





DGA planning | architecture | interiors

550 Ellis Street, Mountain View, CA 94043 650-943-1640  
201 Filbert Street, 3rd Floor, San Francisco, CA 94133 415-477-2700  
445 West Ash Street, San Diego, CA 92101 619-685-3990  
400 Capitol Mall, Suite 1540, Sacramento, CA 95814 916-441-6800

CONSULTANTS

**KIER & WRIGHT**  
CIVIL ENGINEERS & SURVEYORS, INC.  
3350 Scott Boulevard, Building 22 (408) 727-6665  
Santa Clara, California 95054 fax (408) 727-5641

STAMP

KEY PLAN

RESPONSE TO COMMENTS 09.14.17

NO. DESCRIPTION DATE



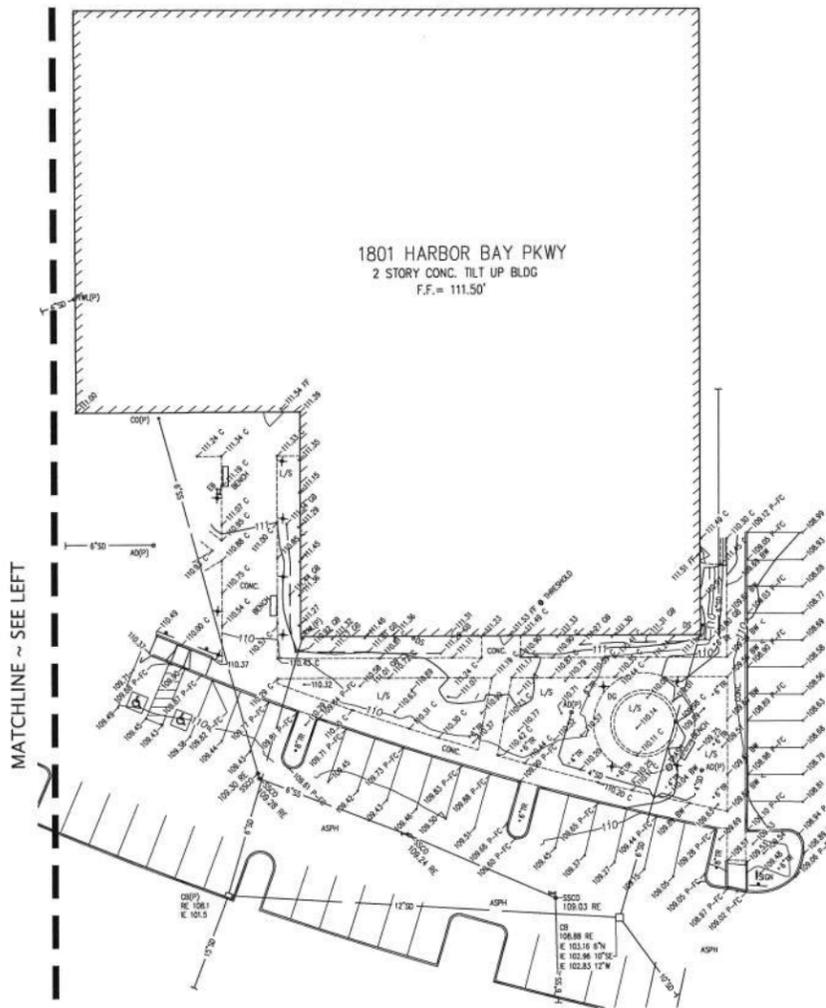
CLIENT **EXELIXIS**  
PROJECT **TENANT IMPROVEMENTS**  
ADDRESS **1801 HARBOR BAY PARKWAY  
ALAMEDA, CA 94502**

