

GENERAL NOTES :

1. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR :
- A. ALL DIMENSIONS AND CONDITIONS AT THE SITE.
- B. ANY CONDITION WHICH IN HIS OPINION MIGHT ENDANGER THE STABILITY OF THE STRUCTURE.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND THE STRUCTURAL ENGINEER OF ANY DISCREPANCY OR OMISSION BEFORE PROCEEDING WITH THE WORK.
2. ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE LATEST EDITION OF 2022 CBC, BUILDING CODE, AND ALL OTHER REGULATING AGENCIES EXERCISING AUTHORITY OVER ANY PORTION OF THE WORK, INCLUDING THE STATE OF CALIFORNIA, DIVISION OF THE INDUSTRIAL SAFETY AND CAL / OSHA.
3. ALL WORK SHALL CONFORM TO THE BEST PRACTICE PREVAILING IN THE VARIOUS TRADES COMPRISING THE WORK.
4. ANY ASTM DESIGNATIONS SHALL BE AS AMENDED TO DATE.
5. THE CONTRACTOR SHALL PROVIDE TEMPORARY ERECTION BRACING AND SHORING FOR ALL STRUCTURAL MEMBERS OR AS REQUIRED FOR STRUCTURAL STABILITY OF THE STRUCTURE DURING ALL PHASES OF CONSTRUCTION.
6. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND DETAILS.
- CALIFORNIA BUILDING CODE GENERAL NOTES :
- THE ARCHITECTURAL, ELECTRICAL AND MECHANICAL GENERAL NOTES SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES.
- DIVISION 1 - GENERAL CONDITIONS
1. THE GENERAL NOTES ARE NOT TO BE CONSTRUED AS SPECIFICATIONS FOR CONSTRUCTION. THEIR PURPOSE IS ONE OF INFORMING THE OWNER, CONTRACTOR AND SUB-CONTRACTORS OF SOME SPECIFIC INFORMATION WITH WHICH TO BECOME AWARE AND FAMILIAR.
2. THE GENERAL NATURE OF THESE NOTES SHALL IN NO WAY DIMINISH THE CONTRACTOR AND SUB-CONTRACTORS FROM COMPLETING ALL WORK IN STRICT CONFORMANCE WITH ALL ASPECTS OF THE BUILDING CODES AND WITH OTHER RULES, REGULATIONS AND ORDINANCES GOVERNING THE PLACE OF THE BUILDING. EACH SUB-CONTRACTOR SHALL BECOME FAMILIAR WITH ANY PART OF THE AFOREMENTIONED BUILDING CODES, RULES, ETC. THAT MAY AFFECT HIS WORK. SOME CODES THAT MAY AFFECT THE WORK ARE BUT NOT LIMITED TO THE CURRENT EDITION OF THE UNIFORM BUILDING CODE, UNIFORM MECHANICAL CODE, UNIFORM PLUMBING CODE, UNIFORM ELECTRICAL CODE, NATIONAL ELECTRICAL CODE, UNIFORM FIRE CODE, ARCHITECTURAL BARRIERS LAWS.
3. SCOPE OF PERMIT
- a. LIMIT OF AUTHORIZATION : THE ISSUANCE OF A PERMIT IS NOT AN APPROVAL OR AN AUTHORIZATION OF THE WORK SPECIFIED THEREIN. A PERMIT IS MERELY AN APPLICATION FOR INSPECTION OF THE ISSUANCE OF WHICH ENTITLED THE PERMITTEE TO INSPECTION OF THE WORK WHICH IS DESCRIBED THEREIN.
- PERMITS ISSUED UNDER THE REQUIREMENTS OF THIS CODE SHALL NOT RELIEVE THE OWNER OF RESPONSIBILITY FOR SECURING REQUIRED PERMITS FOR WORK TO BE DONE WHICH IS REGULATED BY ANY OTHER CODE, DEPARTMENT OR DIVISION OF THE CITY IN WHICH THE WORK IS PERFORMED.
- b. VALIDITY OF OTHER LAWS. NEITHER ISSUANCE OF A PERMIT NOR THE APPROVAL BY THE DEPARTMENT OF ANY DOCUMENT SHALL CONSTITUTE AN APPROVAL OF ANY VIOLATION OF ANY PROVISION OF THIS CODE OR OF ANY OTHER LAW OR ORDINANCE, AND A PERMIT OR OTHER DOCUMENT PURPORTING TO GIVE AUTHORITY TO VIOLATE ANY LAW SHALL NOT BE VALID WITH RESPECT THERETO.
4. ALL WORK, CONSTRUCTION AND MATERIALS SHALL COMPLY WITH ALL PROVISIONS OF THE CURRENT EDITION OF THE GOVERNING BUILDING CODE AND WITH OTHER RULES, REGULATIONS, AND ORDINANCES GOVERNING THE PLACE OF THE BUILDING. BUILDING CODE REQUIREMENTS TAKE PRECEDENCE OVER THE DRAWINGS AND LABOR, MATERIALS OR BOTH TO INSTALL HIS WORK IN CONFORMANCE WITH THE BUILDING CODE AND TO BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES OR CONFLICTS BETWEEN THE REQUIREMENTS OF THE BUILDING CODE AND THE DRAWINGS. DIVISION 1 SHALL APPLY TO ALL DIVISIONS.
5. DIMENSIONS AND CONDITIONS AT THE JOB SITE SHALL BE VERIFIED BY THE CONTRACTOR (S). DISCREPANCIES IN THE DRAWINGS OR BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT. CORRECTED DRAWINGS OR INSTRUCTIONS SHALL BE ISSUED BY THE ARCHITECT PRIOR TO THE INSTALLATION OF ANY WORK.

WORK SCOPE:

EXIST MAIN BUILDING DOES NOT HAVE FIRE SPRINKLER SYSTEM  
FIRE SPRINKLER SYSTEM WILL BE INSTALL UNDER DEFER APPLICATION, NFPA 13

- 1) CONVERT EXISTING RETAIL SPACE INTO FULL SERVICE RESTAURANT  
2) NEW COMMERCIAL KITCHEN  
3) NEW ADA COMPLIANCE RESTROOM FOR MEN AND WOMEN  
4) NEW GREASE TANK IN BASEMENT(forced grease ssytem)  
5) NEW FIRE EXIT CORRIDOR FROM KITCHEN TO STREET  
6) DEMO PART OF MEZZANINE, 1035 SF  
7) REMAINING MEZZANINE WILL USE AS STORAGE SPACE

FIRE NOTE:

panic hardware shall be required when the occupant load is 50, or more, as noted on the plan, and when two exits are required for an A occupancy  
building address numbers shall be a minimum of six inches, in a conspicuous location visible from the street and of a contrasting color to their background

PROJECT INFO:

EXIST: RETAIL STORE

OCCUPANCY TYPE: M

AREA: 3230+2067=5297 SF

ZONING: CN

# OF STORY: 1 1/2

OCCUPANCY LOAD: M

DINING SPACE: 1378 SF, ALLOWABLE LOAD 92. PROPOSED LOAD AT 46.

KITCHEN 934 SF, LOAD AT 18

TOTAL LOAD: 64, REQUIRED MEN PLUMBING 1/50, WOMEN, 1/25

LOAD AT 50% MEN/WOMEN: 32 MEN AND 32 WOMEN

ADA RESTROOM: 2

RESTROOM TOTAL: 3 MAN: 1, WOMEN: 2.

BUILDING CONSTRUCTION TYPE: VB-2

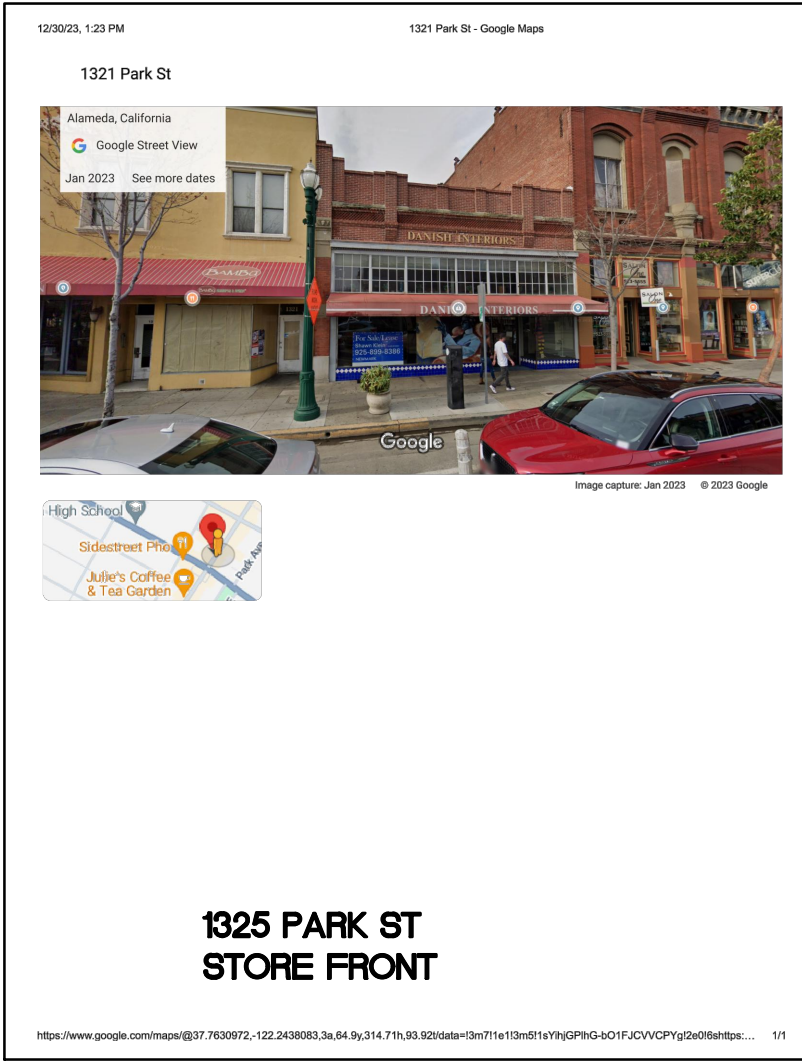
PROPOSED: FULL SERVICE RESTAURANT

OCCUPANCY TYPE: A2, S-1

AREA: 3230+1032=4262 SF

ZONING: CN

STORY: 1 1/2



1325 PARK ST  
STORE FRONT

SHEET INDEX<ARCHITECTURE>

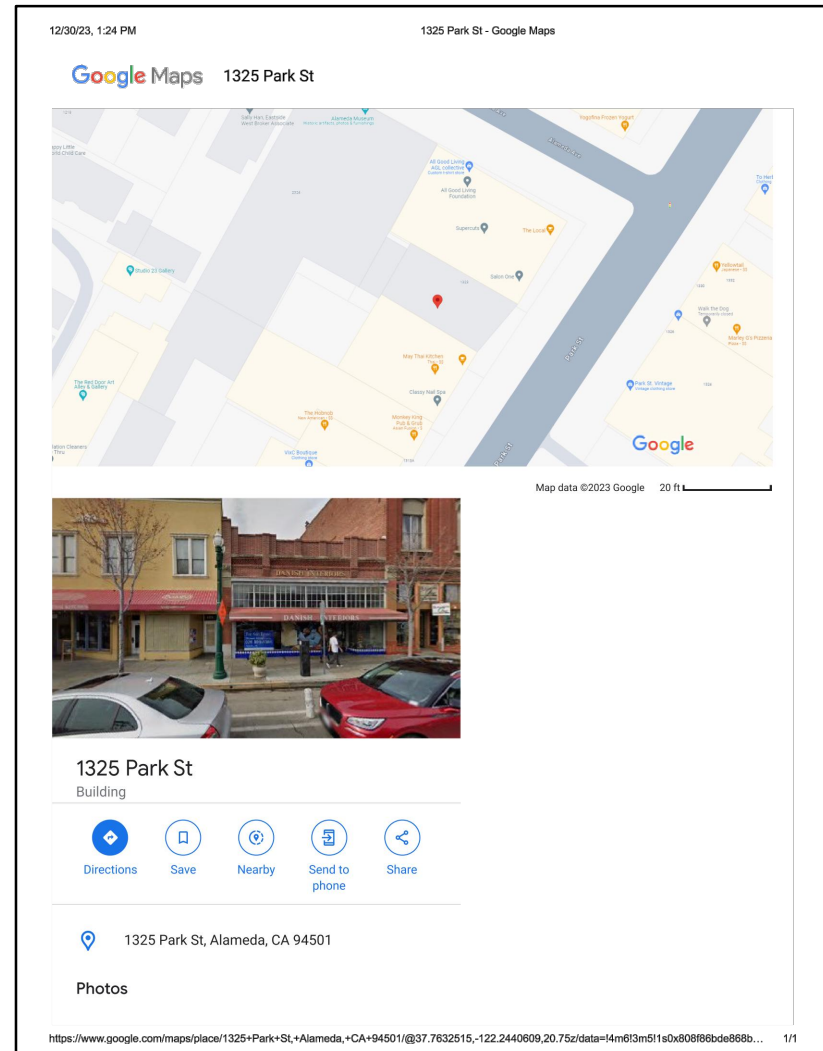
|      |                                               |
|------|-----------------------------------------------|
| A0   | TITLE SHEET, SITE PLAN AND GENERAL NOTES      |
| A1   | EXISTING/PROPOSED FLOOR PLAN                  |
| A2   | BASEMENT PLAN                                 |
| A3   | FRONT ELEVATIONS   A3.1   <N>FRONT ELEVATIONS |
| A4   | EQUIPMENT LAYOUT PLAN                         |
| A5   | ADA DETAILS                                   |
| A5.1 | ENLARGED BATHROOM                             |
| A6   | TRAVEL ROUTE                                  |
| S1   | FRAMING PLAN                                  |
| S2   | CROSS SECTIONS                                |
| E1   | ELECTRICAL PLAN                               |
| E2   | ELECTRICAL NOTES, SINGLE LINE DIAGRAM         |
| E3   | ELECTRICAL ROOF AND BASEMENT PLAN             |
| P1   | PLUMBING PLAN                                 |
| P2   | PLUMBING DETAILS                              |

