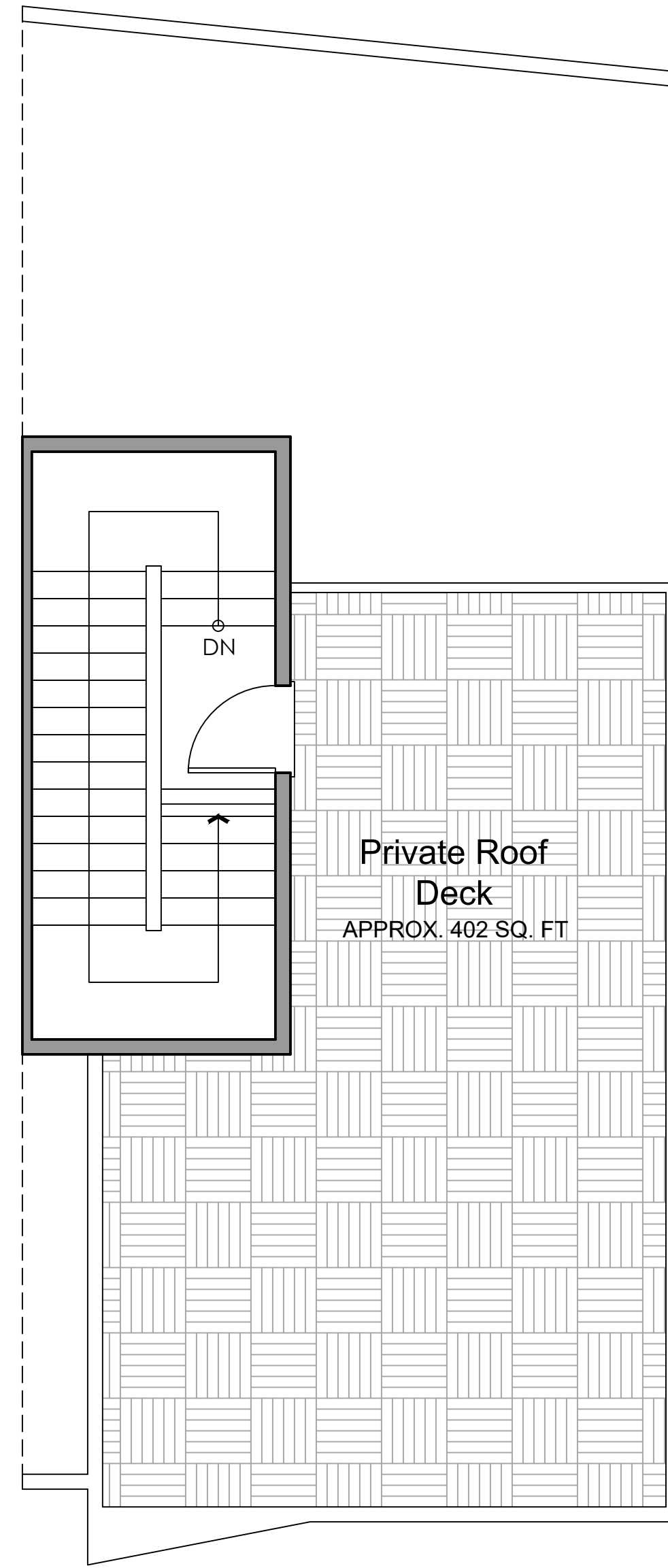
**WATERSIDE**  
**BUILDING PLANS- 6 PLEX**

**A2.5.1**

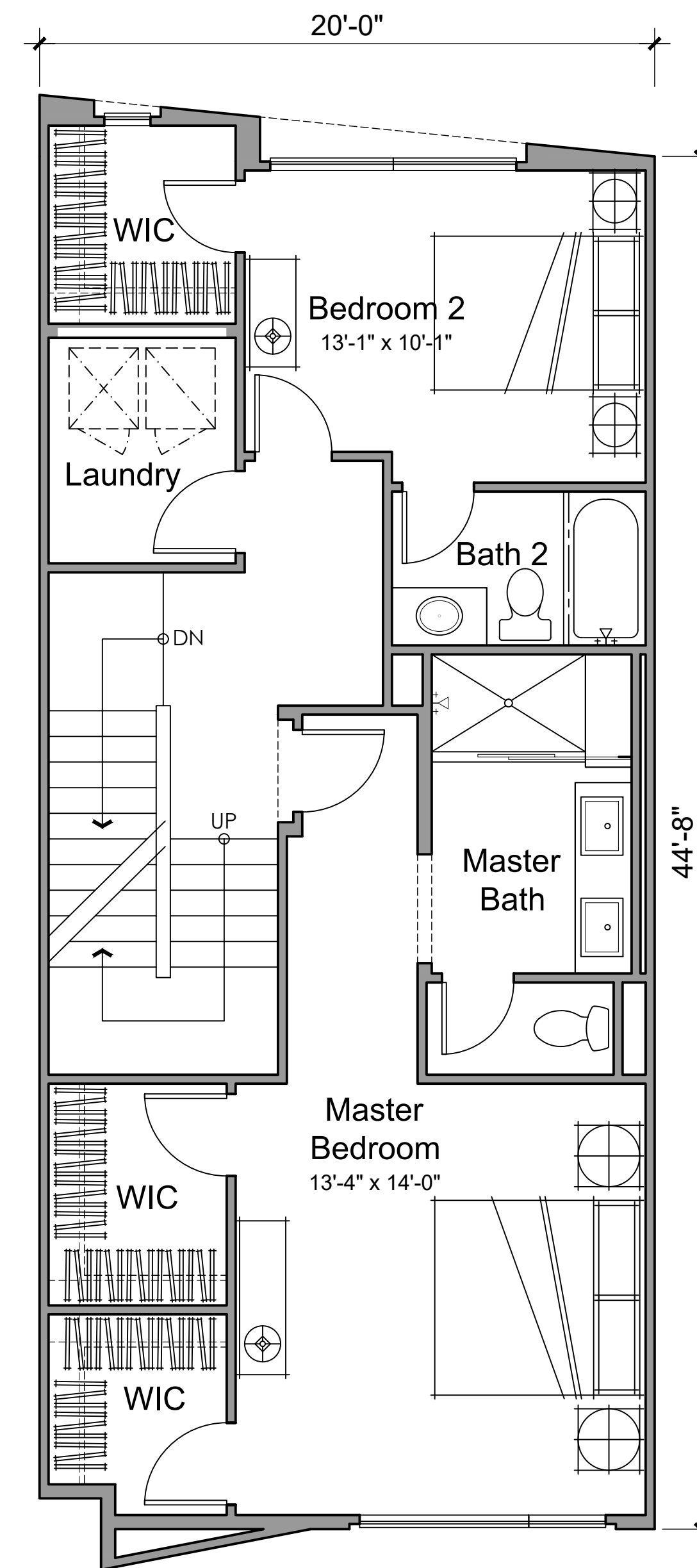




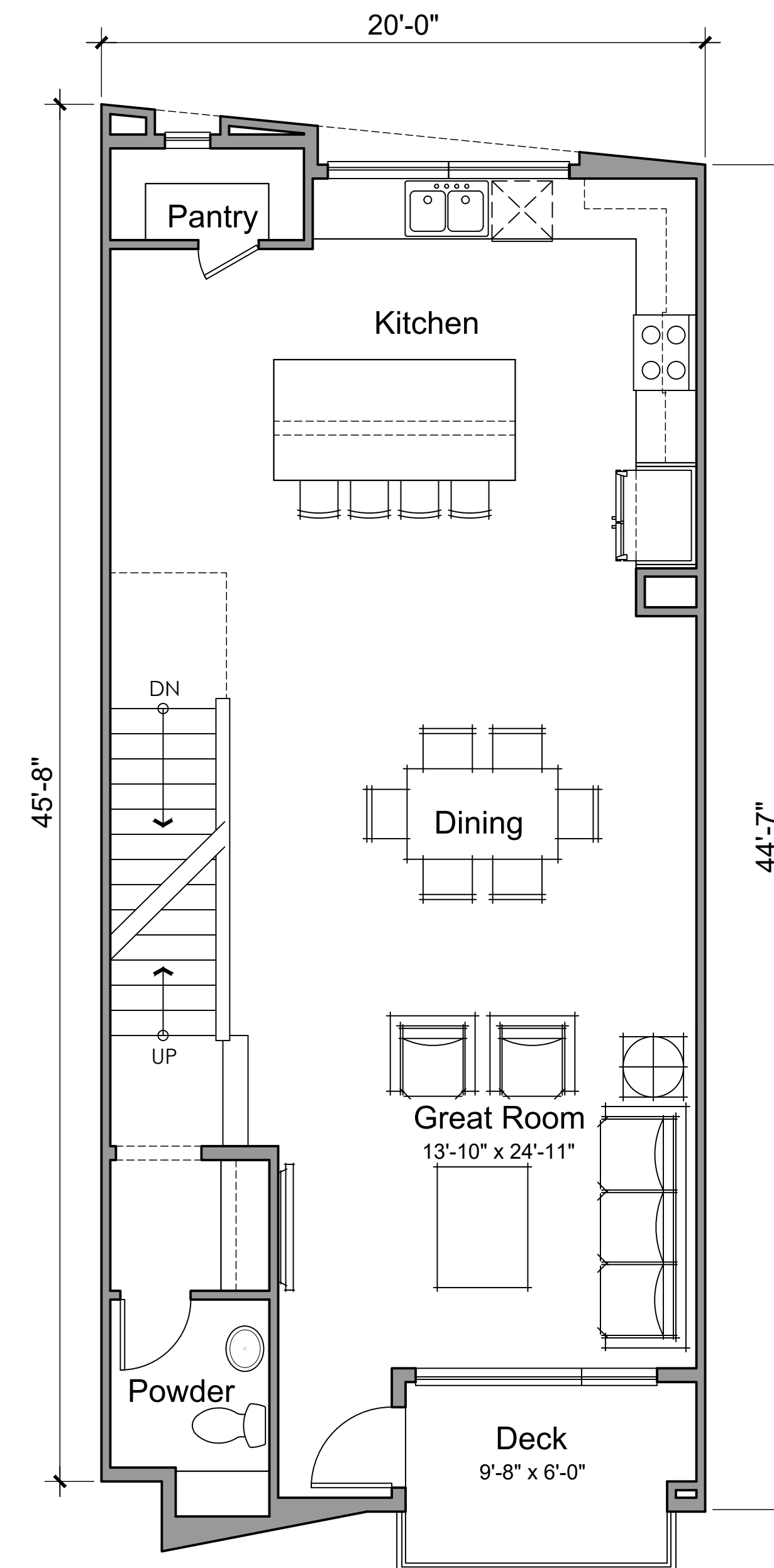




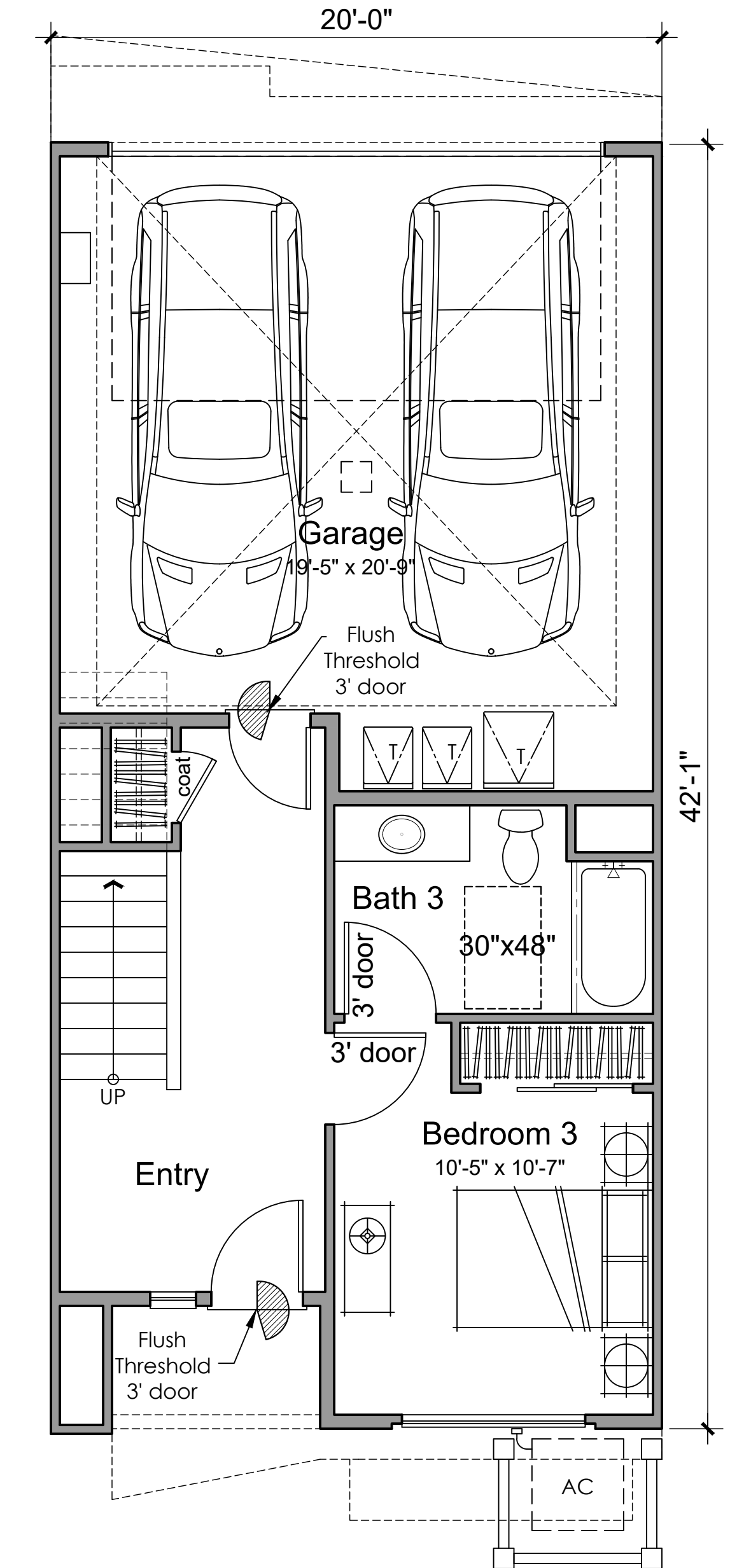
Roof



Third Floor



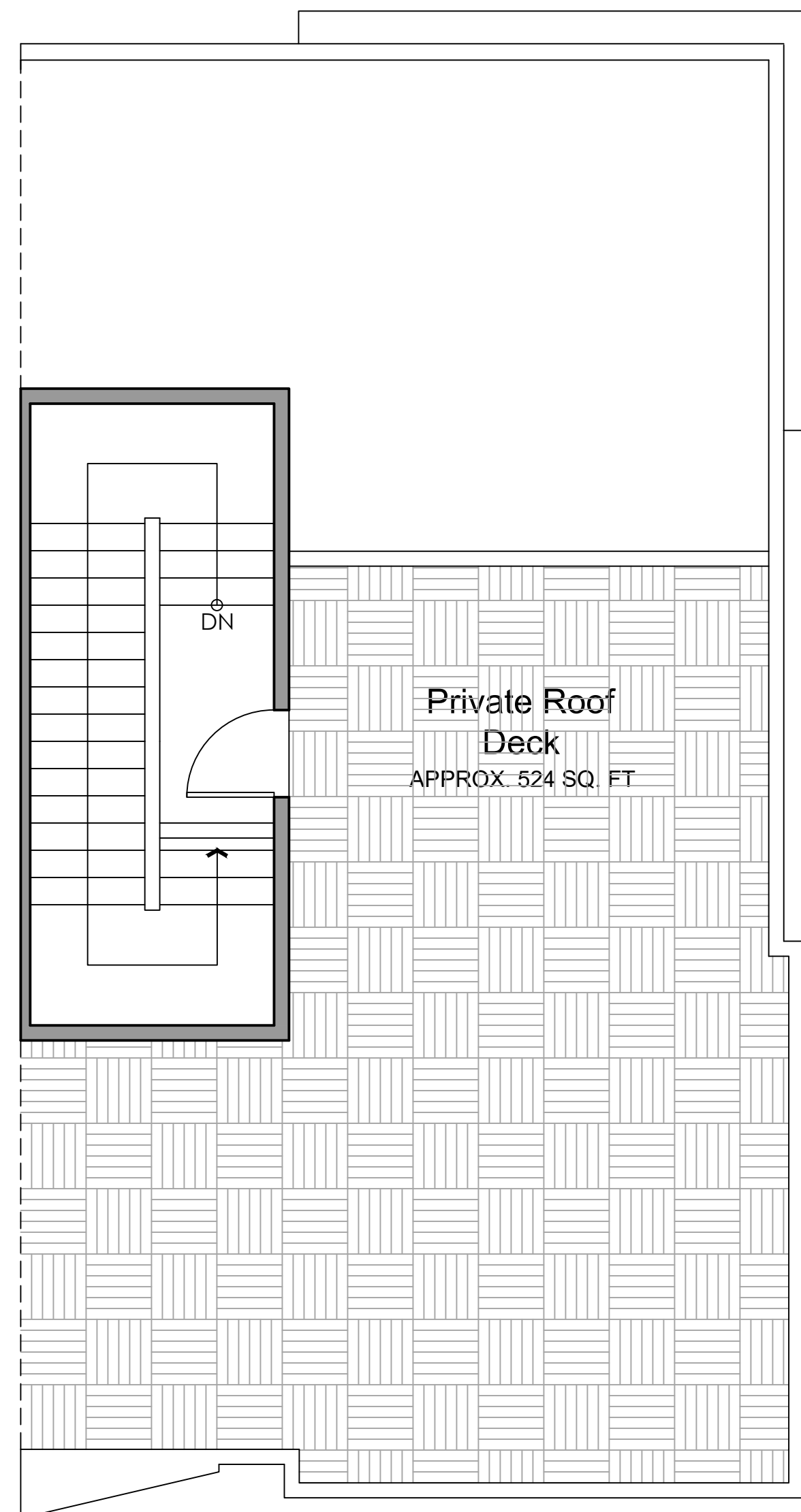
Second Floor



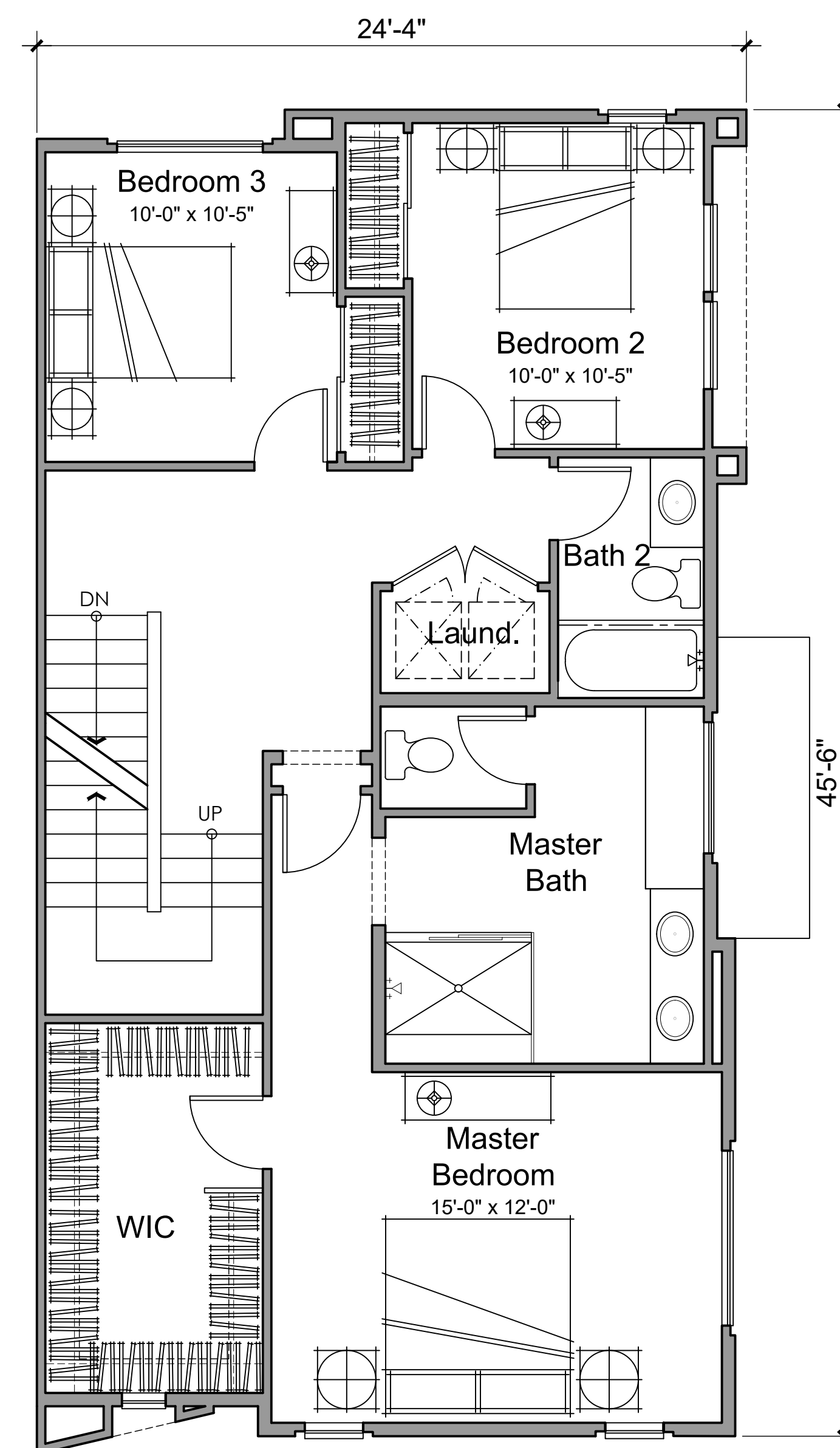
First Floor

Floor Plan  
3 Bedrooms  
3.5 Baths  
2,132 n.s.f.

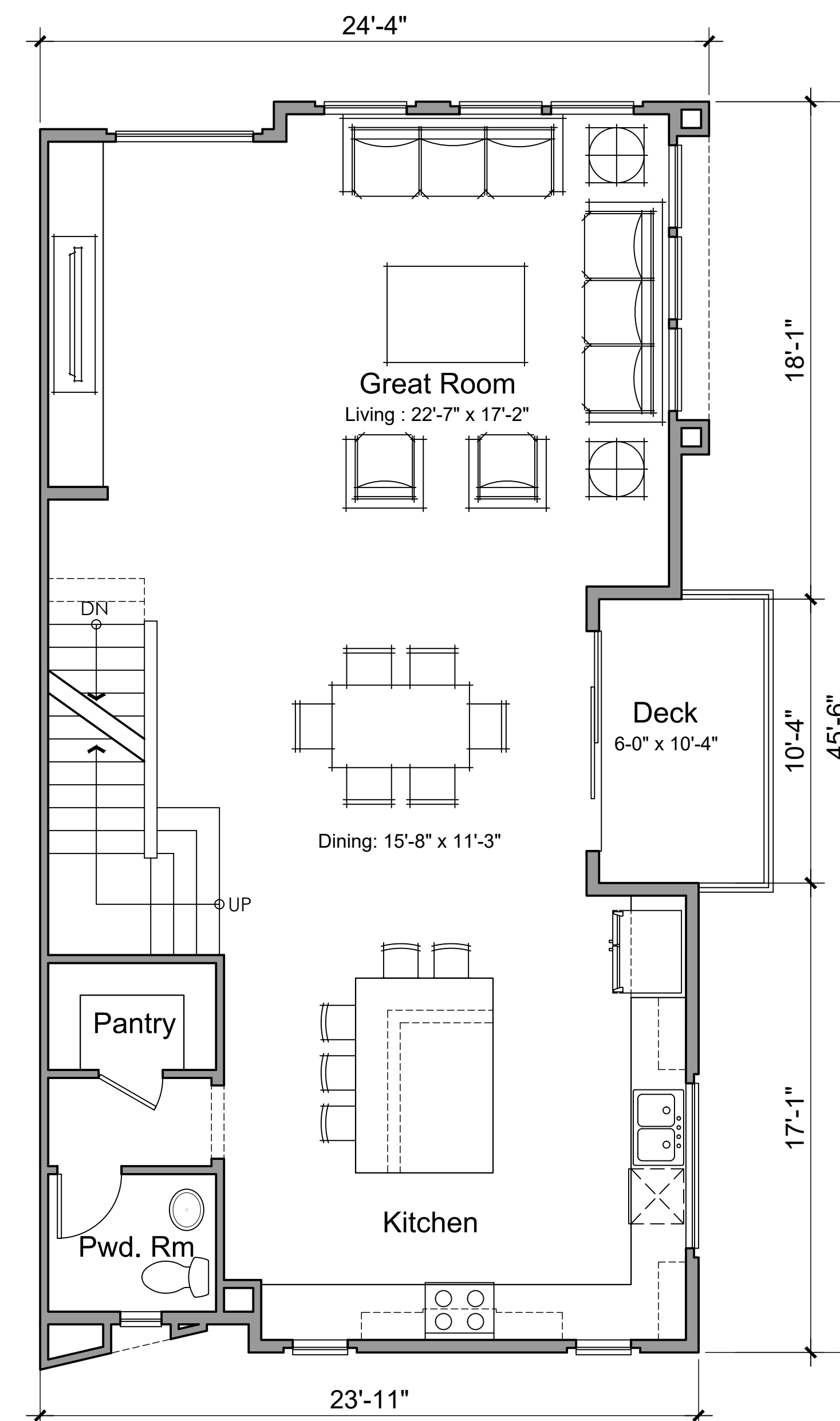




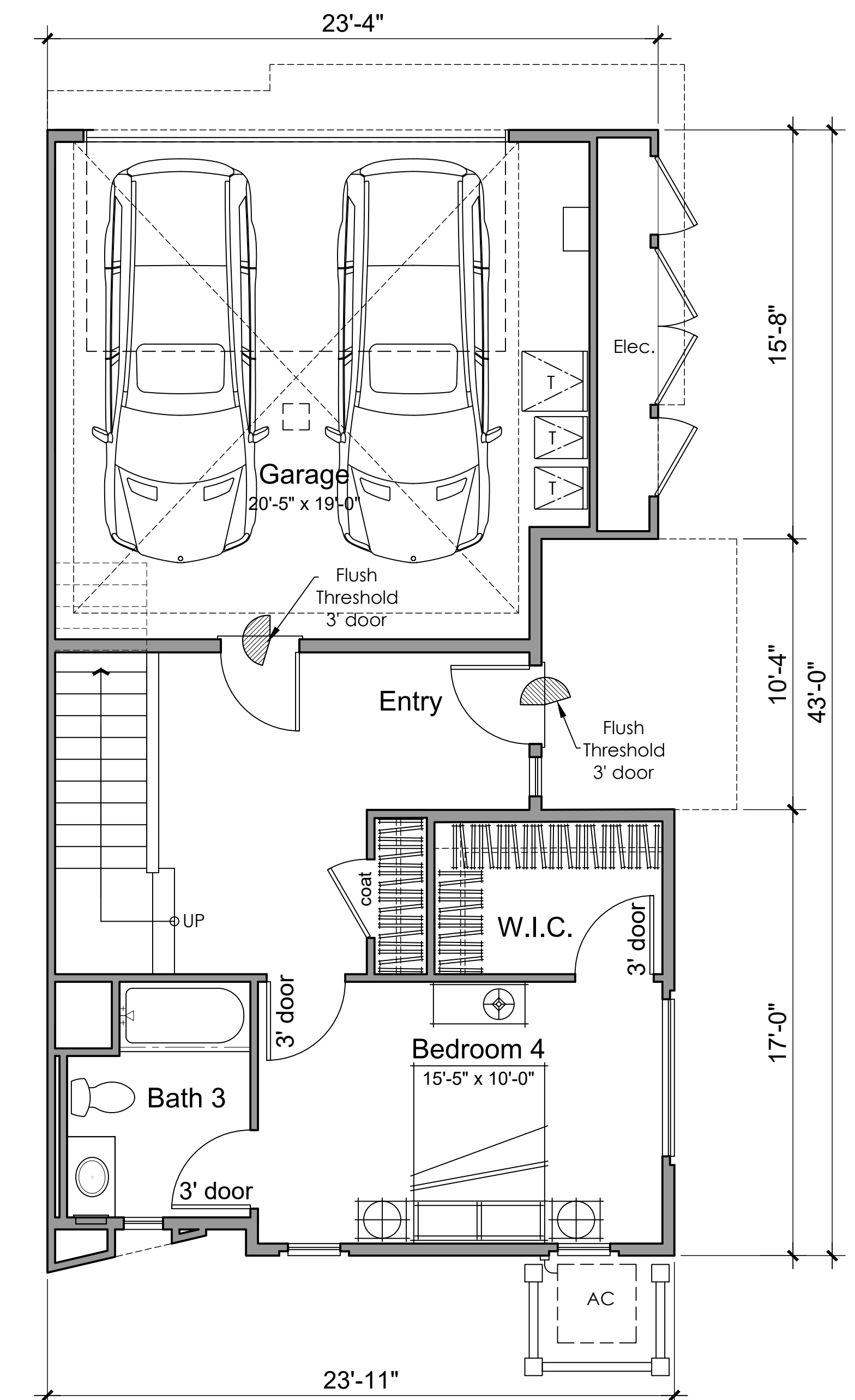
Roof



Third Floor



Second Floor



First Floor

Floor Plan  
4 Bedrooms  
3.5 Baths  
2,545 n.s.f.



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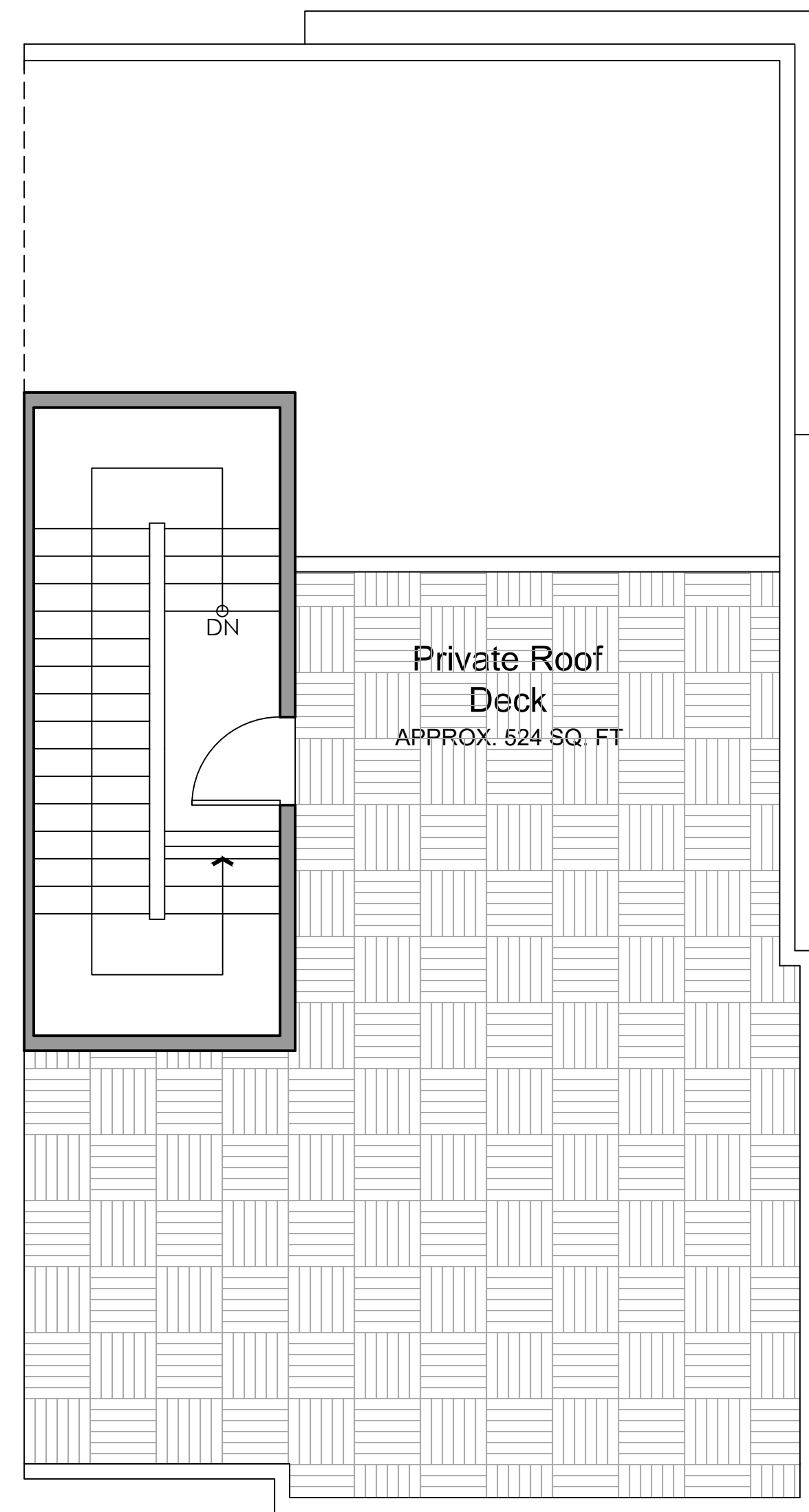
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NOVEMBER 25, 2019

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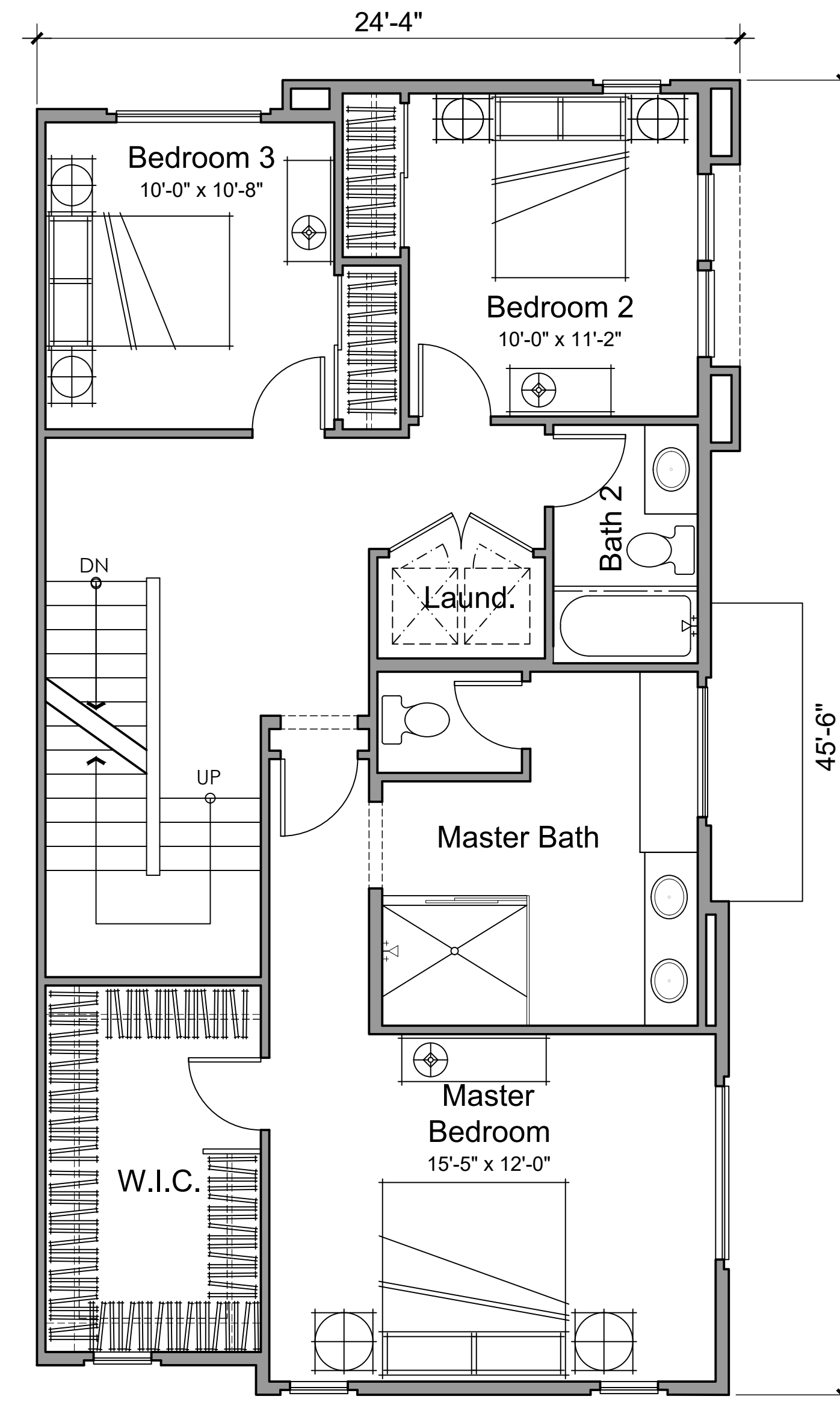
WATERSIDE  
UNIT PLANS\_ PLAN 2

A2.7.1

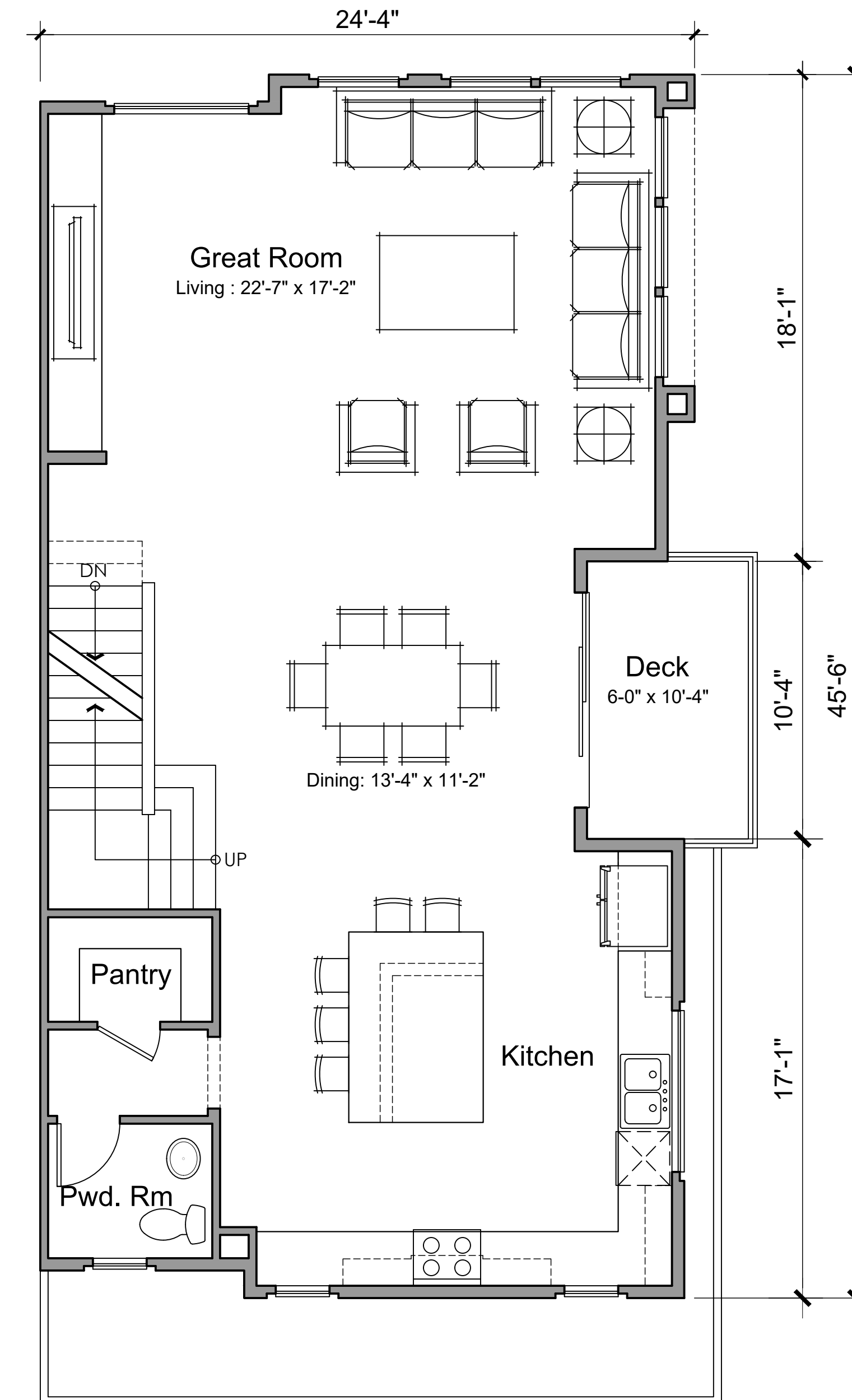




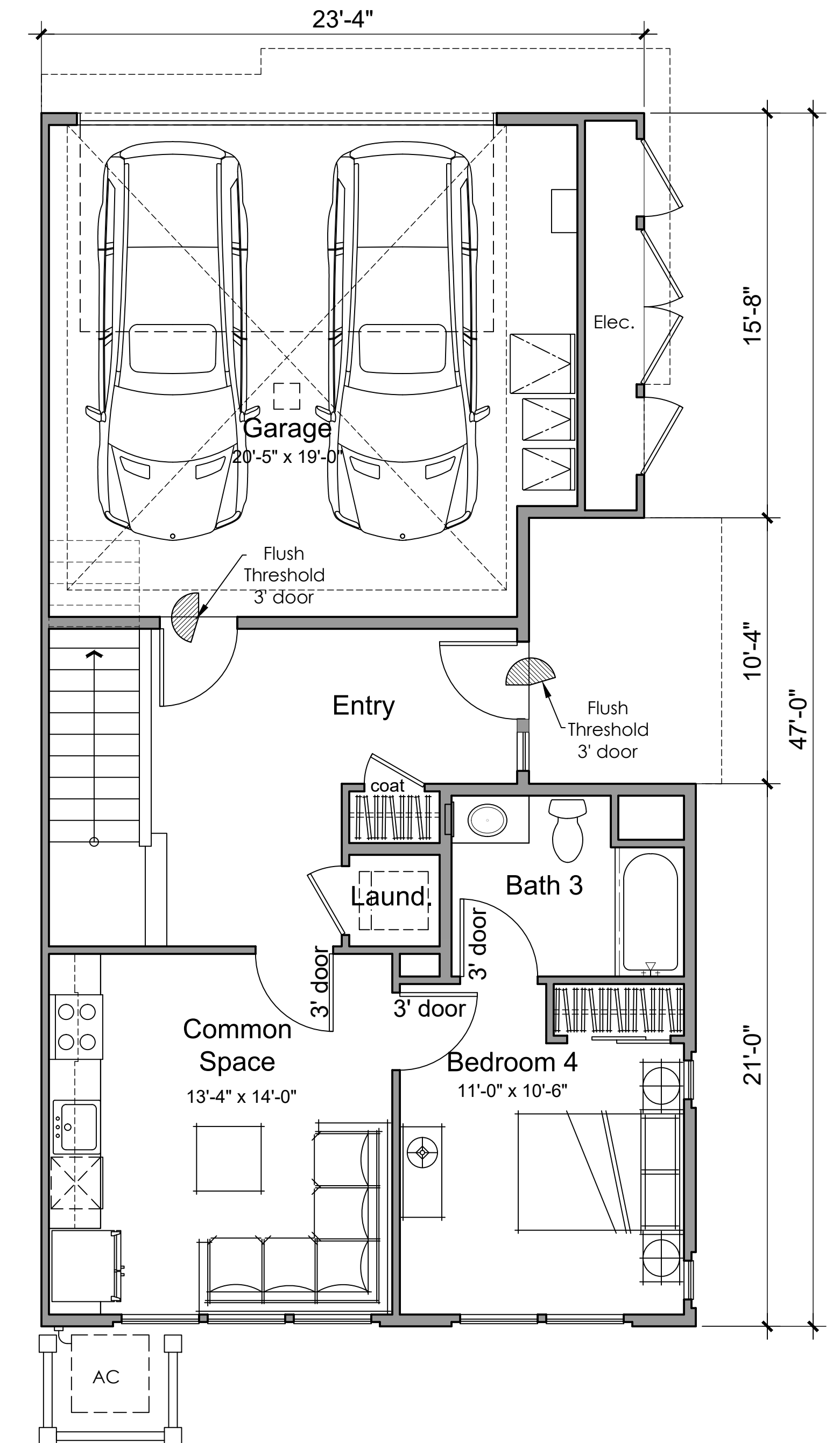
Roof



Third Floor



Second Floor



First Floor

Floor Plan  
4 Bedrooms  
3.5 Baths  
2,670 n.s.f.