SHEET INDEX<STRUCTURE>

|      |                                           |
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| S0.0 | COVER SHEET                               |
| S1.1 | GENERAL NOTES                             |
| S1.2 | TYPICAL DETAILS                           |
| S1.3 | TYPICAL DETAILS                           |
| S2.1 | EXISTING AND PROPOSED BASEMENT LEVEL PLAN |
| S2.2 | EXISTING/PROPOSED 1ST FLOOR PLANS         |
| S2.3 | EXISTING/PROPOSED MEZZ LEVEL PLANS        |
| S2.4 | EXISTING /PROPOSED ROOF PLAN              |
| S4.1 | DETAILS                                   |
| S4.2 | DETAILS                                   |
| S5.1 | DETAILS                                   |
|      |                                           |
|      |                                           |
|      |                                           |

SHEET INDEX<MECHANICAL>

|       |                                                   |
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| M0.1  | HVAC LEGEND, GENERAL NOTES, SCHEDULES             |
| M0.2  | HVAC SPECIFICATIONS                               |
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| M2.2  | HVAC ROOF PLAN                                    |
| M4.1  | CAPTIVEAIRE SHEET #1                              |
| M4.2  | CAPTIVEAIRE SHEET #2                              |
| M4.3  | KITCHEN HOOD SPECIFICATIONS,CAPTIVEAIRE SHEET #3  |
| M4.4  | KITCHEN EXHAUST DUCT DETAILS CAPTIVEAIRE SHEET #4 |
| M4.5  | KITCHEN EXHAUST FAN DETAILS CAPTIVEAIRE SHEET #5  |
| M4.6  | MAKE UP AIR UNIT DRAWINGS CAPTIVEAIRE SHEET #6    |
| M4.7  | EXHAUST FAN DETAILS CAPTIVEAIRE SHEET #7          |
| M4.8  | EXHAUST FAN WIRE DETAILS CAPTIVEAIRE SHEET #8     |
| M4.9  | EXHAUST FAN MOUNT DETAILS CAPTIVEAIRE SHEET #9    |
| M4.10 | EXHAUST FAN WIRE SCHEDULES CAPTIVEAIRE SHEET #10  |
| M6.1  | HVAC MOUNT DETAILS                                |
| P0.1  | PLUMBING SCHEDULE AND NOTES                       |
| P0.2  | PLUMBING GENERAL NOTES                            |
| P2.0  | WASTE AND VENT PLAN                               |
| P4.1  | DETAILS                                           |
|       |                                                   |
|       |                                                   |



VICINITY MAP

PROJECT DIRECTORY

DESIGNER: YUNG CHEN  
75 CORONA ST,  
SAN FRANCISCO, CA. 94127  
415-713-9243

ENGINEER: DARREN WONG  
18836 REDWOOD RD  
CASTRO VALLEY, CA.94546  
415-726-8168

MECHANICAL: HECTOR PEDRAZA  
510-861-1319

OWNER: LINDA/CALVIN  
1325 PARK ST  
ALAMEDA CA. 94501  
510-421-1668

CONTRACTOR: RICHARD CHEUNG  
1743 28TH AVE  
SAN FRANCISCO, CA. 94122  
415-999-5428

EXISTING SITE PLAN  
SCALE: 1/8"=1'-0"

APPLICABLE CODES:  
CALIFORNIA FIRE CODE (CFC) 2022 EDITION  
CALIFORNIA BUILDING CODE (CBC) 2022 EDITION  
CALIFORNIA MECHANICAL CODE (CMC) 2022 EDITION  
CALIFORNIA PLUMBING CODE (CPC) 2022 EDITION  
CALIFORNIA ELECTRICAL CODE (CEC) 2022 EDITION  
CALIFORNIA ENERGY CODE 2022 EDITION  
CALIFORNIA GREEN BUILDING STANDARD CODE(CGBC) 2022 EDITION  
CITY ORDINANCES AND ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS.

Exhibit 1 Item 4-B  
Historical Advisory Board  
September 4, 2025

GENERAL NOTES  
SITE PLAN

OWNER:  
LINDA  
1325 PARK ST,  
ALAMEDA, CA. 94501  
CONTACT:  
YUNG CHEN 415-713-9243  
75 CORONA ST, SAN FRANCISCO. 94127



*Darren Wong*

PROJECT ADDRESS:  
1325 PARK ST  
ALAMEDA CA. 94501

DATE : 03-22-2024

REV 2-12-2025

DRAWN : YUNG CHEN

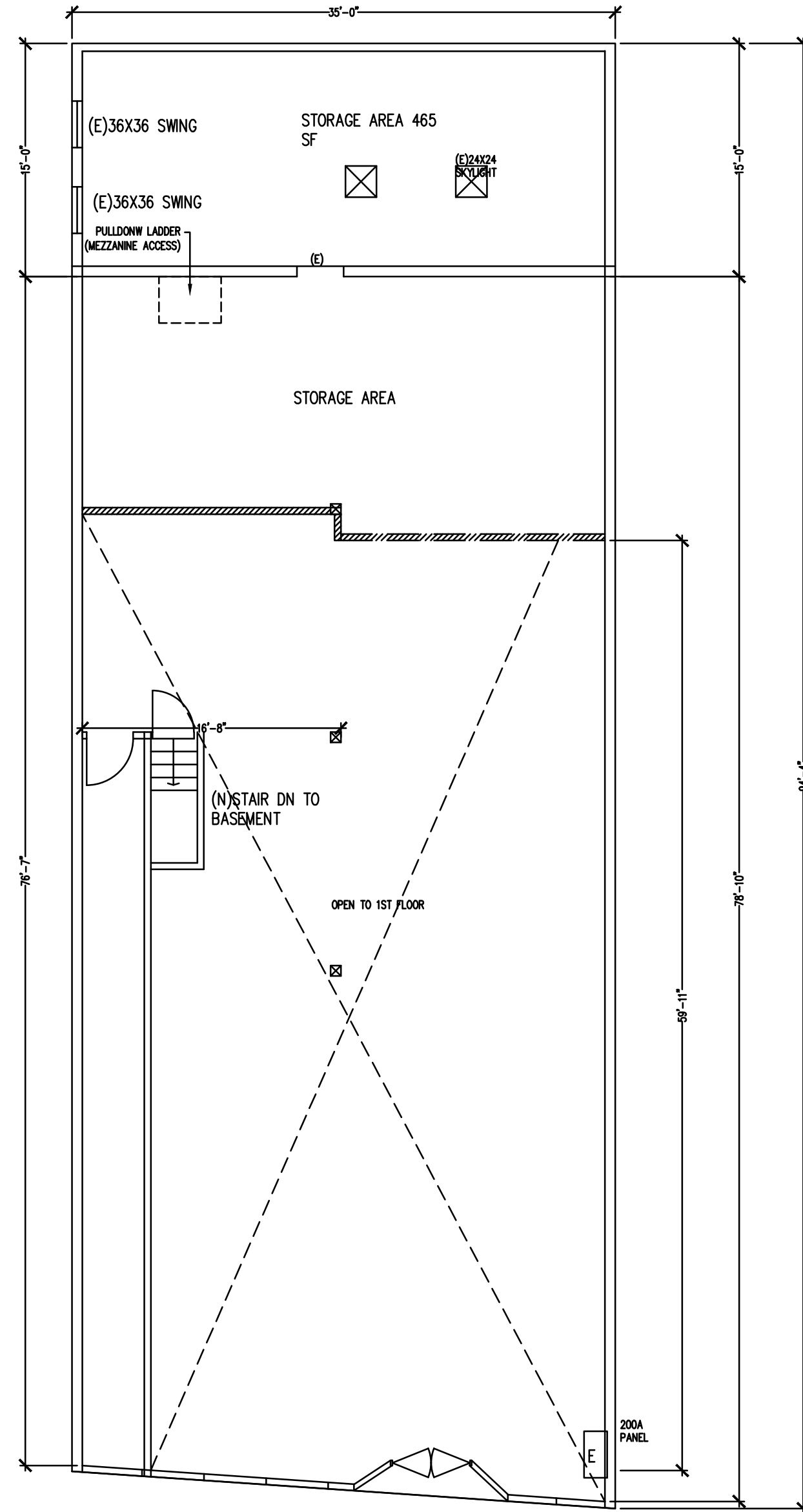
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A-0



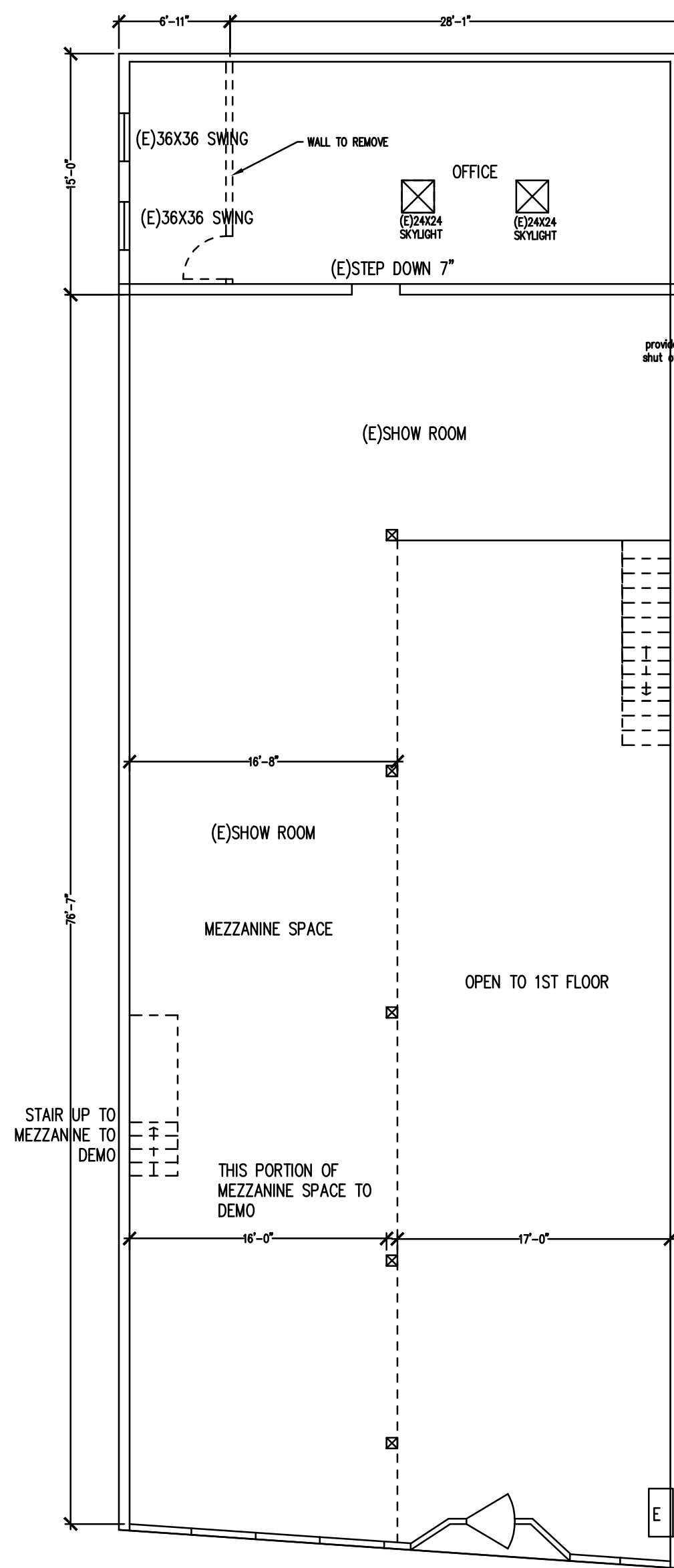
# LEGEND

EXIST. WALL TO BE REMOVED = - - - - -  
 EXIST. WALL TO REMAIN = =====  
 NEW BUILD WALL = =====  
 TYPE 'X' FIRE RATED WALL = =====  
 DR W/PANIC HARDWARE = PANIC D3



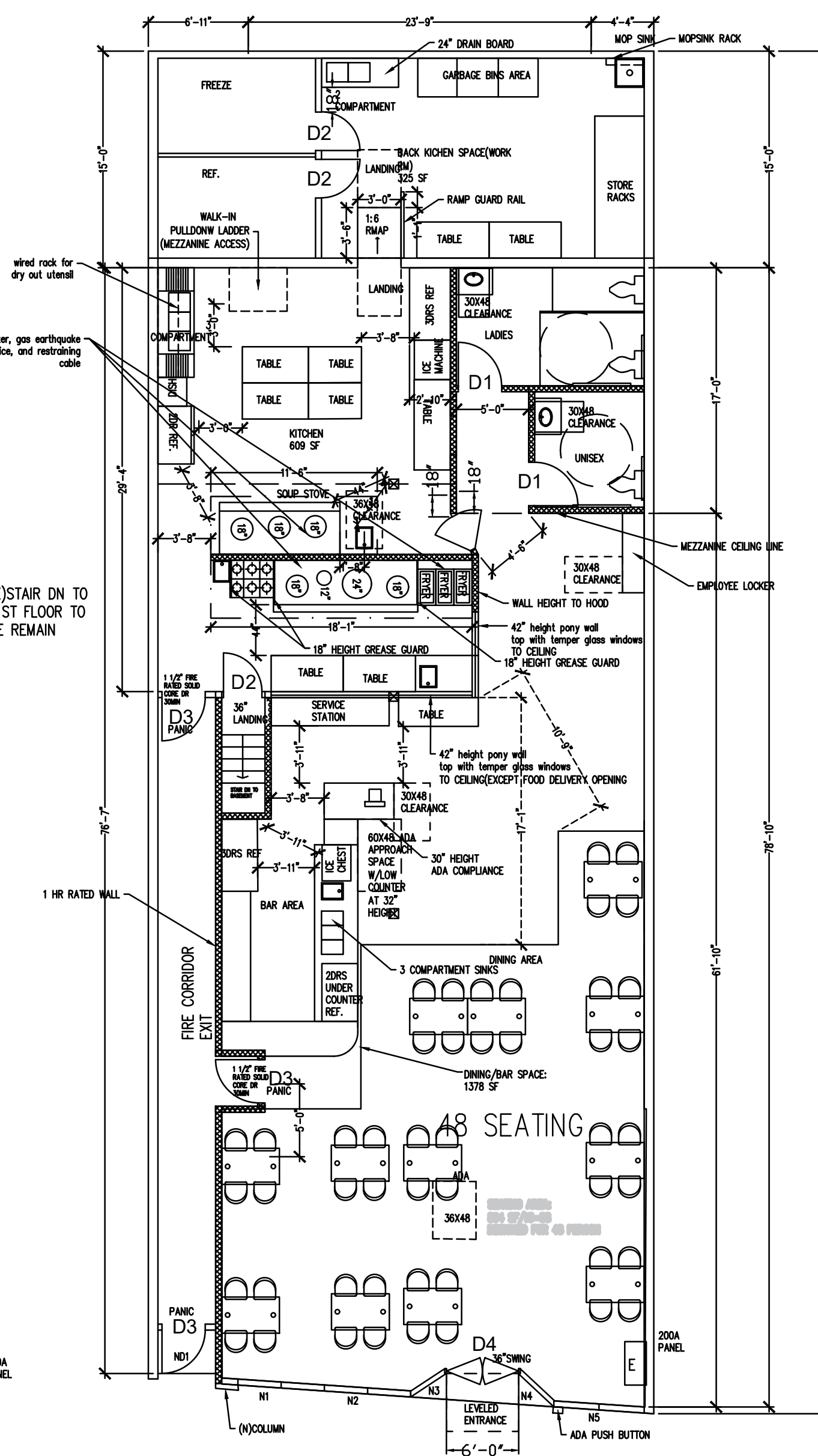
**(N) MEZZANINE PLAN**

SCALE: 1/8"=1'-0"



**(E) MEZZANINE PLAN**

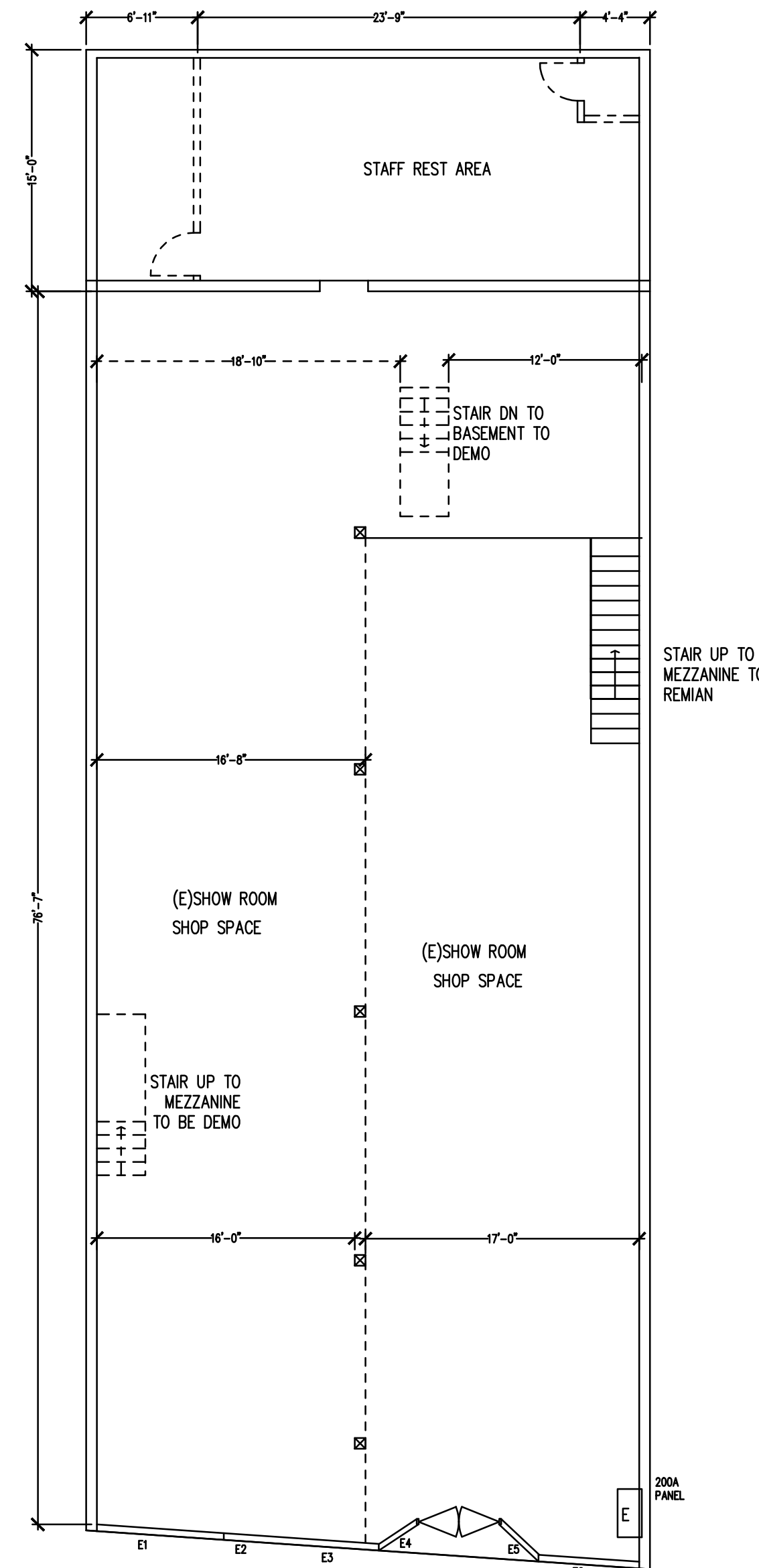
SCALE: 1/8"=1'-0"



**(N) MAIN FLOOR PLAN**

SCALE: 1/8"=1'-0"

DINING SPACE: 1578 SF/20-46 PERSON  
 DESIGNED FOR: 48 PERSON  
 KITCHEN/WORK SPACE: 325+600+934/50+18 PERSON  
 DESIGNED FOR: 8 PERSON



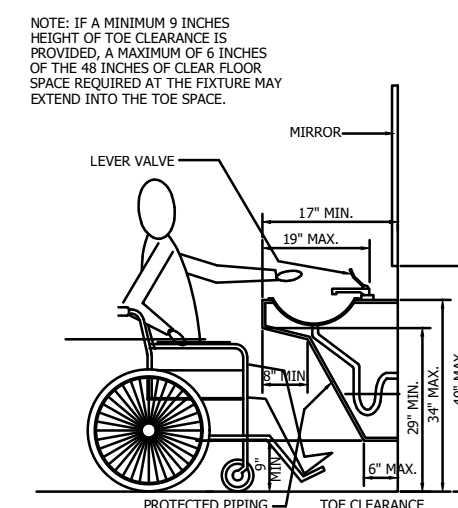
**(E) MAIN FLOOR PLAN**

SCALE: 1/8"=1'-0"

WINDOW E1 THROUGH E6 WILL BE DEMO AND REPLACED BY NEW WINDOWS

| Door Schedule |       |        |       |        |
|---------------|-------|--------|-------|--------|
| Mark          | Width | Height | Level | Family |

|    |           |         |                              |                |
|----|-----------|---------|------------------------------|----------------|
| D1 | 3'-0"     | 6' - 8" | REST ROOM DR                 | Single-Panel 6 |
| D2 | 3' - 0"   | 6' - 8" | FREEZE INSULATED DOOR        | METAL SWING    |
| D3 | 3' - 0"   | 6' - 8" | 1 1/2" SOLID CORE DR         | FLAT           |
| D4 | 2X3' - 0" | 6' - 8" | EXISTING ENTRANCE DOOR SWING | TEMPER GLASS   |



**HANDSINK DETAIL**

MAIN FLOOR PLAN  
 MEZZANINE PLAN

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PROJECT ADDRESS:  
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 ALAMEDA, CA. 94501

DATE : 12-30-2023

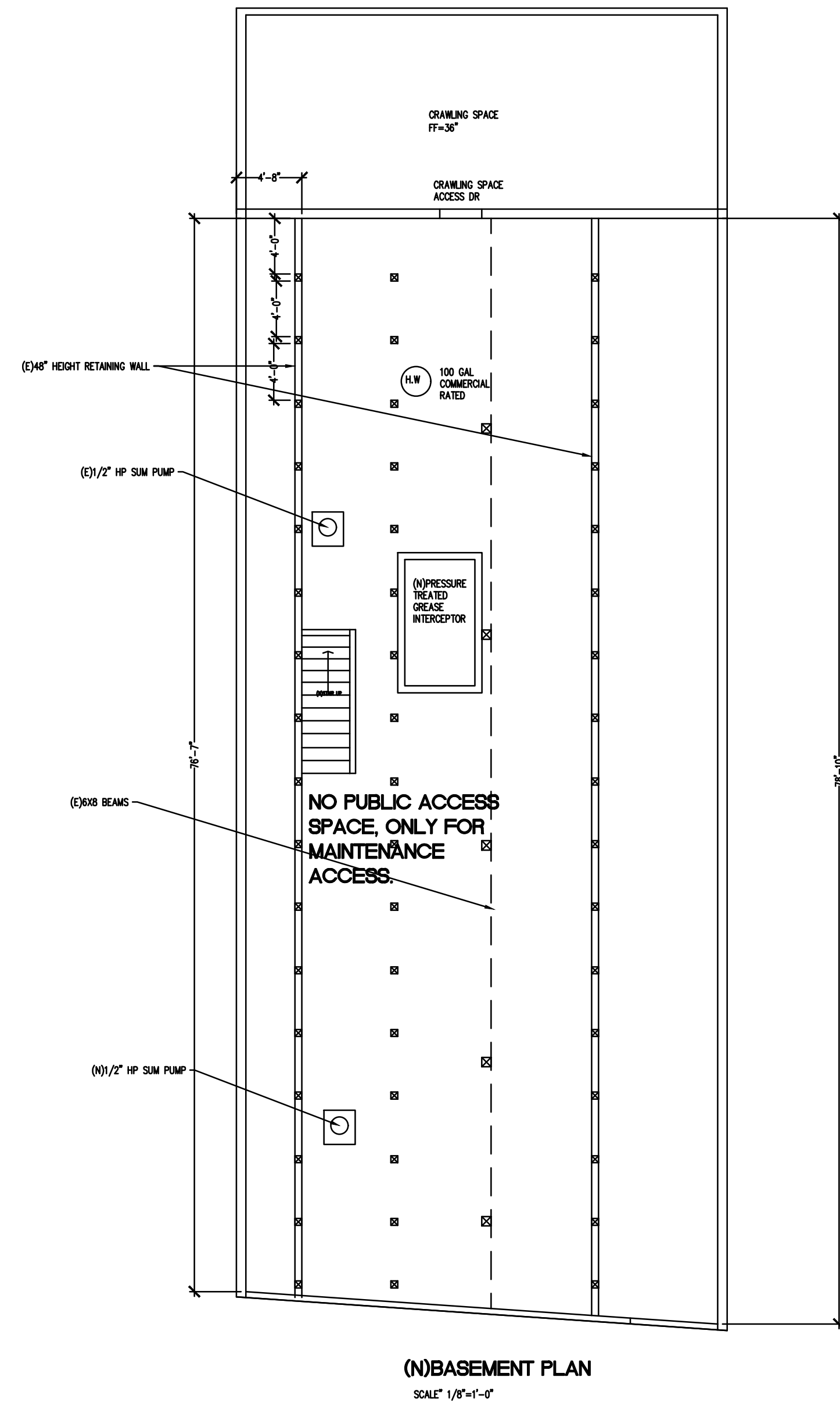
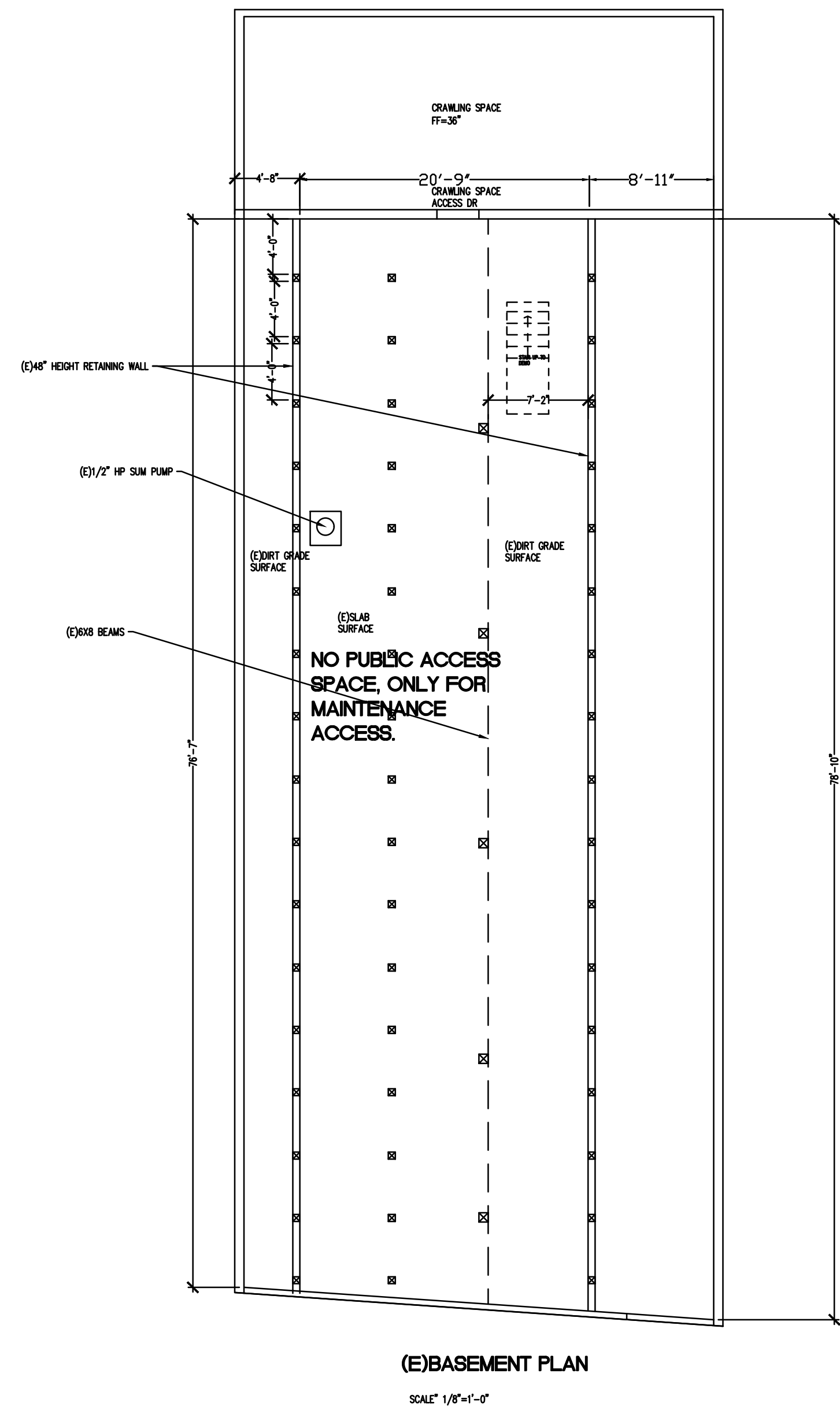
REV 2-12-2025