REAR

- RECESSED WINDOW
- VERTICAL SIDING
- STUCCO
- METAL RAILING
- LIGHT FIXTURE & UNIT ADDRESS
- GARAGE DOOR
- ELEC. METER CABINET DOORS
- ENTRY DOOR



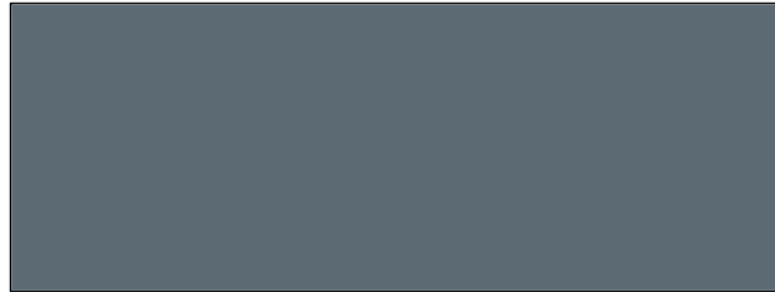

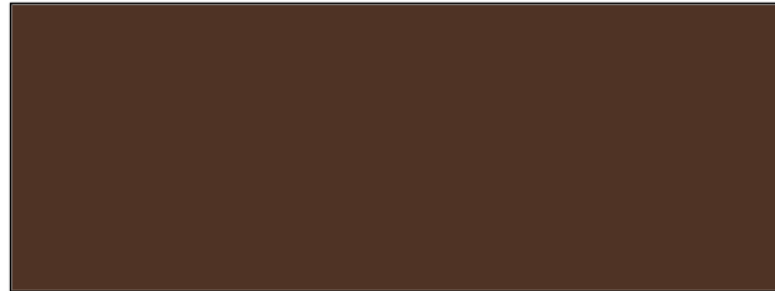




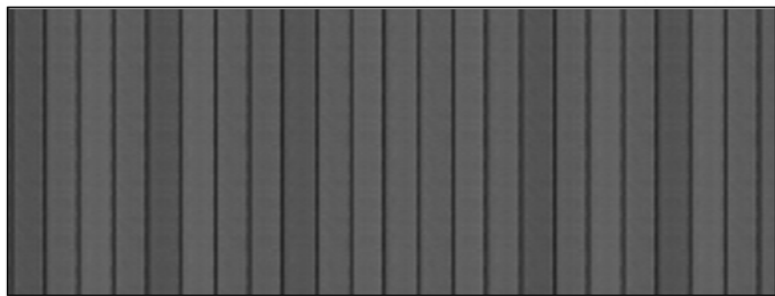


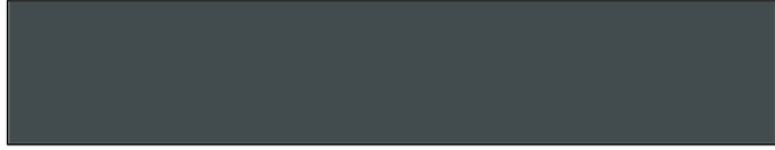




LEFT\_UNIT ENTRY

- RECESSED WINDOW
- VERTICAL SIDING
- STUCCO
- METAL RAILING
- LIGHT FIXTURE & UNIT ADDRESS
- DOWNSPOUT
- ENTRY DOOR



FRONT\_UNIT ENTRY

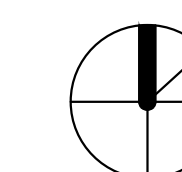
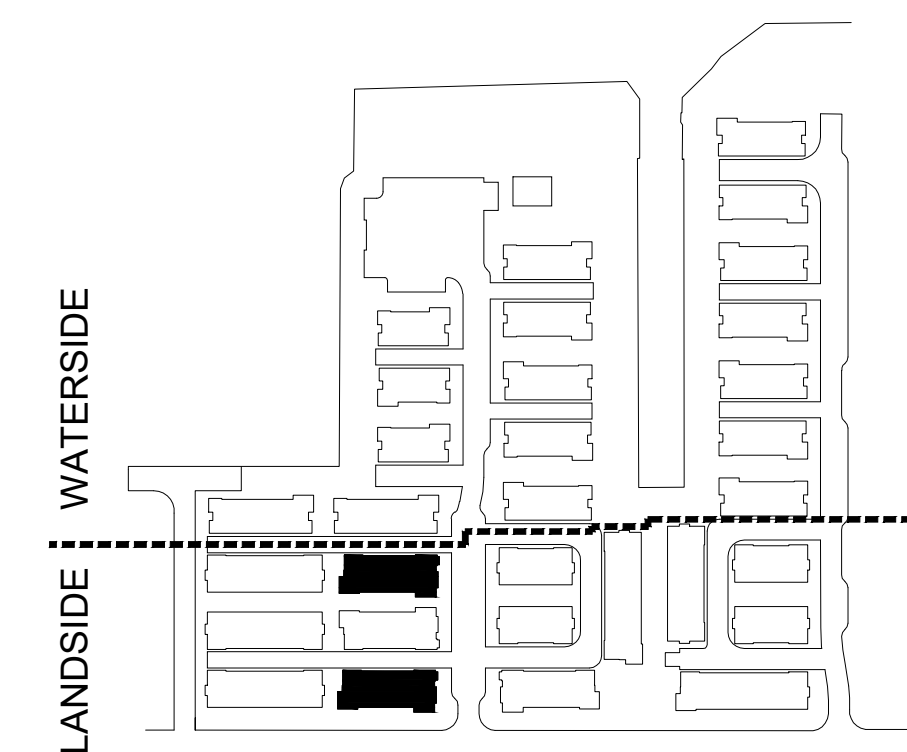


	SCHEME B	SCHEME A
STUCCO BODY 1		
STUCCO BODY 2		
STUCCO BODY 3		
VERTICAL SIDING		
ENTRY DOOR / ACCENT COLOR 1		
ACCENT COLOR 2		
METAL RAILING		
GARAGE DOOR		





FRONT LEFT PERSPECTIVE



KEY MAP n.t.s.



FRONT ELEVATION

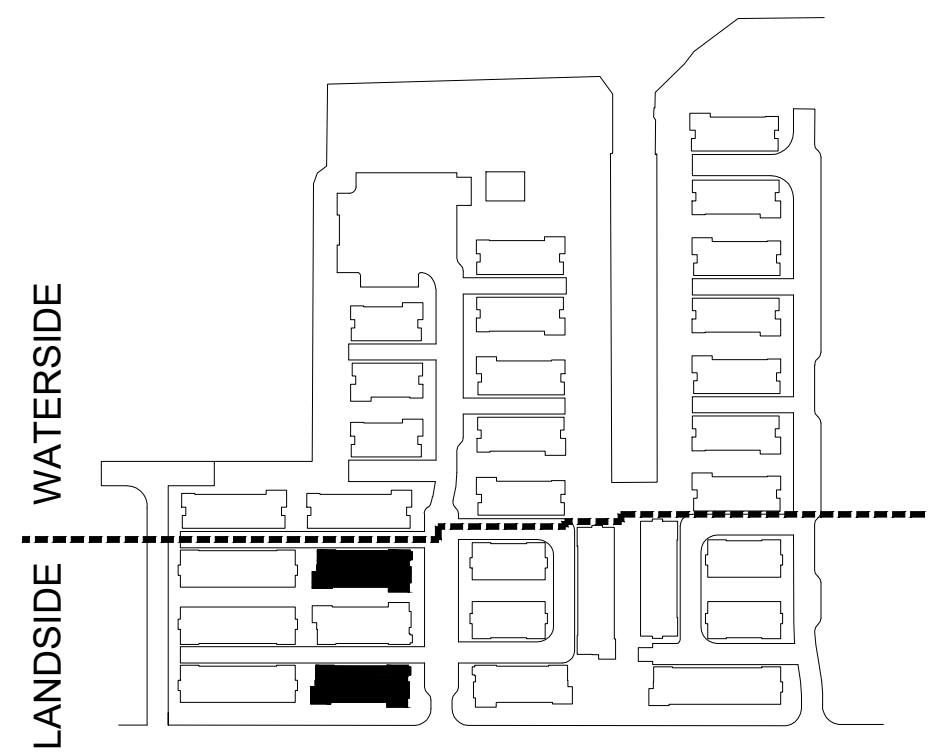
MATERIAL LEGEND:

1. Stucco
2. Wood Color Siding
3. Fiber Cement Vertical Siding
4. Board and Batten Siding
5. Fiber Cement Trim
6. Metal Trellis
7. Entry Door
8. Building Address
9. Light Fixture
10. Unit Address
11. Garage Door
12. Metal Railing
13. Wood Post
14. Vinyl Window





FRONT RIGHT PERSPECTIVE



KEY MAP n.t.s.



LEFT ELEVATION



RIGHT ELEVATION

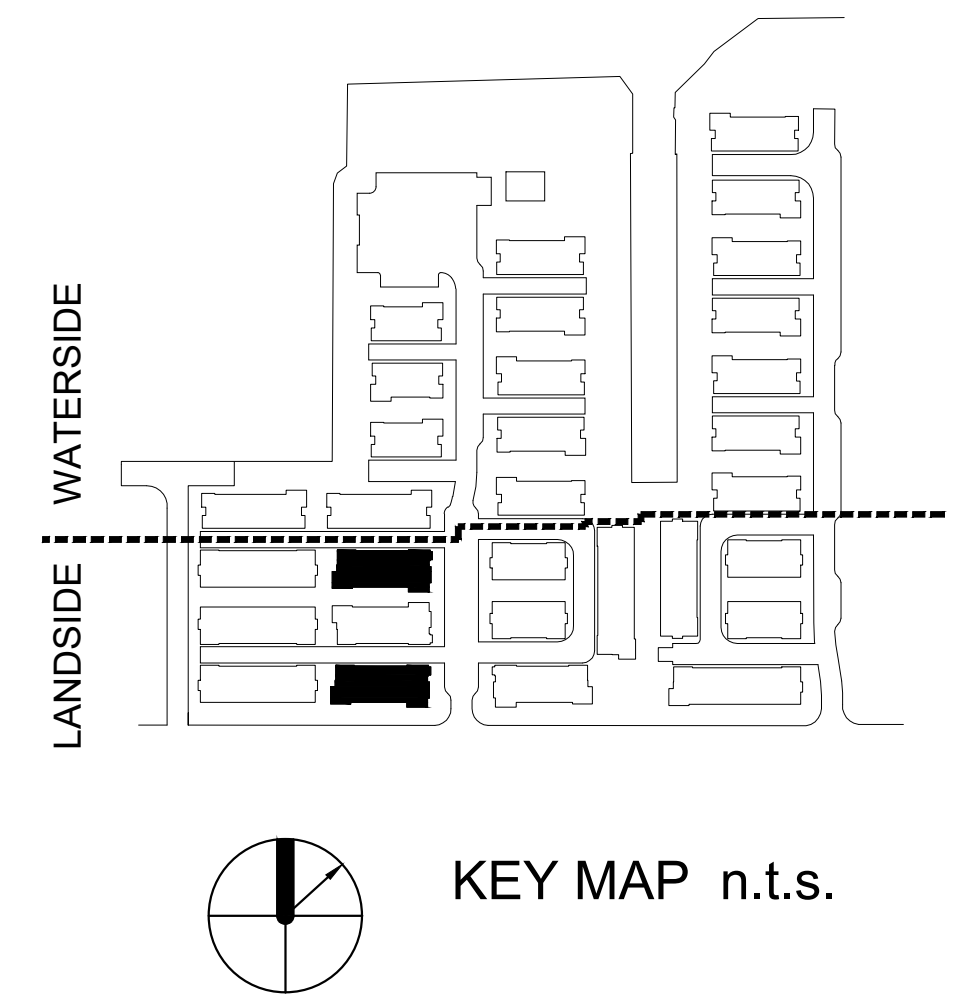
MATERIAL LEGEND:

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REAR RIGHT PERSPECTIVE



REAR ELEVATION

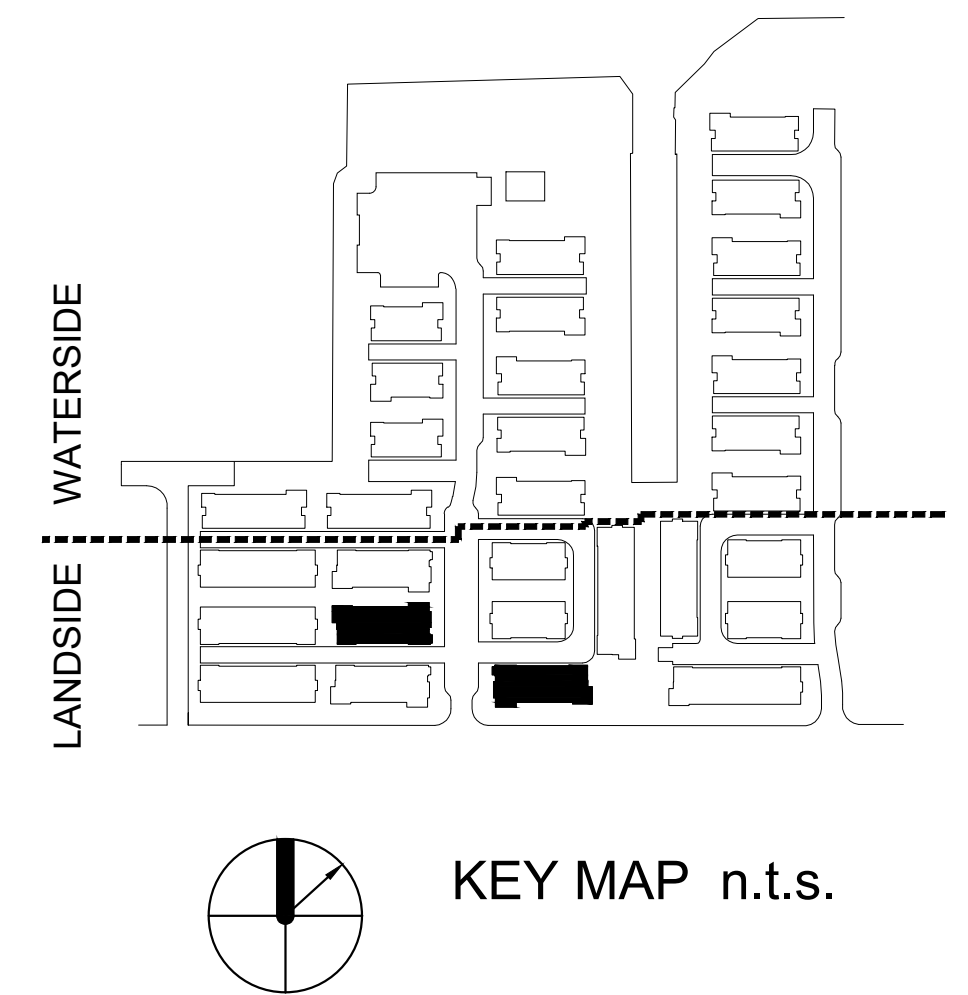
MATERIAL LEGEND:

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FRONT LEFT PERSPECTIVE



FRONT ELEVATION

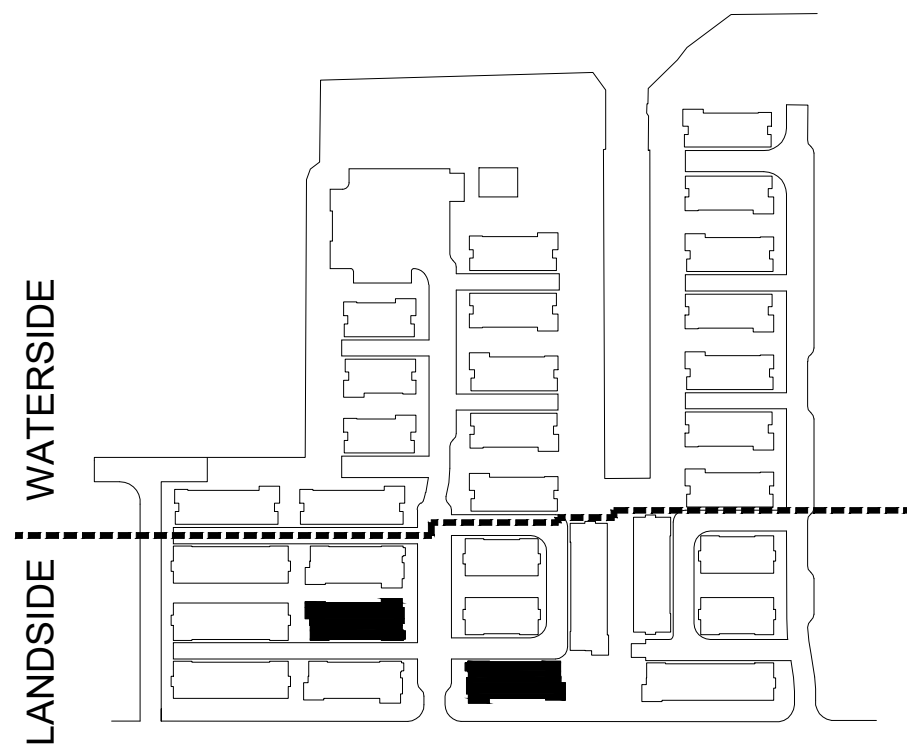
MATERIAL LEGEND:

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FRONT RIGHT PERSPECTIVE



LEFT ELEVATION



RIGHT ELEVATION

- MATERIAL LEGEND:
- 1. Stucco
  - 2. Wood Color Siding
  - 3. Fiber Cement Vertical Siding
  - 4. Board and Batten Siding
  - 5. Fiber Cement Trim
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ALAMEDA, CA # 2014-0798.01

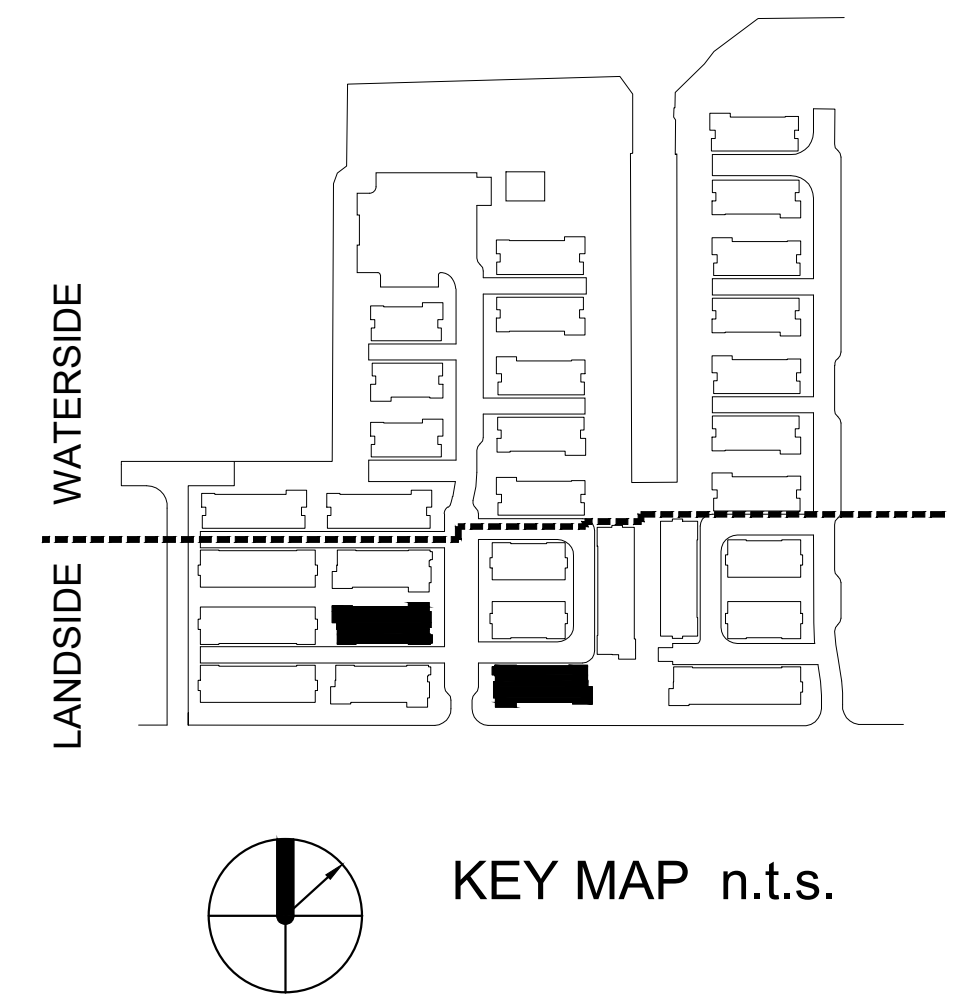
DESIGN REVIEW  
NOVEMBER 25, 2019

Scale: 1/8" = 1'-0"  
0 4 8 16

LANDSIDE  
BUILDING ELEVATIONS- 7 PLEX  
B COLOR SCHEME

A3.1.4





REAR RIGHT PERSPECTIVE

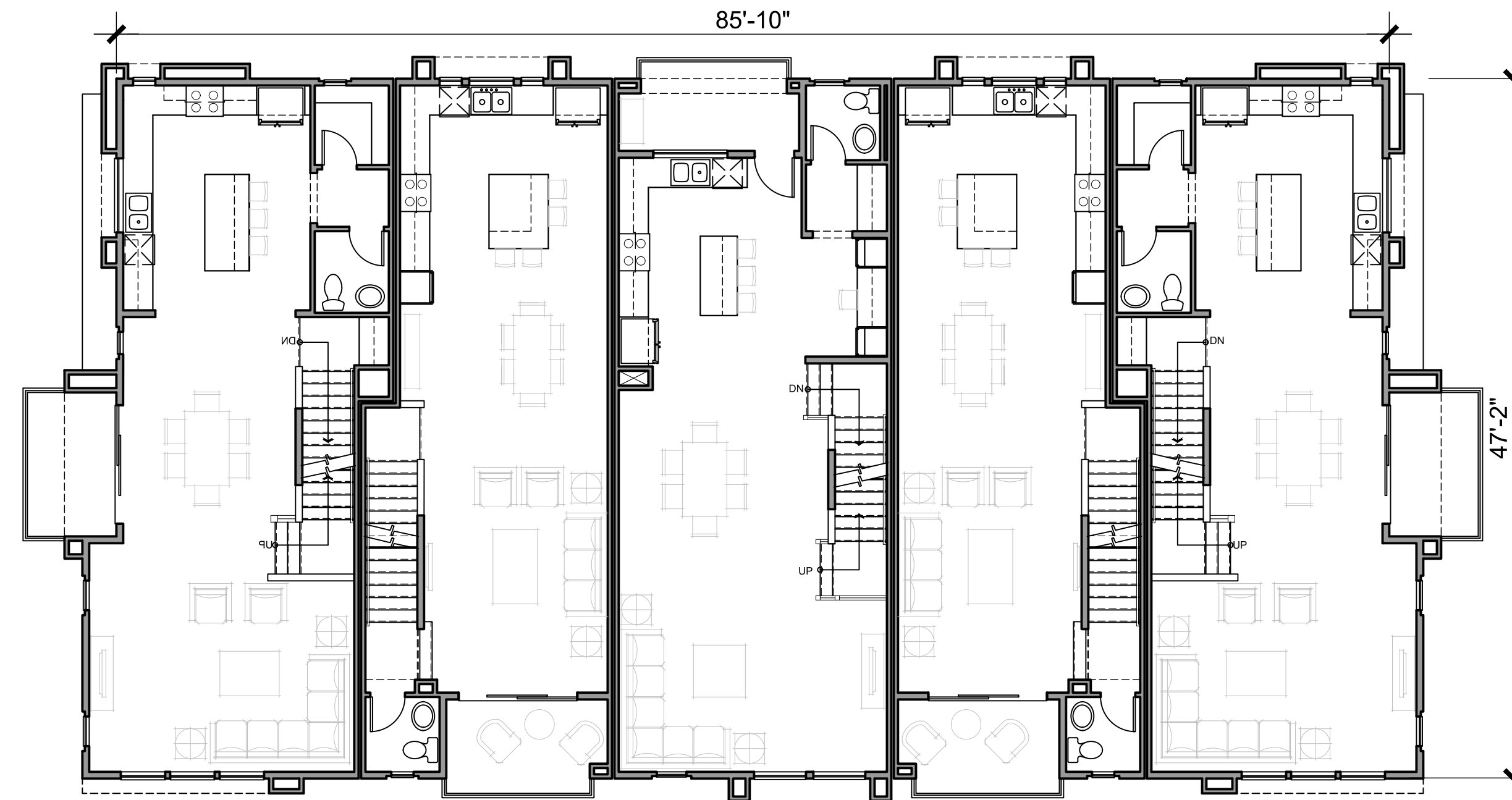


REAR ELEVATION

MATERIAL LEGEND:

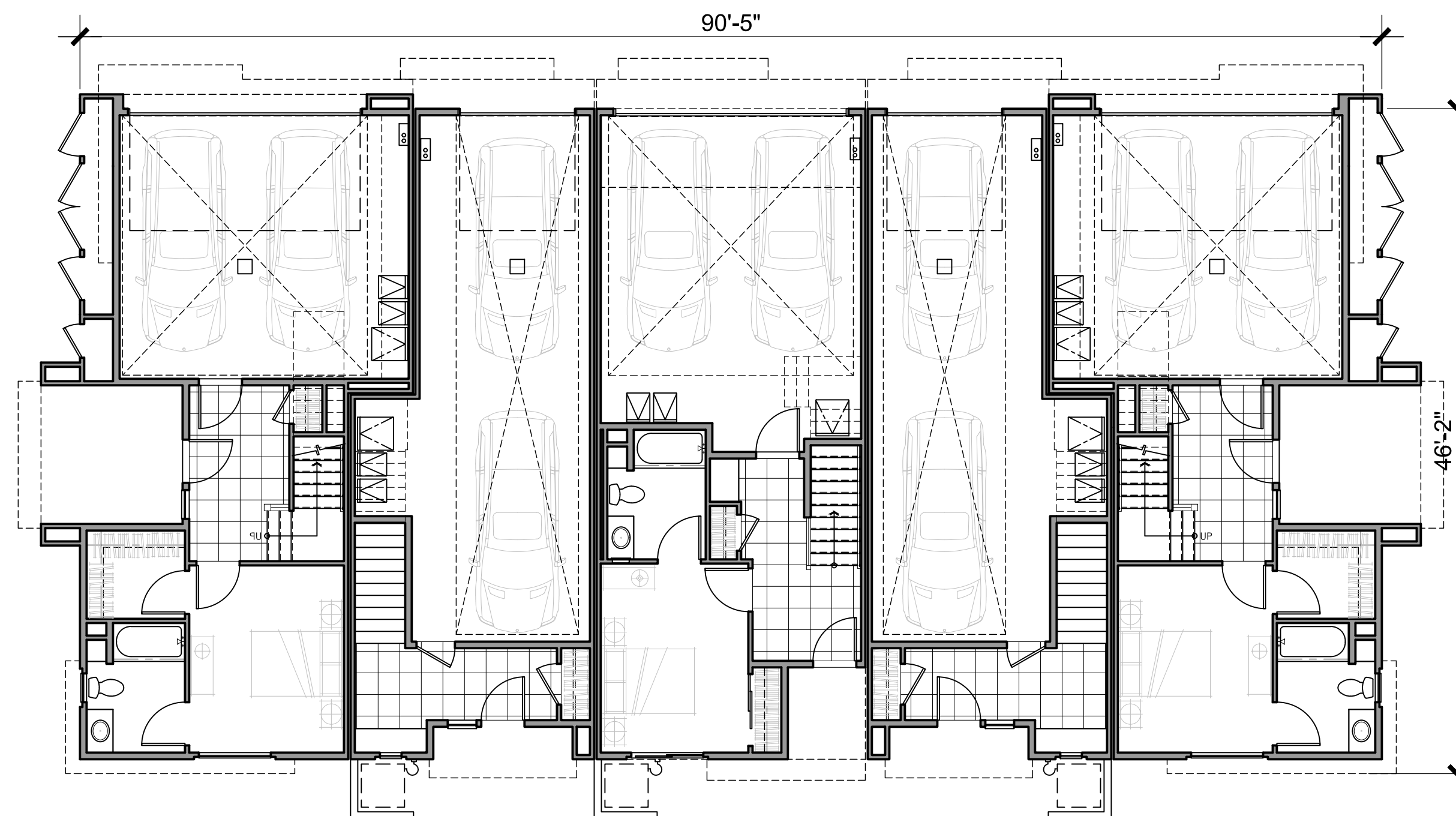
1. Stucco
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4. Board and Batten Siding
5. Fiber Cement Trim
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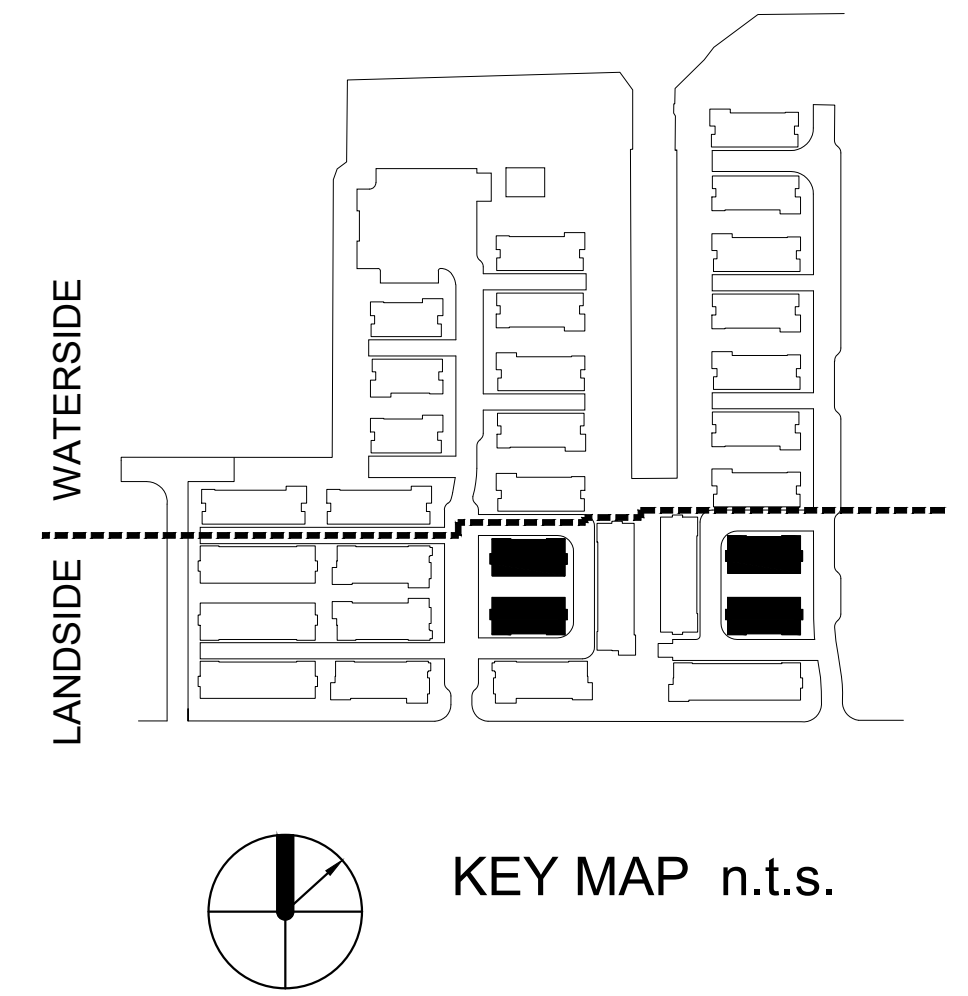
P6 P1 P5 P1 P6

LEVEL 2

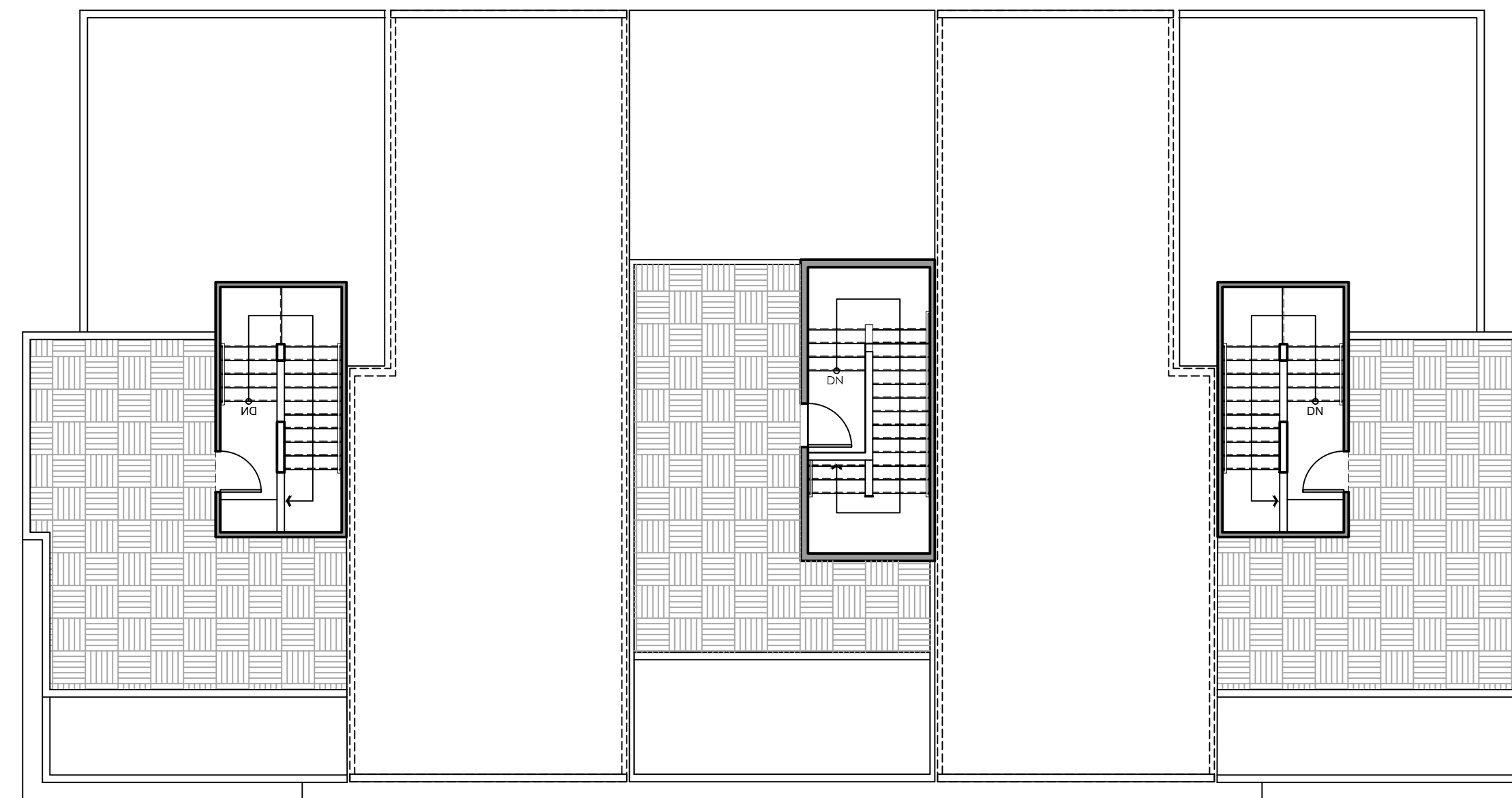


P6 P1 P5 P1 P6

LEVEL 1







P6

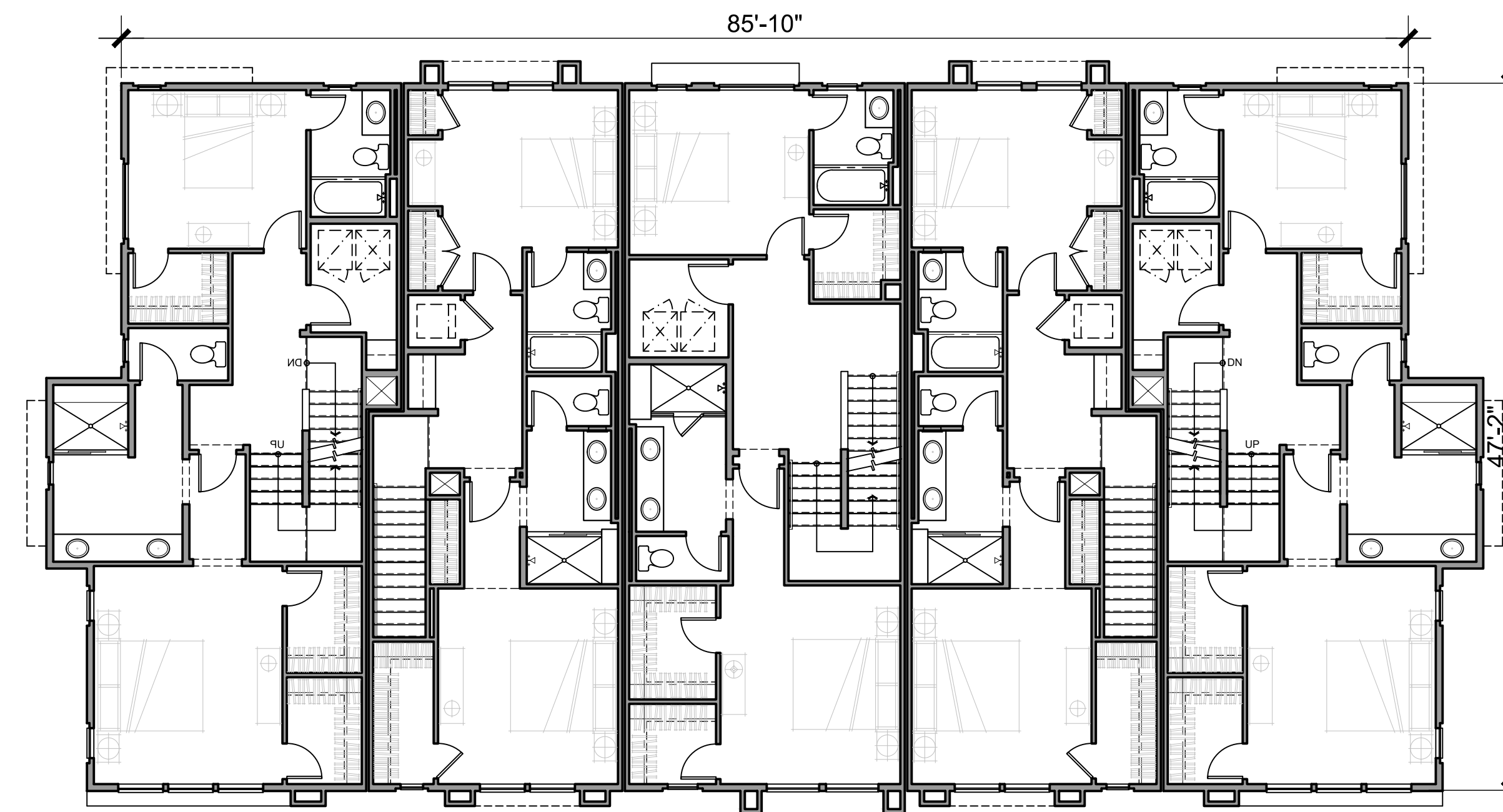
P1

P5

P1

P6

ROOF



P6

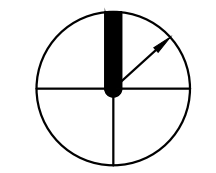
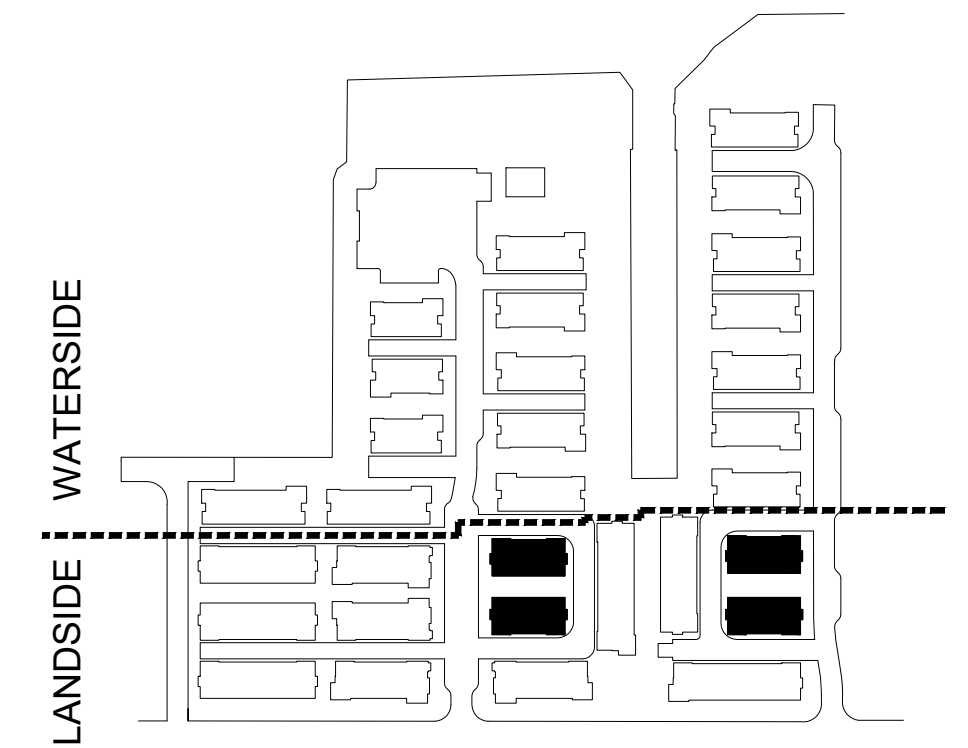
P1

P5

P1

P6

LEVEL 3



KEY MAP n.t.s.