DRAWN : YUNG CHEN

SHEET

A-1





**CONTRACTOR:**

1325 PARK ST  
ALAMEDA, CA. 94501

CONFIDENTIAL  
ALAMEDA, CA. 94501  
YUNG CHEN 415-713-9243  
75 CORONA ST, SAN FRANCISCO. 94127



PROJECT ADDRESS:  
1325 PARK ST  
ALAMEDA, CA. 94501

DATE : 12-30-2023

|     |           |
|-----|-----------|
| REV | 2-12-2025 |
|-----|-----------|

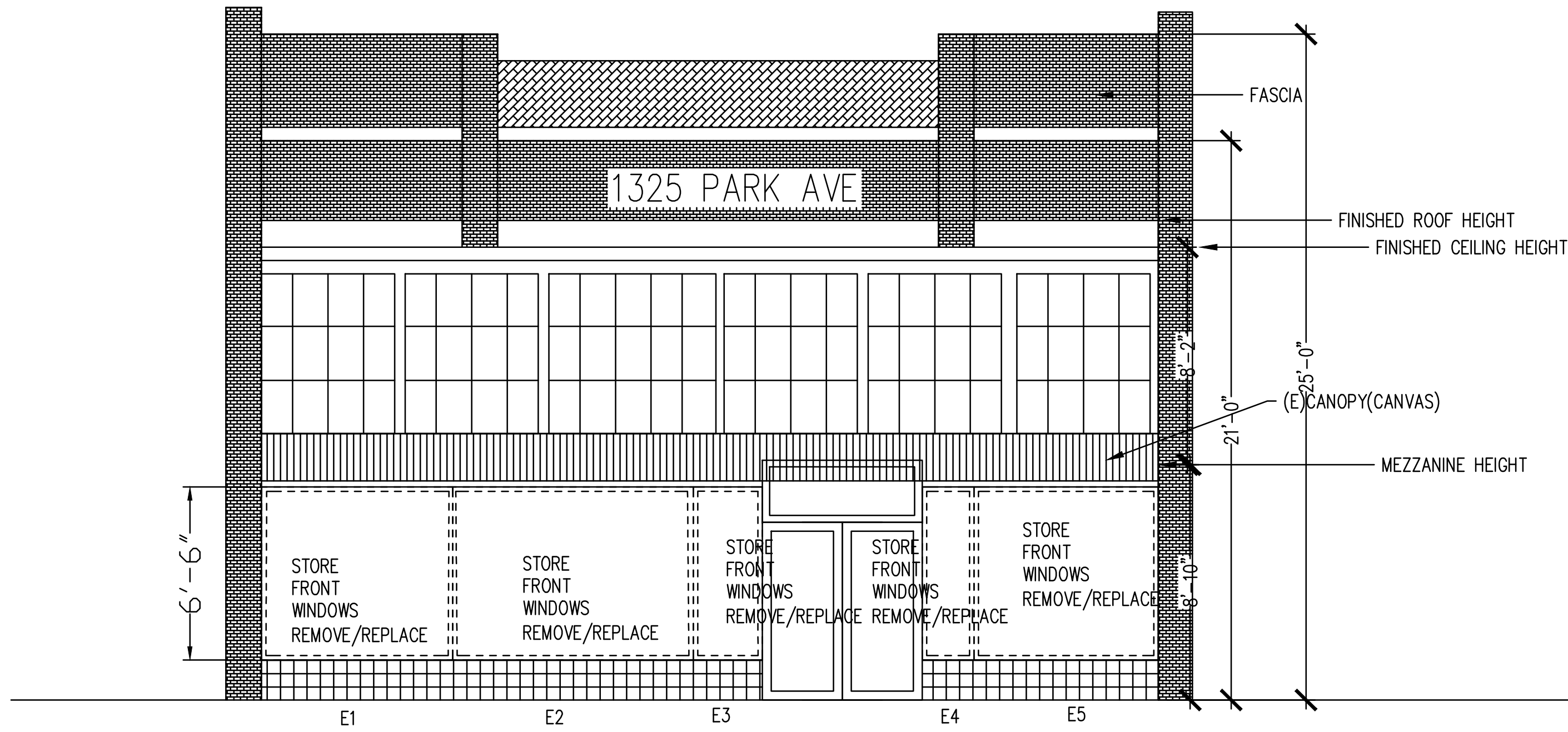
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SHEET

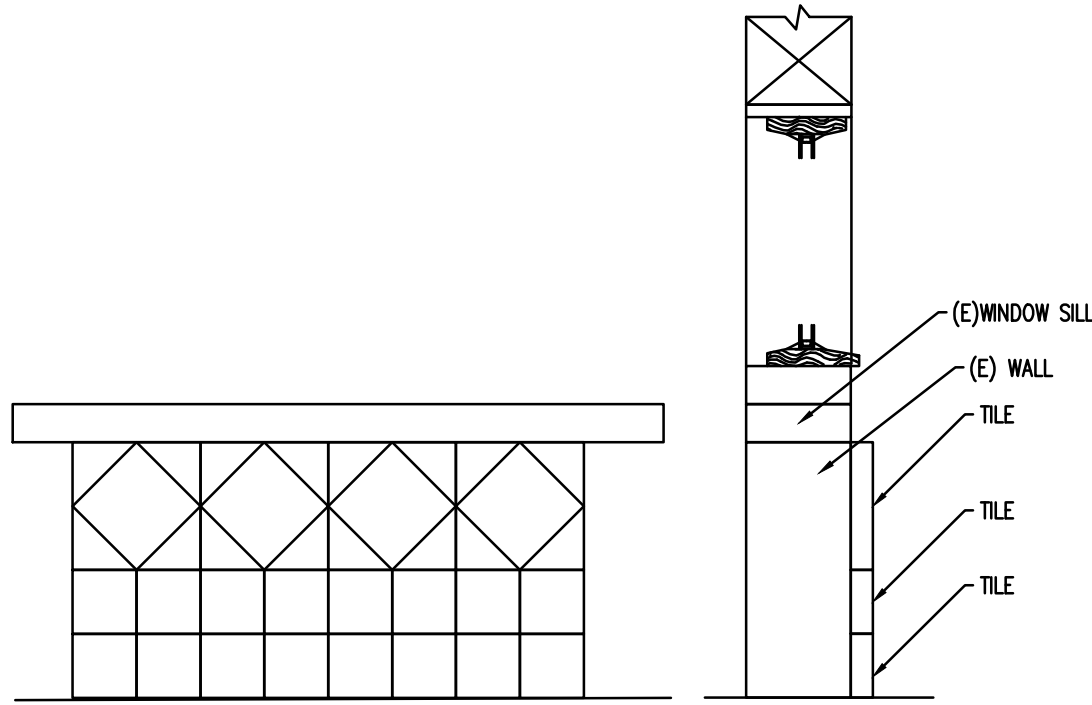
A-2

## BASEMENT PLAN

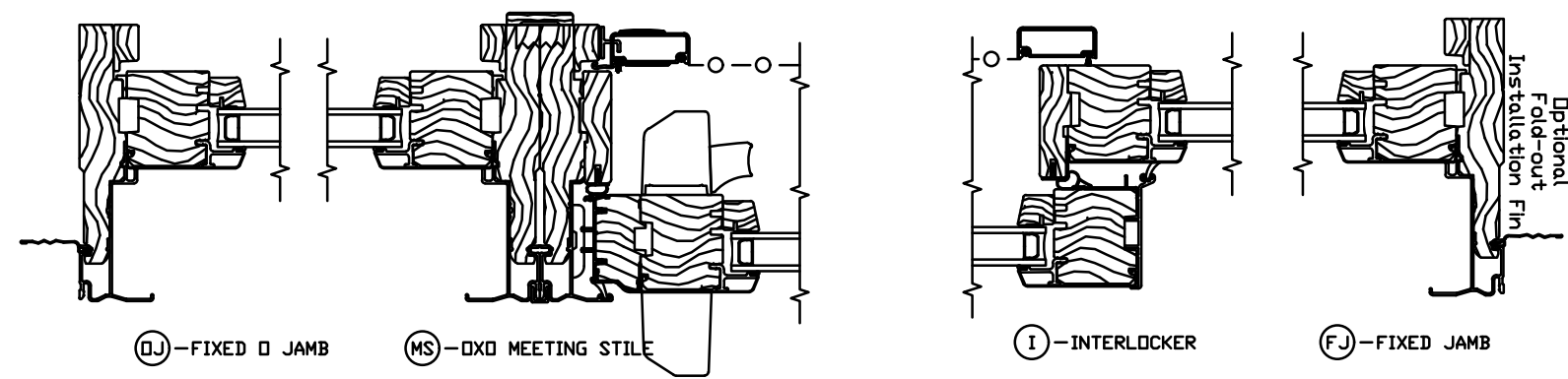




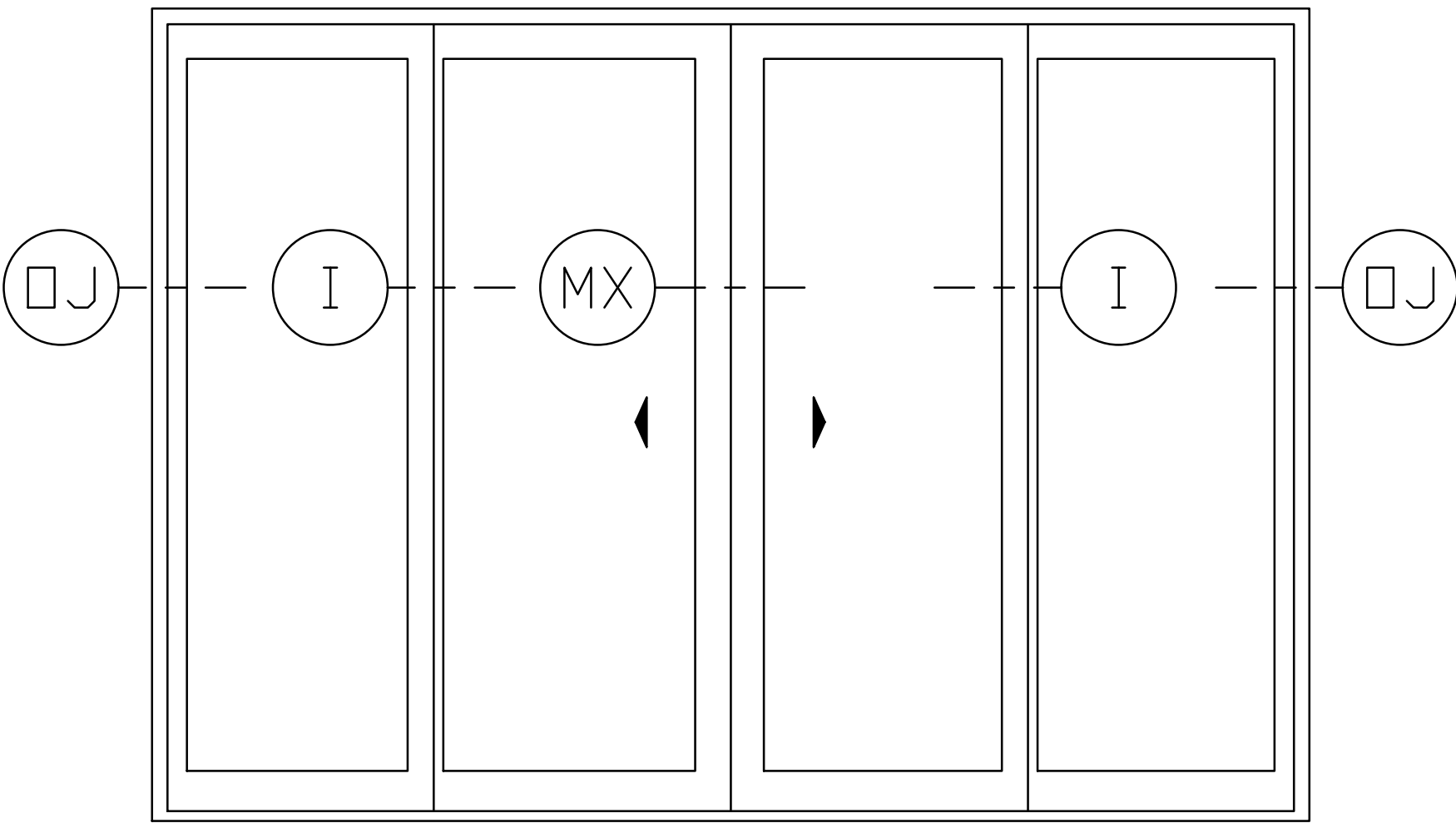
(E)STORE FRONT  
ELEVATION  
SCALE 1/8"=1'-0"