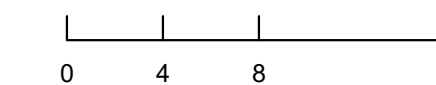
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**ALAMEDA MARINA TOWNHOMES**  
ALAMEDA, CA # 2014-0798.01

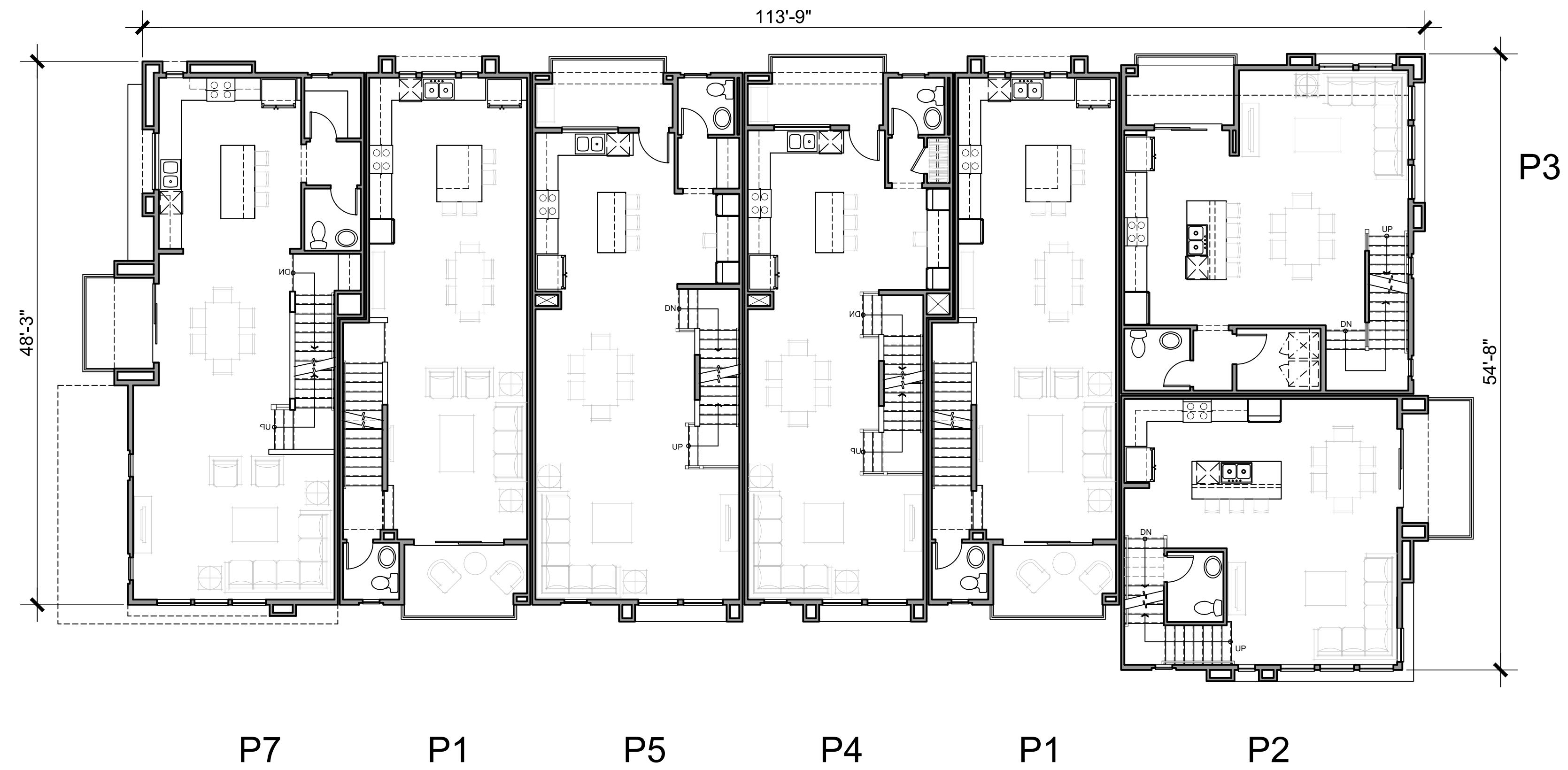
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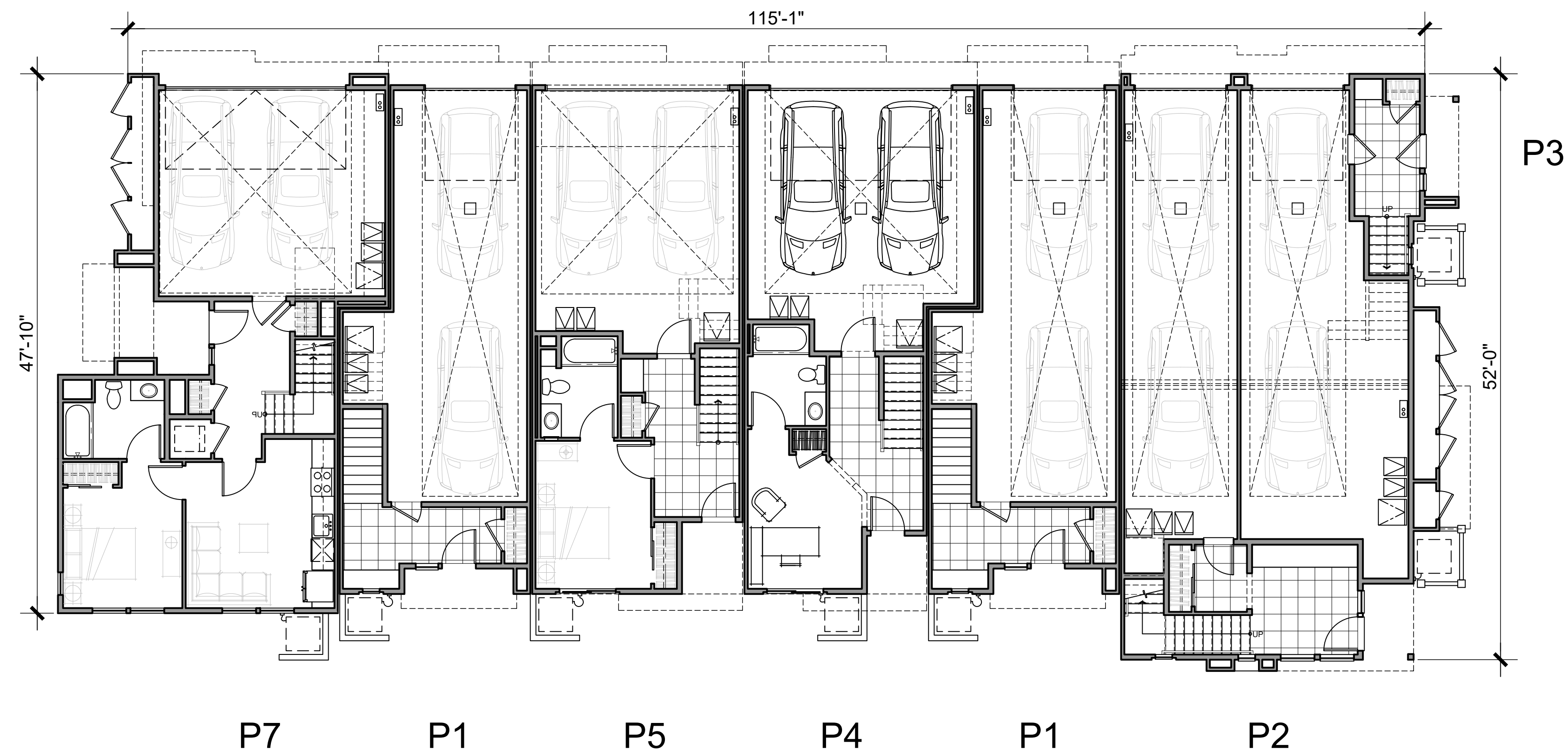
**LANDSIDE**  
**BUILDING PLANS- 5 PLEX**

**A3.4.1**

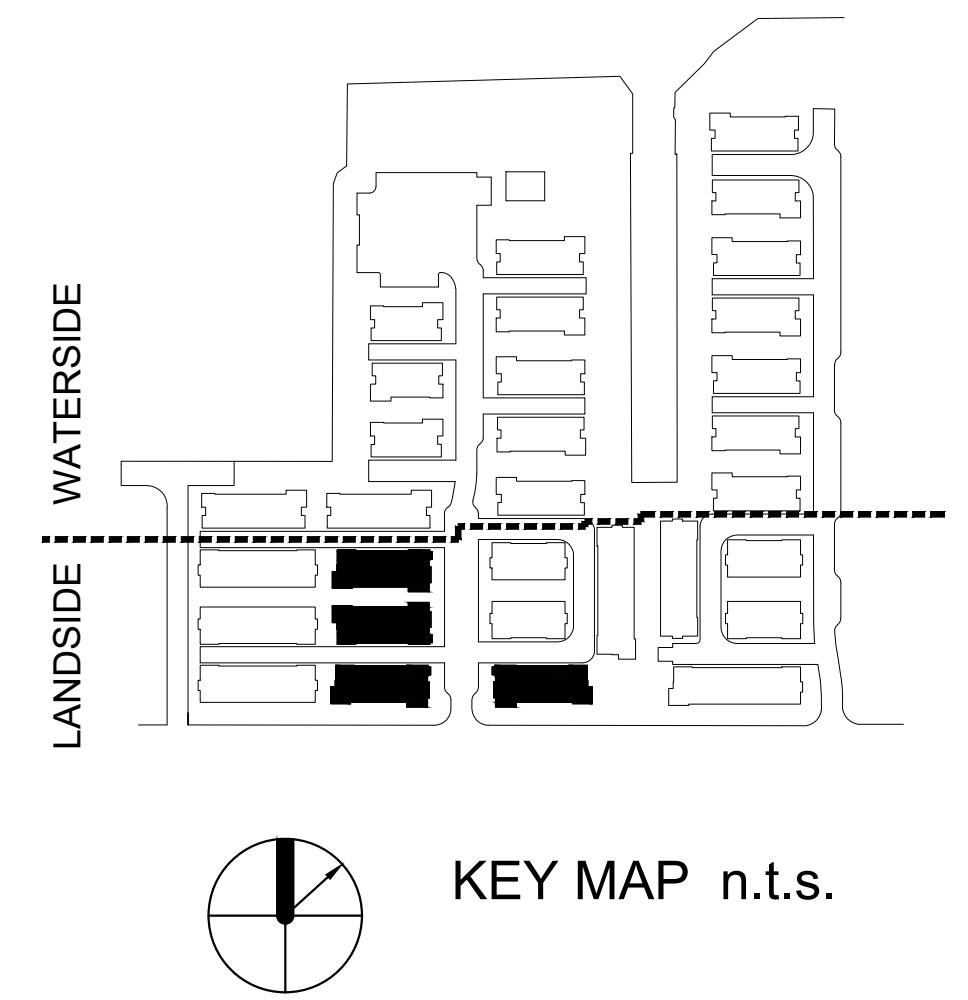




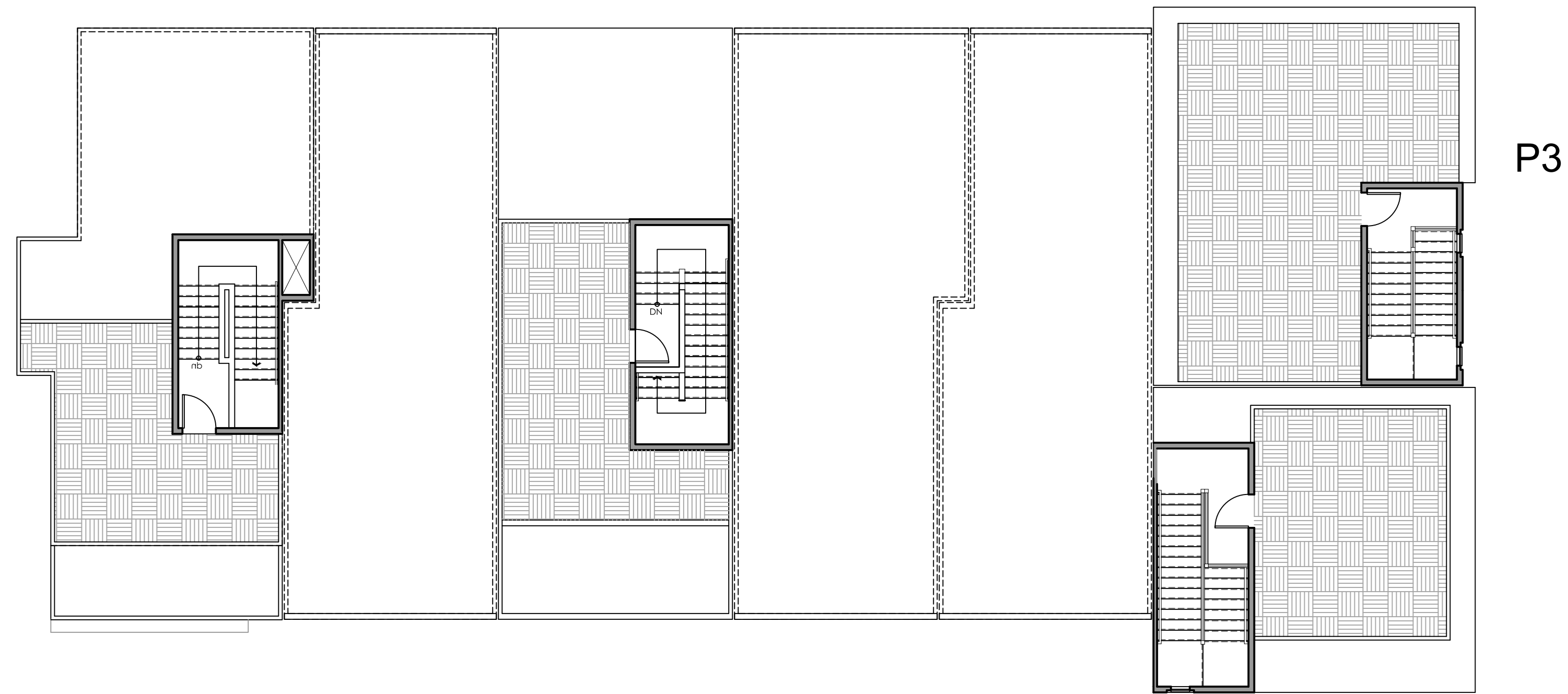
LEVEL 2



LEVEL 1

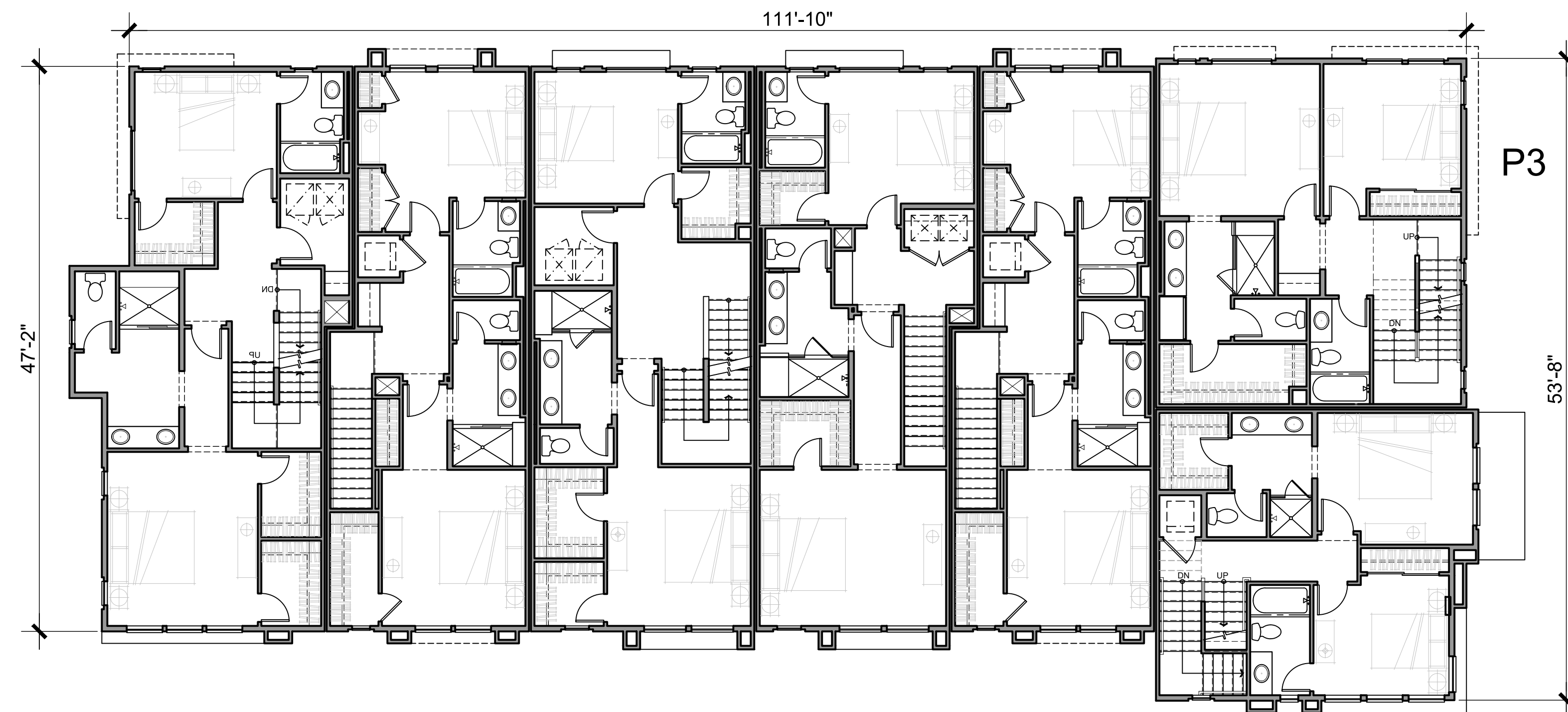






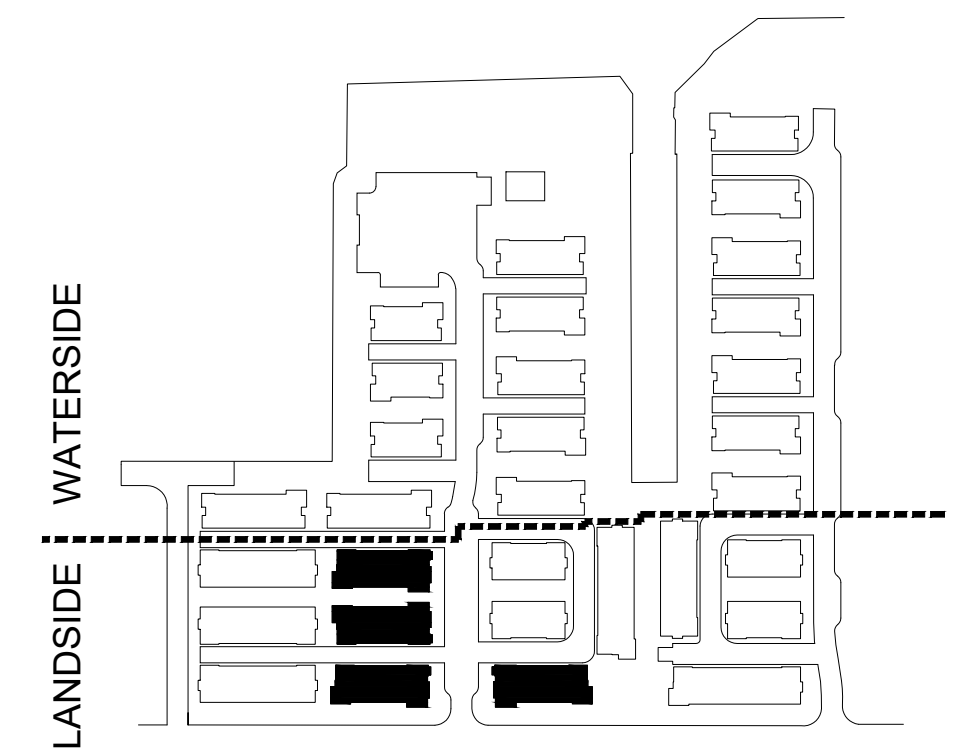
P7 P1 P5 P4 P1 P2

ROOF



P7 P1 P5 P4 P1 P2

LEVEL 3



KEY MAP n.t.s.



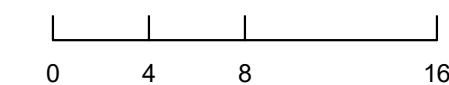
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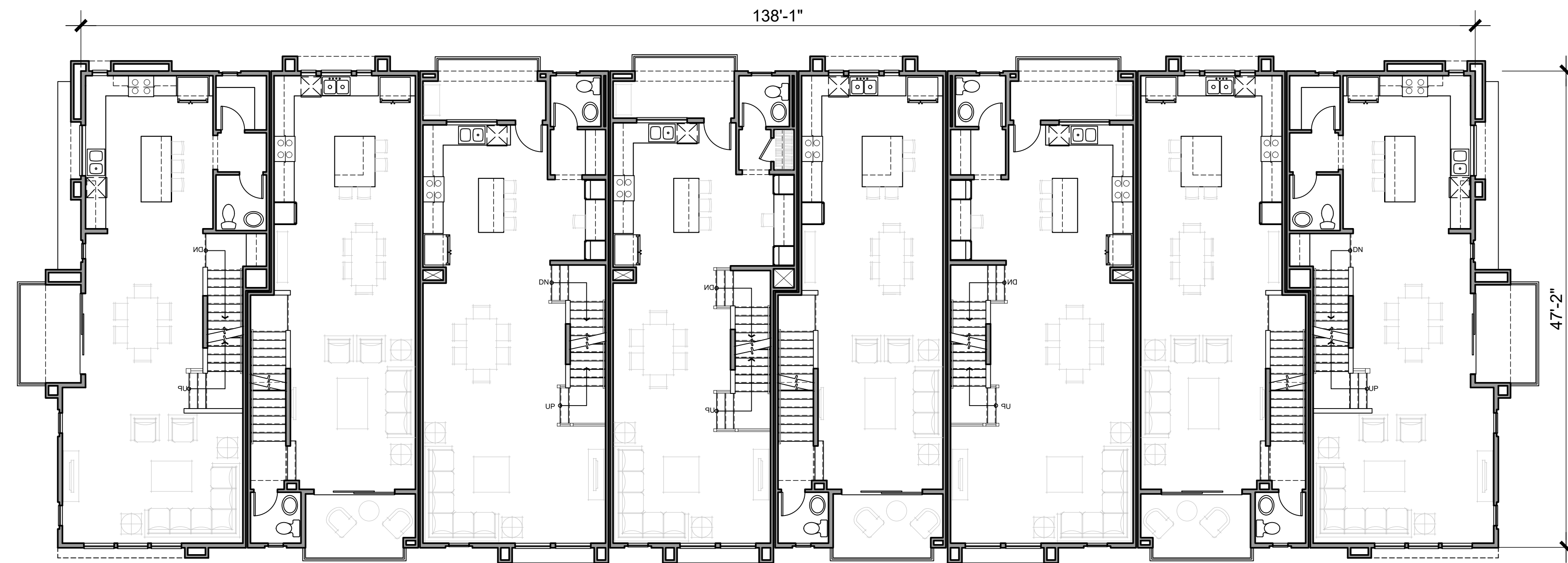
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LANDSIDE  
BUILDING PLANS- 7 PLEX

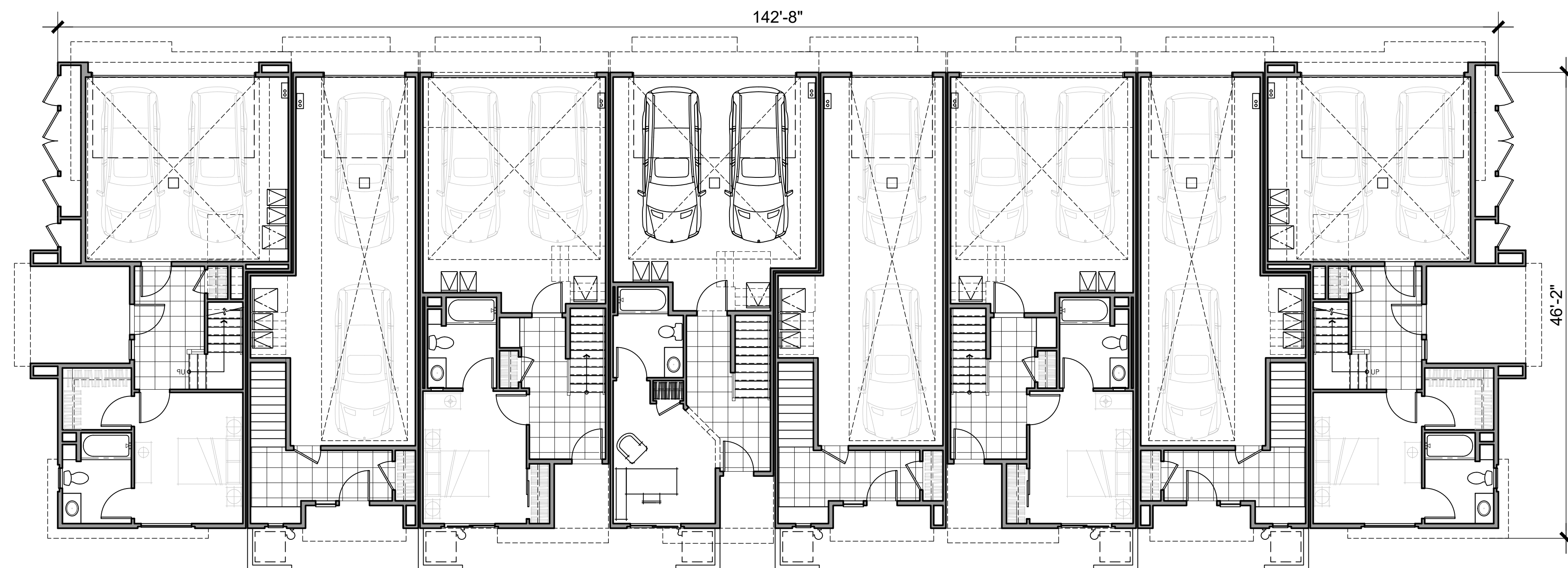
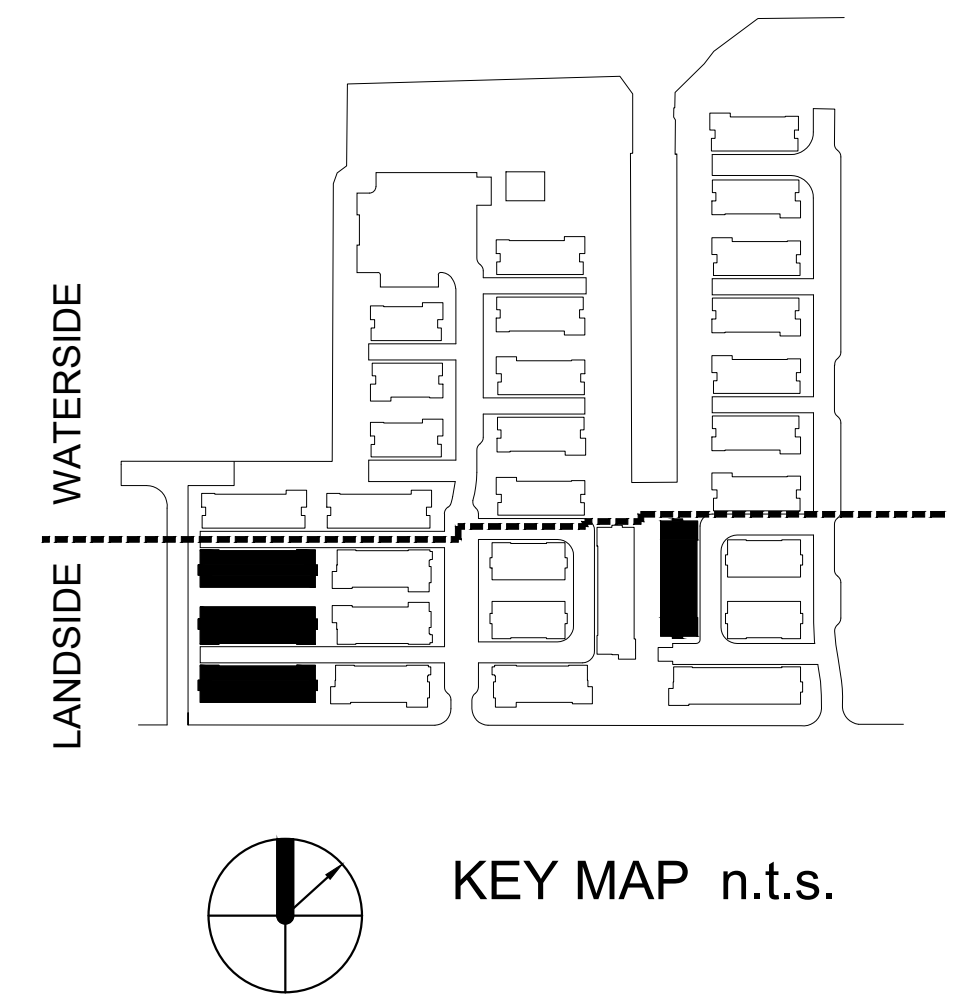
**A3.5.1**





P6 P1 P5 P4 P1 P5 P1 P6

LEVEL 2



P6 P1 P5 P4 P1 P5 P1 P6

LEVEL 1



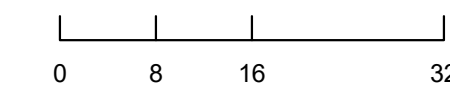
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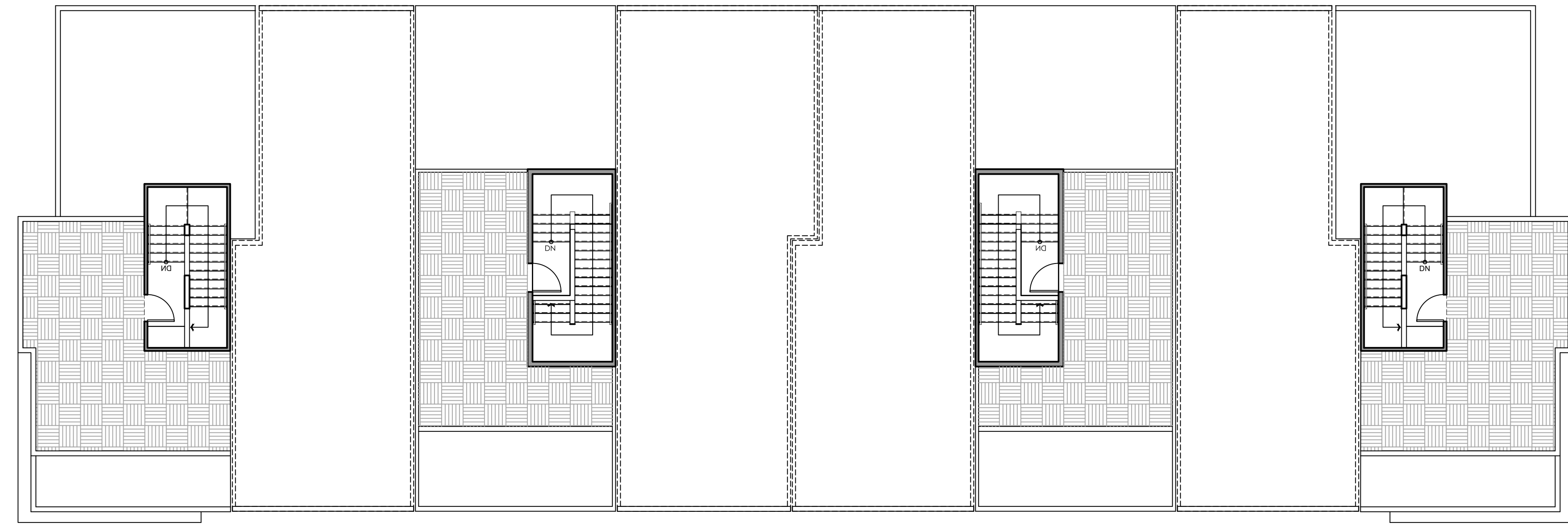
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LANDSIDE  
BUILDING PLANS- 8 PLEX

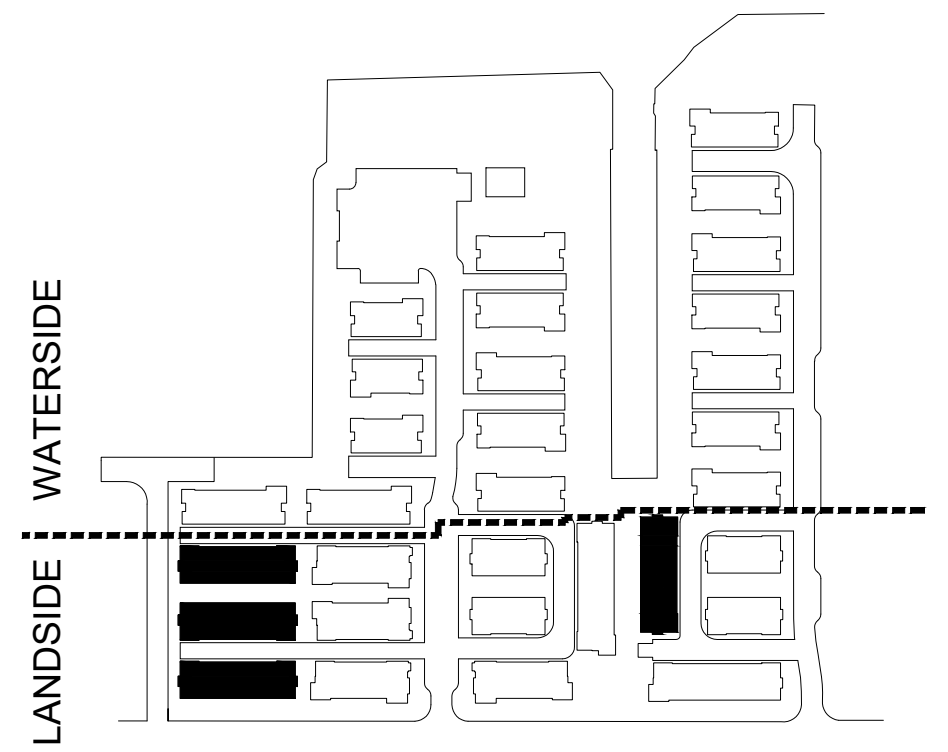
**A3.6.0**



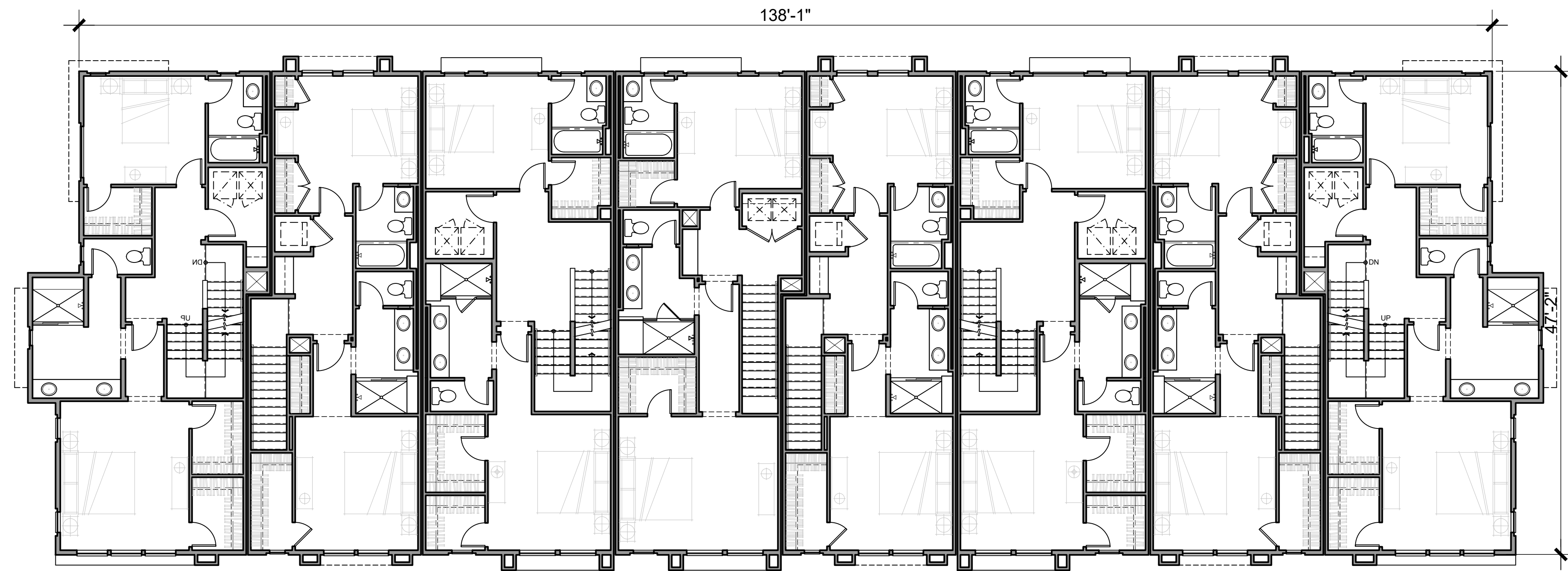


P6 P1 P5 P4 P1 P5 P1 P6

ROOF



KEY MAP n.t.s.



P6 P1 P5 P4 P1 P5 P1 P6

LEVEL 3



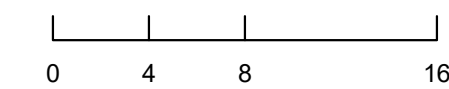
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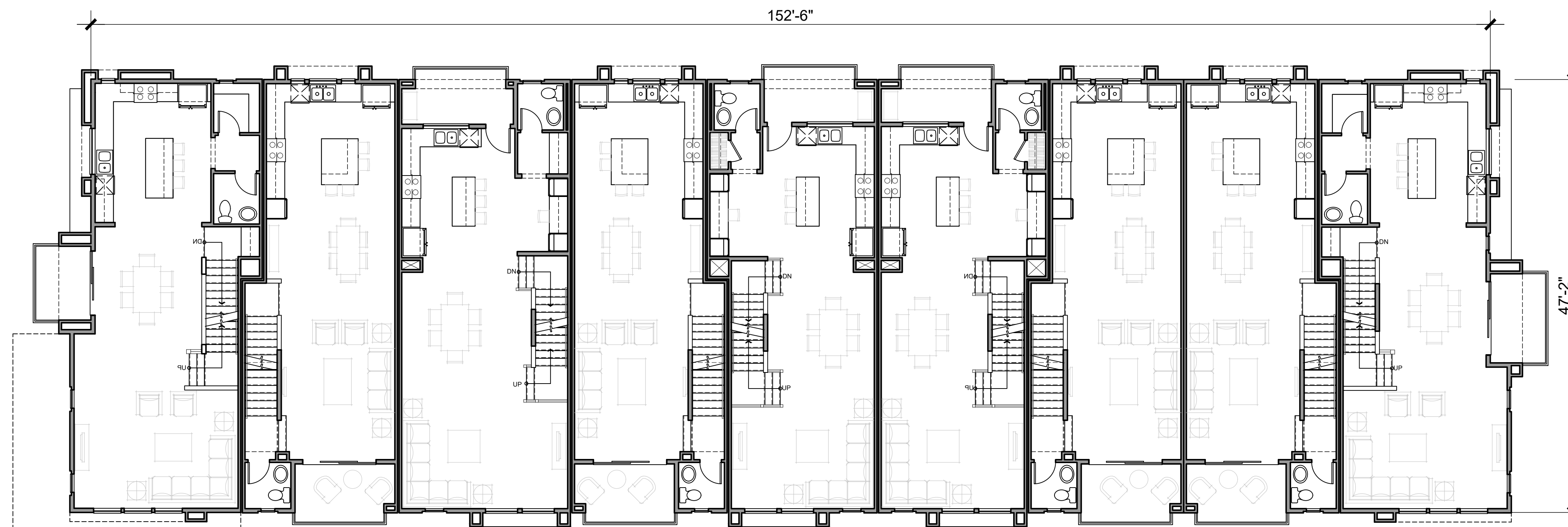
DESIGN REVIEW  
NOVEMBER 25, 2019



LANDSIDE  
BUILDING PLANS- 8 PLEX

A3.6.1





P7

P1

P5

P1

P4

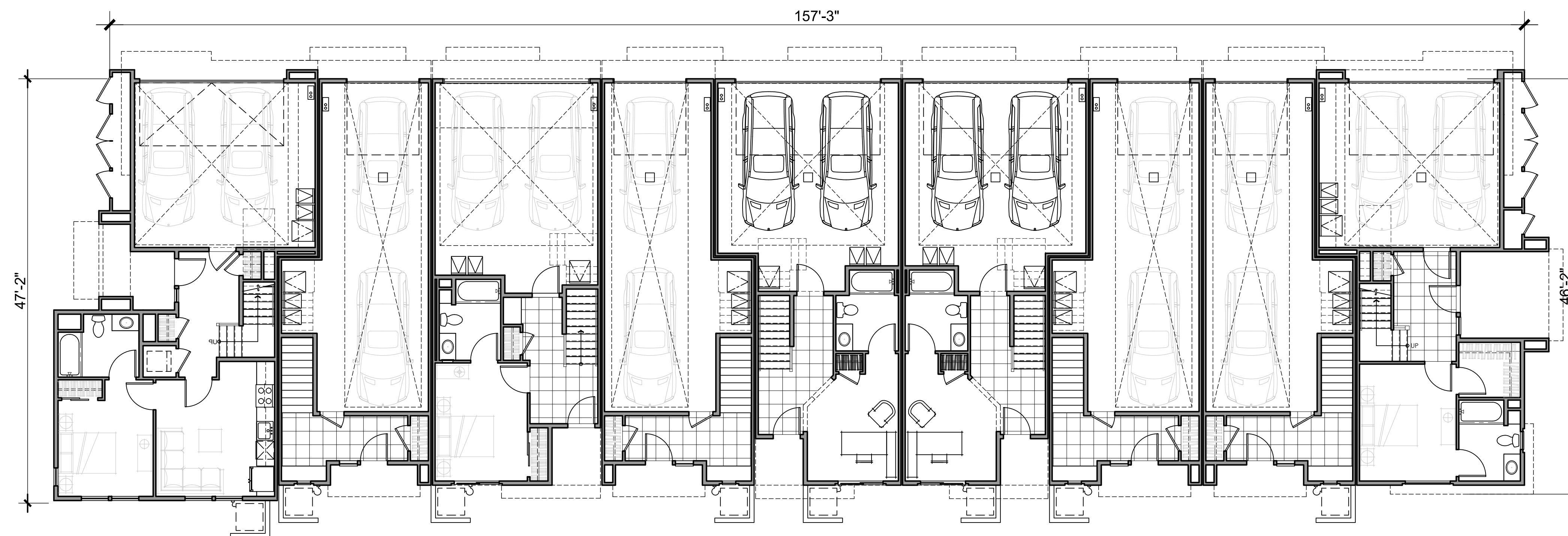
P4

P1

P1

P6

LEVEL 2



P7

P1

P5

P1

P4

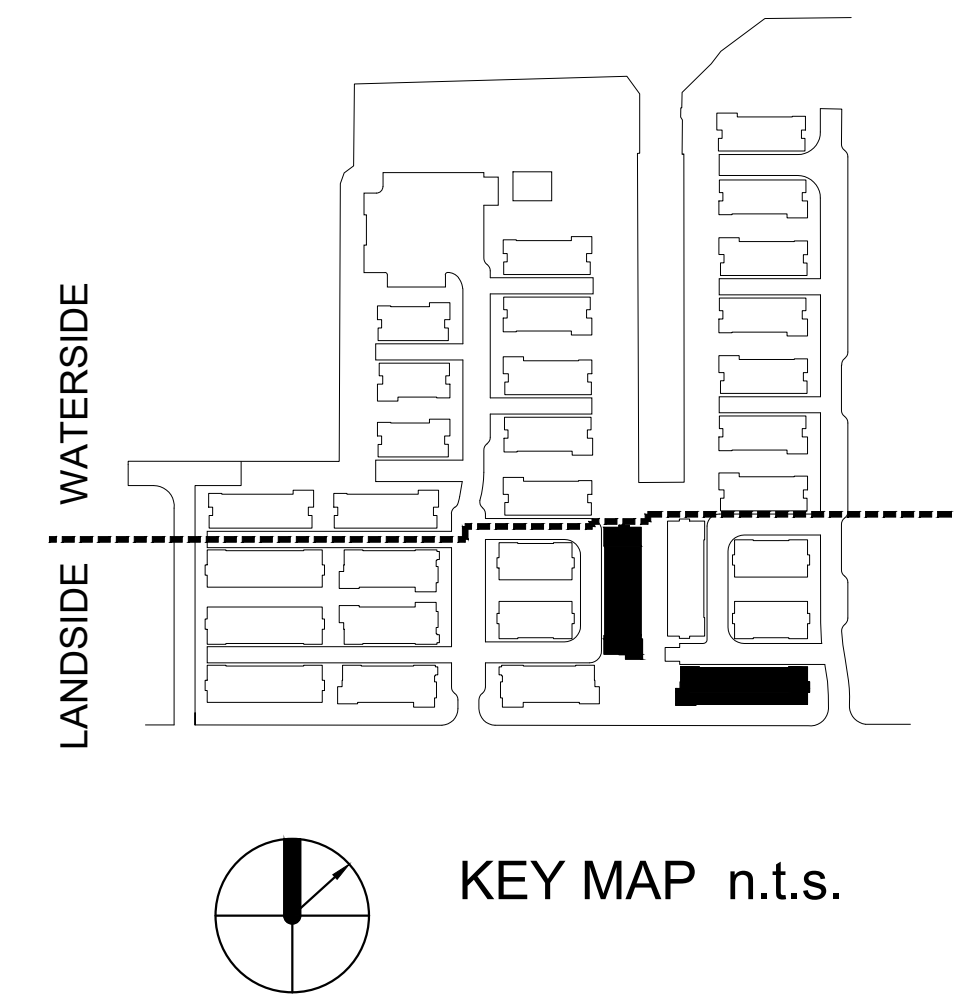
P4

P1

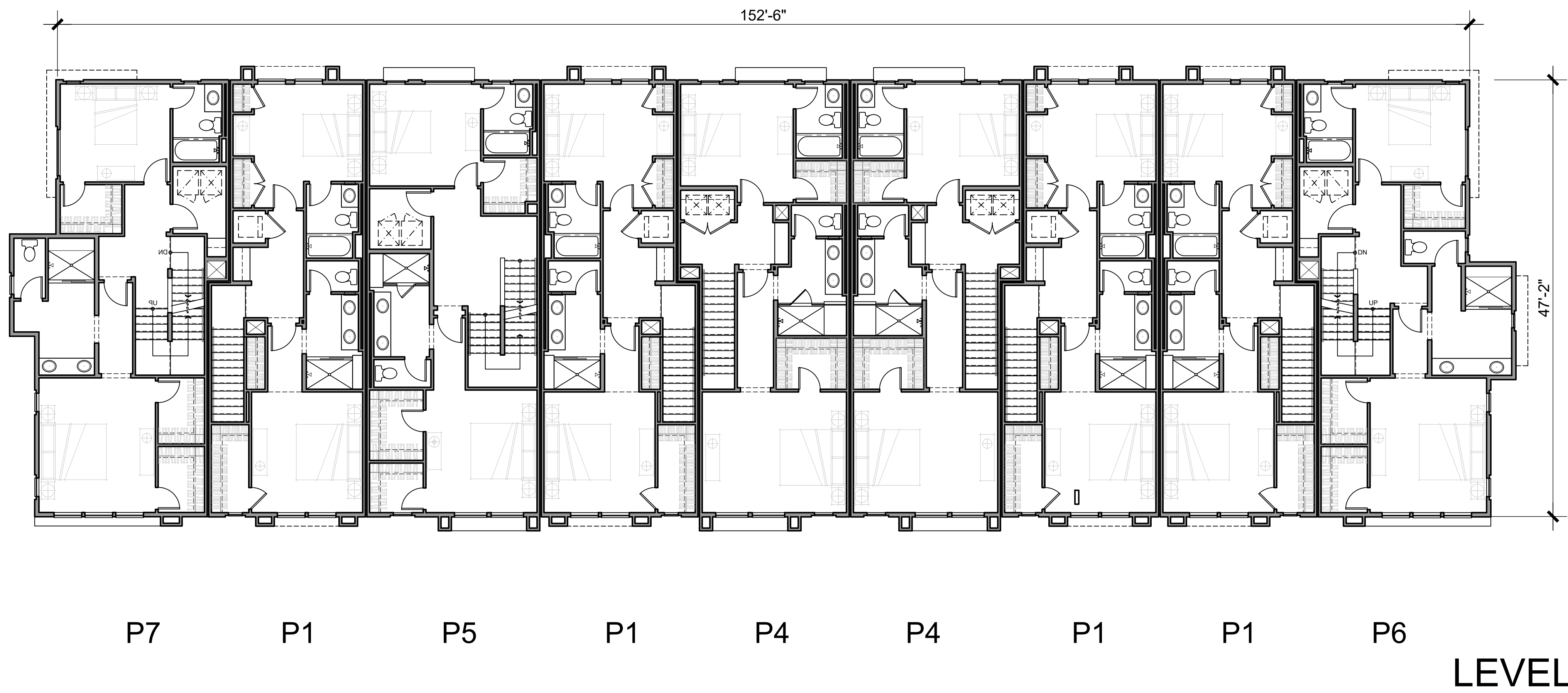
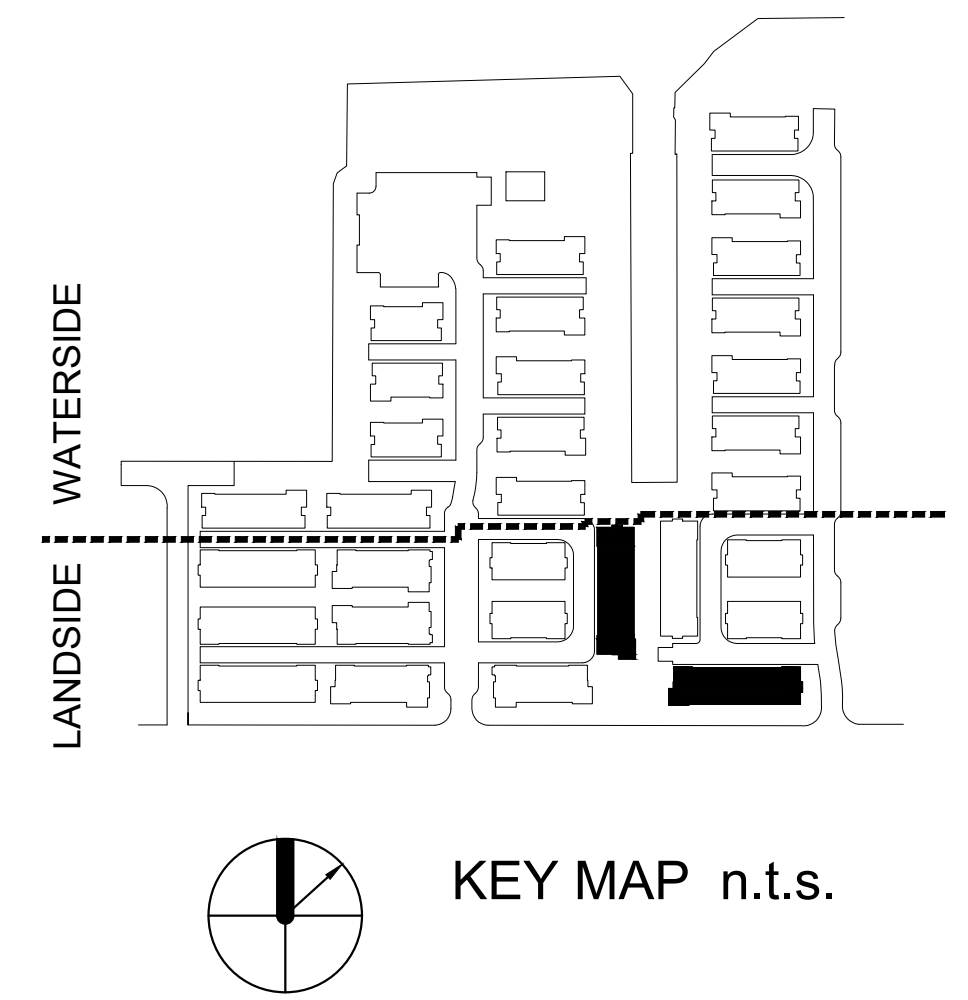
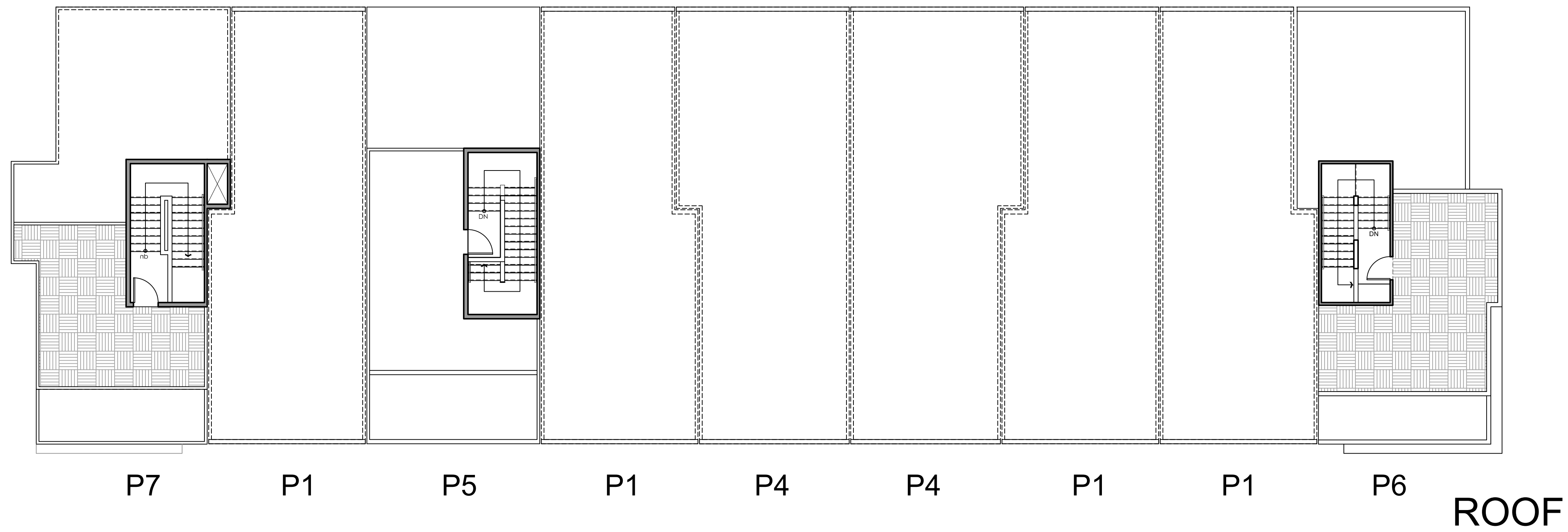
P1

P6

LEVEL 1







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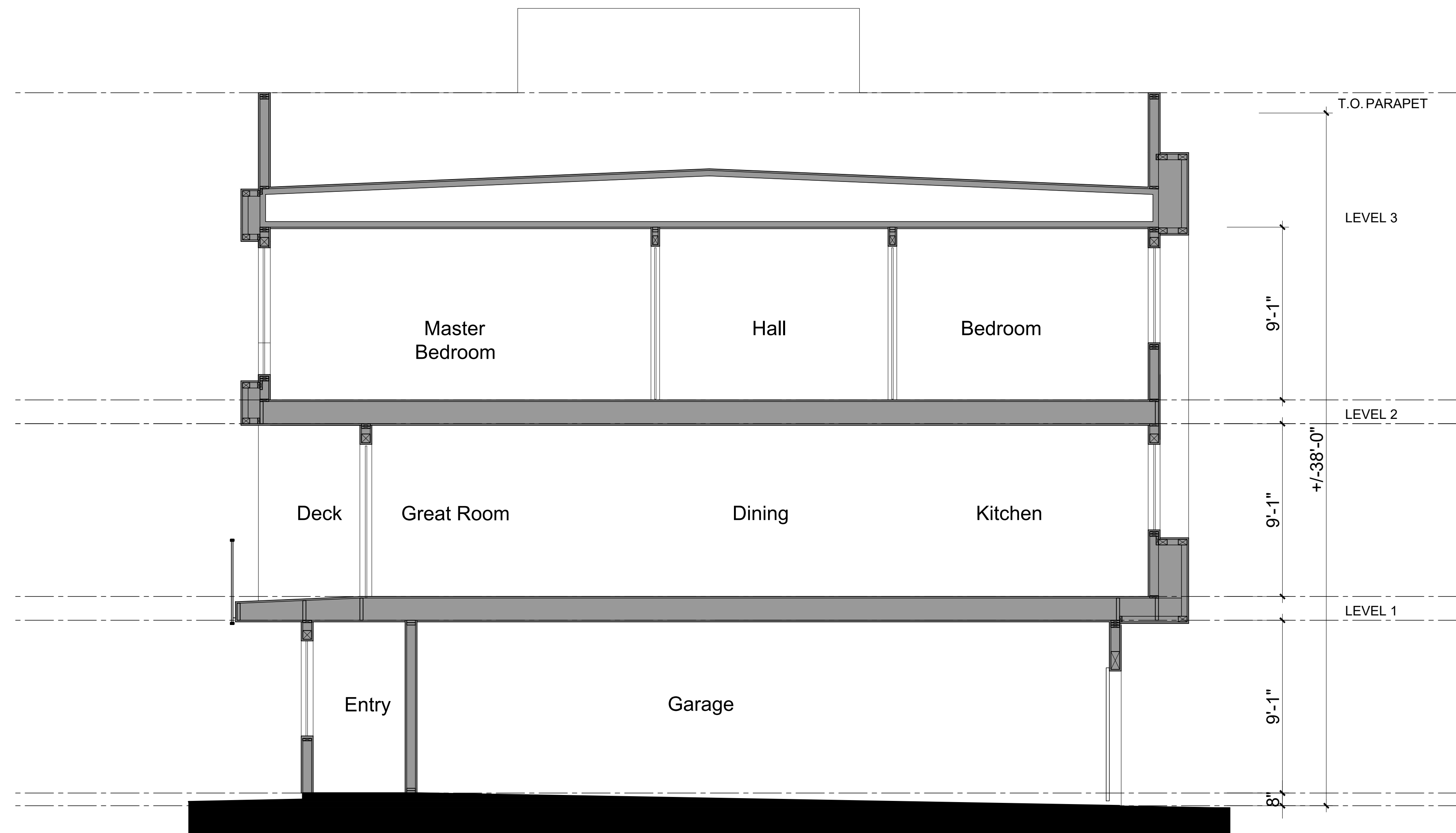
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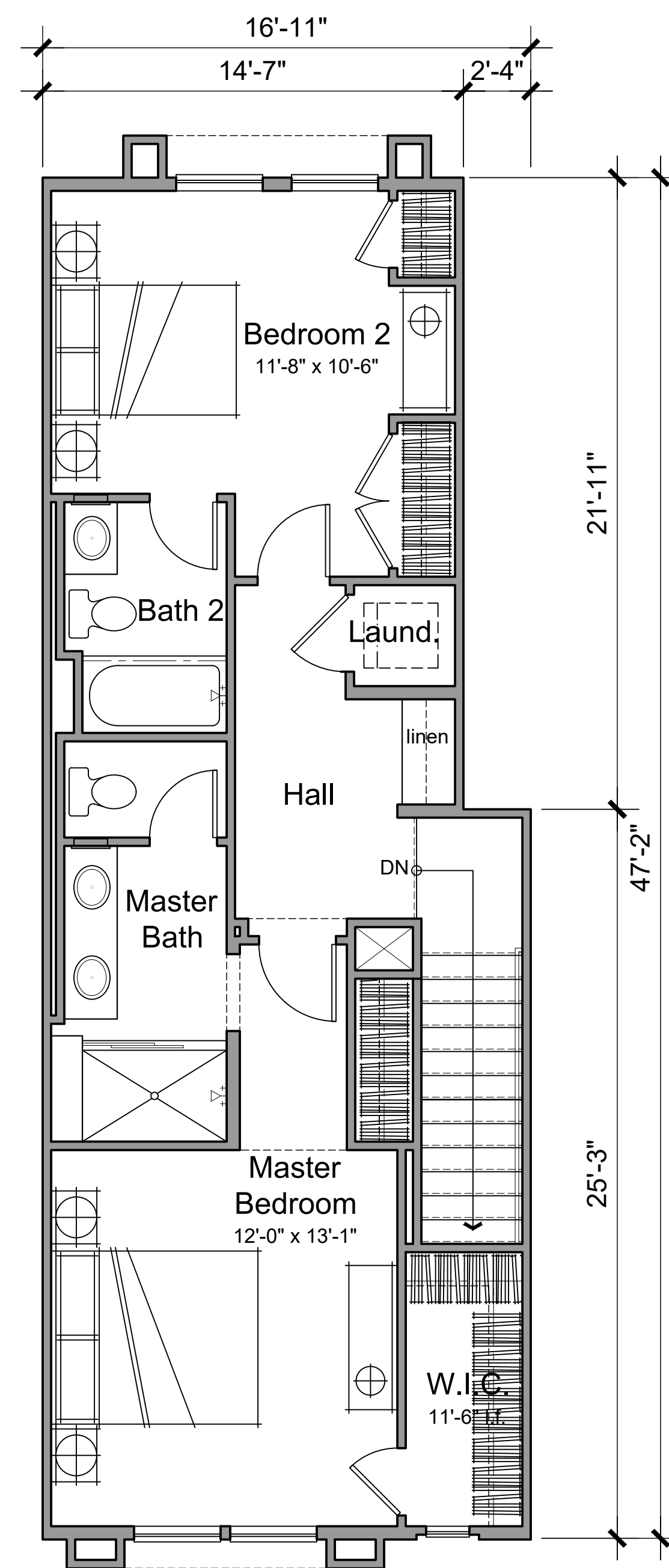
**LANDSIDE**  
**BUILDING PLANS- 9 PLEX**

**A3.7.1**

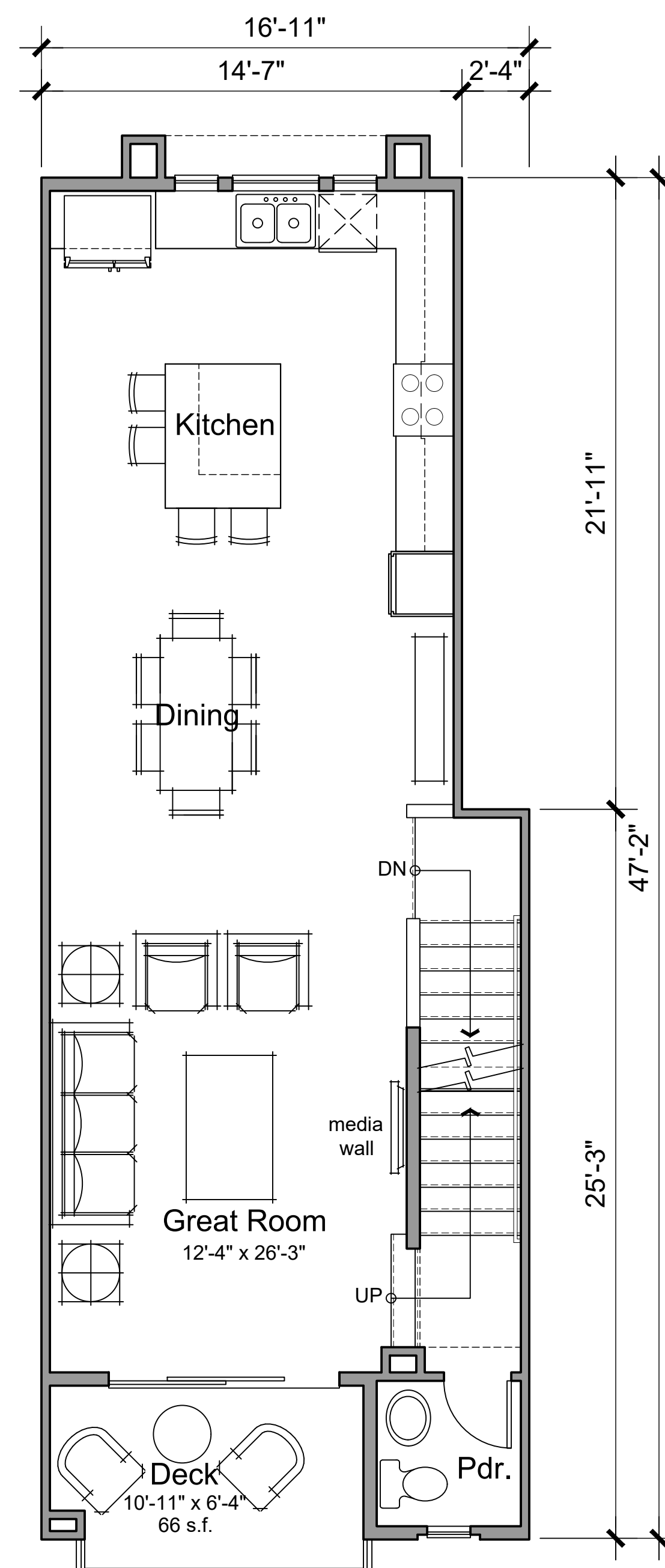




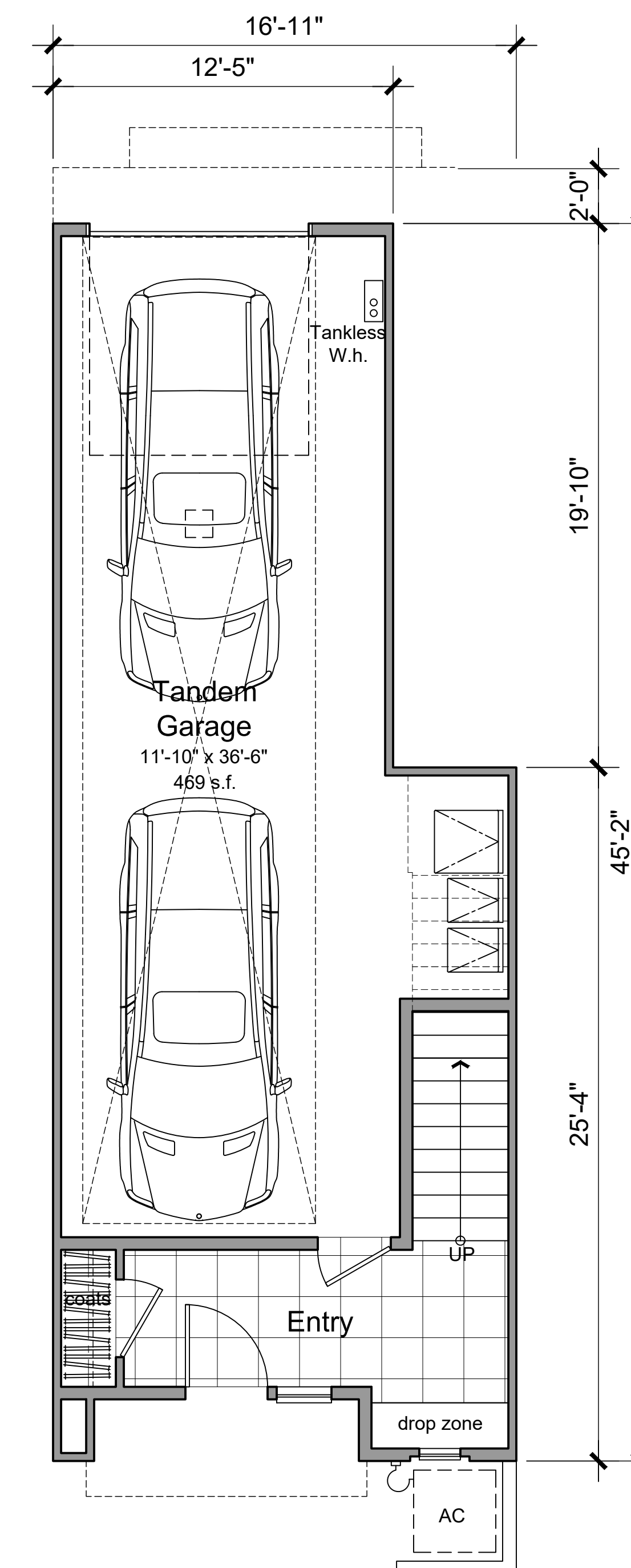




Third Floor



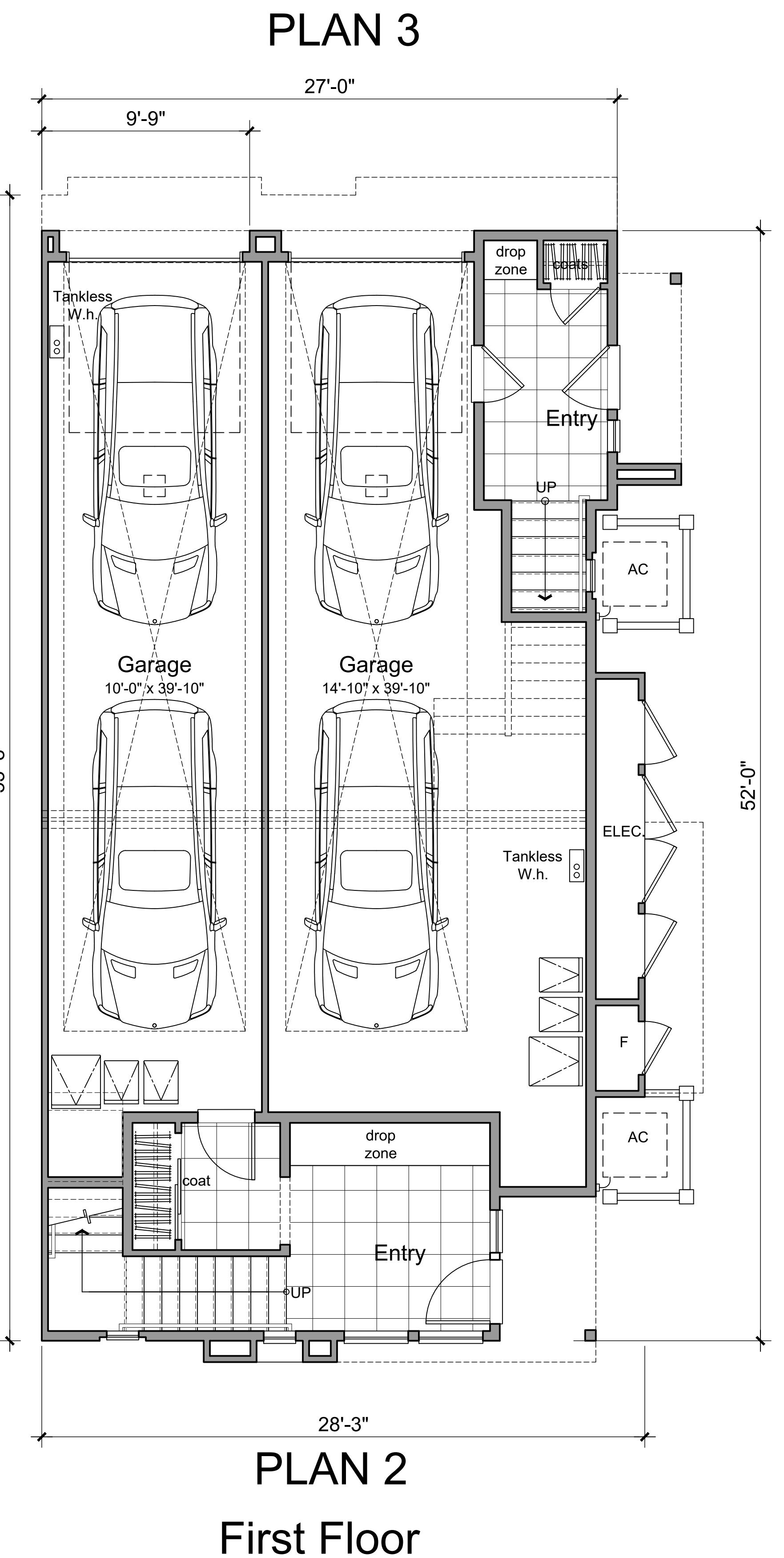
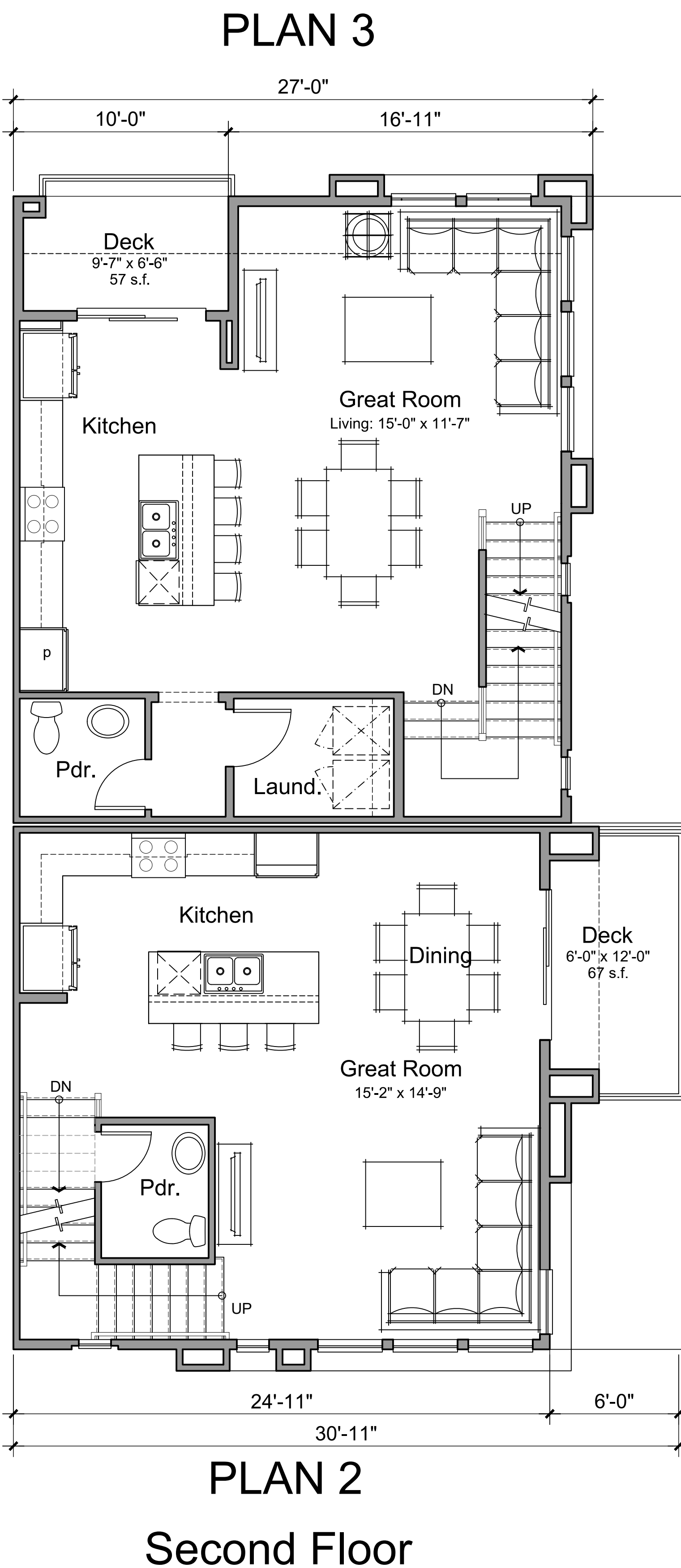
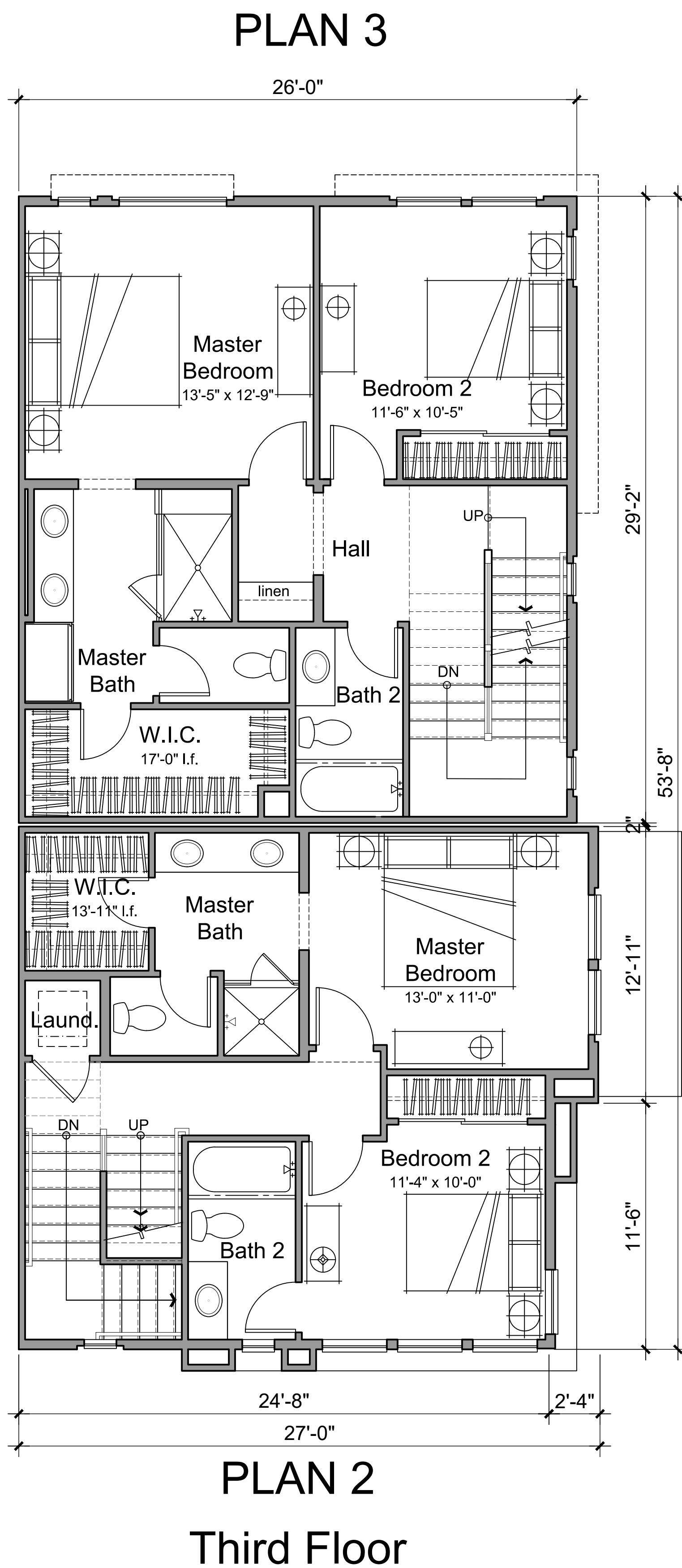
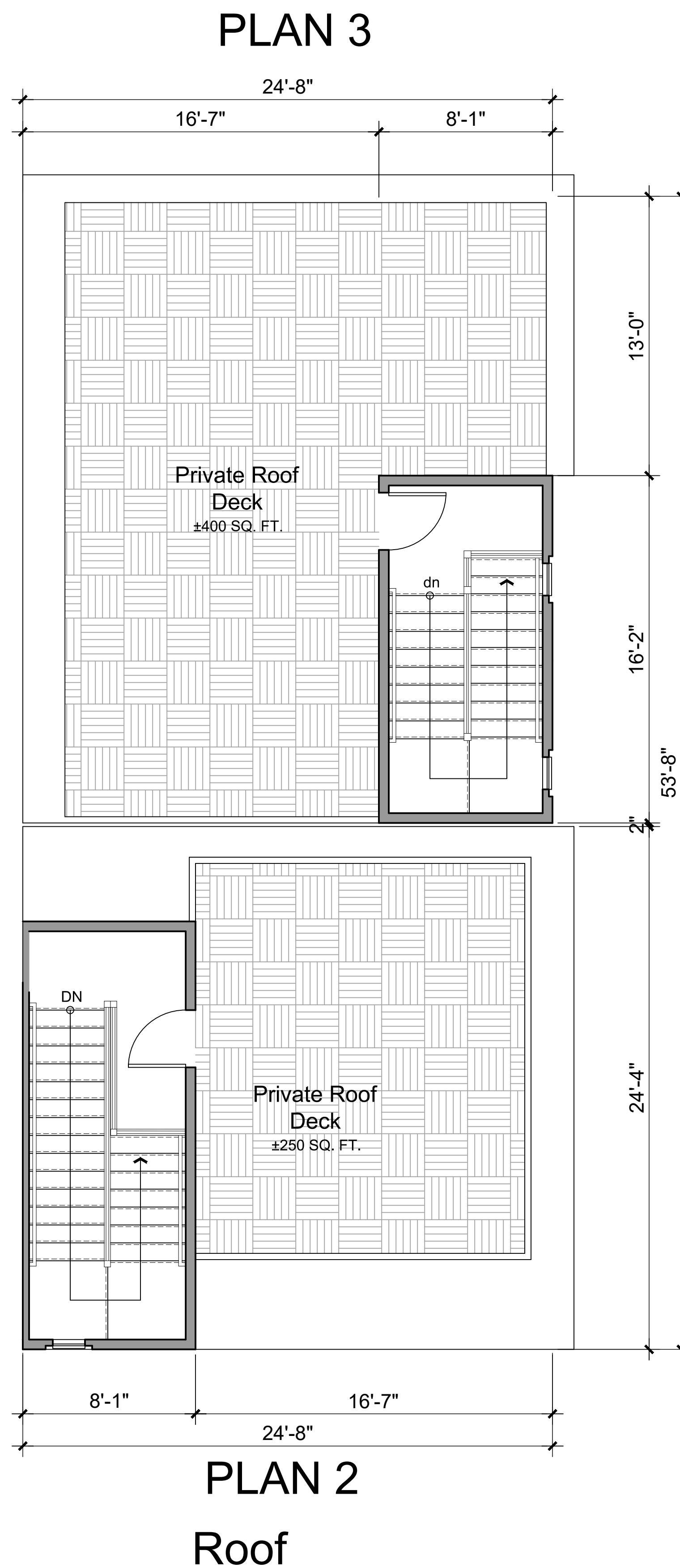
Second Floor



First Floor

Floor Plan  
2 Bedrooms  
2.5 Baths  
1,462 n.s.f.