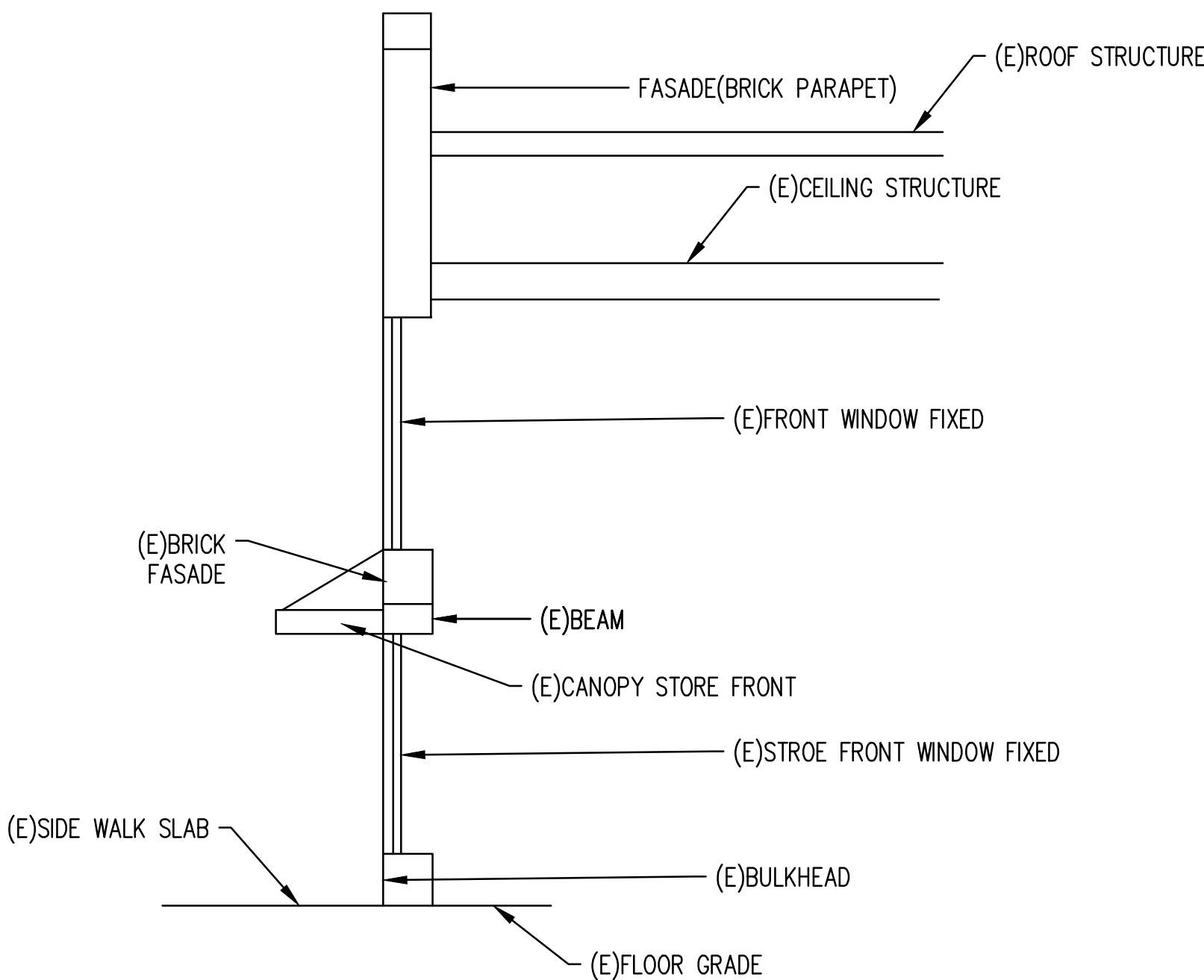
(E)STORE FRONT  
BULKHEAD/WINDOW



DETAILS



SLIDE WINDOWS



SLIDE SECTION  
VIEW

STORE FRONT ELEVATIONS

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*Darren Wong*

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ALAMEDA, CA. 94501

DATE : 12-30-2023

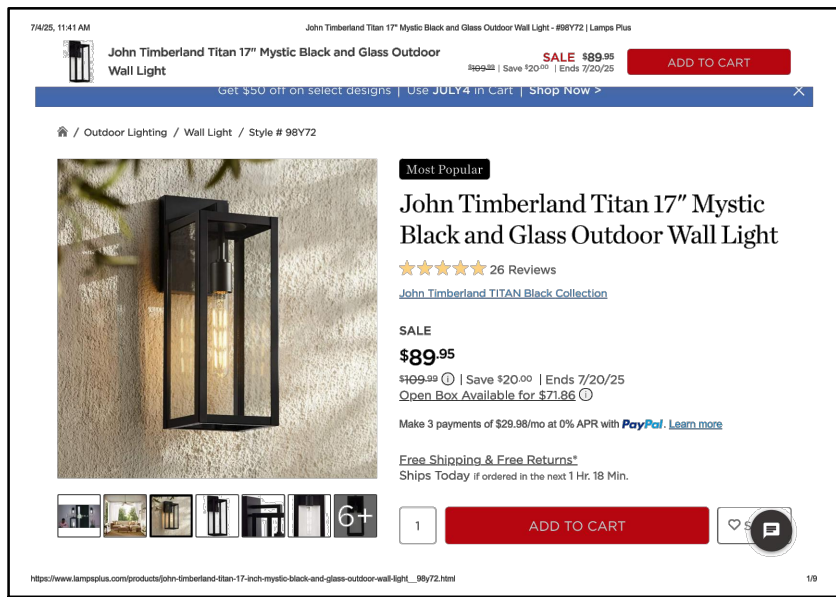
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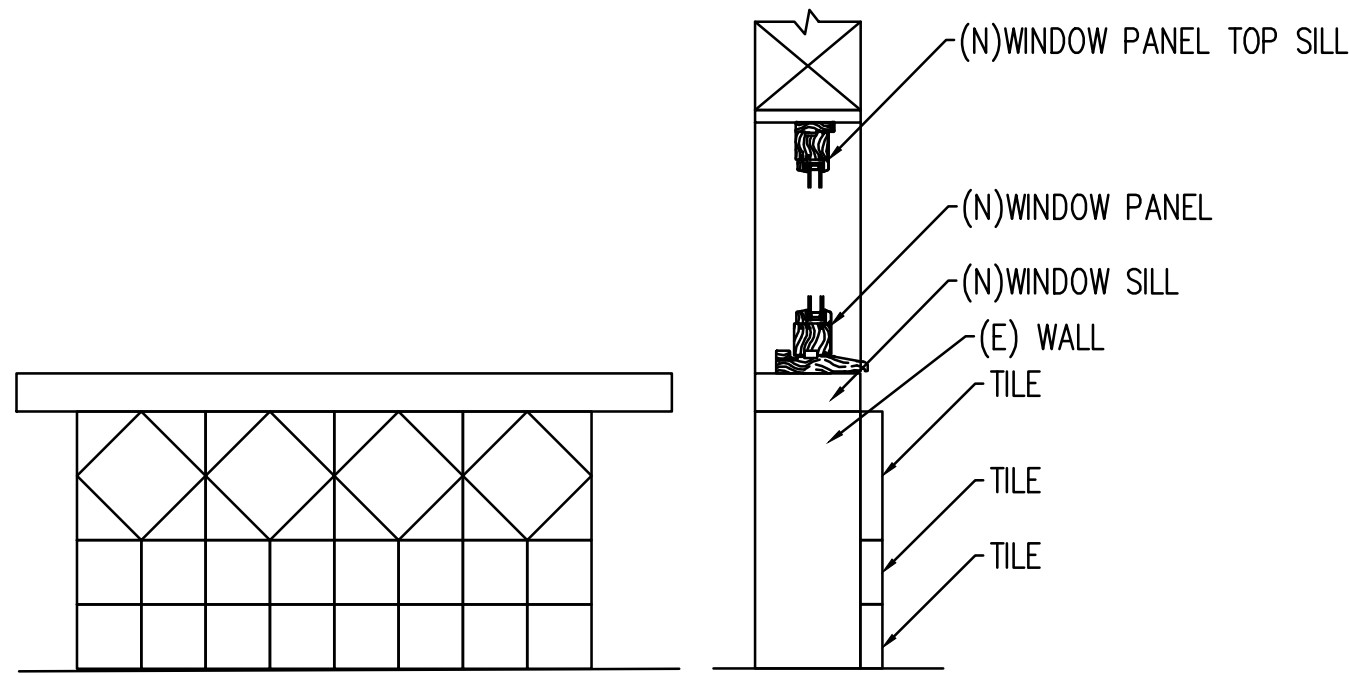
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A-3

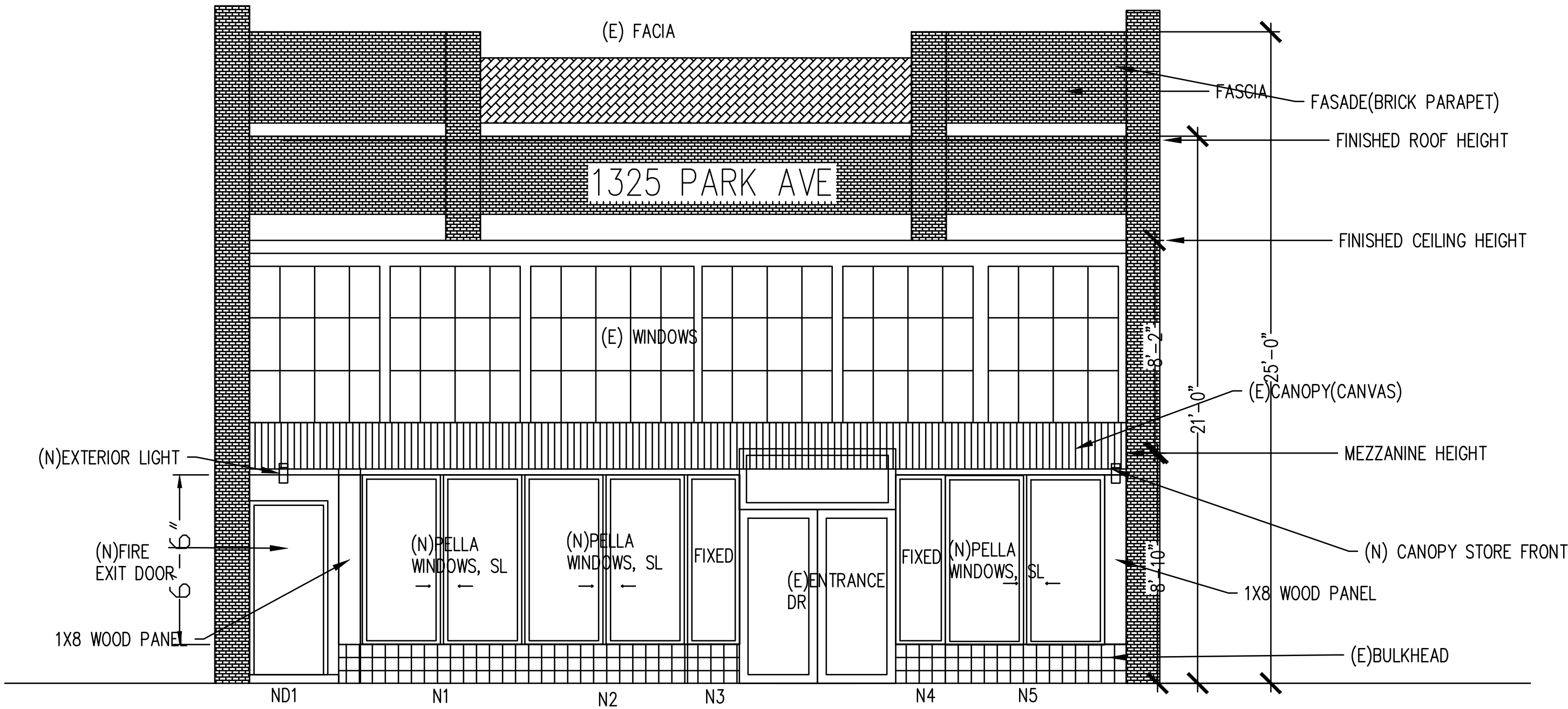




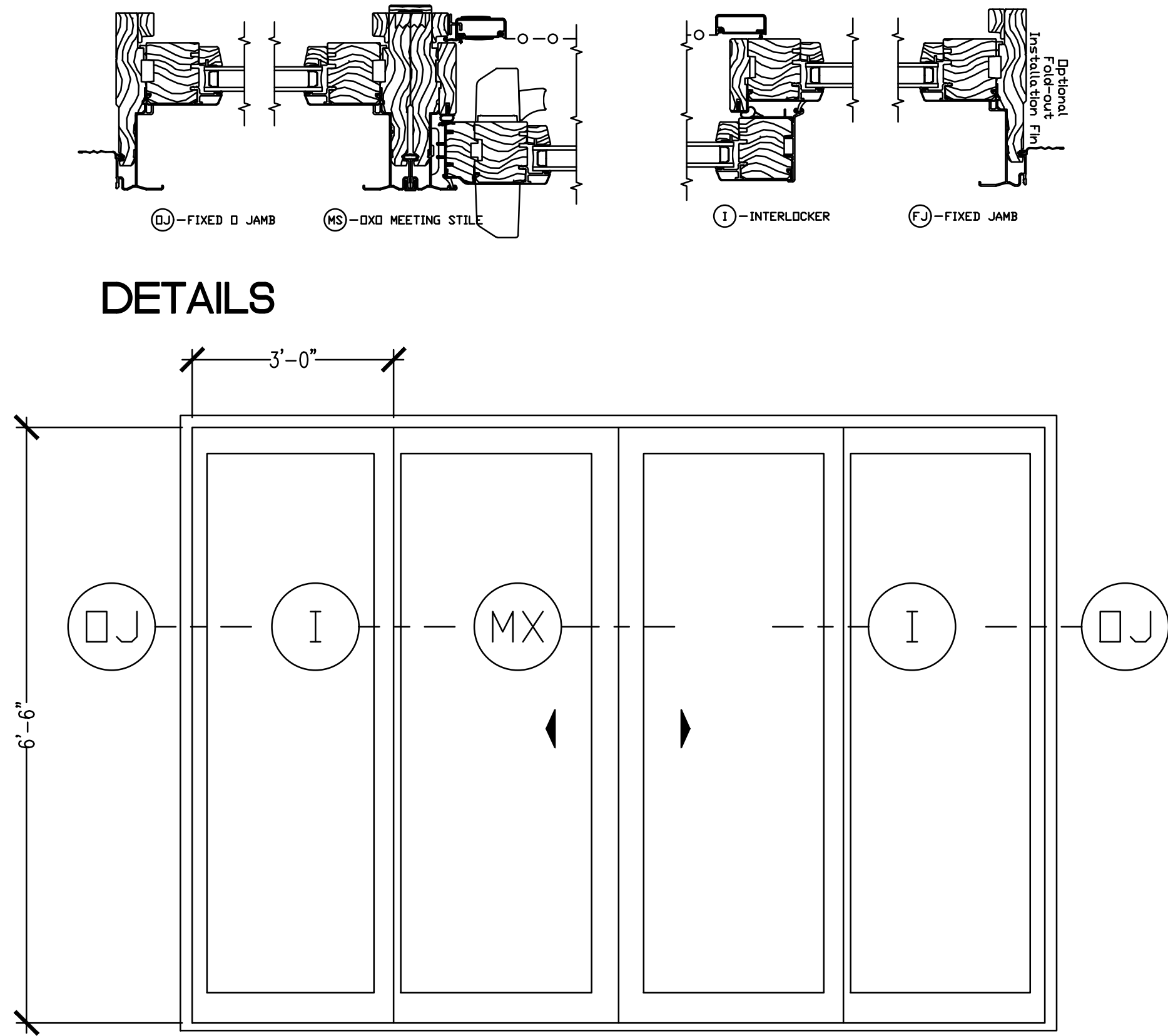
(N)EXTERIOR LIGHTS



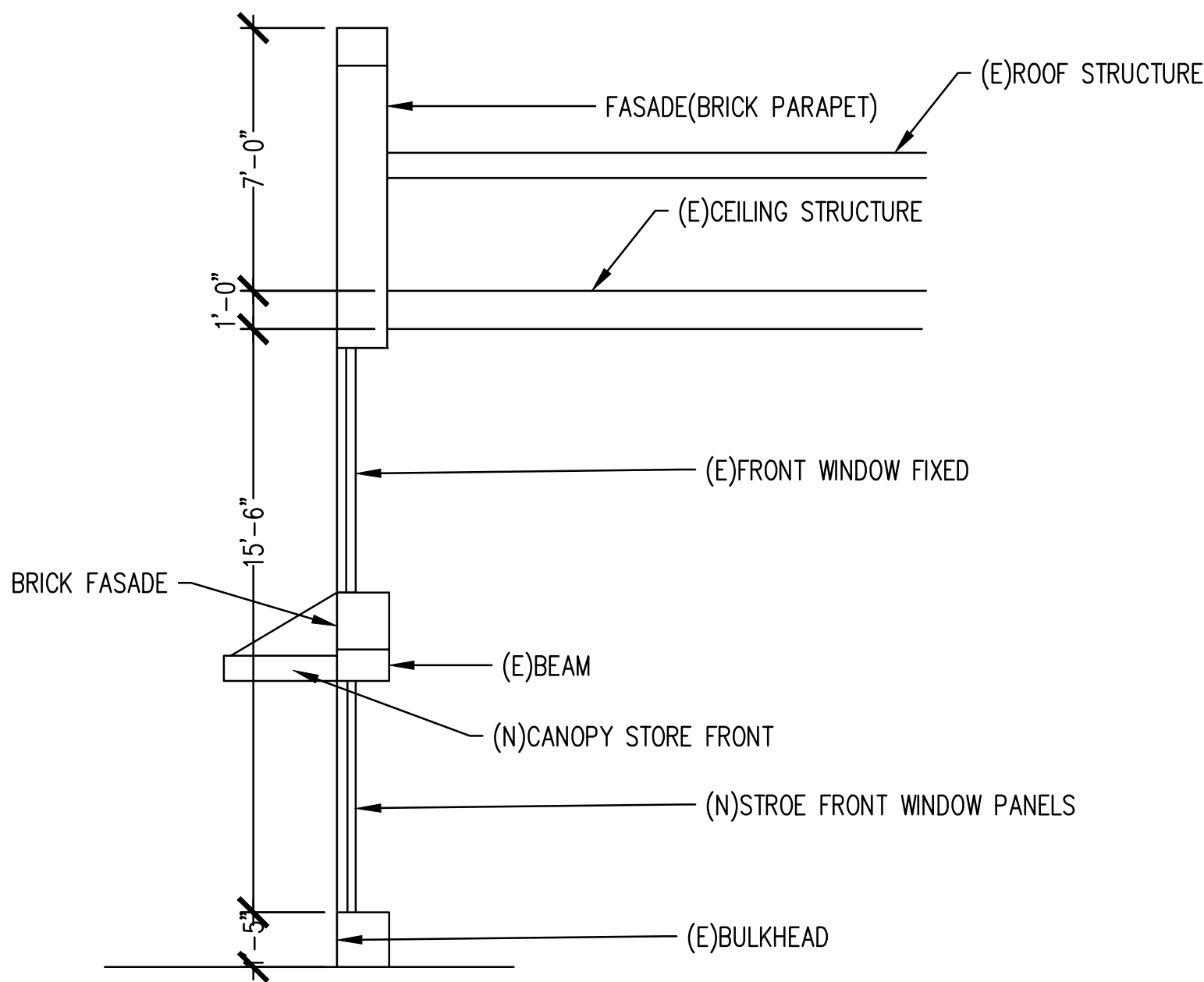
(N)STORE FRONT BULKHEAD/WINDOW



(N)STORE FRONT ELEVATION  
SCALE" 1/8"=1'-0"



SLIDE WINDOWS



SLIDE SECTION VIEW

STORE FRONT ELEVATIONS

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David Wong

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ALAMEDA, CA. 94501

DATE : 12-30-2023

REV 2-12-2025

DRAWN : YUNG CHEN

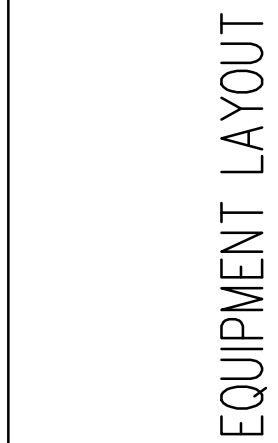
SHEET

A-3.1





| FINISH SCHEDULE |                    |                            |                                            |                                 |
|-----------------|--------------------|----------------------------|--------------------------------------------|---------------------------------|
| SPACE           | WALL               | CEILING                    | FLOOR                                      | COMMENT                         |
| STORE AREA      | 4' FRP PANEL/METAL | SHEETROCK/SEMI GLOSS PAINT | TILE FLOOR                                 |                                 |
| KITCHEN AREA    | 8' FRP PANEL/METAL | SHEETROCK/SEMI GLOSS PAINT | QUARRY FLOOR WITH 3/8" RADIUS COVERED BASE |                                 |
| DINING AREA     | SEMI GLOSS PAINT   | SHEETROCK/SEMI GLOSS PAINT | LAMINATE FLOOR                             |                                 |
| RESTROOM AREA   | 4' FRP PANEL/METAL | SHEETROCK/SEMI GLOSS PAINT | QUARRY FLOOR WITH 3/8" RADIUS COVERED BASE |                                 |
| MEZZANINE AREA  | SEMI GLOSS PAINT   | SHEETROCK/SEMI GLOSS PAINT | LAMINATE FLOOR                             |                                 |
| OFFICE AREA     | SEMI GLOSS PAINT   | SHEETROCK/SEMI GLOSS PAINT | LAMINATE FLOOR                             |                                 |
| WALK-IN COOLER  | METAL/INSULATED    | METAL/INSULATED            | QUARRY FLOOR WITH 3/8" RADIUS COVERED BASE |                                 |
| BAR             | METAL/INSULATED    | SEMI GLOSS PAINT           | QUARRY FLOOR WITH 3/8" RADIUS COVERED BASE | CABINET SURFACE SMOOTH POLISHED |



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1325 PARK ST  
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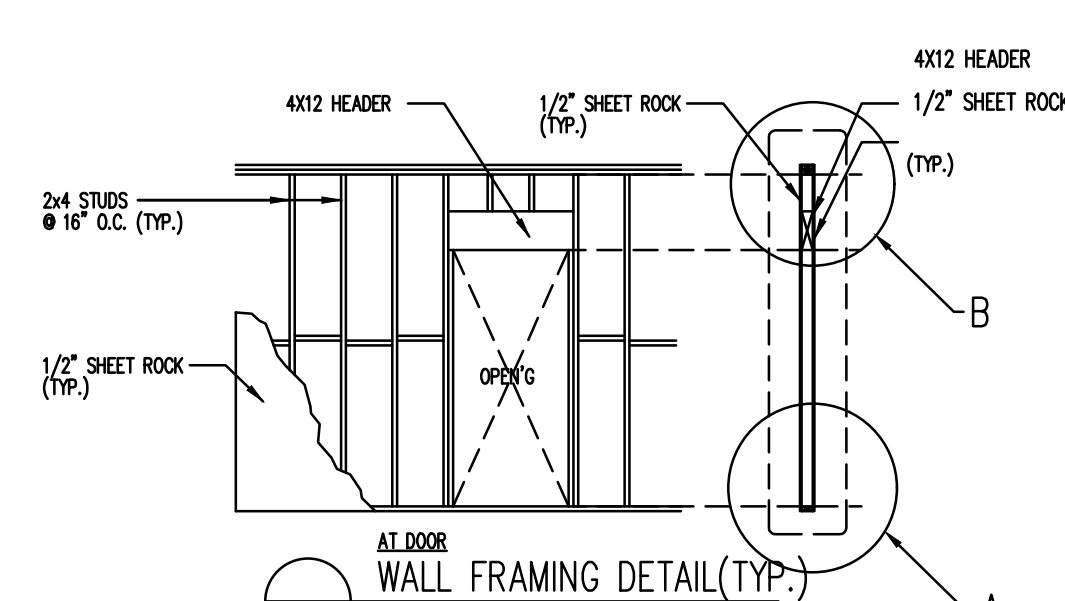
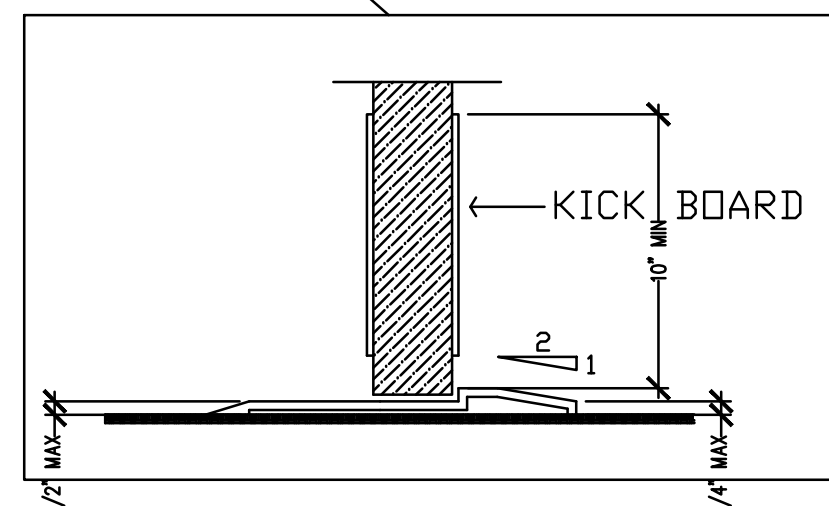
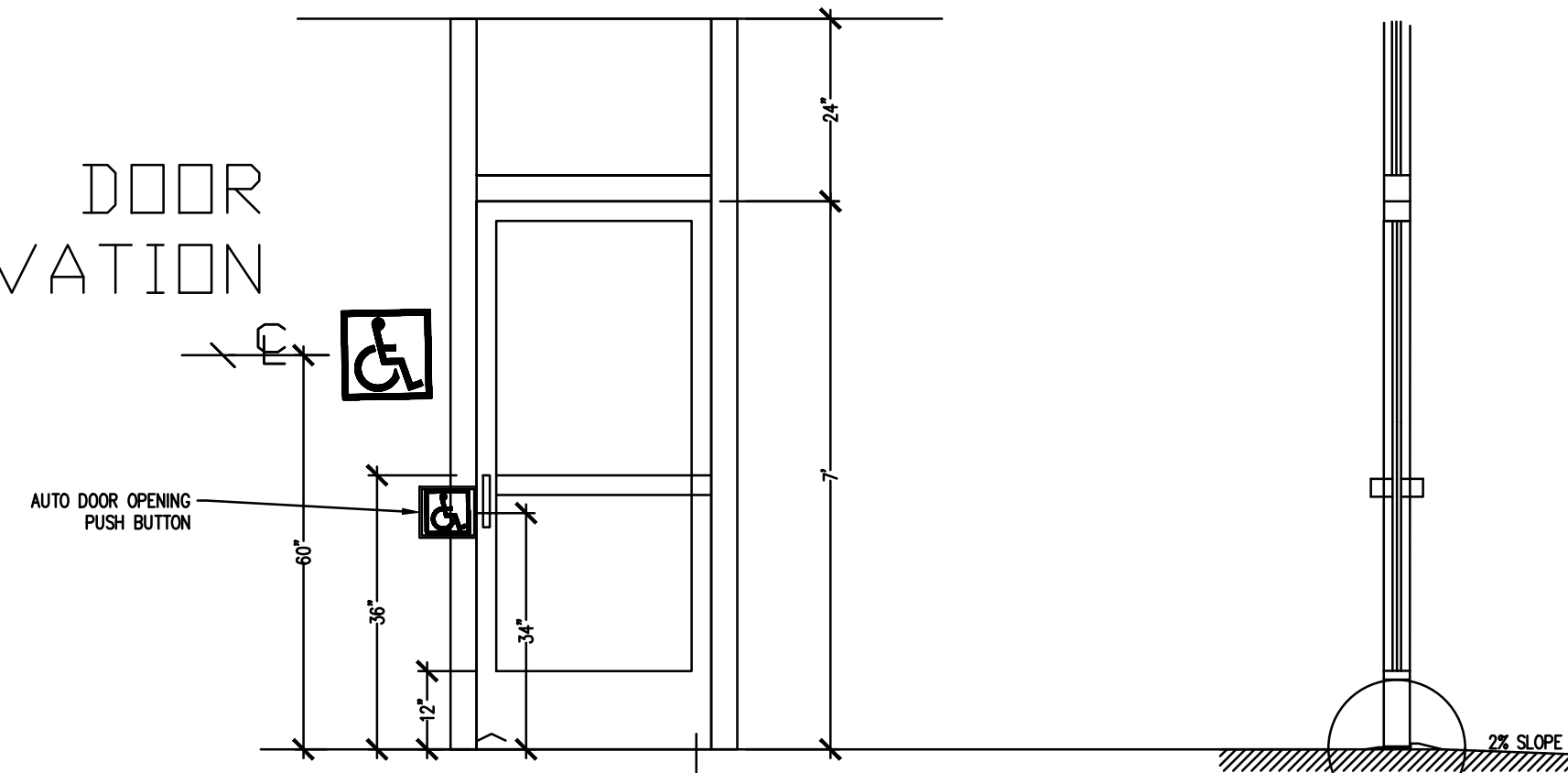
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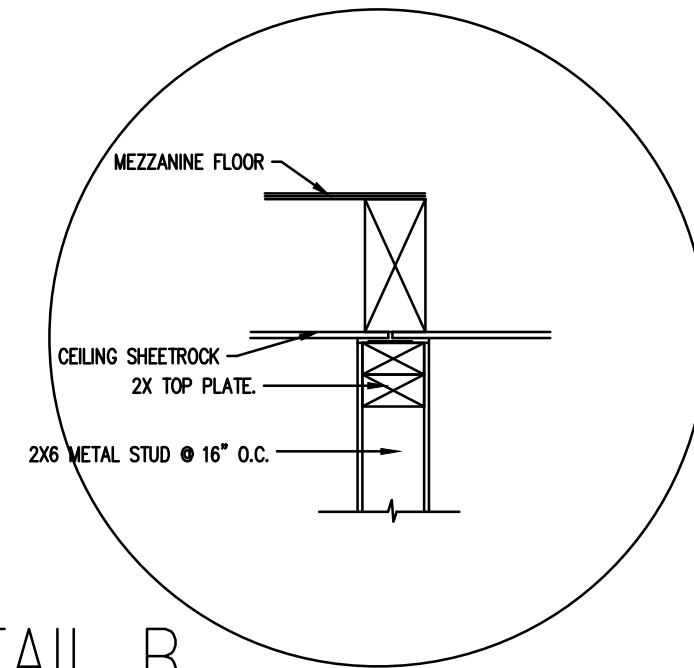
DOOR  
ELEVATION