Plan 2 - Floor Plan 2 Bedrooms 2.5 Baths 1,438 n.s.f.	Plan 3 - Floor Plan 2 Bedrooms 2.5 Baths 1,575 n.s.f.
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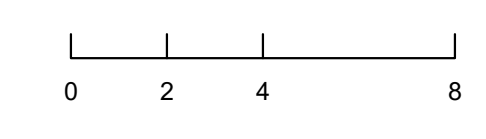


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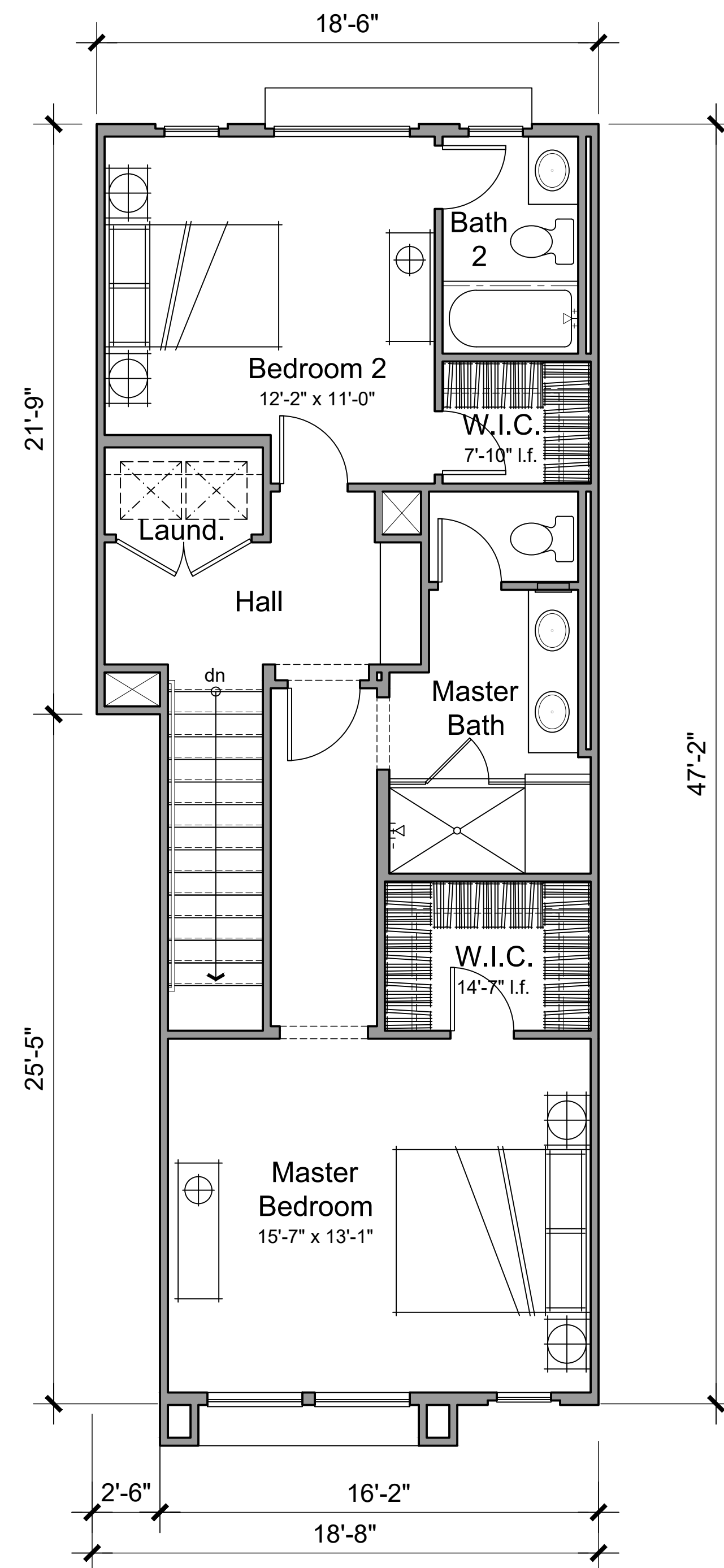
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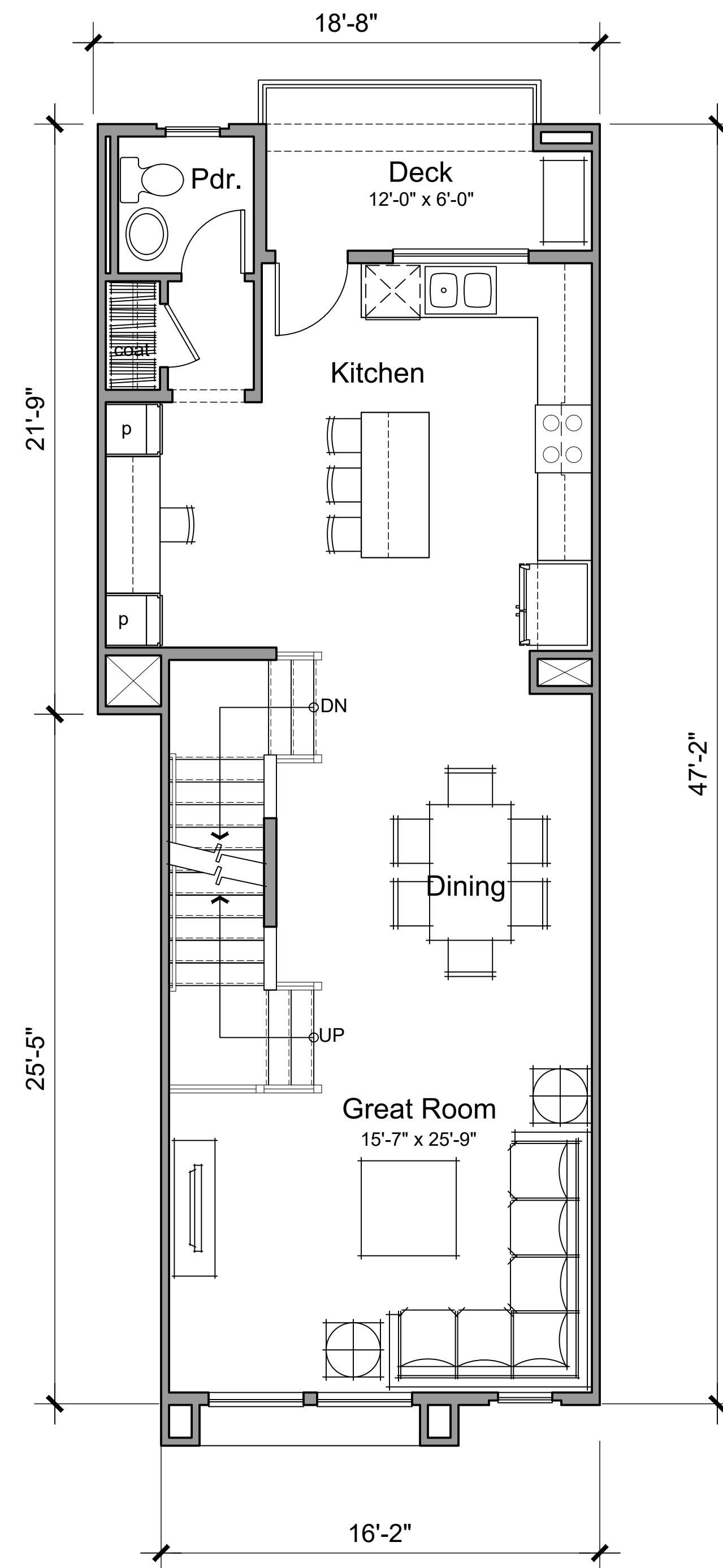
**LANDSIDE**  
UNIT PLANS\_ PLAN 2 & 3

**A3.9.1**

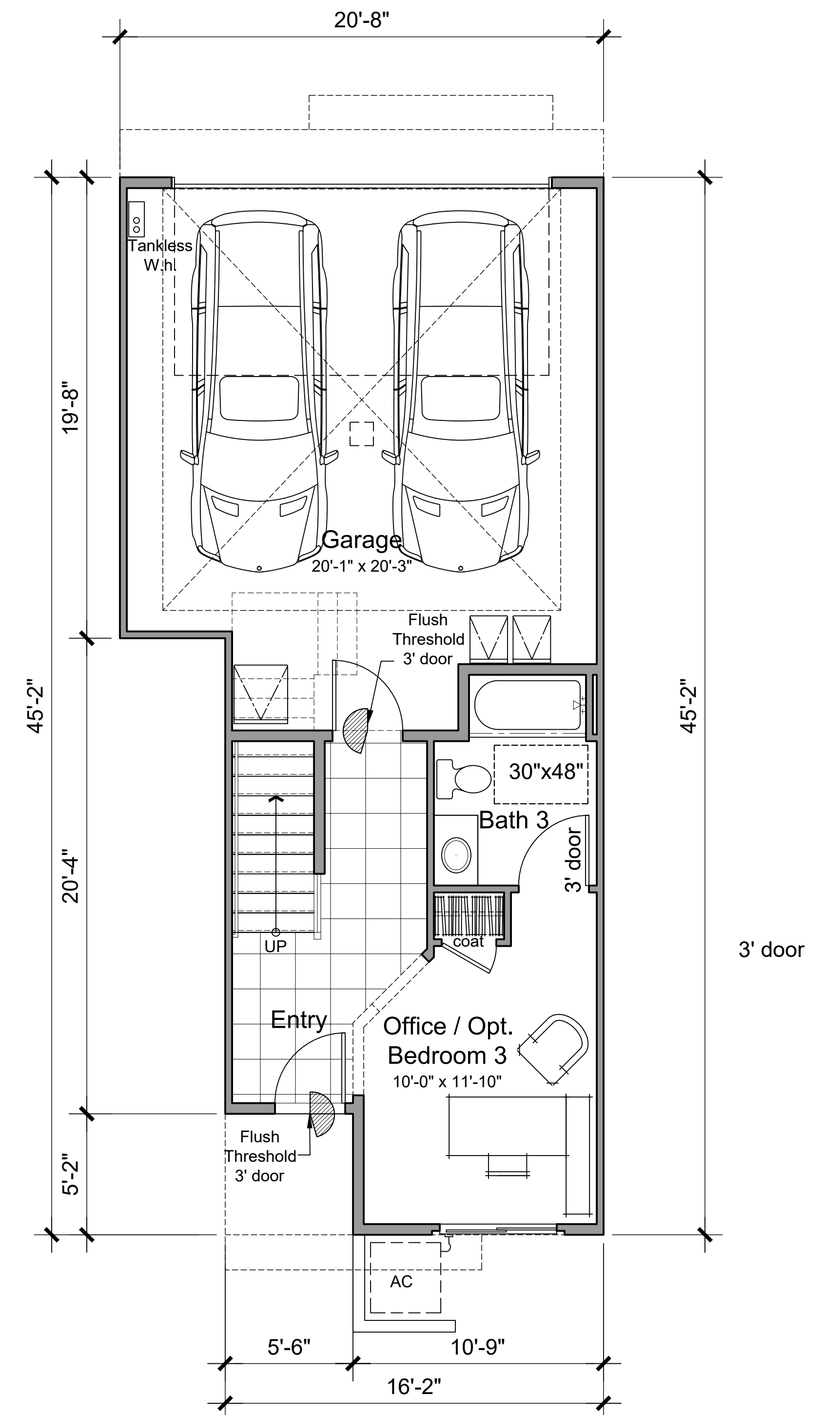




Third Floor



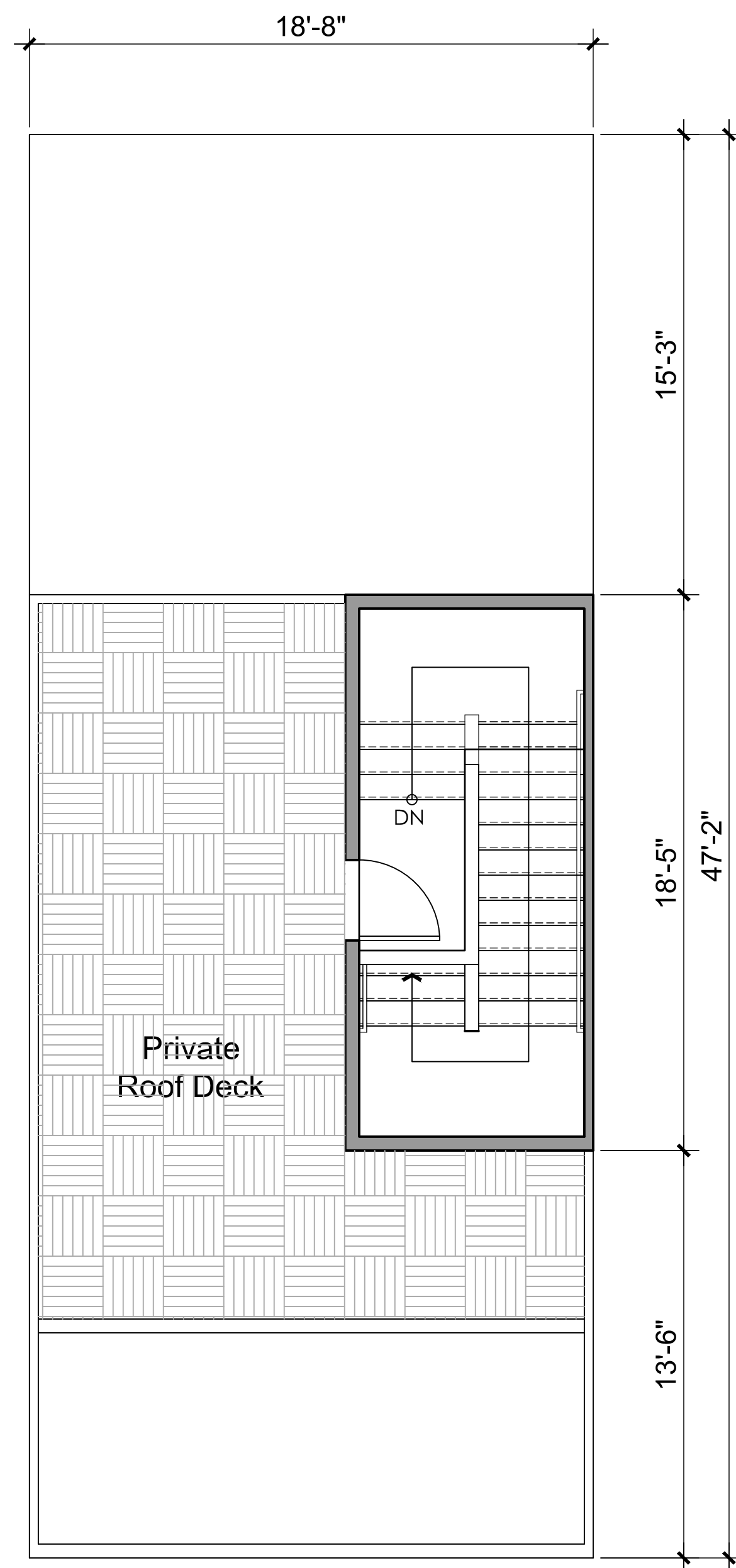
Second Floor



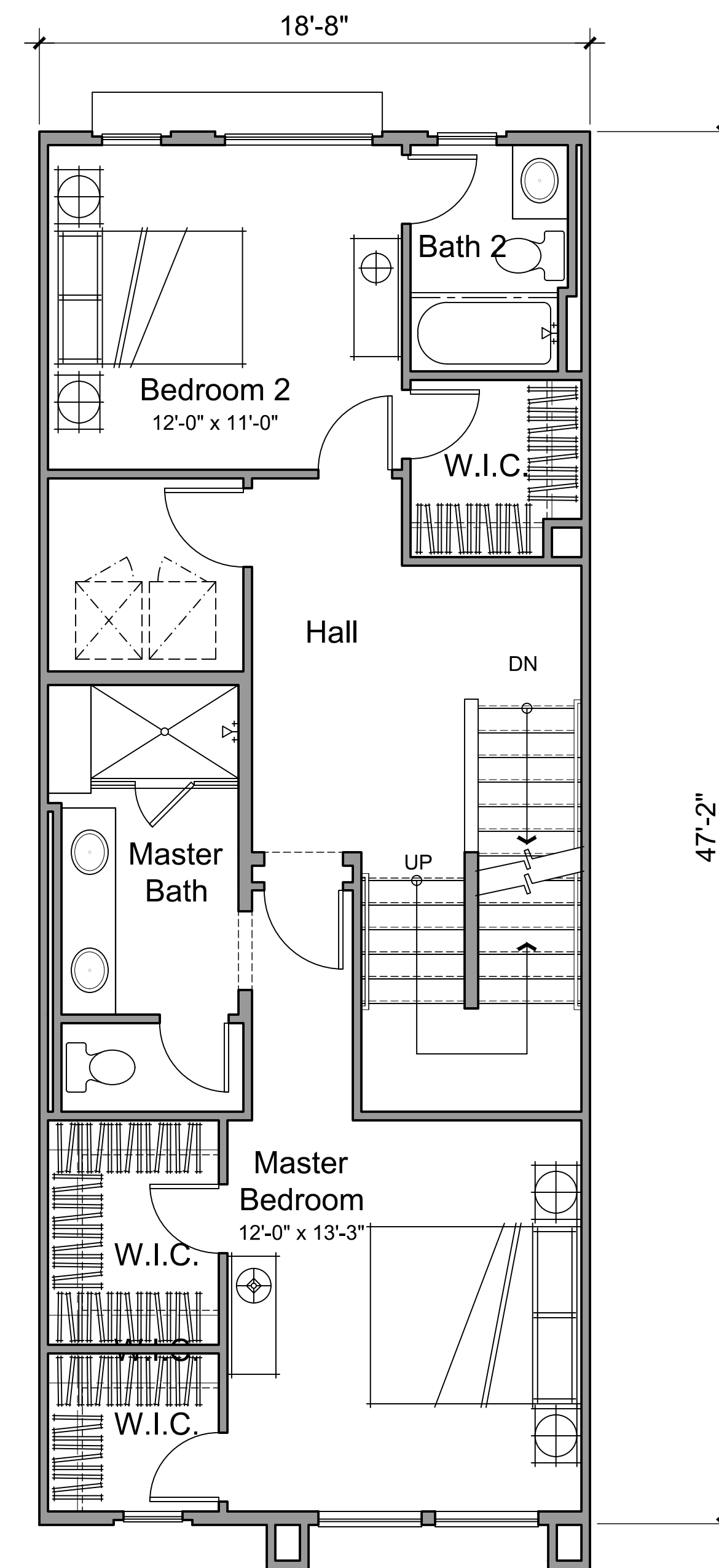
First Floor

2 Bedrooms + Office  
Opt. Bedroom 3  
3.5 Baths  
1,772 n.s.f.

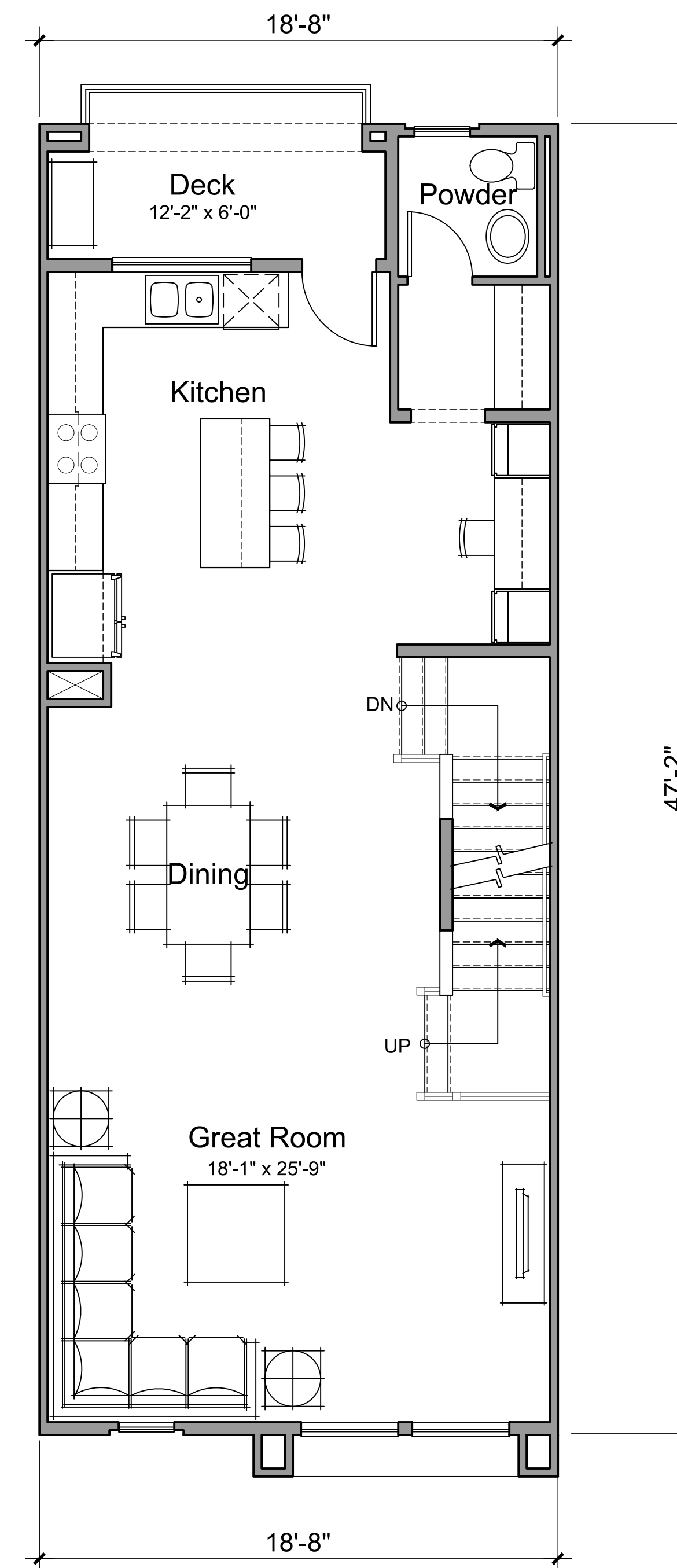




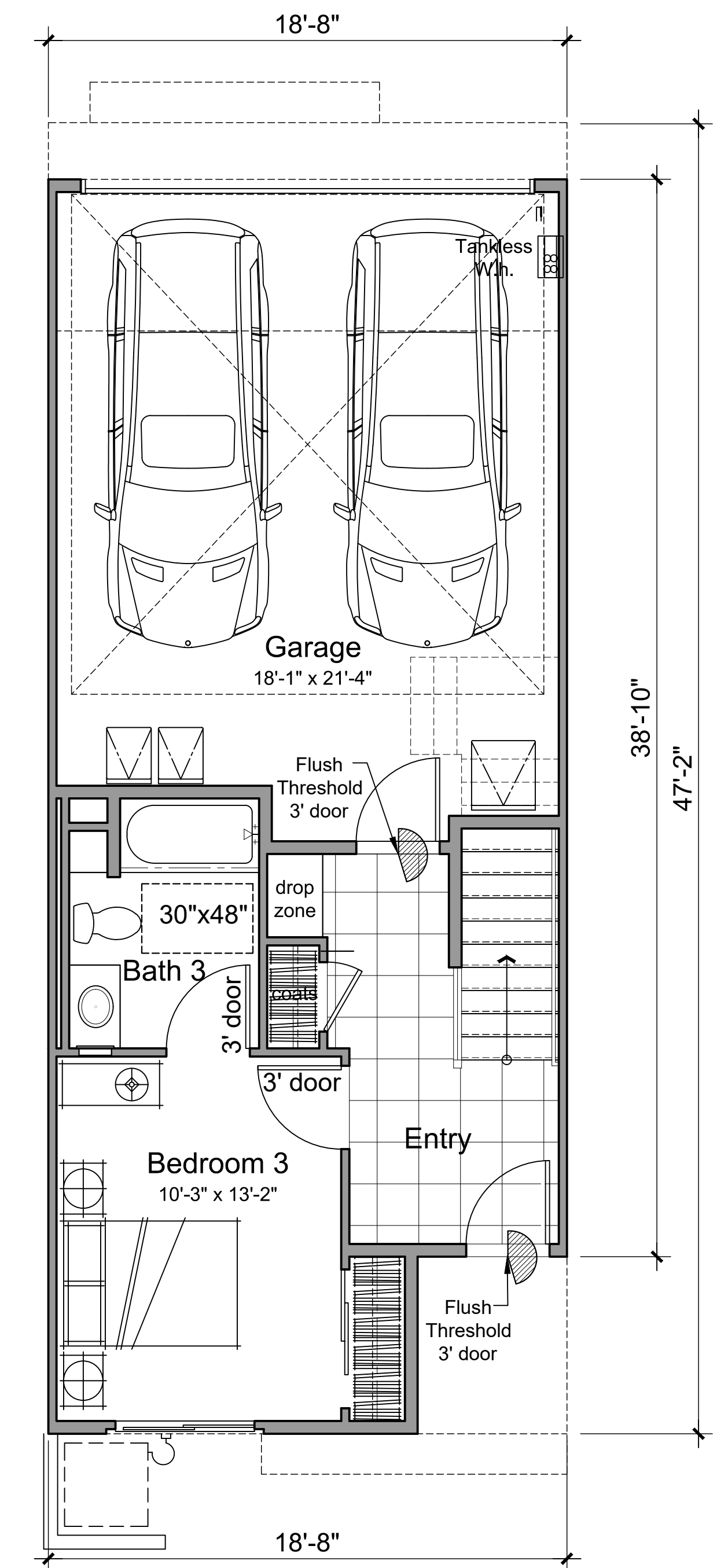
Roof



Third Floor



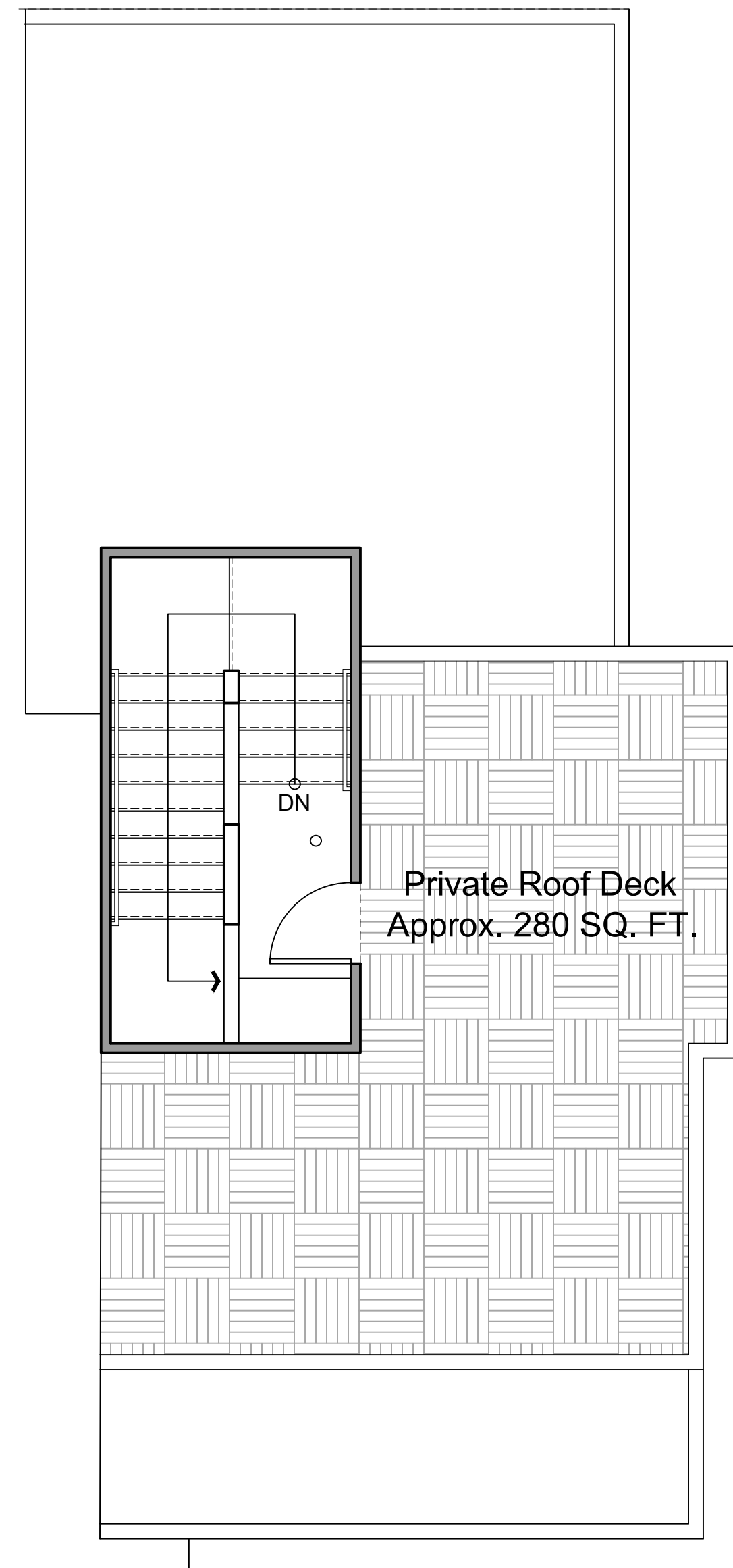
Second Floor



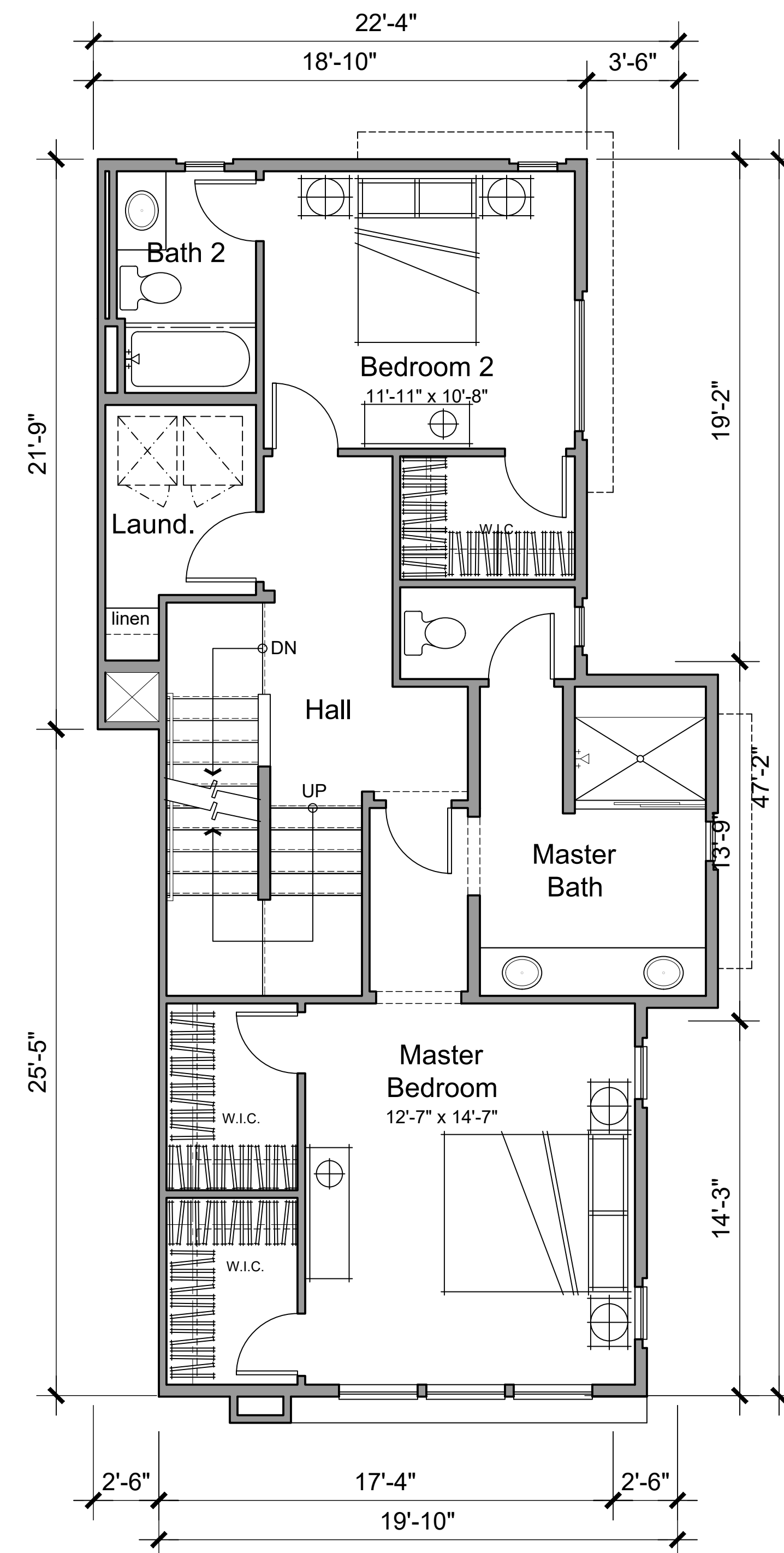
First Floor

Floor Plan  
3 Bedrooms  
3.5 Baths  
2,055 n.s.f.

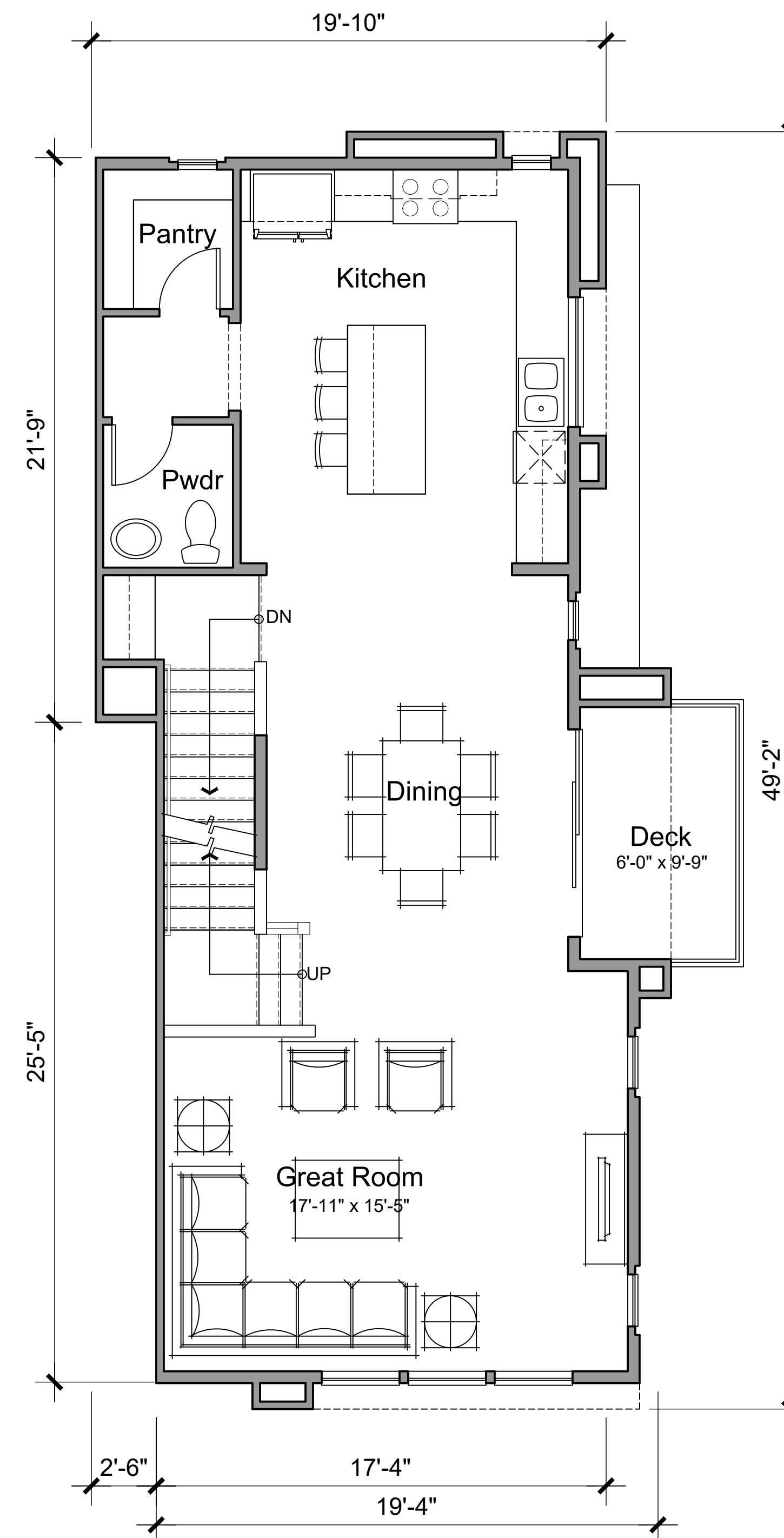




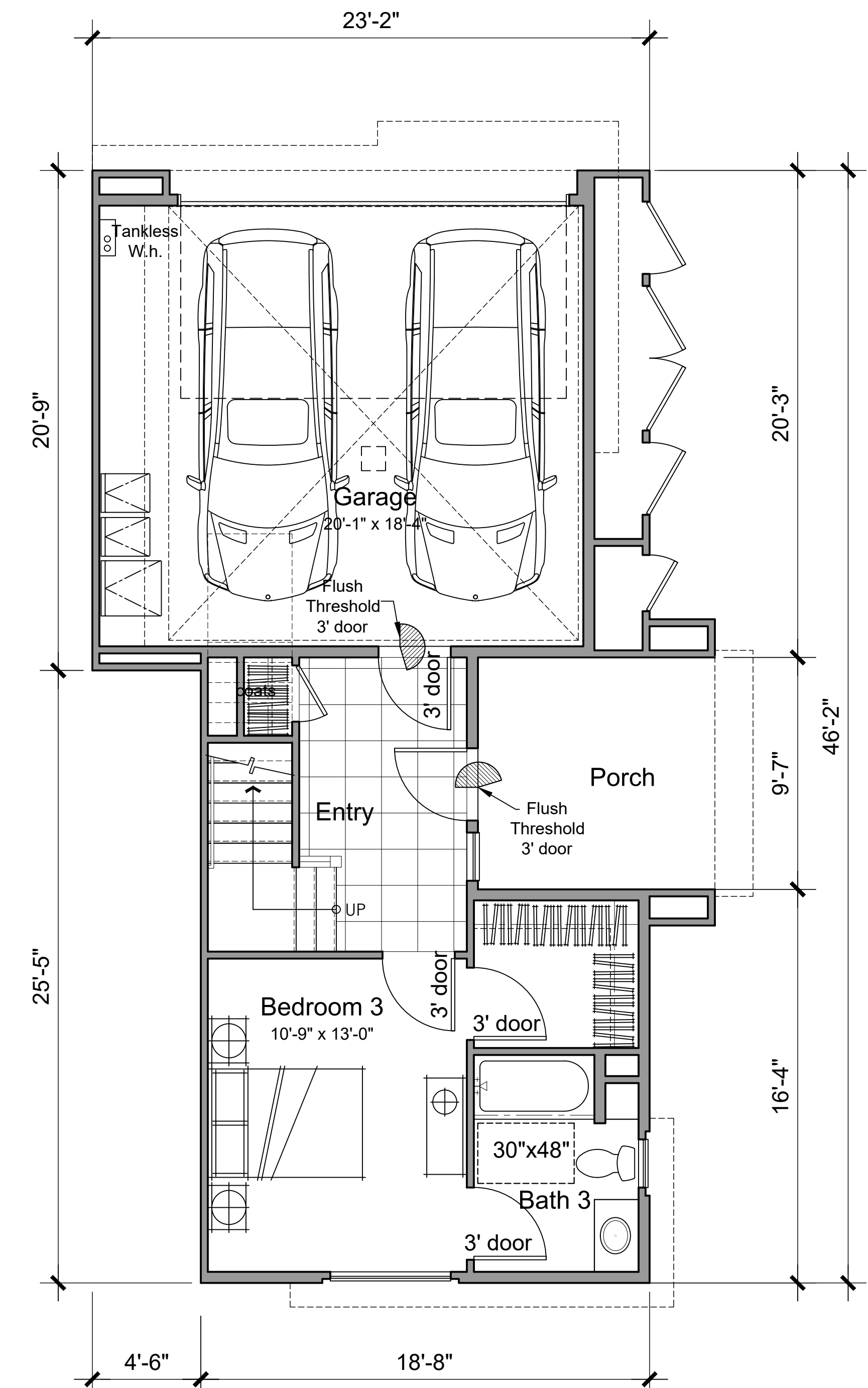
Roof



Third Floor



Second Floor



First Floor

Floor Plan  
3 Bedrooms  
3.5 Baths  
2,140 n.s.f.