12" HIGH KICK  
BOARD

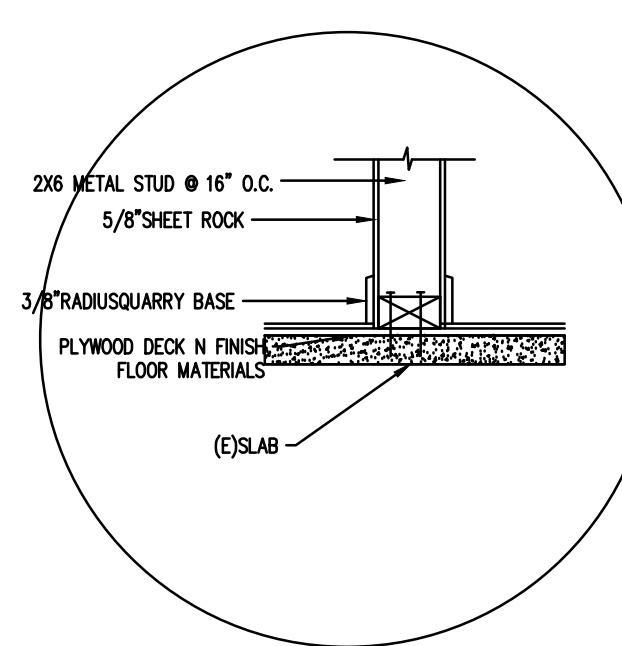
9 ENTRANCE DOOR DETAIL



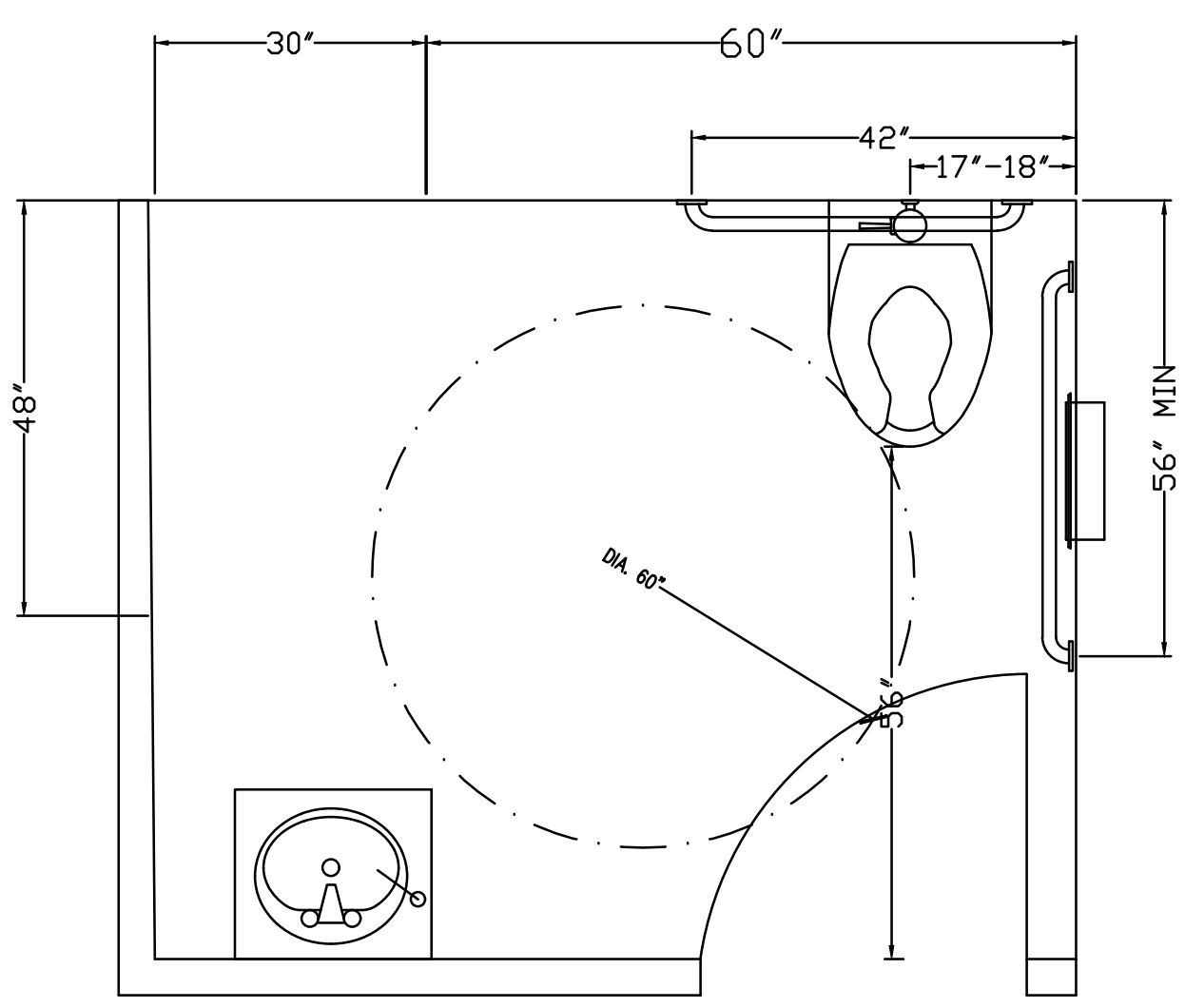
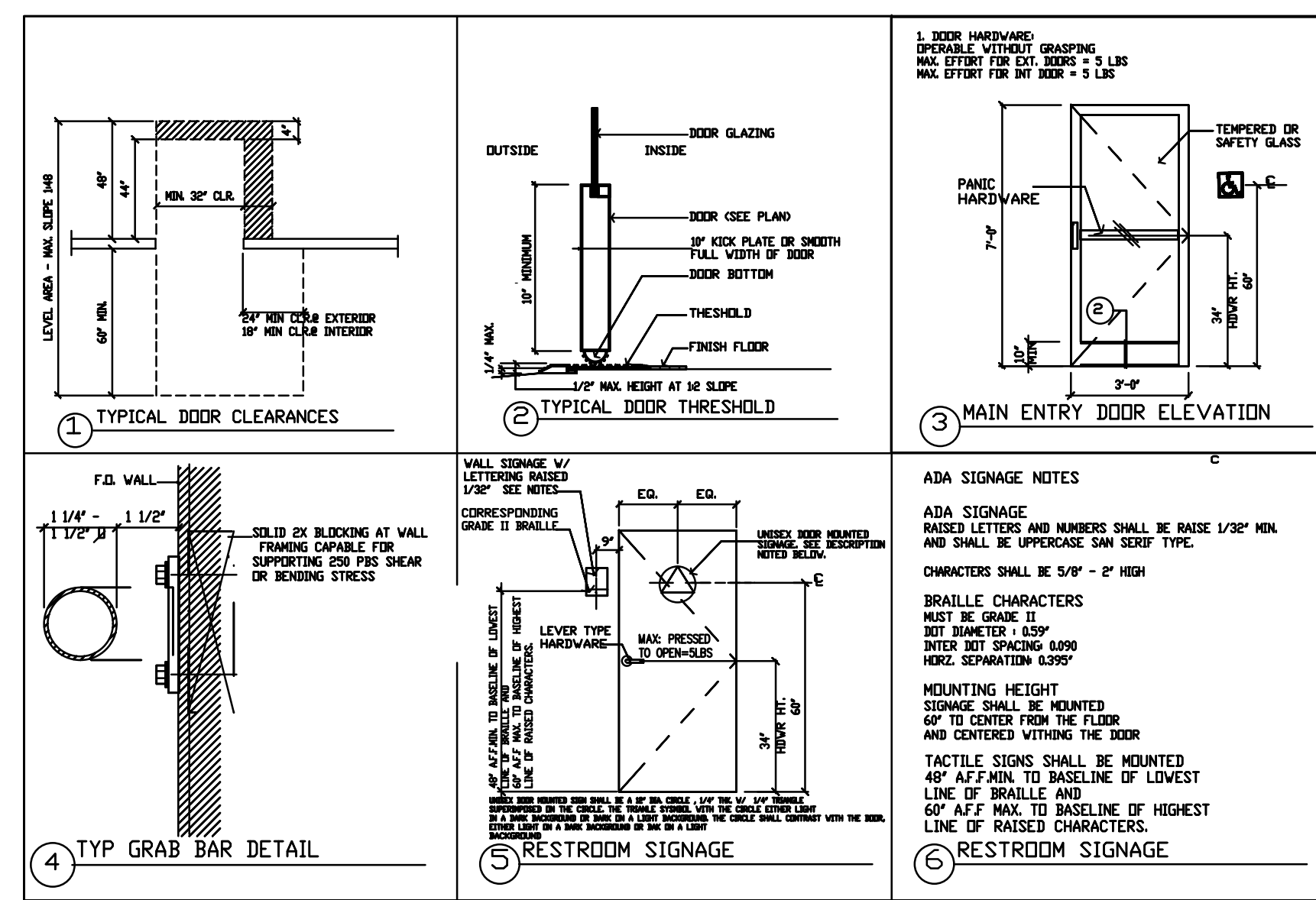
DETAIL B



DETAIL A



10 DOOR/WALL CEILING/FLOOR DETAIL

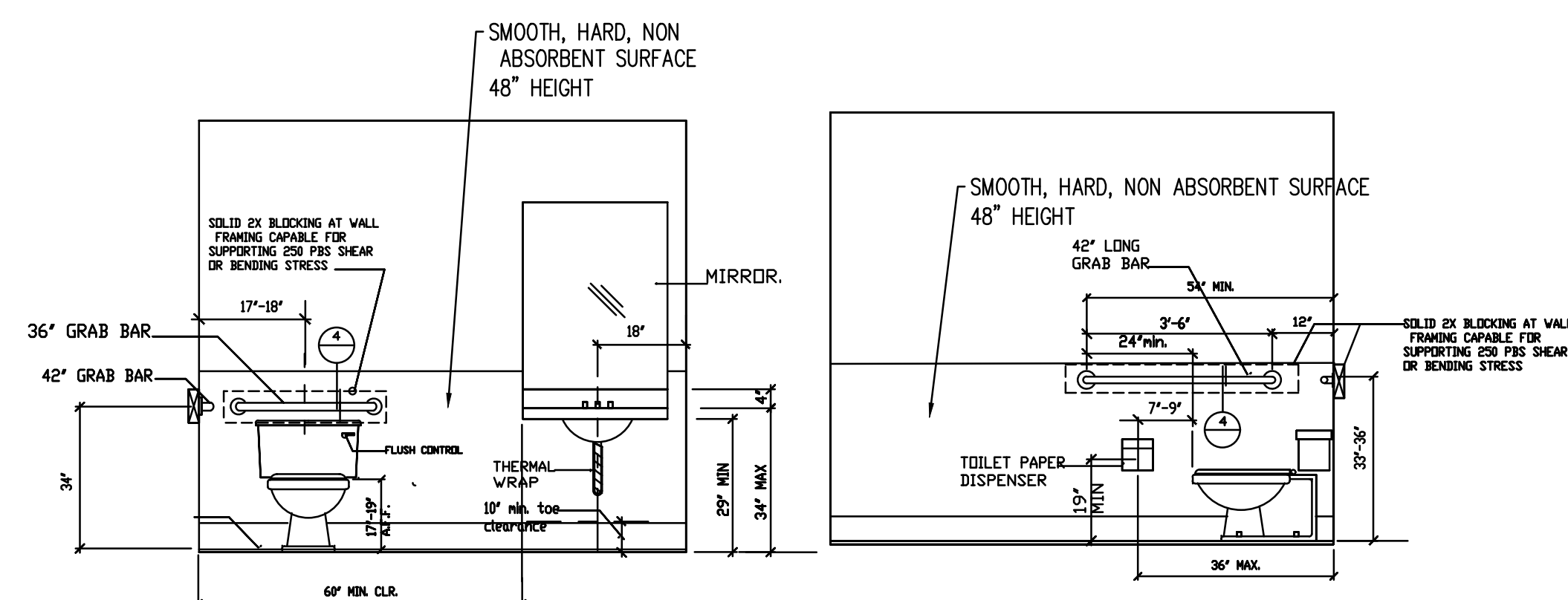


RESTROOM WALL FINISHED  
WITH:  
PARTITION AT 48" HEIGHT,  
WITH FORMICA LAMINATE  
PANEL.  
4" BASE WITH CERAMIC  
TILES.



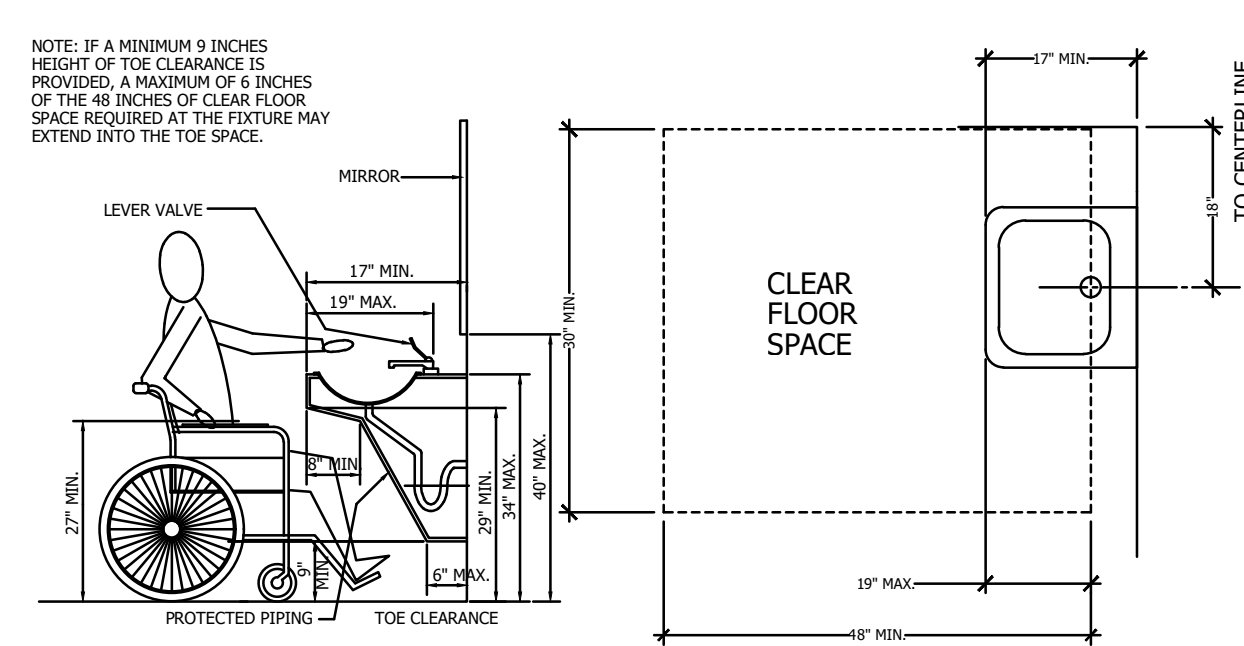
RESTROOM SIGNAGE

ENLARGED REST ROOM PLAN



2 TOILET AND SINK ELEVATION (TYP)

1 TOILET ELEVATION (TYP)



ADA DETAILS

CONTRACTOR:

LINDA  
1325 PARK ST  
ALAMEDA, CA. 94501

CONTACT:  
YUNG CHEN 415-713-9243  
75 CORONA ST, SAN FRANCISCO. 94127



*Darren Wong*

PROJECT ADDRESS:

1325 PARK ST  
ALAMEDA, CA. 94501

DATE : 12-30-2023

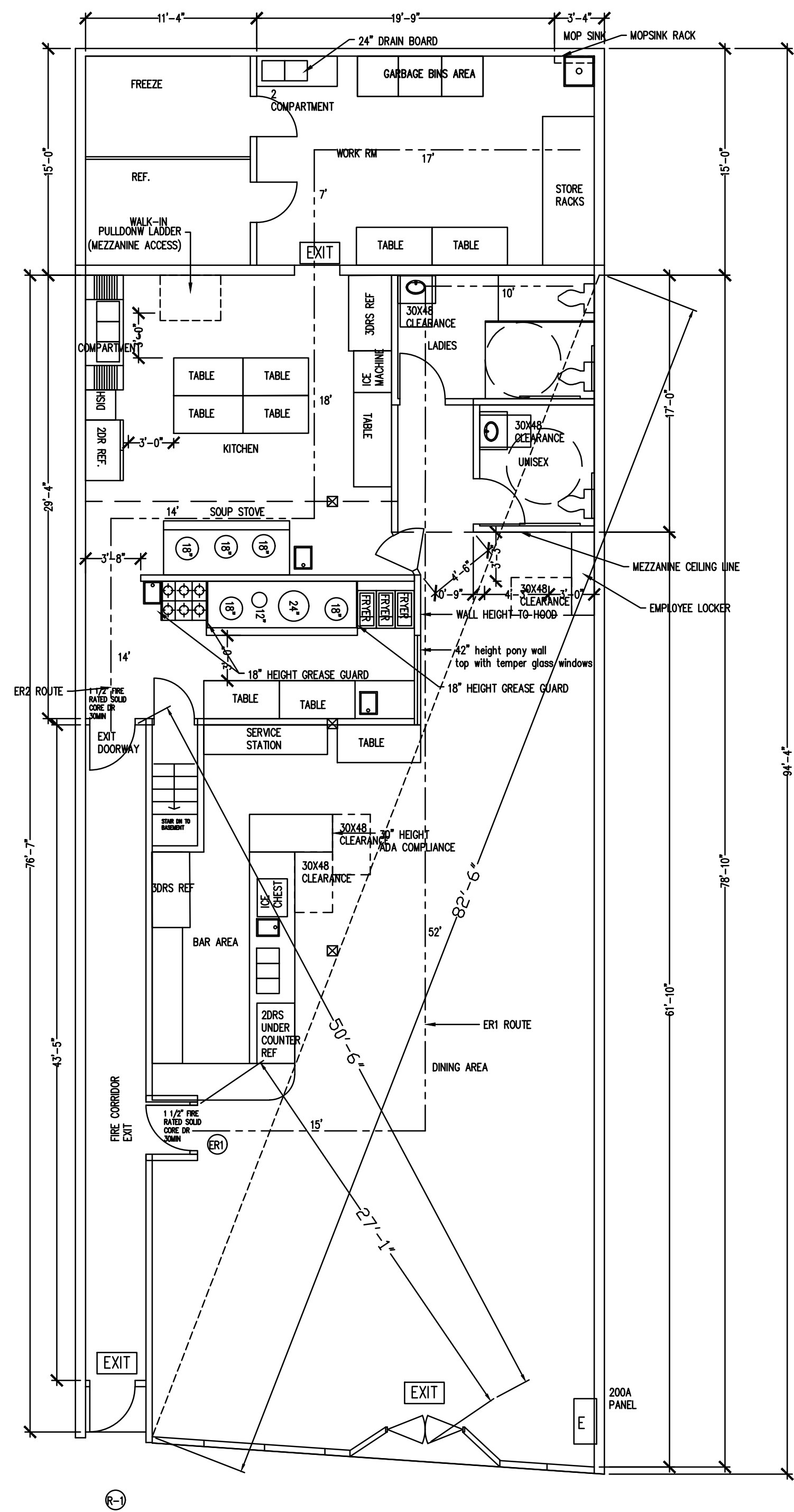
REV

DRAWN : YUNG CHEN

SHEET

A-5

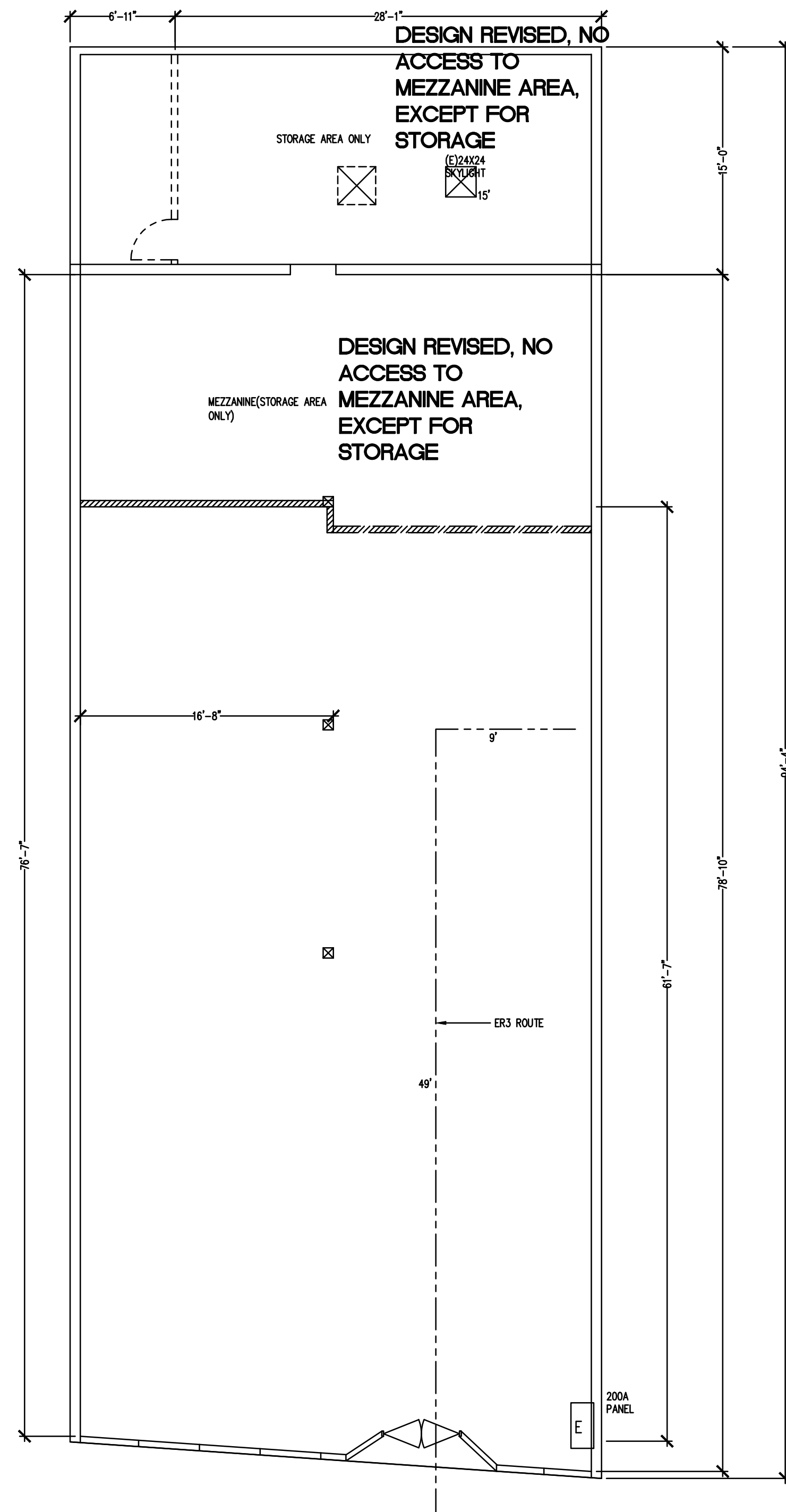




(N)TRAVEL ROUTE(MAIN FLOOR)

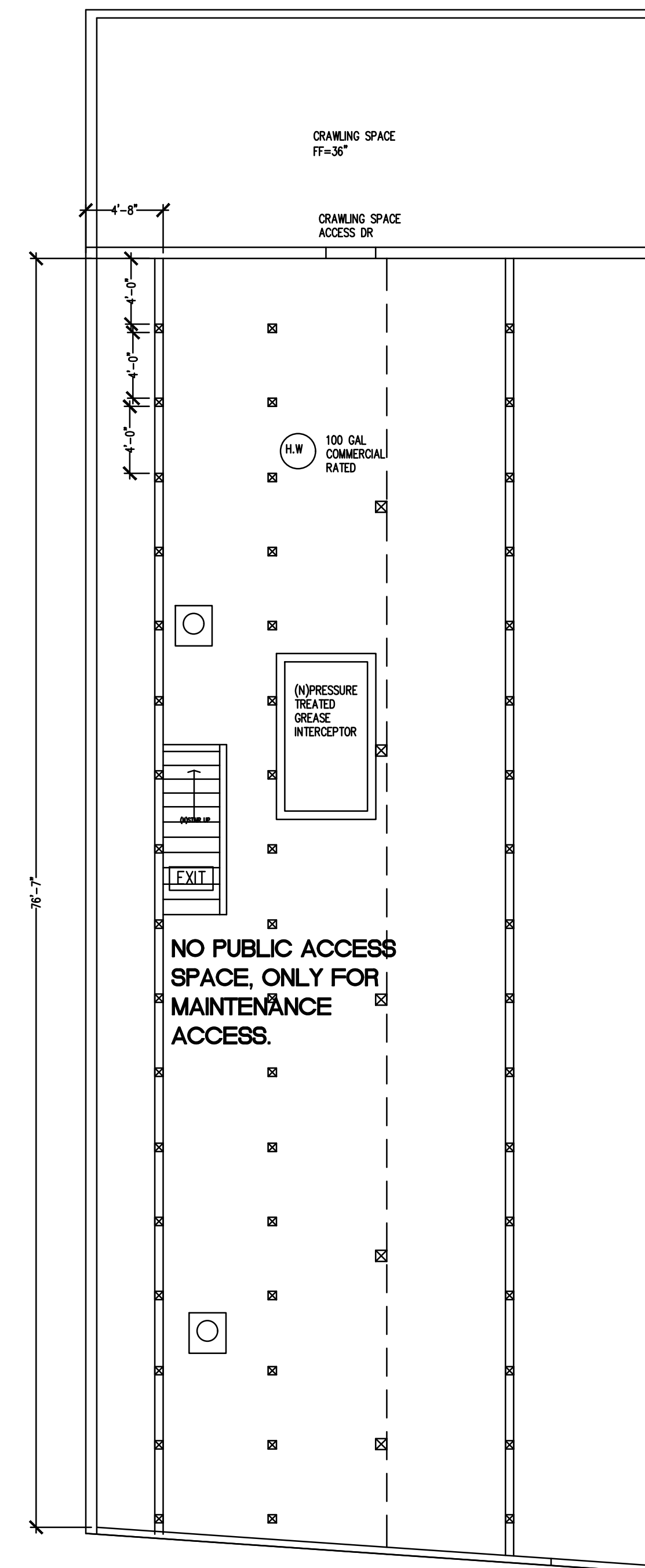
SCALE" 1/8"=1'-0"

R1(DINING SPACE)=10'+50'+15'=75'  
ER2(KITCHEN/WORK SPACE)=60+14+18+7+17=116'  
LONGEST TRAVEL PATH=116'



(N)TRAVEL ROUTE

SCALE" 1/8"=1'-0"

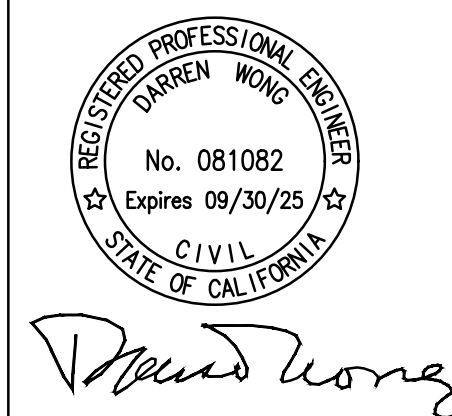


(N)BASEMENT NO PUBLIC ACCESS

SCALE" 1/8"=1'-0"

TRAVEL ROUTE PLAN

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PROJECT ADDRESS: 1325 PARK ST ALAMEDA, CA. 94501

DATE : 12-30-2023

REV

DRAWN : YUNG CHEN

SHEET

A-6