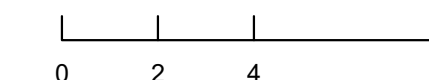
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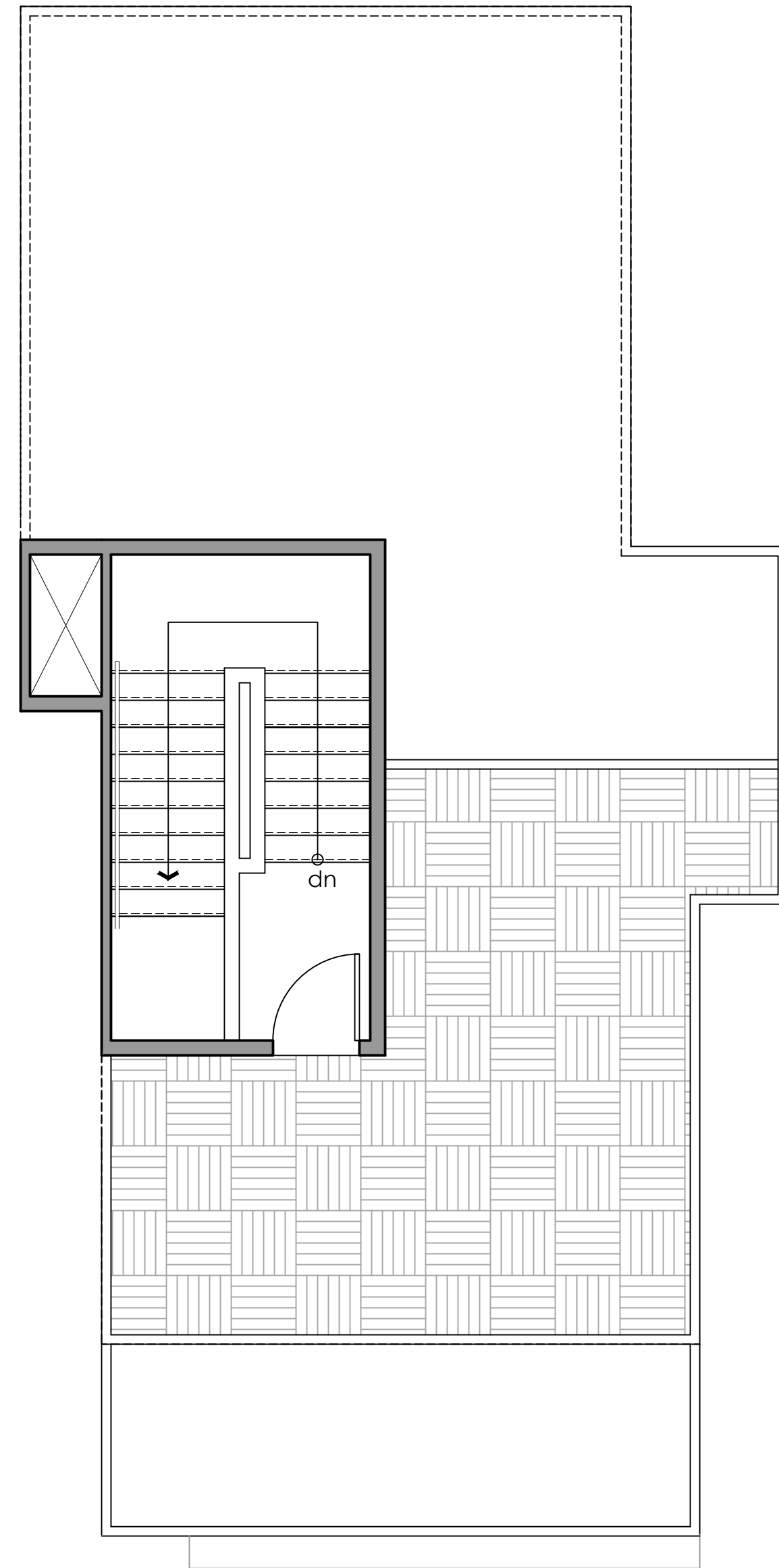
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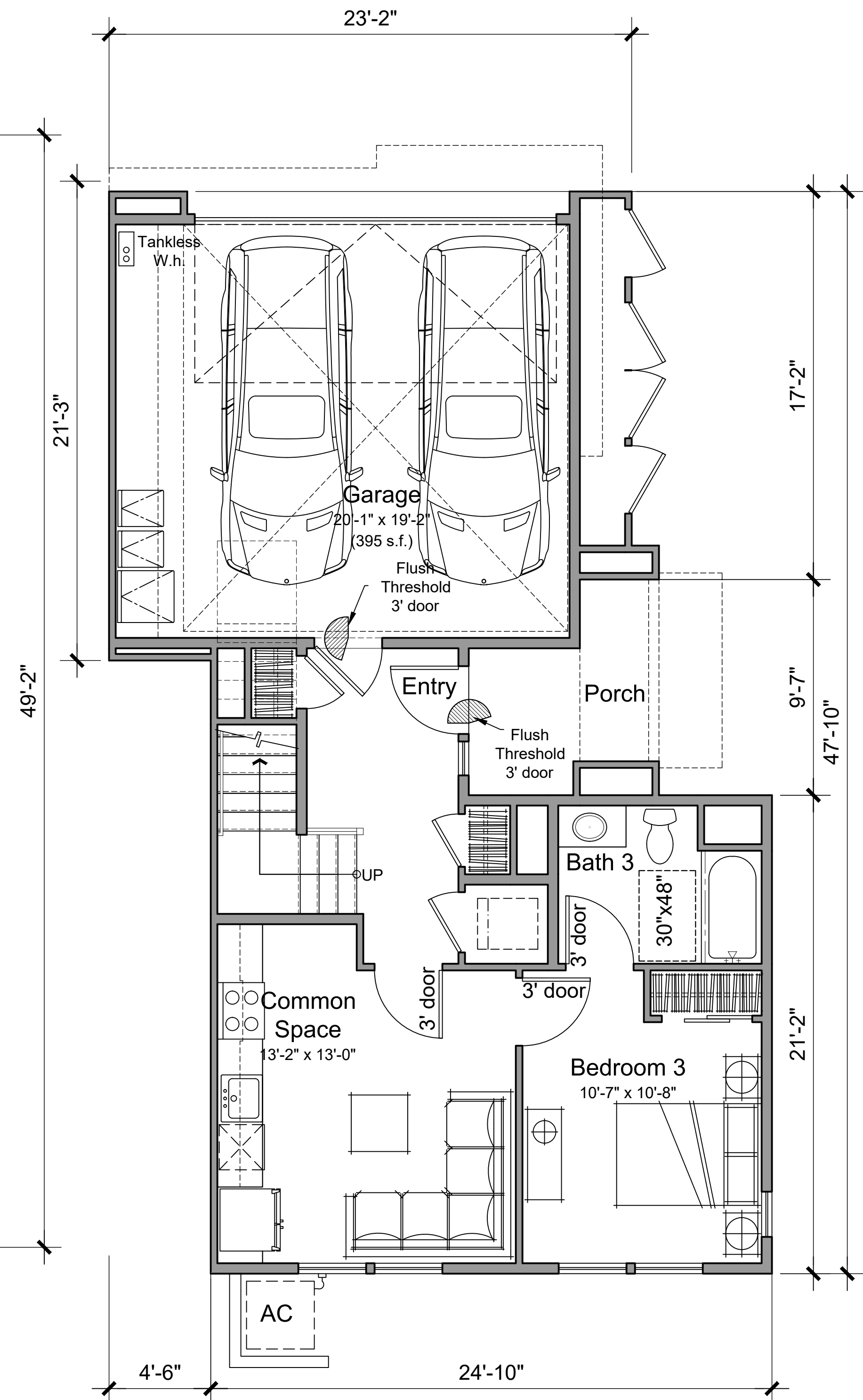
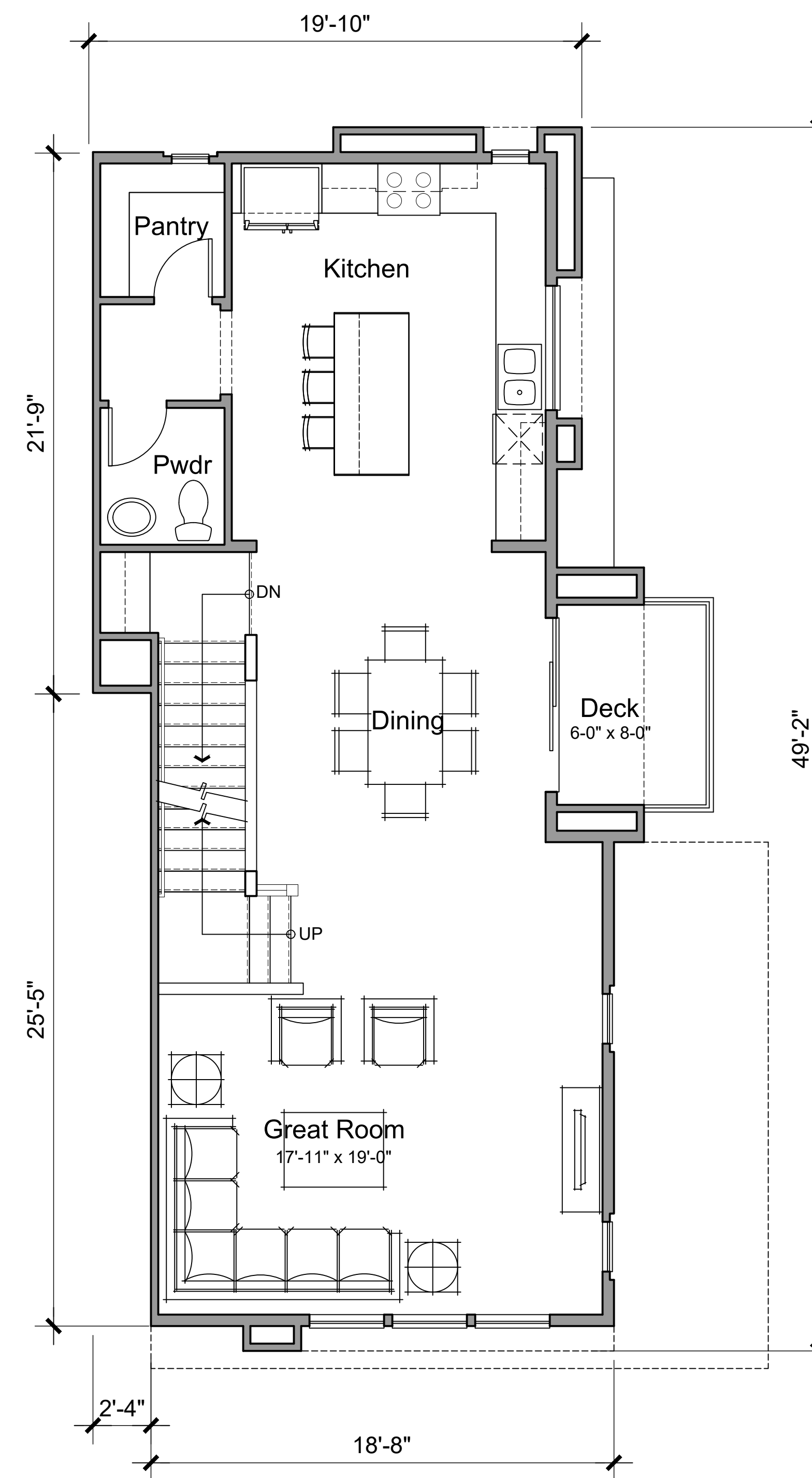
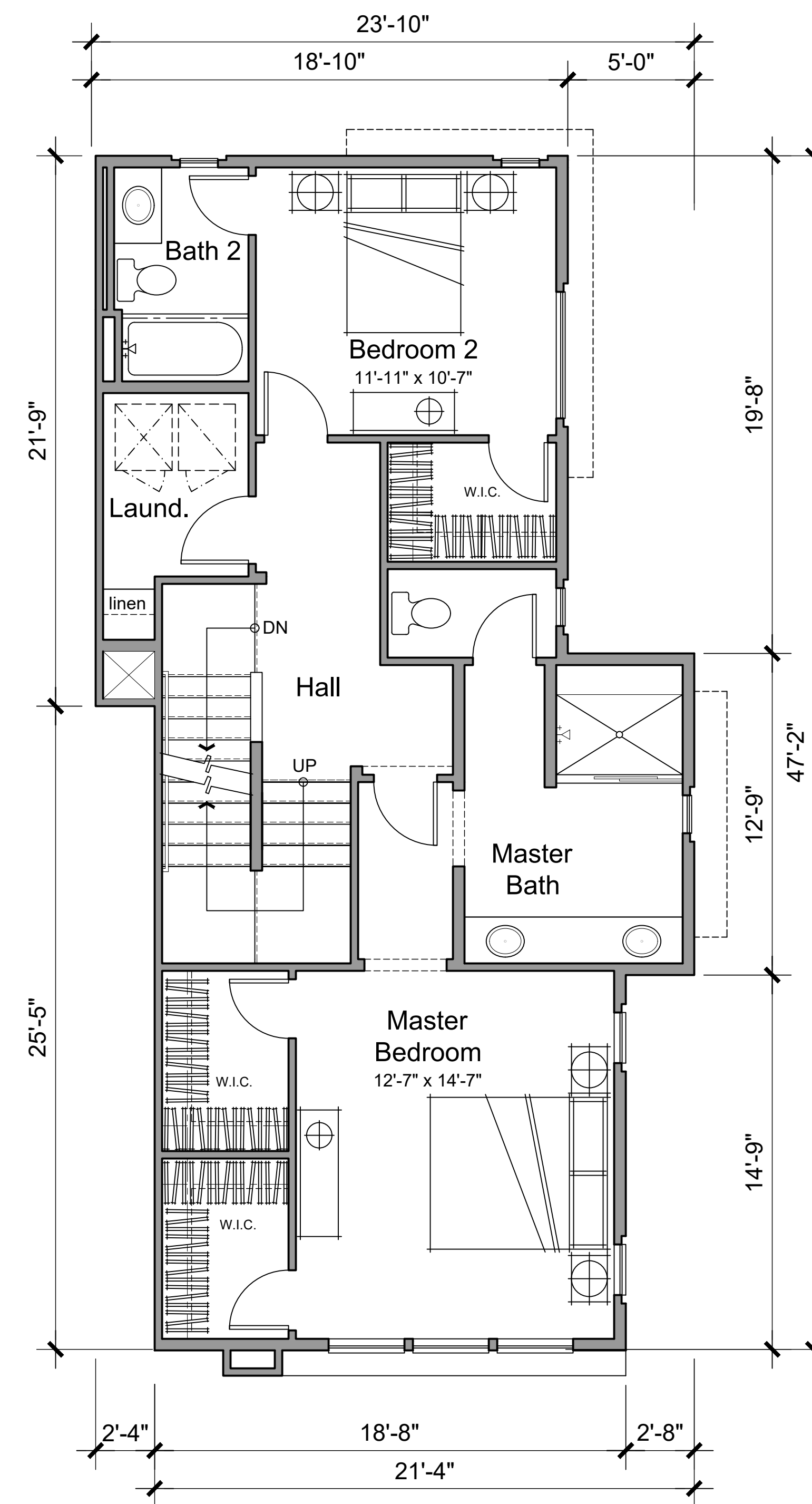
LANDSIDE  
UNIT PLANS\_ PLAN 6

A3.9.4





Roof



Floor Plan  
3 Bedrooms  
3.5 Baths  
2,328 n.s.f.



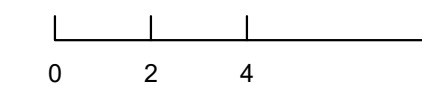
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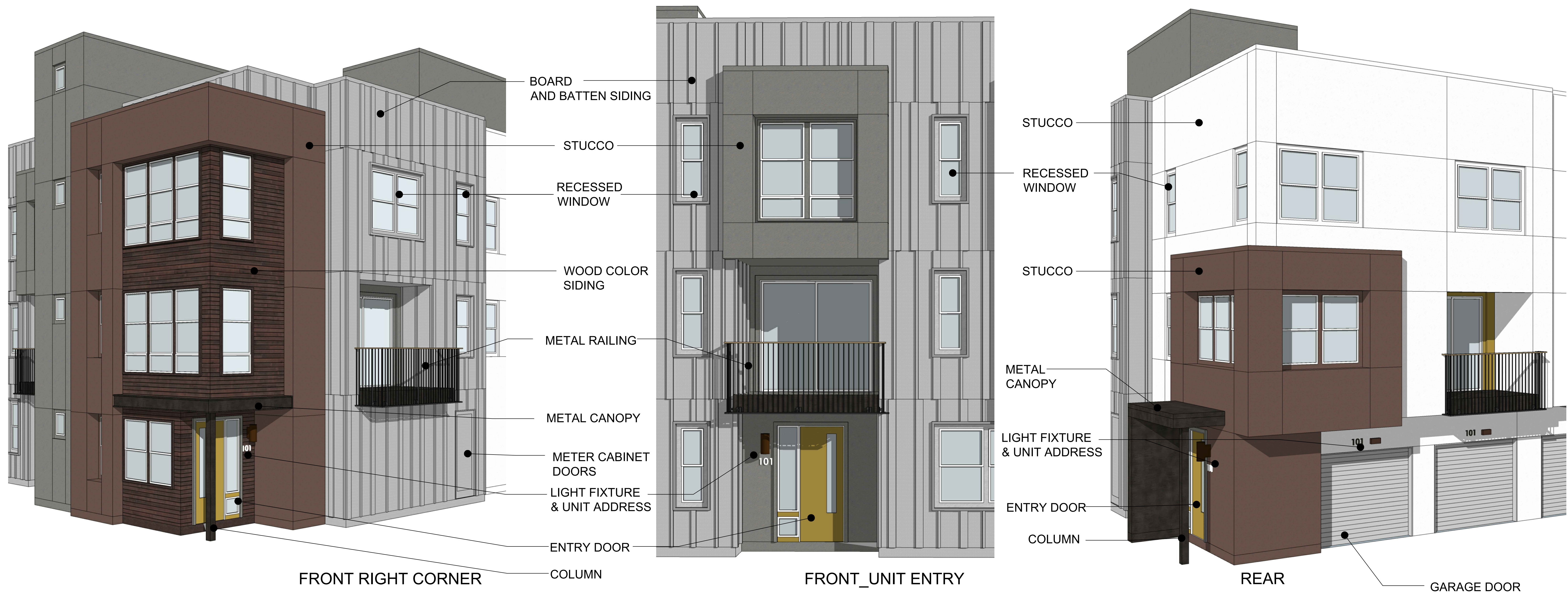
DESIGN REVIEW  
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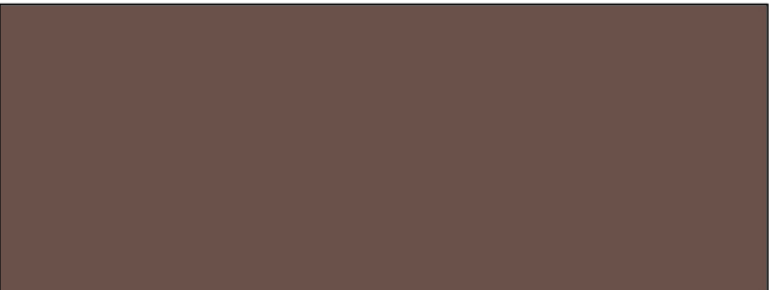
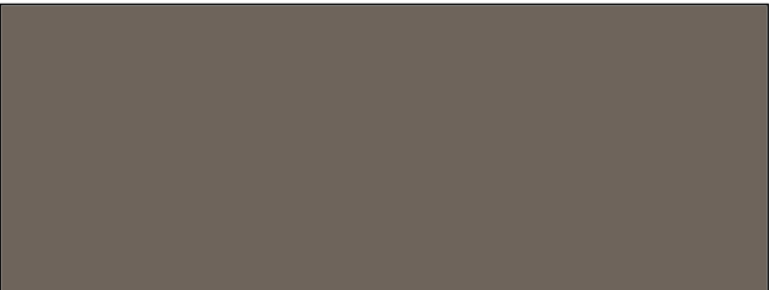
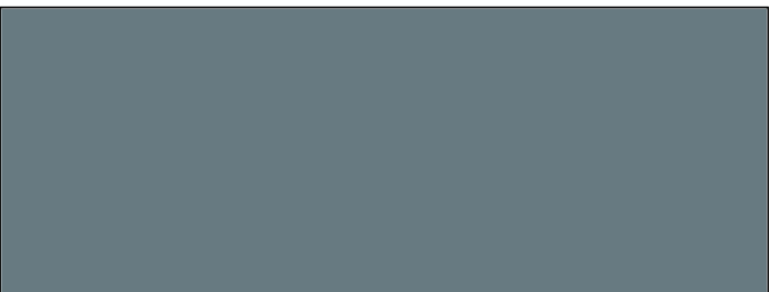



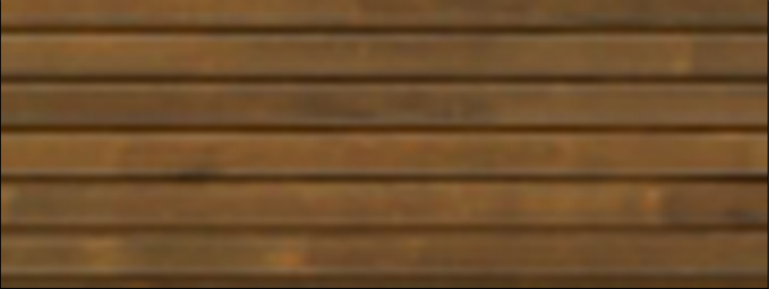

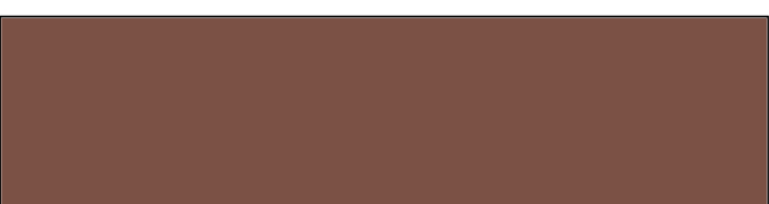




LANDSIDE  
UNIT PLANS\_ PLAN 7

A3.9.5







	SCHEME B	SCHEME A
STUCCO BODY 1		
STUCCO BODY 2		
STUCCO BODY 3		
STUCCO BODY 4		
BOARD AND BATTEN SIDING		
WOOD COLOR SIDING		
ENTRY DOOR ACCENT COLOR		
METAL RAILING /METAL CANOPY		
GARAGE DOOR		



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DESIGN REVIEW  
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LANDSIDE  
COLOR & MATERIAL SCHEMES

A3.11.0





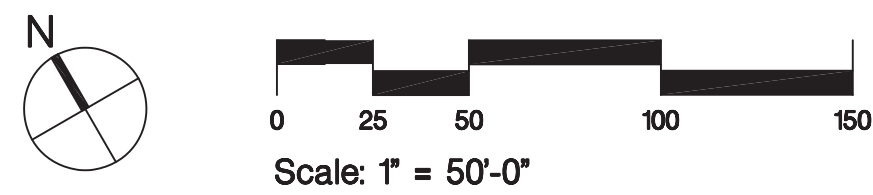
- Chestnut Lane (EVA)**
- Turf Stone Paver emergency access
  - Shade trees
  - Public connection to the shoreline

- Townhome Paseo and Motor Court**
- Pedestrian circulation
  - Bike Parking (2)
  - Mail
  - Bio-treatment
  - Connection to Waterlife Park
  - Low Native and Bay-friendly plantings

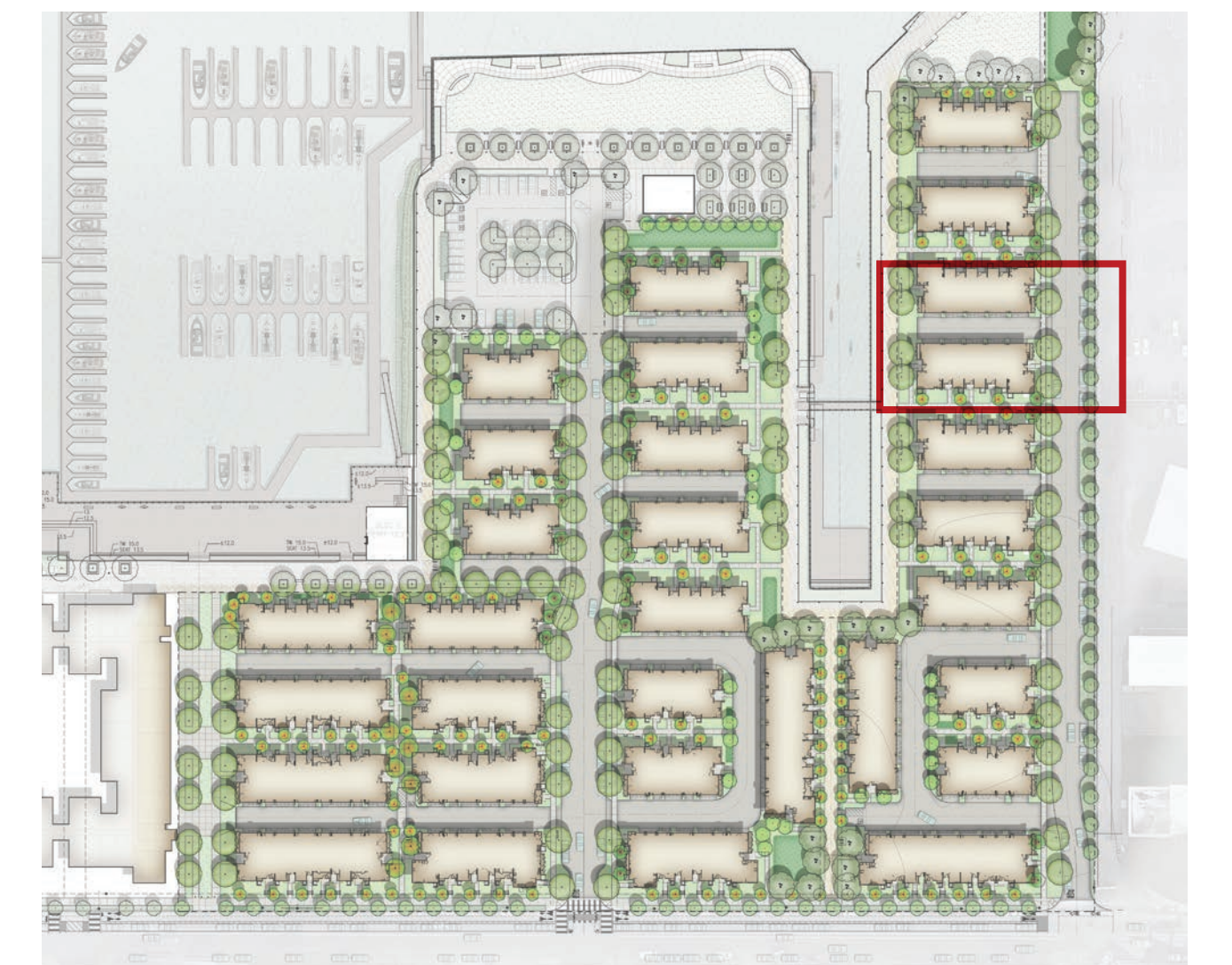
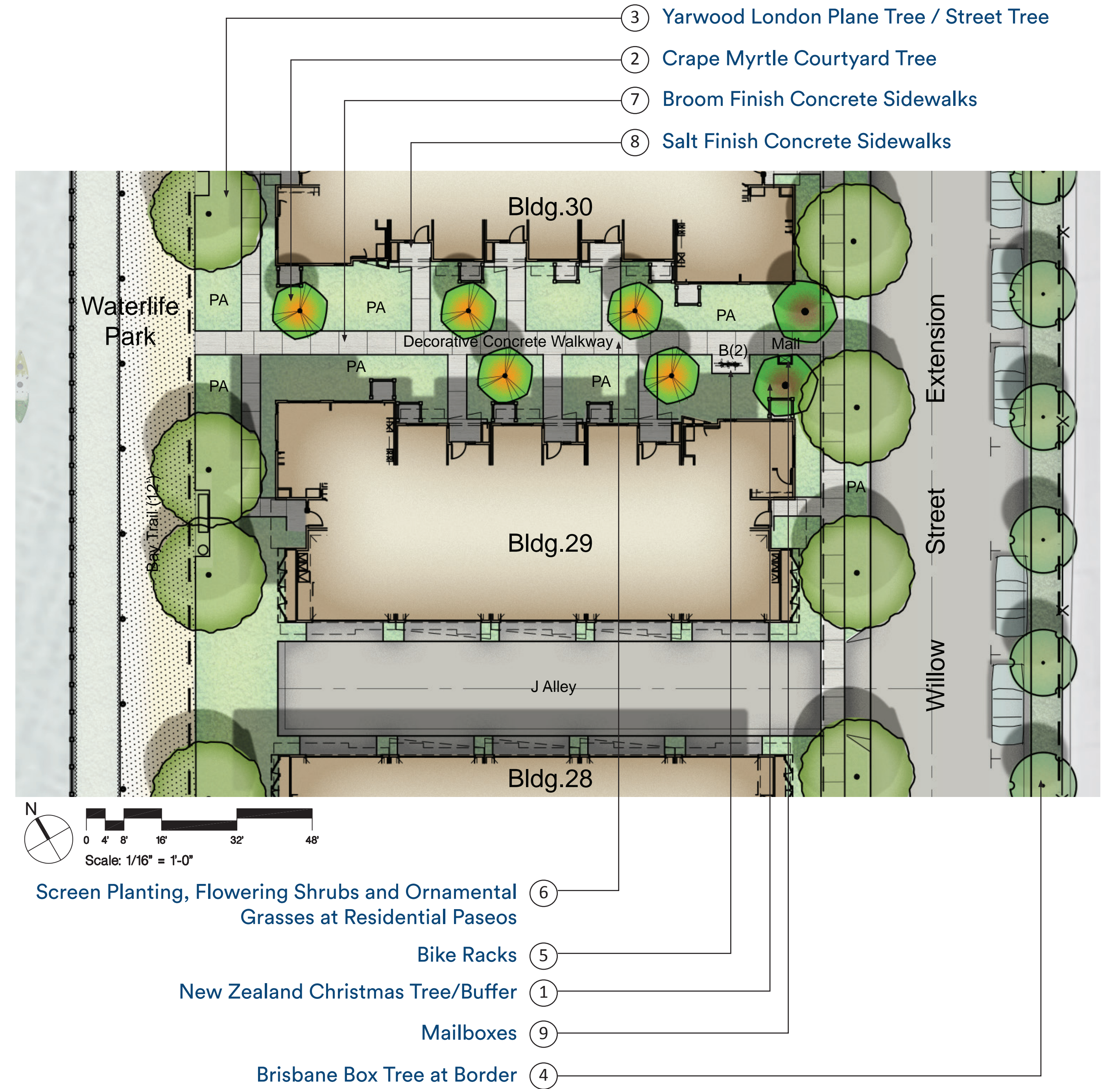
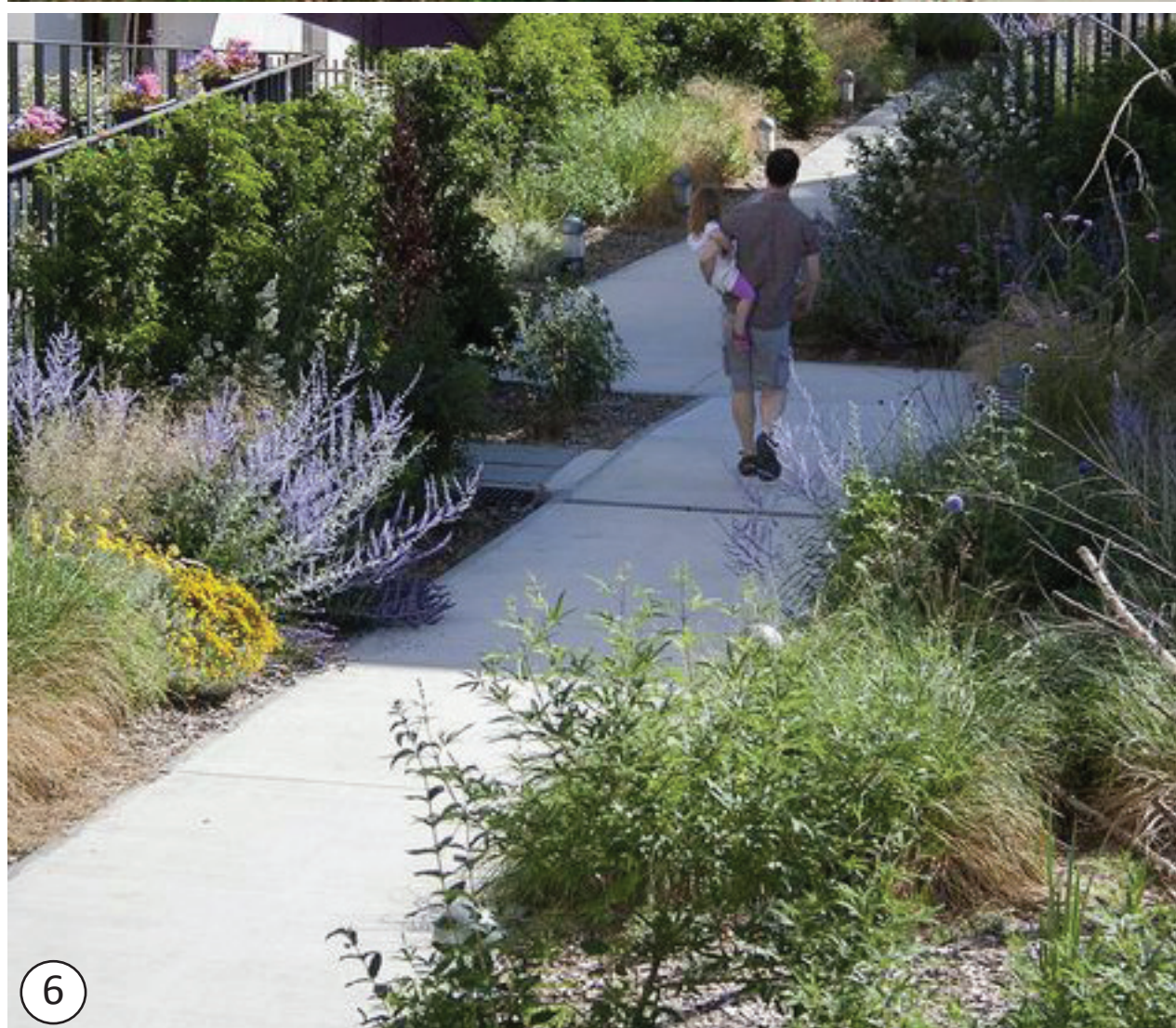
**Pike Parking Tabulations**

Required: 28  
Provided: 34 (17 racks)

- Bay Trail Gateway**
- Interim Bay Trail connection
  - Native Oaks
  - Mail
  - Bike Parking
  - Bio-treatment
  - Public access to shoreline







Key Map





1



2



3



4



5



6



7

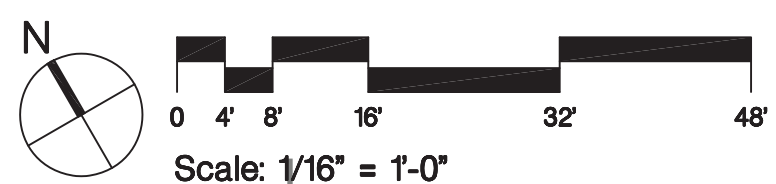
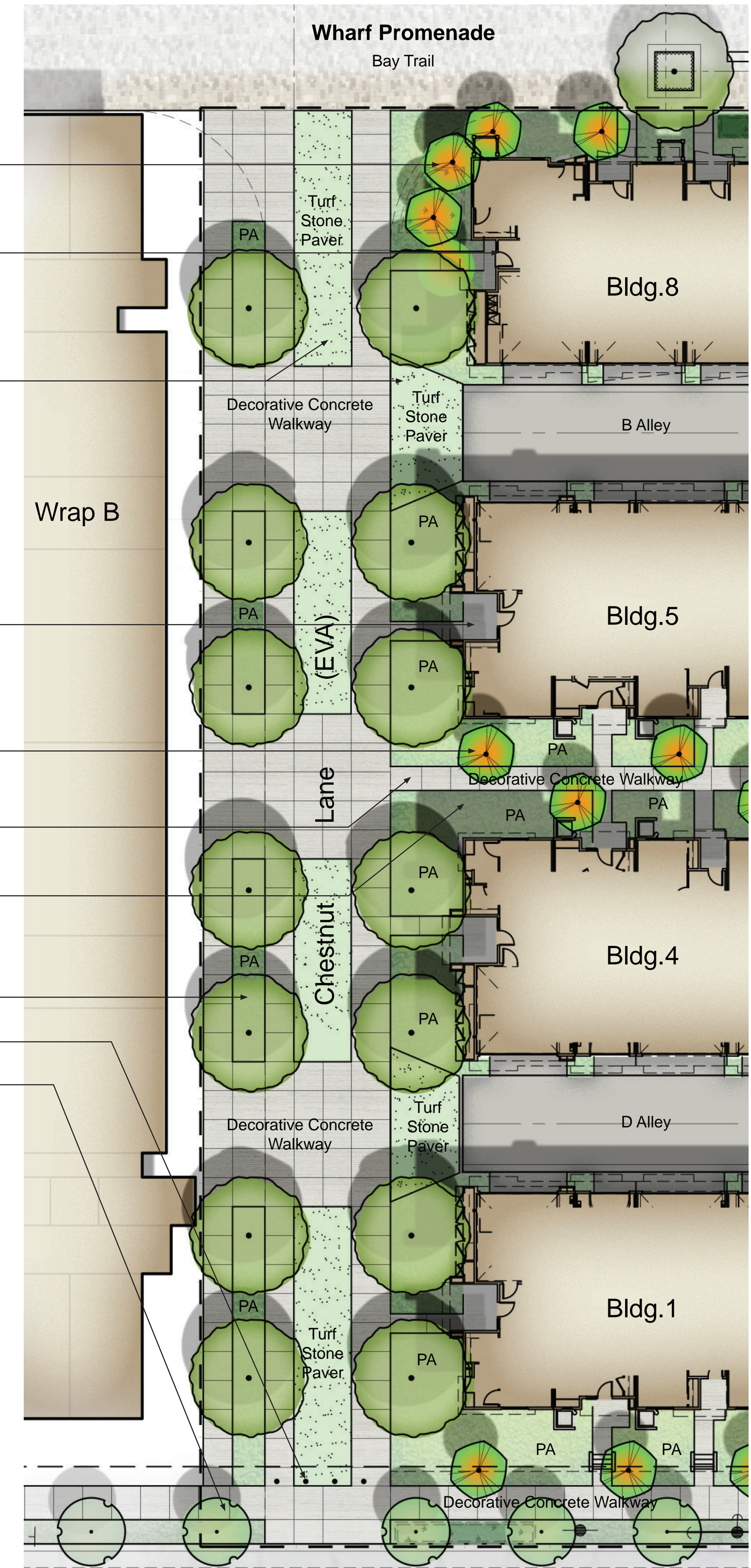


8



Key Map

- Crape Myrtle Courtyard Tree ①
- Salt Finished Concrete at Residential Entry ⑦
- Turf Stone at EVA ⑥
- Salt Finished Concrete at Residential Entry ⑦
- Crape Myrtle Courtyard Tree ①
- Broom Finish Concrete Sidewalks/EVA ⑧
- Screen Planting, Flowering Shrubs and Ornamental Grasses ⑤
- Yarwood London Plane Tree / Street Tree ③
- EVA Bollards ④
- Brisbane Box Street Tree ②



CHESTNUT LANE (EVA)

L1.2





1



2



3



4



5



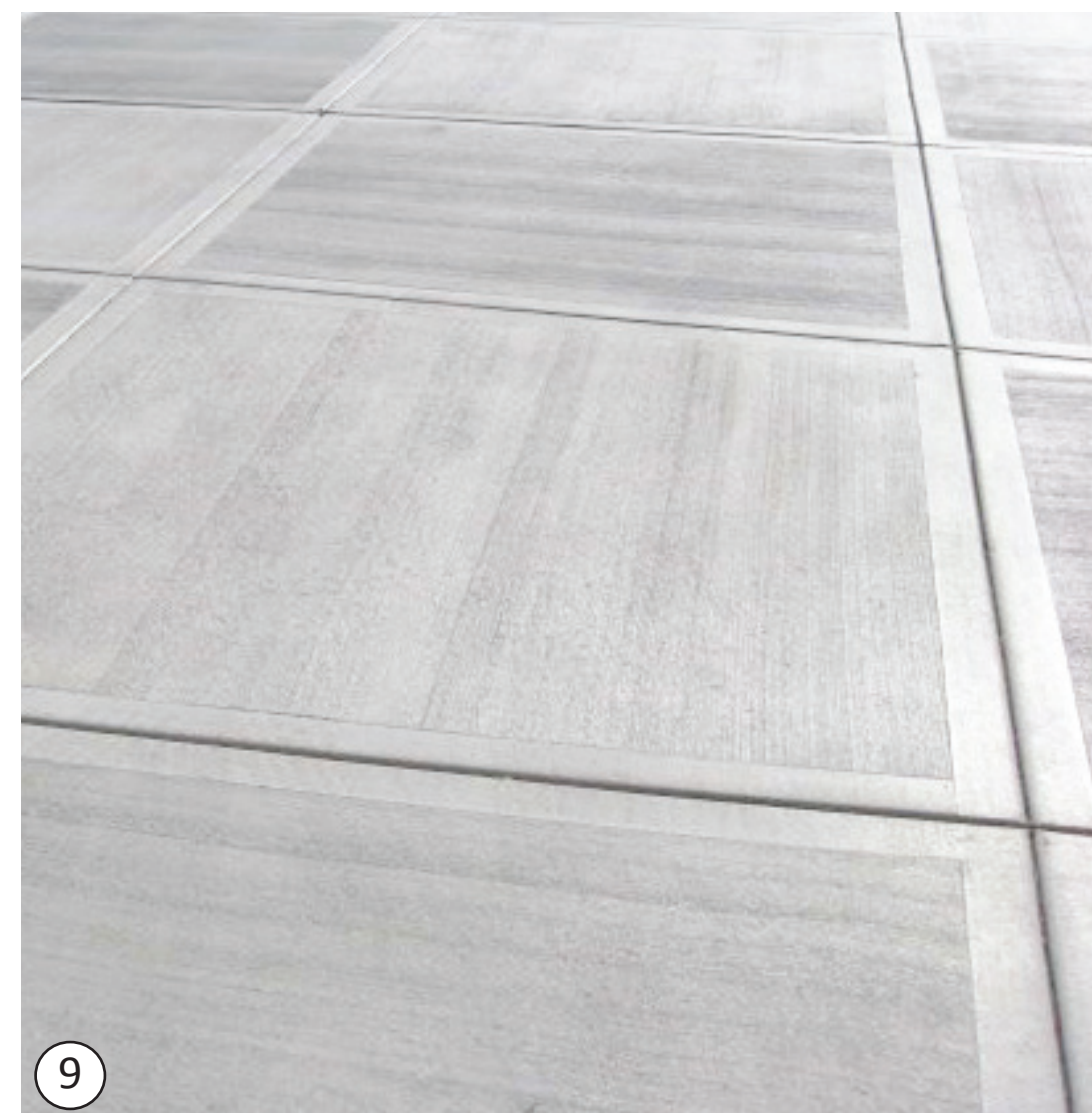
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7

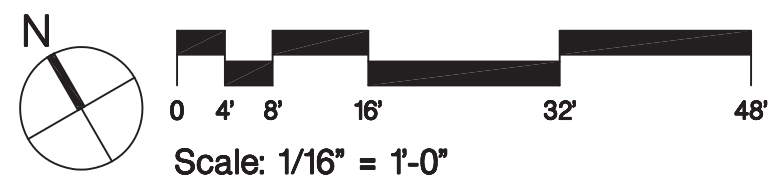
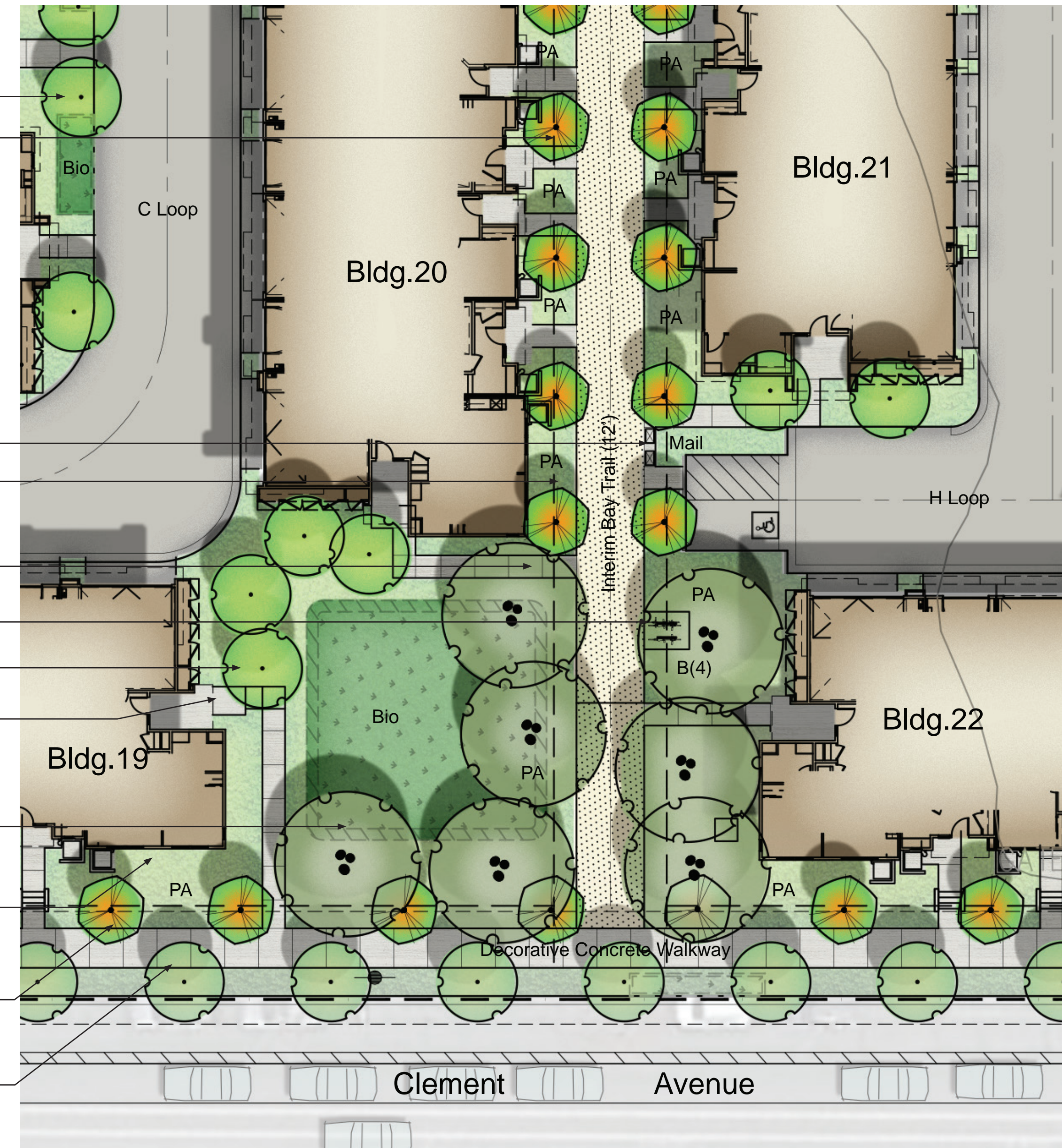


8



9

- Brisbane Box Street Tree ①
- Crape Myrtle Courtyard Tree ③
- Mailboxes ⑥
- Screen Planting, Low Flowering Shrubs and Ornamental Grasses ⑦
- Broom Finish Concrete Sidewalks ⑨
- Bike Racks ⑤
- Brisbane Box Street Tree ①
- Salt Finished Concrete At Residential Entries ⑧
- Coast Live Oak Tree At Bay Trail Entry ④
- Screen Planting, Flowering Shrubs and Ornamental Grasses ⑦
- Crape Myrtle Courtyard Tree ③
- Brisbane Box Street Tree ①



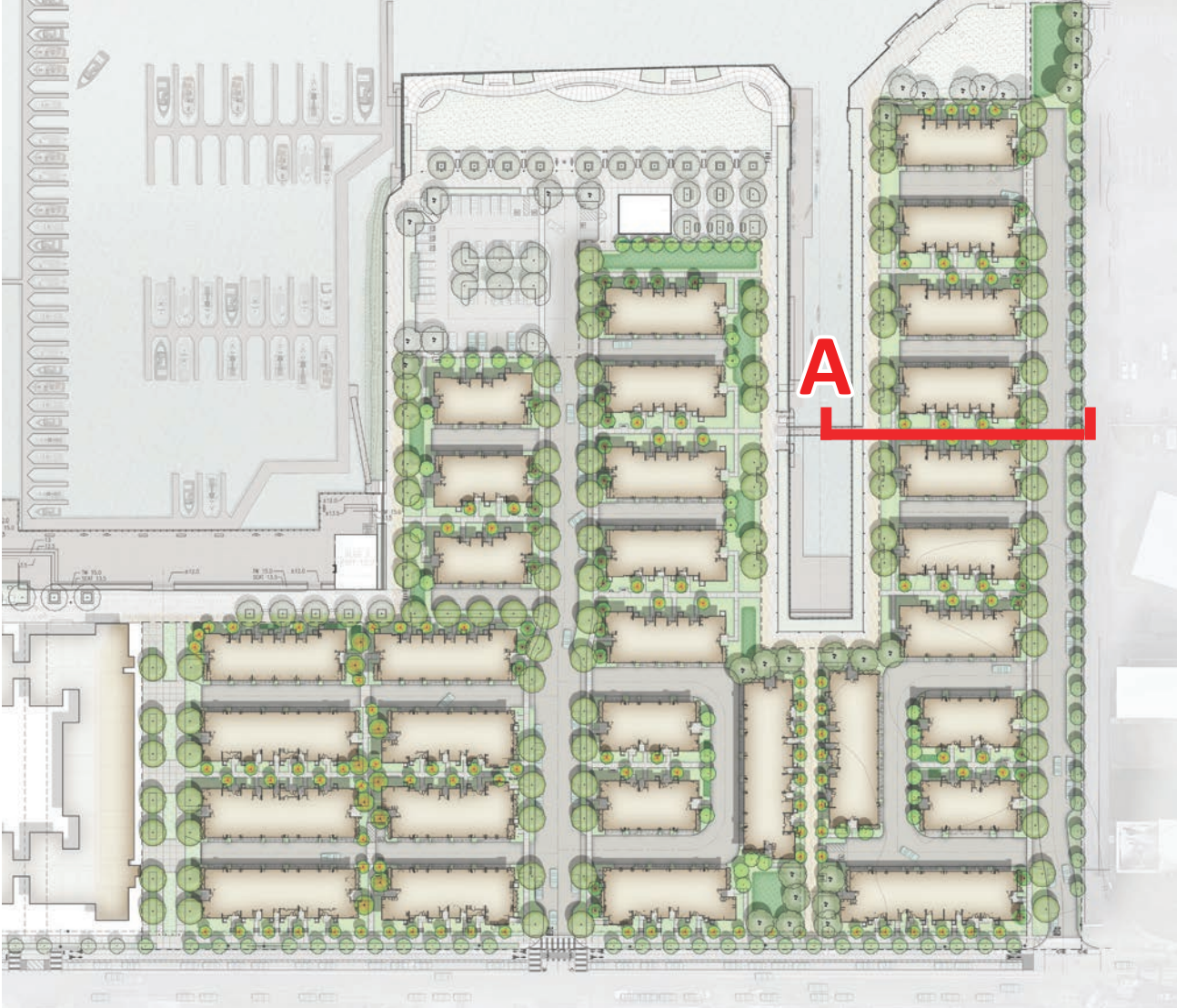
Key Map





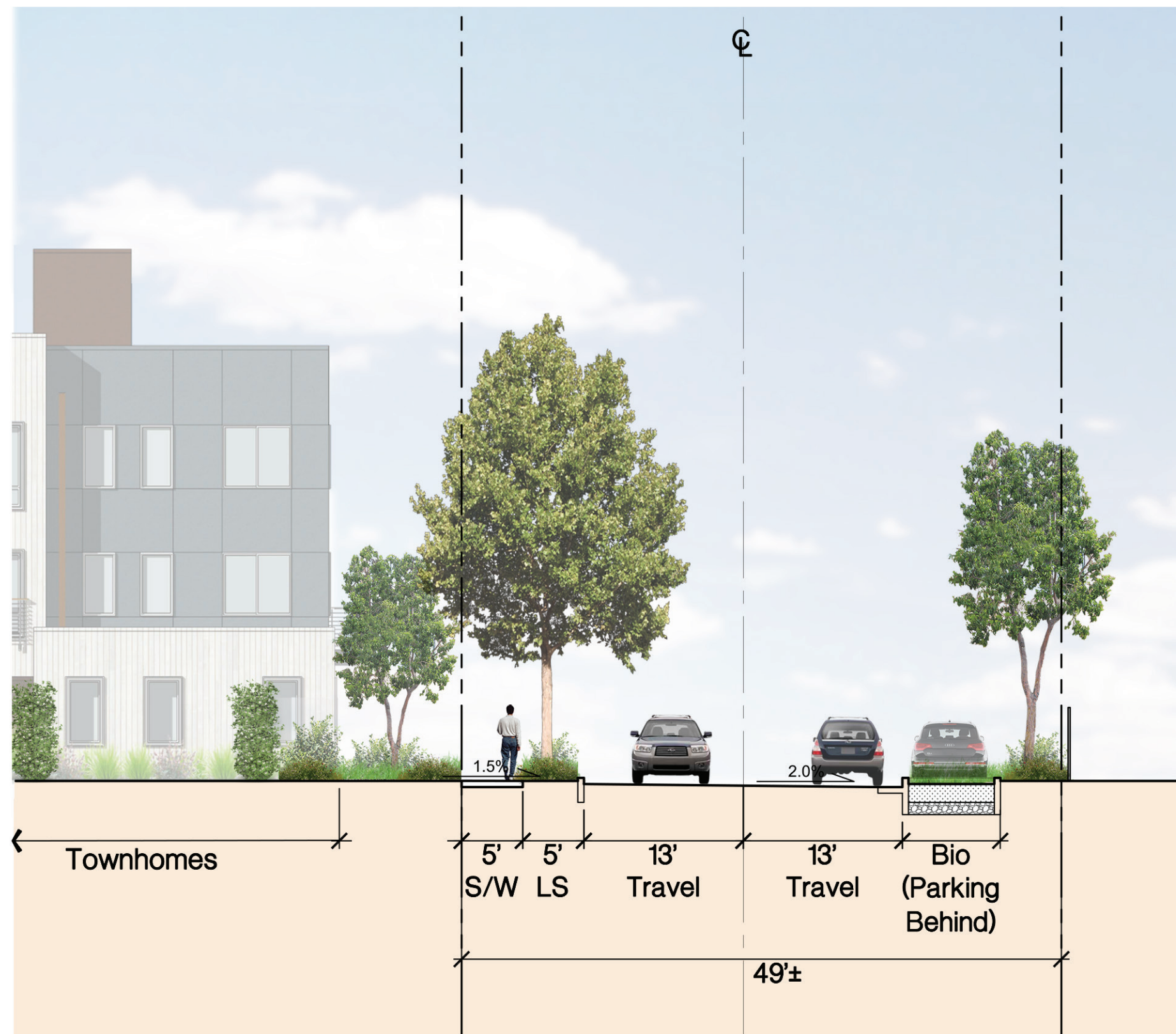
Section A – Typical Waterside Paseo

Scale: 1" = 10'-0"



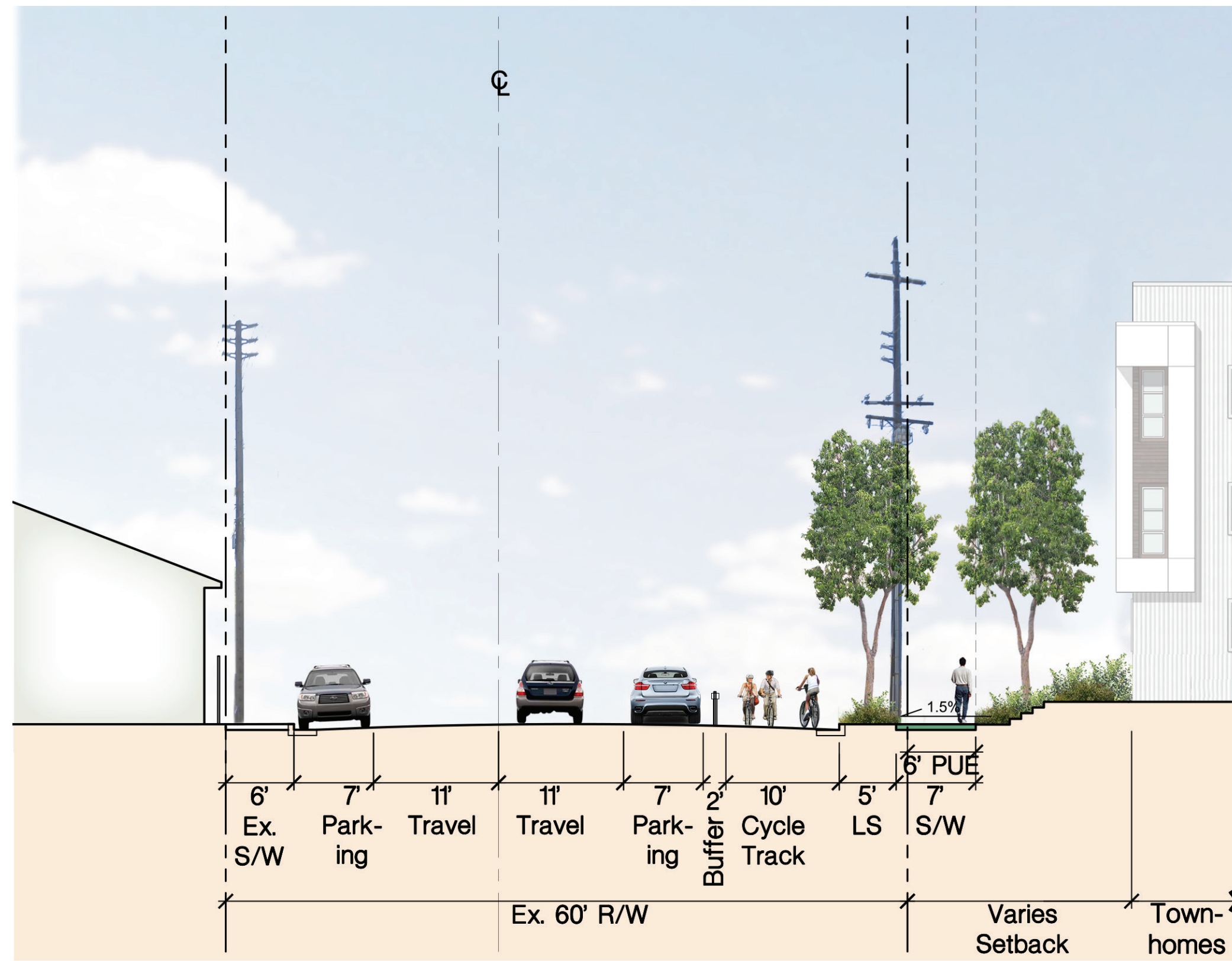
Key Map





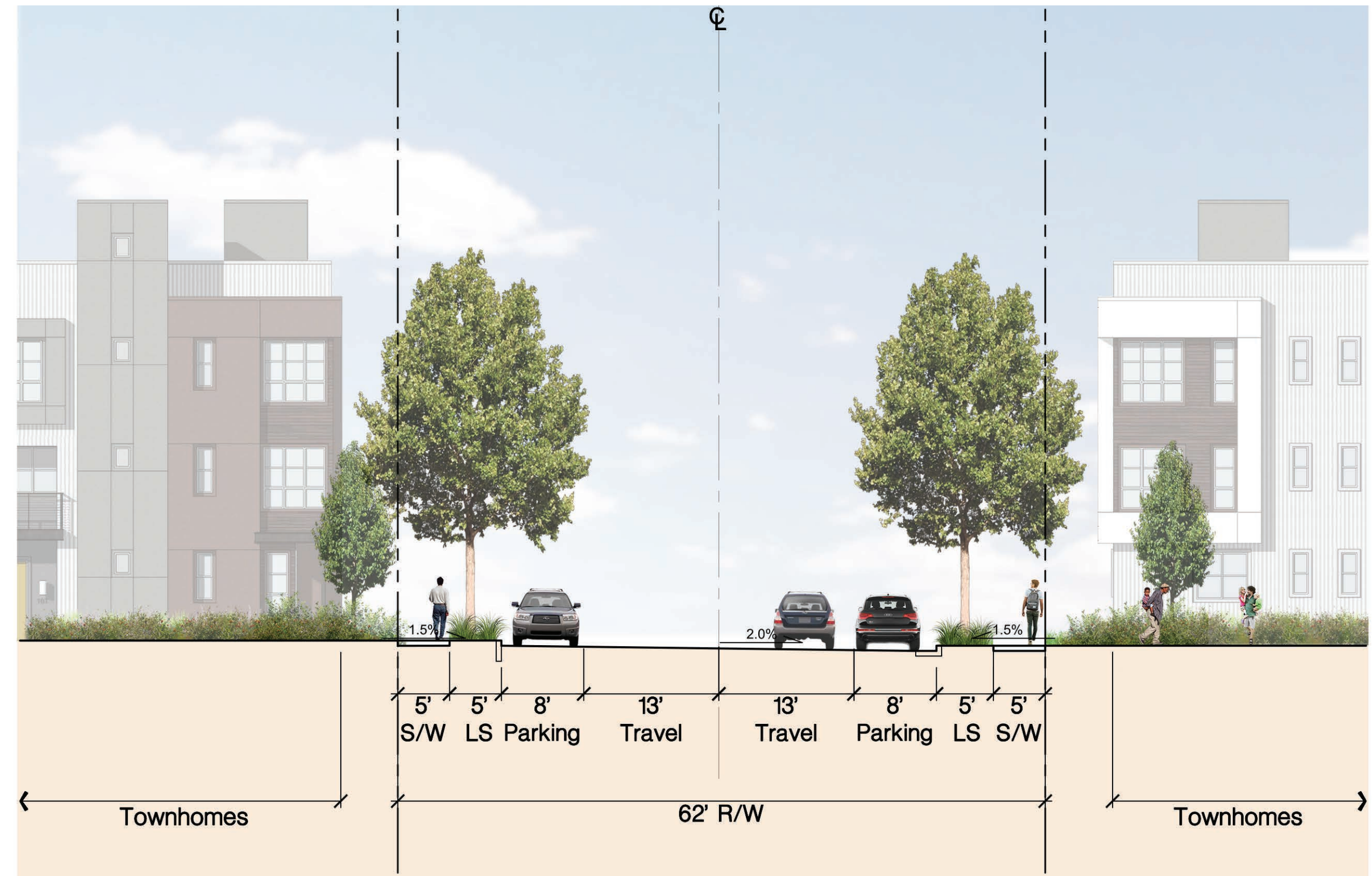
Section B – Willow Street Extension

Scale: 1" = 10'-0"



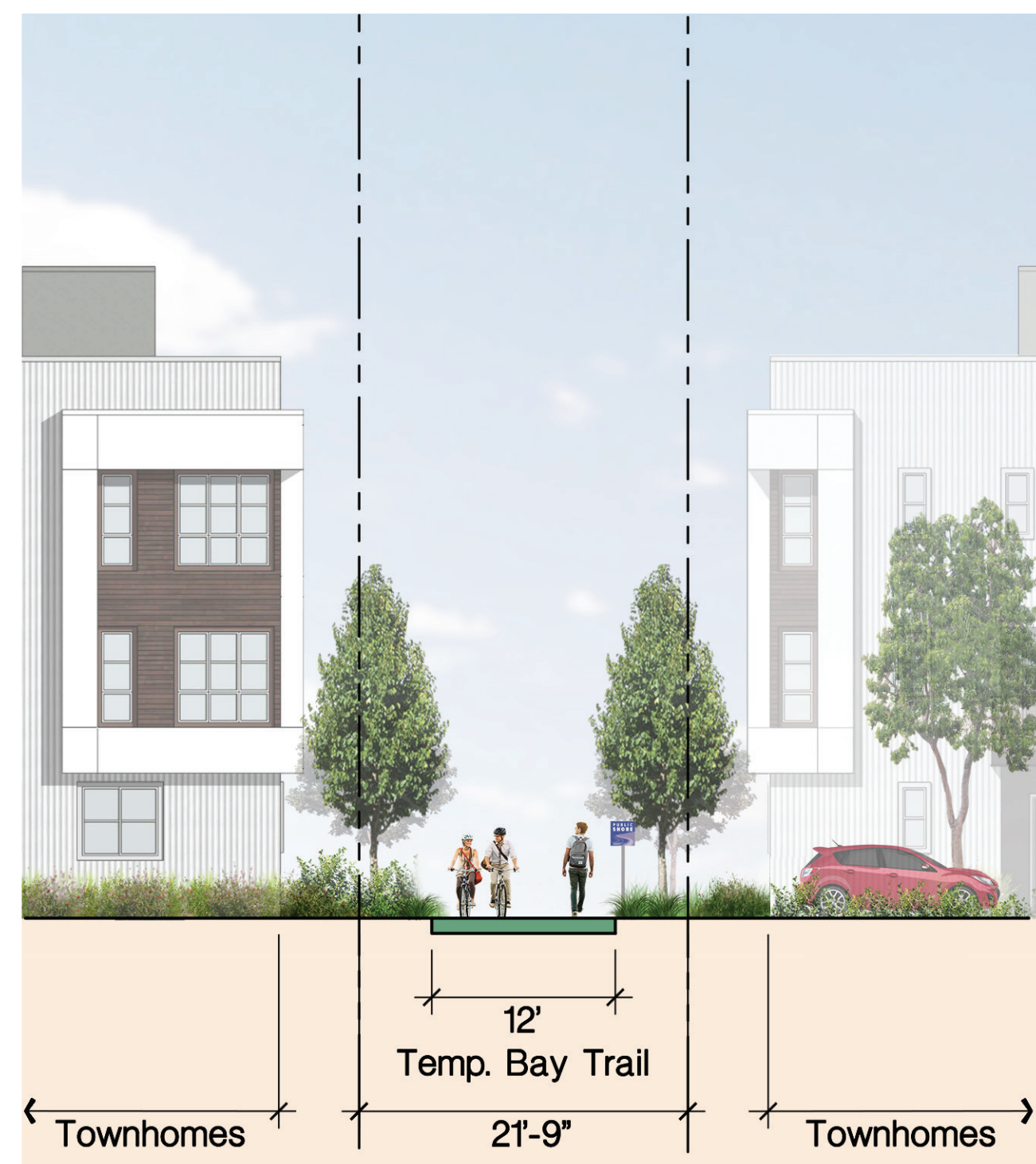
Section C – Clement Avenue East

Scale: 1" = 10'-0"



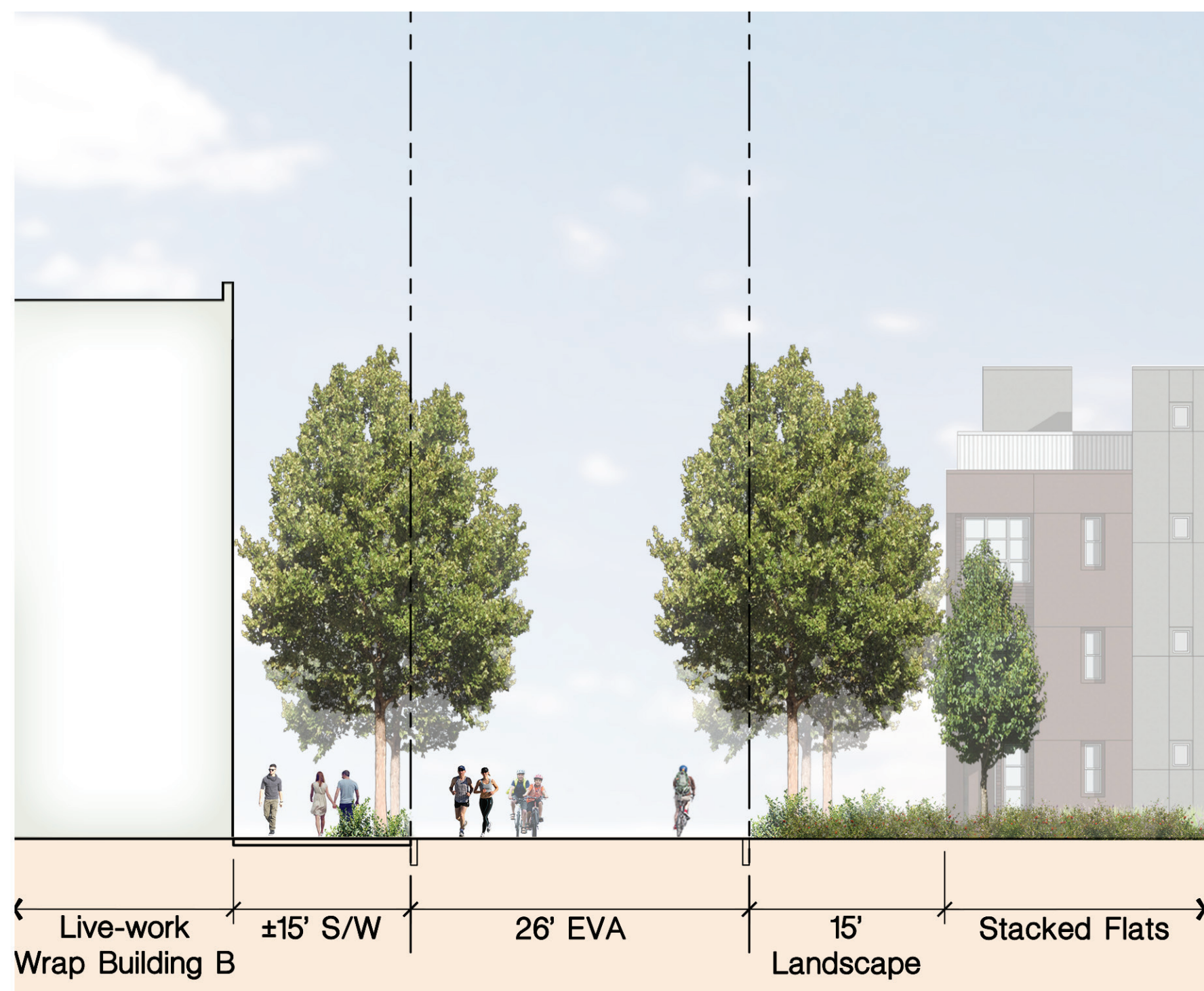
Section D – Stanford Street Extension

Scale: 1" = 10'-0"



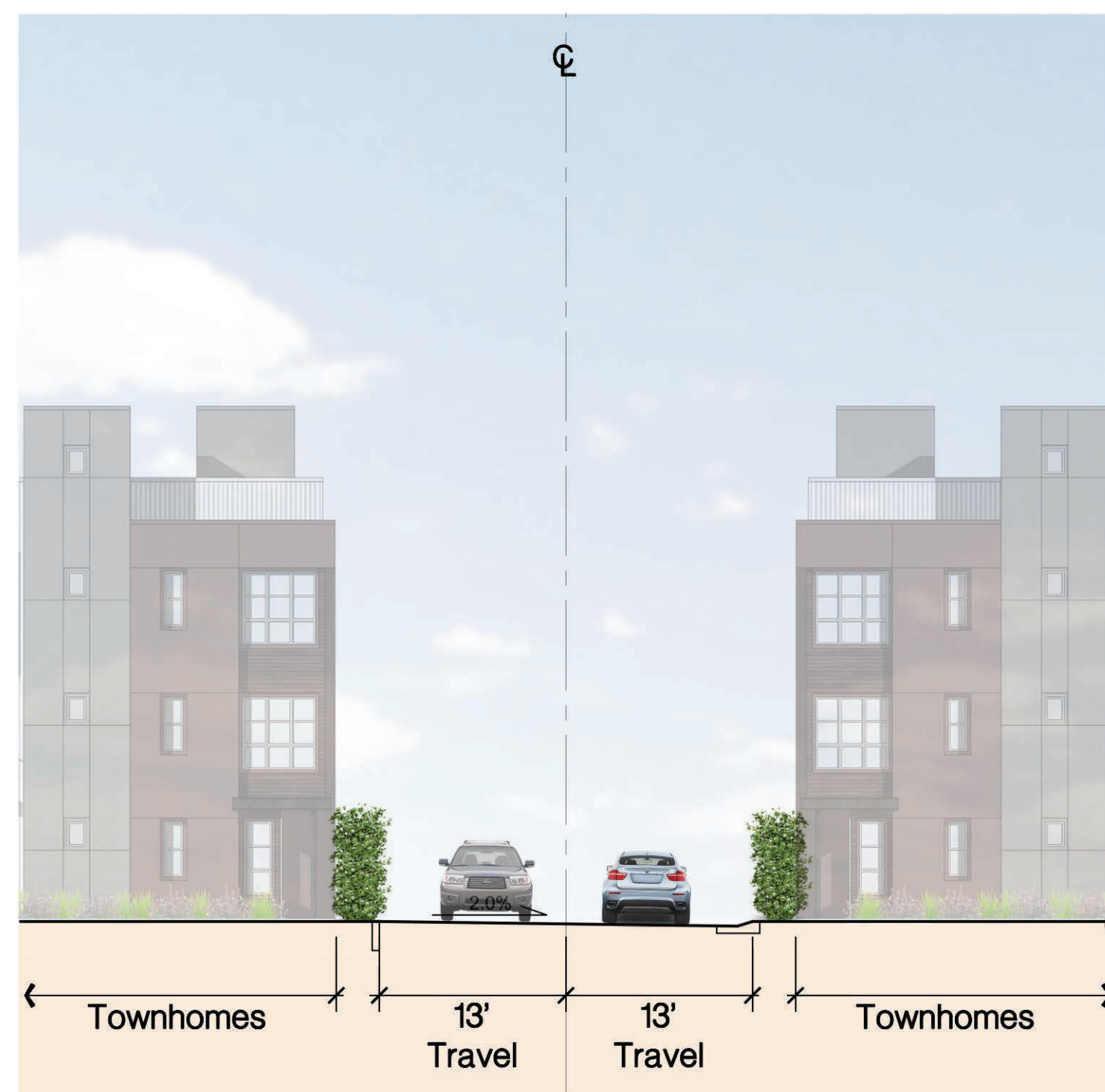
Section E – Bay Trail

Scale: 1" = 10'-0"



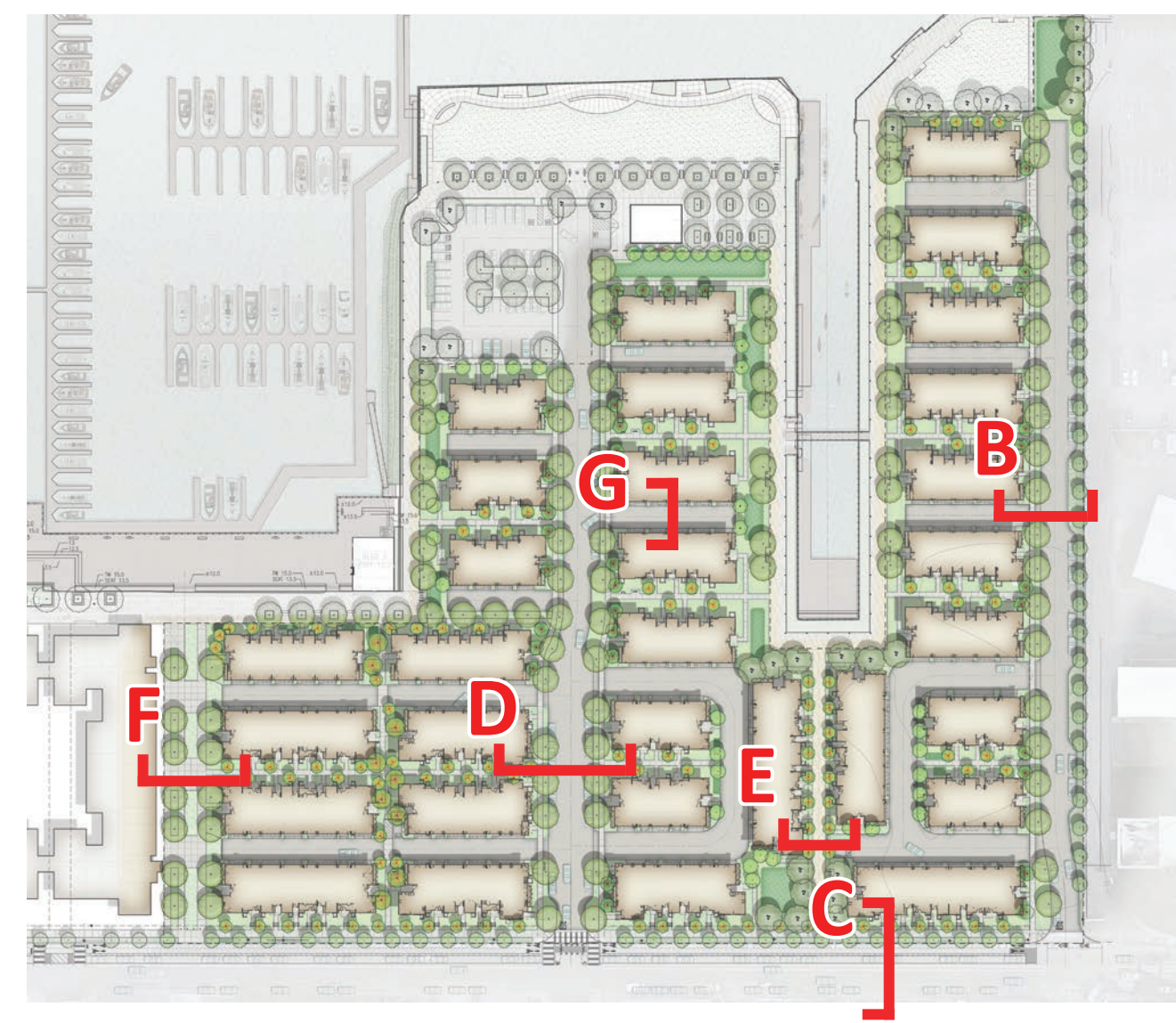
Section F – Chestnut Lane EVA

Scale: 1" = 10'-0"



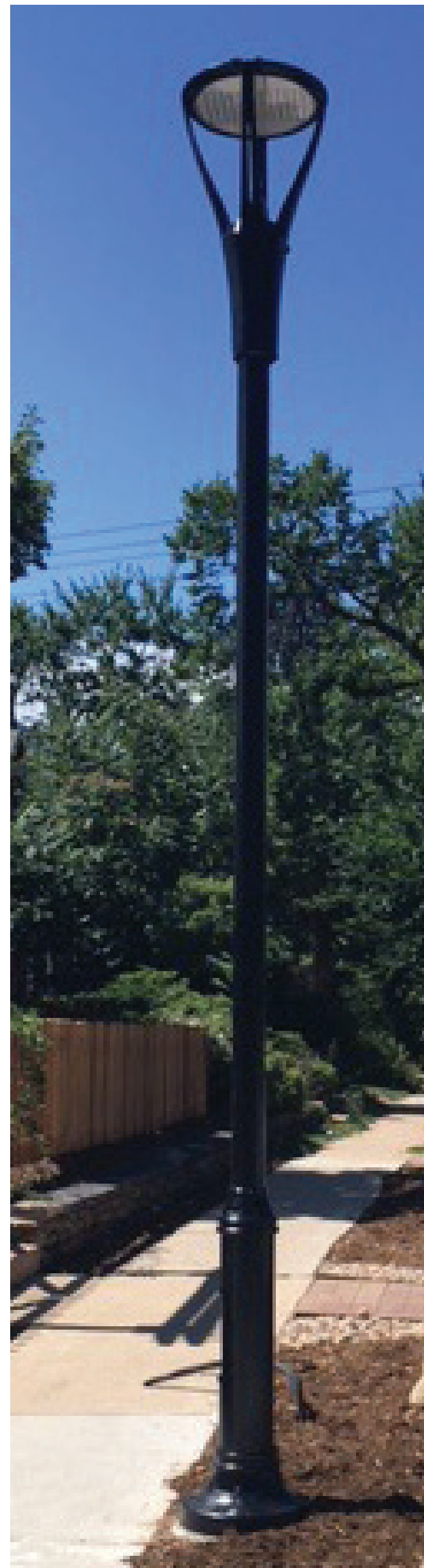
Section G – Typical Alley Loop

Scale: 1" = 10'-0"

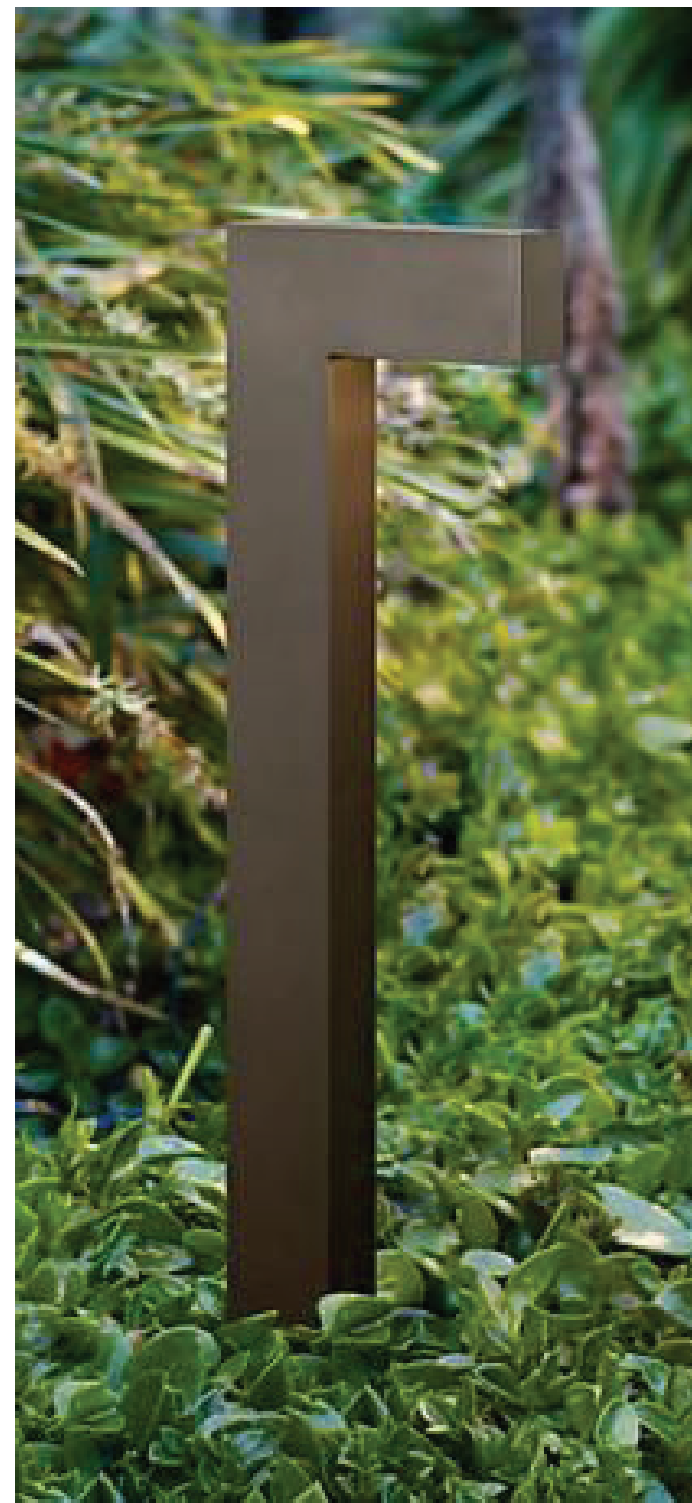


Key Map





Street Pole Lighting



Lawn and Sidewalk Lighting



Turf Stone Paver



Bike Racks



EVA Bollards



Mailboxes



Broom Finish Concrete Sidewalks



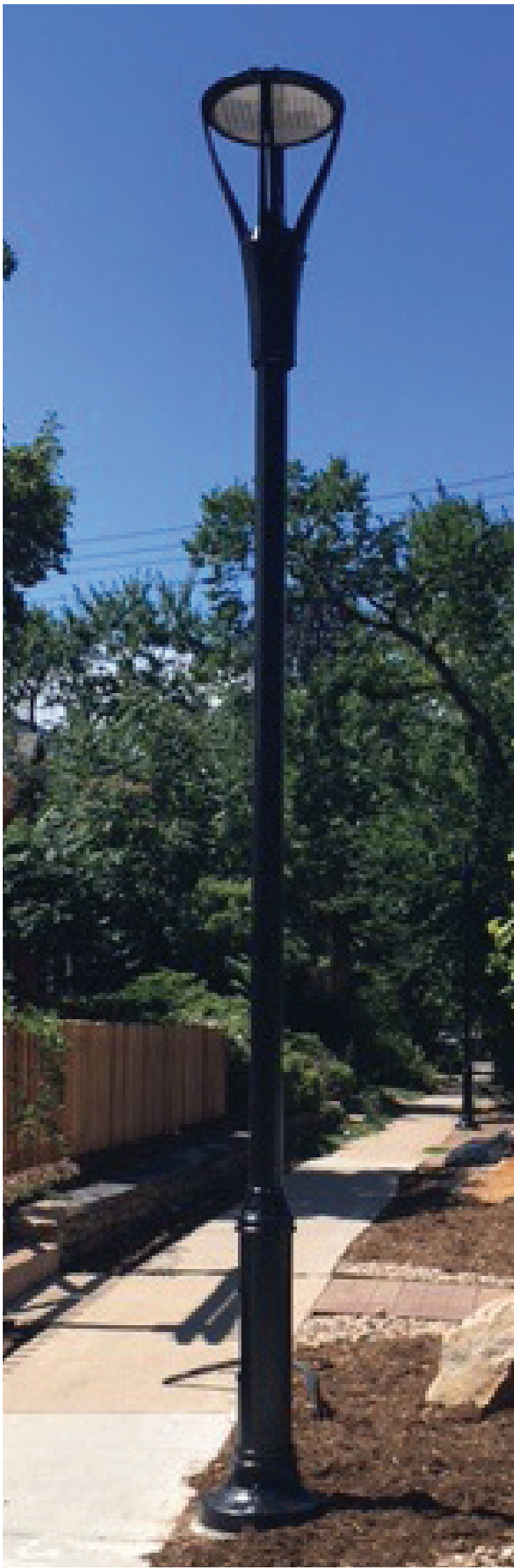
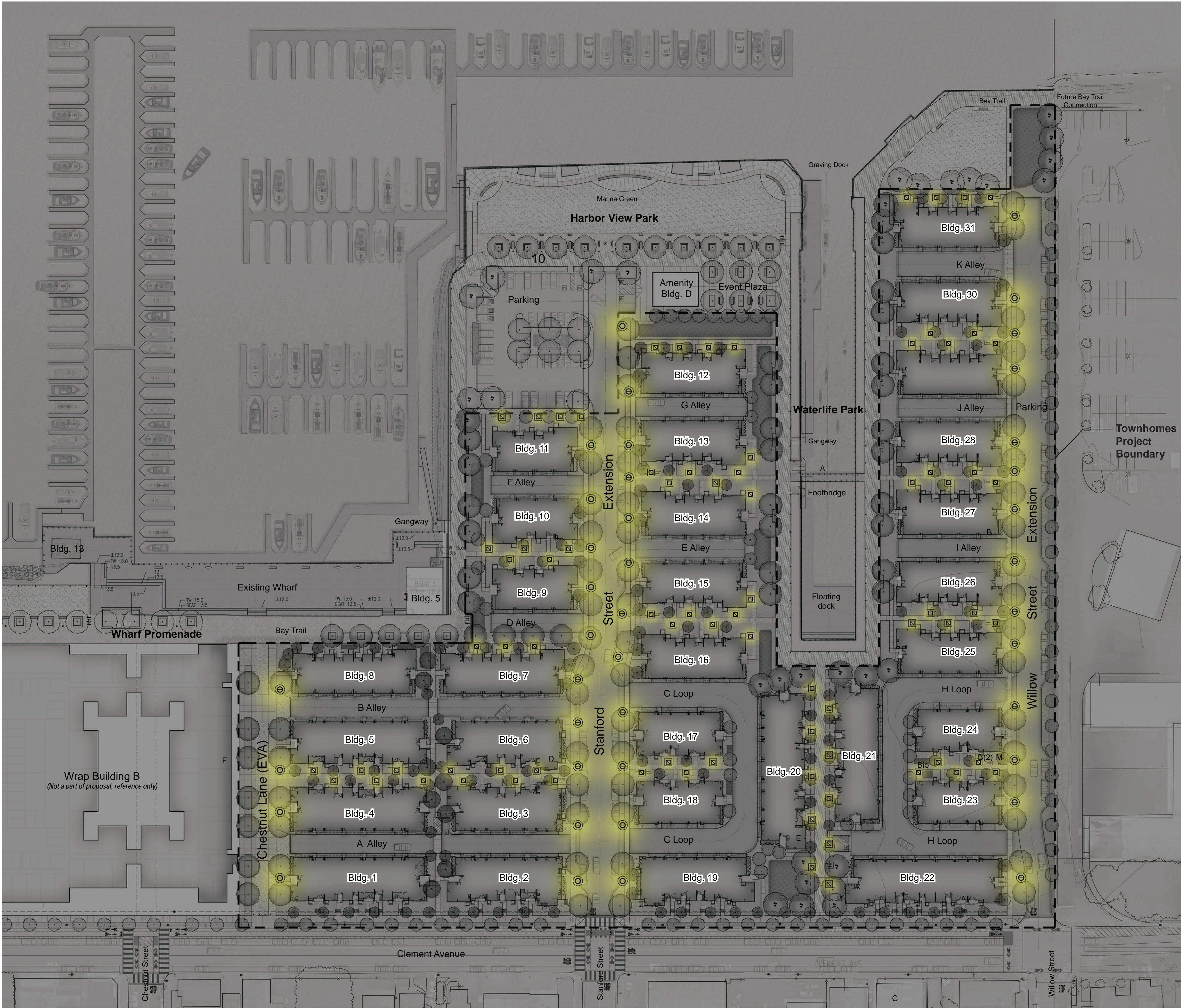
Salt Finished Concrete



Screen Planting, Flowering Shrubs and Ornamental Grasses at Residential Paseos







Street Pole Lighting ⊕



Lawn and Sidewalk Lighting ⊞



				1	2	3	4	5	6	7
	Botanical Name	Common Name	Water Use (wucols*)	Marina Bay Trail Connector	Commercial Core	Wharf Promenade	Harbor View Park	Waterlife Park	Clement Corridor/Streets/Parking	Residential Blocks
Trees										
1	Lophostemon confertus	Brisbane Box	M				x		x	x
2	Metrosideros excelsa	New Zealand Christmas Tree	L						x	x
3	Melaleuca quinquenervia	Paperbark	L						x	x
4	Quercus agrifolia	Coast Live Oak	VL				x	x		x
5	Acer rubrum 'Armstrong'	Armstrong red maple	M							x
6	Acer rubrum 'October Glory'	October Glory Maple	M							x
7	Lagerstroemia indica x fauriei 'Natchez'	Natchez Crape Myrtle	M							x
8	Platanus acerifolia 'Columbia'	Columbia London Plane Tree	M				x	x	x	
9	Platanus x hispanica 'Yarwood'	Yarwood London Plane Tree	M				x	x	x	

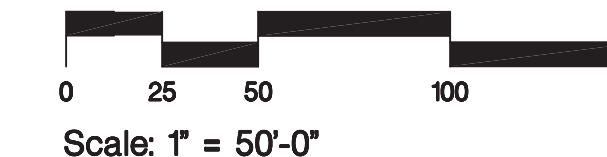
				1	2	3	4	5	6	7
	Botanical Name	Common Name	Water Use (wucols*)	Marina Bay Trail Connector	Commercial Core	Wharf Promenade	Harbor View Park	Waterlife Park	Clement Corridor/Streets/Parking	Residential Blocks
Shrubs										
10	Leptospermum laevigatum	Australian Tea Tree	L			x	x	x		
11	Cordylina australis	Dracaena Palm	L	x	x	x	x	x		x
12	Arctostaphylos hookeri	Hooker's Manzanita	L	x		x	x	x		x
13	Carpenteria californica 'Elizabeth'	Elizabeth Bush Anemone	M				x	x		
14	Ceanothus maritimus 'Frosty Dawn'	Maritime Ceanothus	L	x	x	x	x	x	x	x
15	Coleonema p. 'Sunset Gold'	Breath of Heaven	M			x	x	x		x
16	Cordylina 'Festival Grass'	Cordylina	L			x		x		x
17	Eriogonum fasciculatum	California Buckwheat	L		x		x	x		x
18	Heteromeles arbutifolia	Toyon	L	x			x	x		x
19	Lupinus albifrons	Silver Bush Lupine	VL				x	x	x	
20	Myrica californica	Pacific Wax Myrtle	M	x			x	x		x
21	Phlomis fruticosa	Jerusalem Sage	L			x				x
22	Phoenix roebelenii	Pygmy Date Palm	L		x	x	x			x
23	Phormium	Flax	L	x	x	x		x	x	x
24	Pittosporum tobira 'Variegata'	Mock Orange	L		x		x	x		x
25	Rhamnus californica	Coffeeberry	L			x				x
26	Westringia fruticosa	Coast Rosemary	L	x	x	x	x	x		x
Groundcovers										
27	Arctostaphylos 'Emerald carpet'	Manzanita	L	x	x	x	x	x		x
28	Arctostaphylos 'Point Reyes'	Sandberry	L	x	x	x	x	x		x
29	Ceanothus 'Yankee Point'	Yankee Point California Lilac	L	x	x	x	x			x
30	Fragaria chiloensis	Sand Strawberry	M	x	x		x			
31	Gazania Mitsuwa 'Trailing Yellow'	Trailing Yellow Gazania	M	x	x		x	x	x	
32	Grevillea lavandulacea	Lavender Grevillea	L							
33	Grevillea lanigera 'Coastal Gem'	Wooly Grevillea	L	x	x		x	x		
Grasses/Perennials										
34	Achillea millefolium	White Yarrow	L		x		x	x		
35	Achillea millefolium 'Paprika'	Paprika Yarrow	L		x		x	x		
36	Anigozanthos	Kangaroo Paw	L			x	x	x	x	x
37	Calamagrostis foliosa	Mendocino Reed Grass	M					x		x
38	Correa 'Dusky Bells'	Red Australian Fuchsia	L	x	x	x	x			x
39	Correa 'Ivory Bells'	White Australian Fuchsia	L	x	x	x	x			x
40	Epilobium californicum 'Bert's Bluff'	Bert's California Fuchsia	L	x	x					x
41	Erigeron glaucus	Seaside Daisy	L	x	x	x	x	x		
42	Eriogonum nudum	Naked Buckwheat	VL	x		x	x	x		
43	Festuca californica	California Fescue	L	x	x	x	x	x	x	x
44	Festuca idahoensis	Fescue Bunchgrass	VL	x	x	x	x	x	x	x
45	Helictotrichon sempervirens	Blue Oat Grass	L			x	x	x		x
46	Limonium californicum	California Sea Lavender	L	x		x	x	x		
47	Limonium perezii	Perez's Sea Lavender	L				x	x		
48	Lomandra longifolia	Spiny-head Mat-rush	L			x		x		x
49	Muhlenbergia rigens	Deer Grass	L			x	x			x
50	Pennisetum a. 'Foxtrot'	Giant Fountain Grass	L		x	x	x	x	x	x
51	Pennisetum a. 'Hameln'	Dwarf Fountain Grass	L		x	x	x	x	x	x
Stormwater/Bio-Treatment										
52	Carex tumulicola	Berkeley Sedge	L	x	x	x	x	x	x	x
53	Chondropetalum tectorum	Cape Rush	L	x	x	x	x	x	x	x
54	Juncus patens	California Gray Rush	L	x	x	x	x	x	x	x





## Tree Legend

Symbol	Botanical Name (Common Name)
<b>Street Trees</b>	
	Lophostemon confertus Brisbane Box
	Platanus acerifolia 'Columbia' Columbia London Plane Tree
	Platanus x hispanica 'Yarwood' Yarwood London Plane Tree
<b>Residential Courtyards</b>	
	Acer rubrum 'October Glory' October Glory Maple
	Acer rubrum 'Armstrong' Armstrong Maple
	Lagerstroemia indica x fauriei 'Natchez' Natchez Crape Myrtle
	Quercus agrifolia Coast Live Oak
<b>Screens and Buffers</b>	
	Melaleuca quinquenervia Paperbark
	Metrosideros excelsa New Zealand Christmas Tree



## TREE PLANTING PLAN

L5.1







Planting Palette - Shrubs



Planting Palette - Groundcovers





Planting Palette - Grasses and Perennials



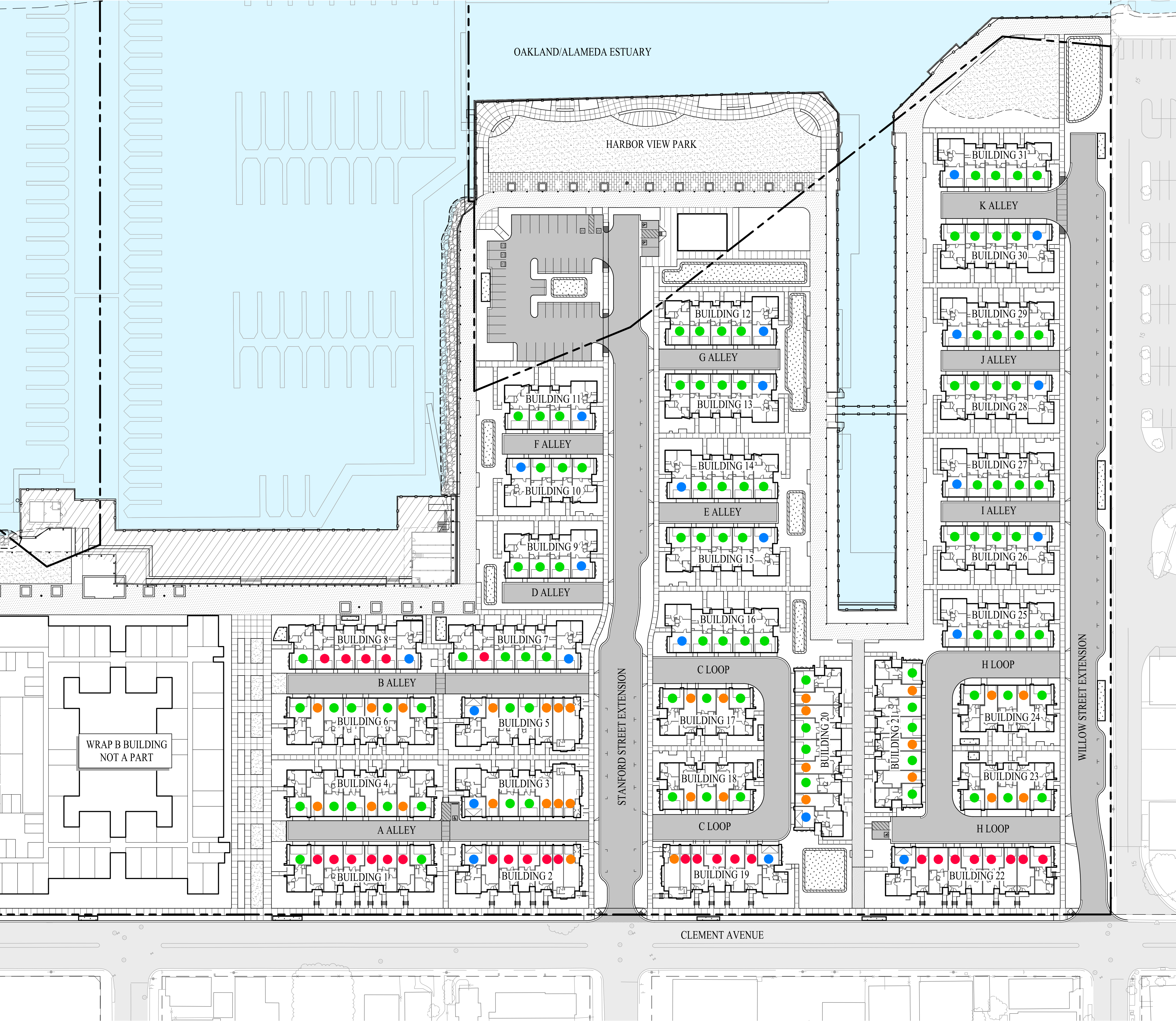
Planting Palette - Bio-Treatment











UNIVERSAL DESIGN ORDINANCE SUMMARY  
(PROJECT-WIDE - 760 UNITS)

	UNIVERSAL DESIGN ORDINANCE	VISIBILITY
WRAP A	360 UNITS	360 UNITS
WRAP B	218 UNITS	218 UNITS
TOWNHOMES	23 UNITS	99 UNITS
TOTAL	601 UNITS (79% OF TOTAL)	677 UNITS (89% OF TOTAL)

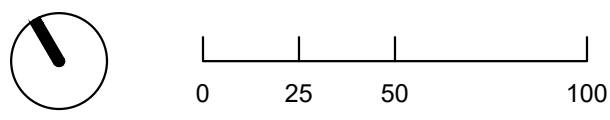
- LEGEND
- UNITS MEETING VISIBILITY REQUIREMENTS PER AMC 30-18 (99 TOTAL UNITS)
  - UNITS MEETING UNIVERSAL DESIGN REQUIREMENTS PER AMC 30-18 (23 UNITS)
  - UNITS REQUIRING VISIBILITY WAIVER BASED ON TOPOGRAPHICAL CONDITIONS PER AMC 30-18 (29 UNITS)
  - UNITS REQUIRING VISIBILITY DESIGN REVIEW WAIVER PER AMC 30-18 (31 UNITS)



ALAMEDA MARINA

ALAMEDA MARINA TOWNHOMES  
ALAMEDA, CA

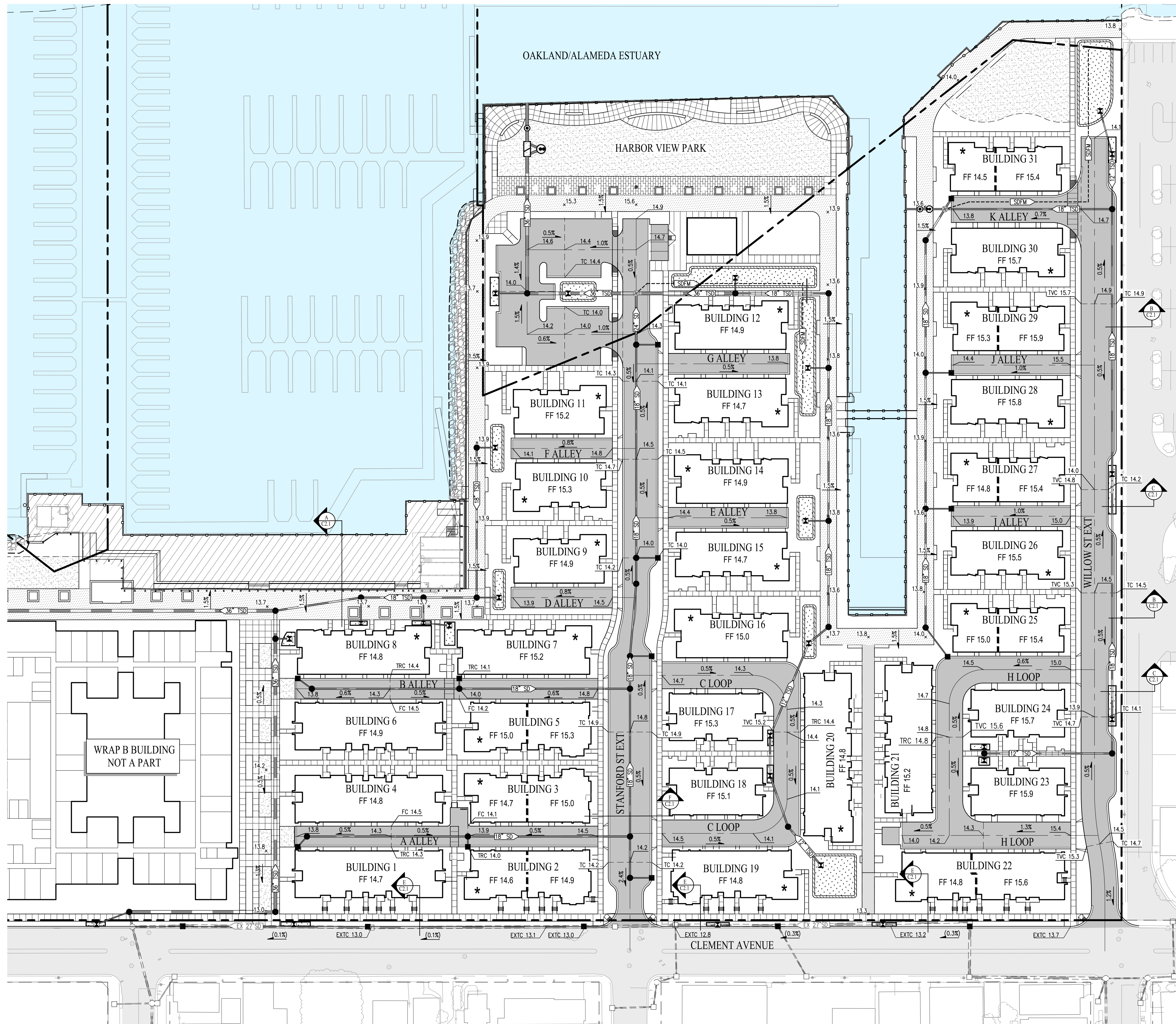
DESIGN REVIEW  
NOVEMBER 25, 2019



ACCESSIBILITY PLAN

C1.0





# LEGEND

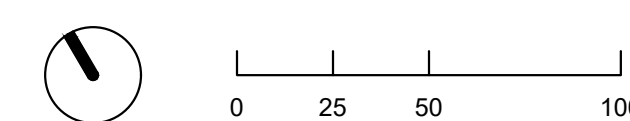
- 18" SD STORM DRAIN PIPE
- 18" TSD TREATED / OVERFLOW STORM DRAIN PIPE
- SDFM STORM DRAIN FORCE MAIN
- EX 12" SD EXISTING STORM DRAIN
- FIELD INLET
- CATCH BASIN
- SDM STORM DRAIN LOW FLOW TREATMENT/PUMP
- SDTV STORM DRAIN TIDE VALVE
- SDTCD STORM DRAIN TRASH CAPTURE DEVICE
- SDDV STORM DRAIN DIVERSION VAULT
- UDU UNIVERSAL DESIGN UNITS
- FOUNDATION STEP
- PROPOSED PAVEMENT
- PROPOSED SIDEWALK/PATHWAY
- PROPOSED BAY TRAIL
- PROPOSED BIORETENTION BASIN
- PROPOSED SLOPE RIPRAP REVETMENT AREA
- EXISTING WHARF TO REMAIN
- EXISTING PAVEMENT TO REMAIN



ALAMEDA MARINA

**ALAMEDA MARINA TOWNHOMES**  
ALAMEDA, CA

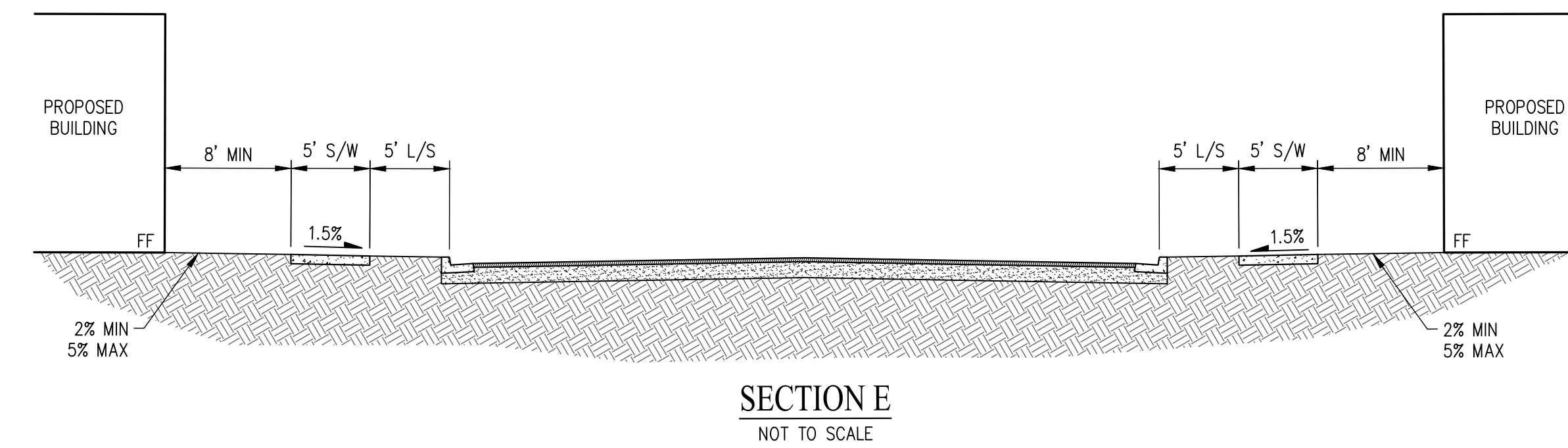
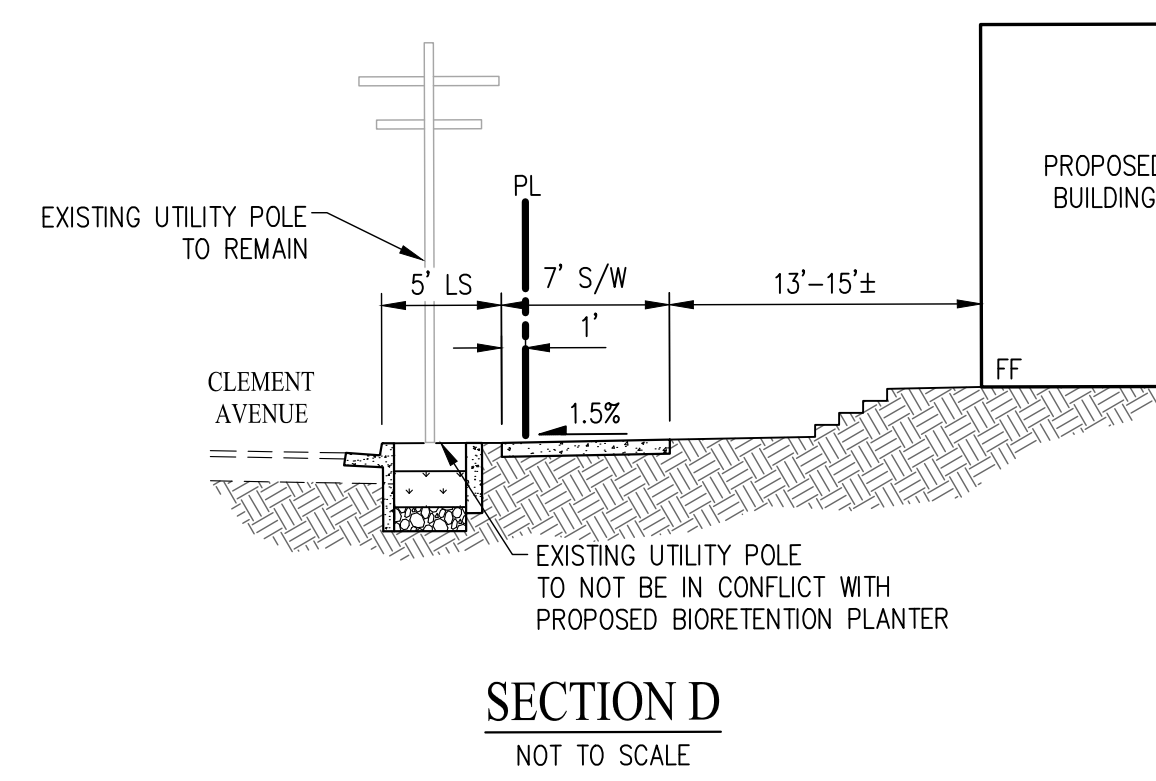
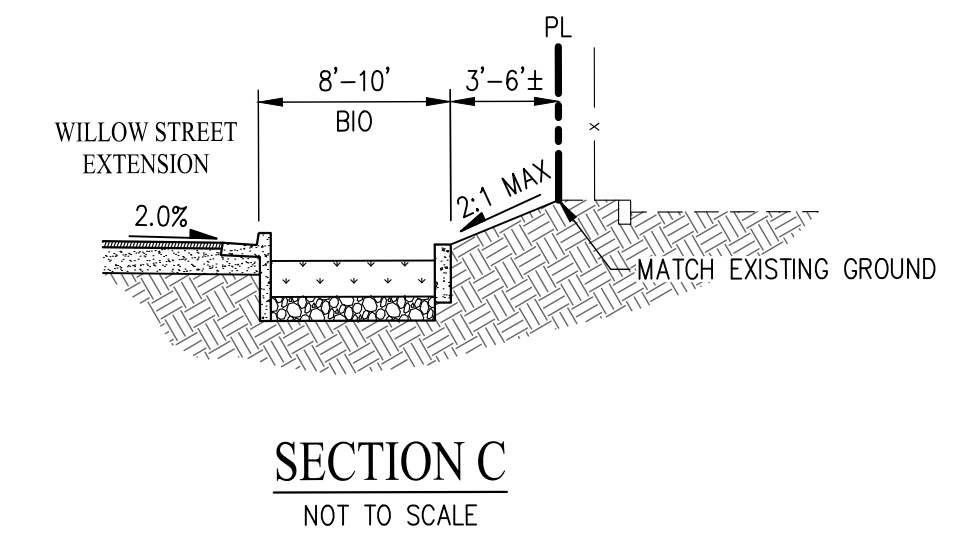
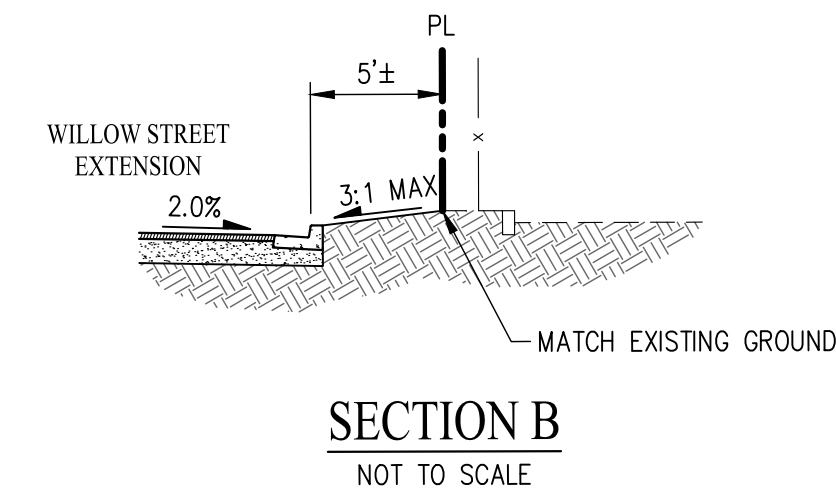
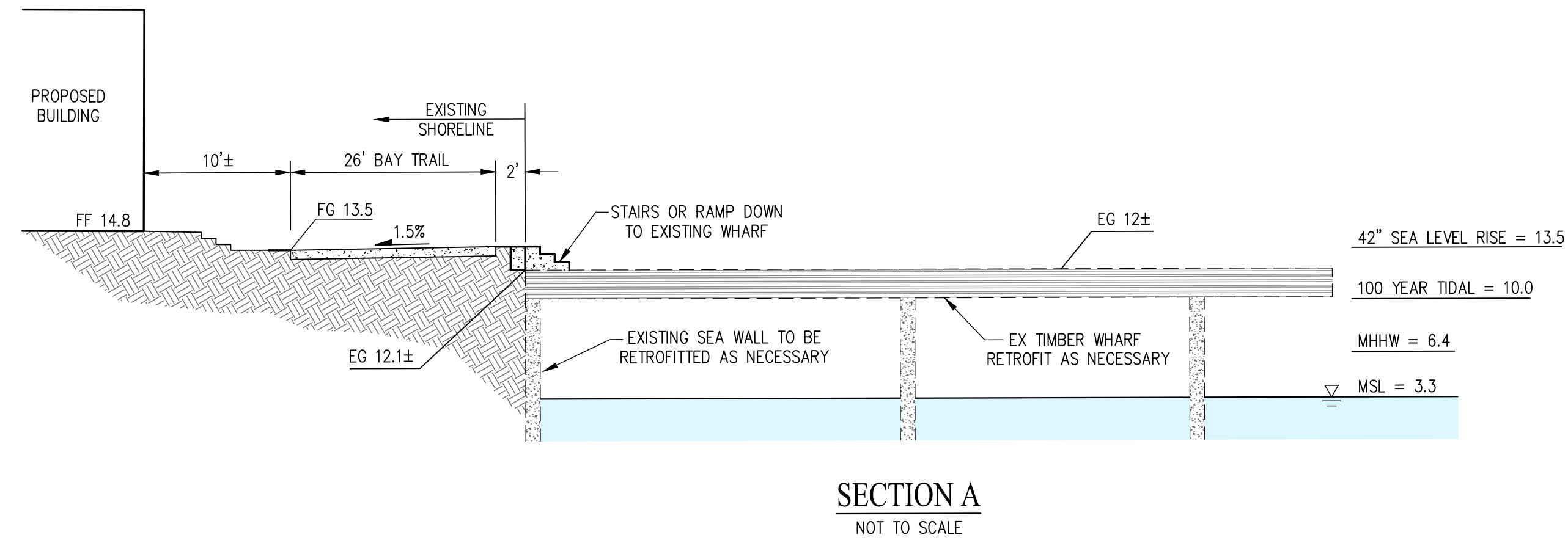
**DESIGN REVIEW**  
NOVEMBER 25, 2019



**PRELIMINARY GRADING  
& DRAINAGE PLAN**

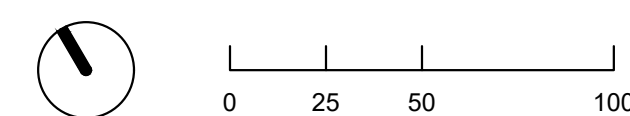
**C2.0**





**ALAMEDA MARINA TOWNHOMES**  
ALAMEDA, CA

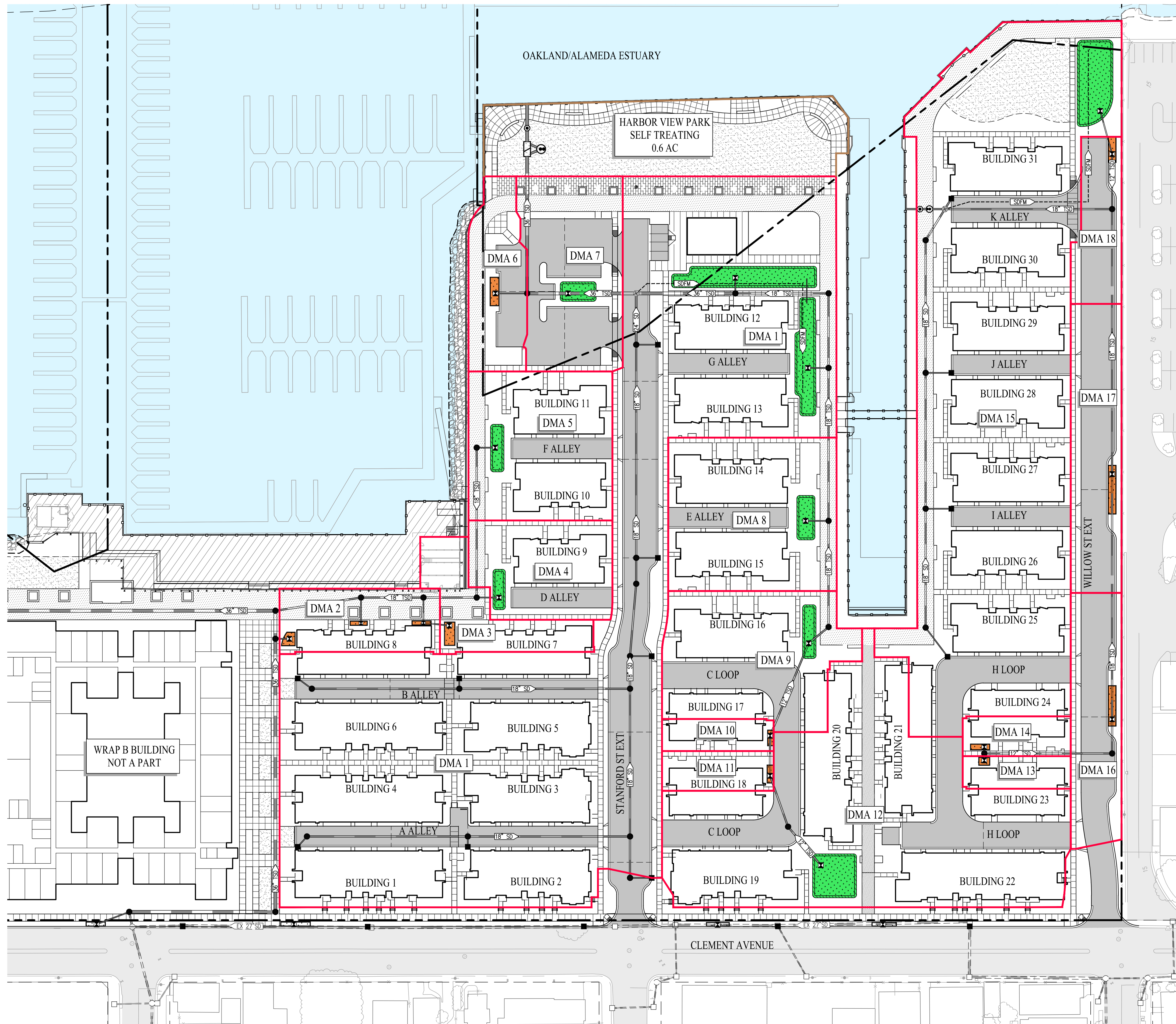
**DESIGN REVIEW**  
NOVEMBER 25, 2019



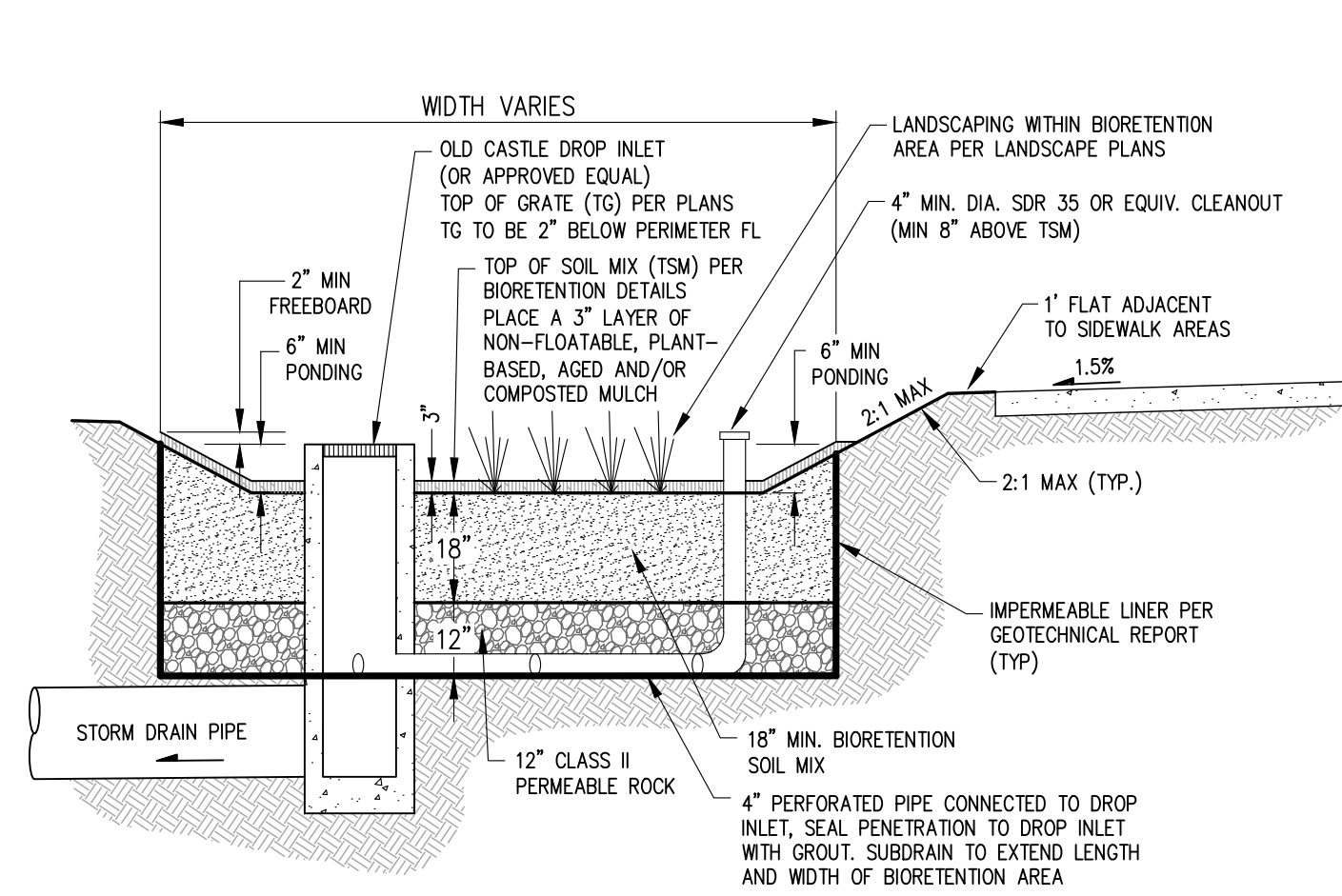
**PRELIMINARY GRADING SECTIONS**

**C2.1**

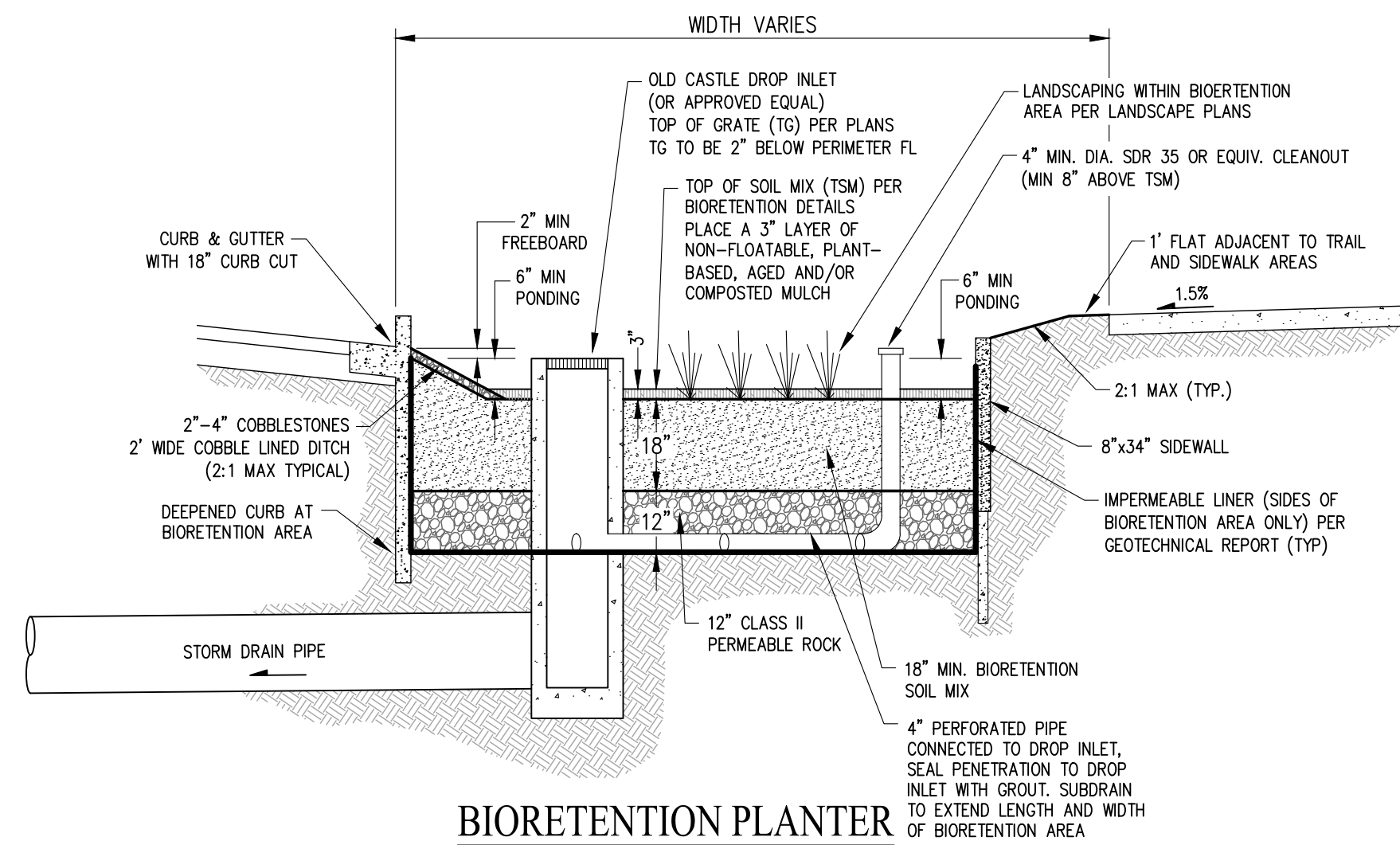




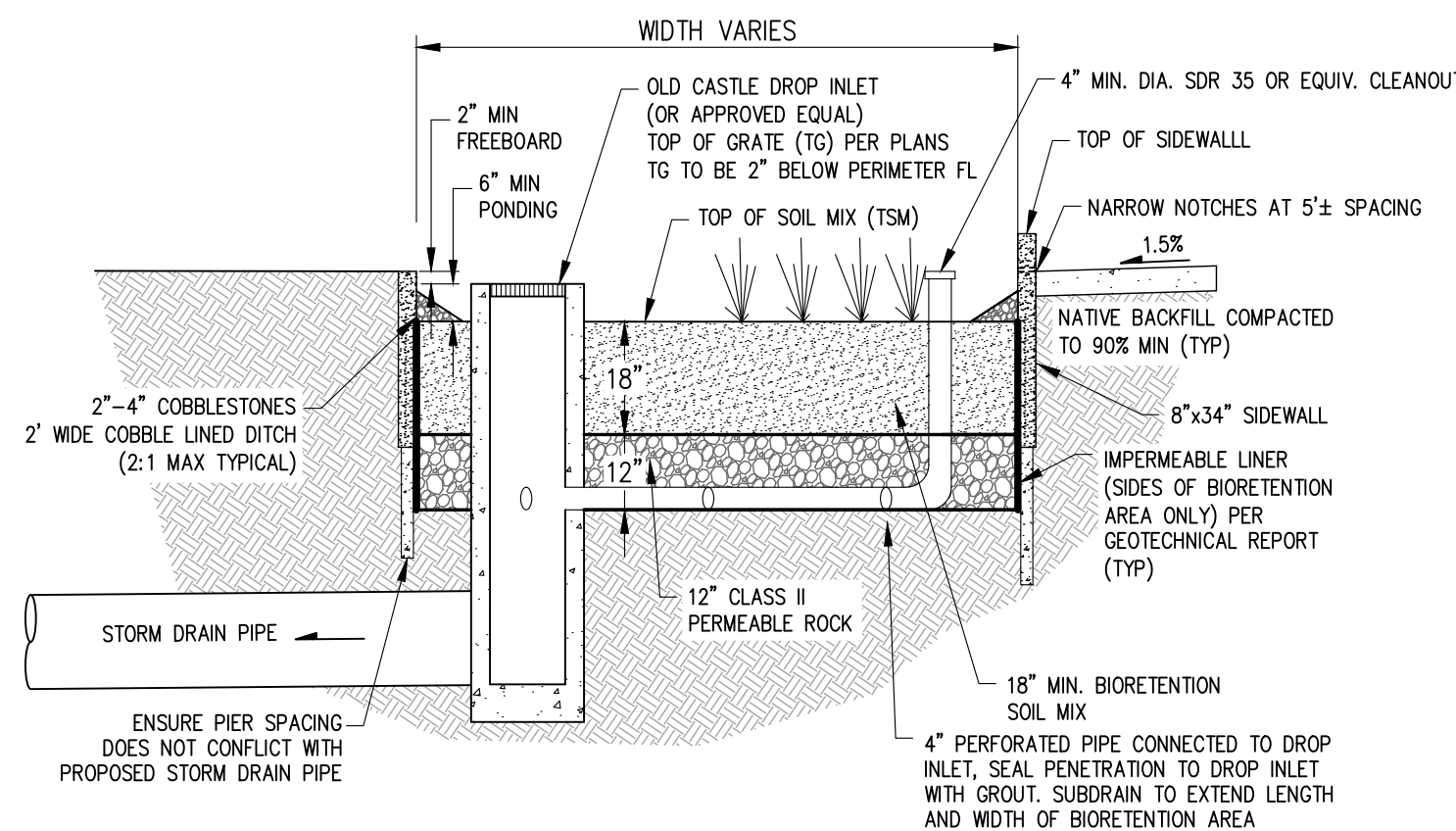




SLOPED BIORETENTION PLANTER  
NOT TO SCALE



BIORETENTION PLANTER  
AT BULB-OUTS  
NOT TO SCALE



BIORETENTION PLANTER WITH SIDEWALL  
NOT TO SCALE

DRAINAGE MANAGEMENT AREA SUMMARY TABLE

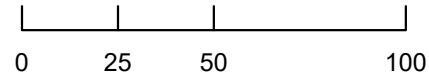
DMA #	TOTAL AREA (SF)	TOTAL IMPERVIOUS AREA (SF)	TOTAL PERVIOUS AREA (SF)	REQUIRED BIORETENTION AREA (SF)	PROVIDED BIORETENTION AREA (SF)
1	153,847	117,973	35,874	3,685	3,714
2	9,541	8,112	1,429	250	250
3	8,467	6,689	1,778	208	208
4	12,720	8,717	4,003	276	276
5	20,079	13,364	6,715	561	590
6	9,531	6,920	2,611	217	217
7	18,085	14,779	3,306	458	458
8	24,184	16,460	7,724	522	522
9	21,684	15,916	5,768	660	668
10	3,343	2,260	1,083	72	72
11	4,153	2,912	1,241	92	92
12	60,302	47,661	12,641	1,482	1,482
13	3,286	2,260	1,026	72	72
14	4,015	2,844	1,171	89	89
15	106,440	72,272	34,168	2,293	2,293
16	11,977	8,575	3,402	270	270
17	13,762	10,334	3,428	324	324
18	6,938	5,381	1,557	168	168
TOTAL	492,354	363,429	128,925	11,699	11,765



ALAMEDA MARINA

ALAMEDA MARINA TOWNHOMES  
ALAMEDA, CA

DESIGN REVIEW  
NOVEMBER 25, 2019



STORMWATER MANAGEMENT  
PLAN DETAILS

C3.1