PROJECT NO. **17121**  
SCALE **AS SHOWN**

TITLE  
**PARTIAL TOPOGRAPHIC  
SURVEY**

**CI.0**

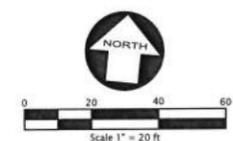
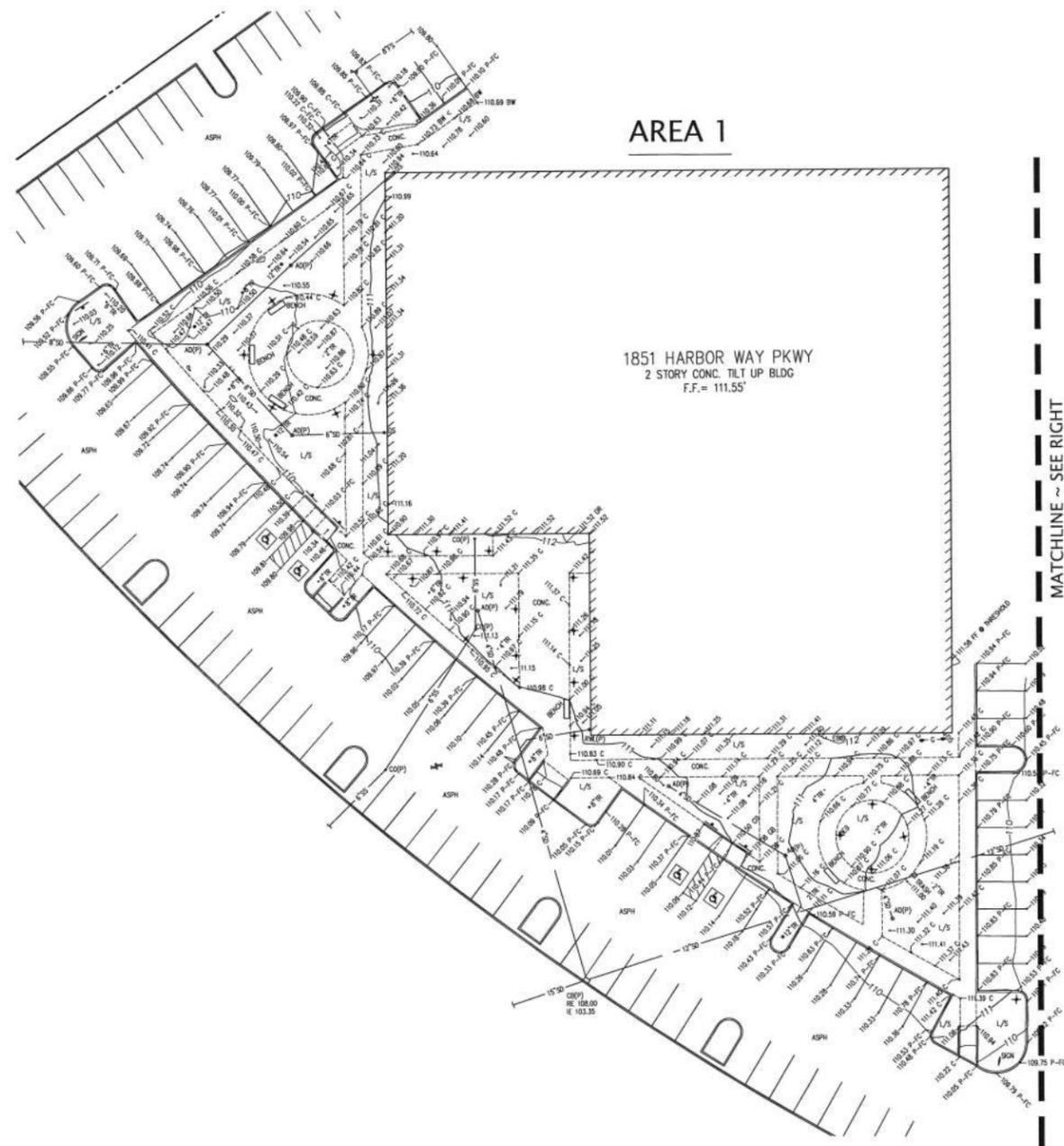
### AREA 2



MATCHLINE ~ SEE LEFT

MATCHLINE ~ SEE RIGHT

### AREA 1

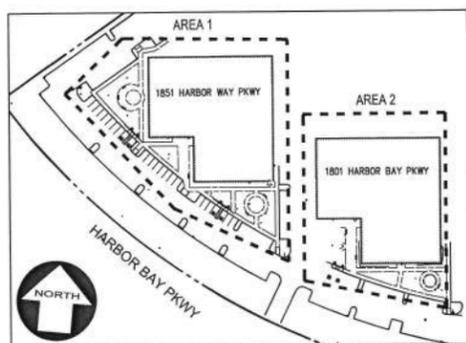


### NOTES

- THIS IS NOT A BOUNDARY SURVEY. NO LIABILITY IS ASSUMED, BY KIER & WRIGHT, FOR THE EXISTENCE OF ANY EASEMENTS, ENCUMBRANCES, DISCREPANCIES IN BOUNDARY, OR TITLE DEFECTS NOT MENTIONED IN SAID DOCUMENTS AND THEREFORE NOT SHOWN ON THIS DRAWING. PROPERTY LINE PLOT ONLY (NO EASEMENTS SHOWN).
- ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
- BENCHMARK: CUT SQUARE AT TOP OF THE CURB AT THE EAST RETURN AT THE NORTHEAST CORNER OF HARBOR BAY PARKWAY AND "A" ROAD ELEVATION = 109.70 (CITY OF ALAMEDA DATUM)  
TBM: FF AT THE SOUTHERLY DOOR TO 1801 HARBOR BAY PARKWAY. ELEVATION = 111.50'
- BASIS OF BEARINGS:  
THE BEARING OF SOUTH 32° 11' 55" EAST TAKEN ON THE MONUMENT LINE BETWEEN U.S.C. & G.S. MONUMENTS "MATT MEL" AND "MATT-FIT" AS SAID MONUMENTS ARE SHOWN ON THAT CERTAIN TRACT MAP NUMBER 2532 FILED FOR RECORD ON APRIL 17, 1964, IN BOOK 48 OF MAPS AT PAGE 58, OFFICIAL RECORDS OF ALAMEDA COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.

### LEGEND

	BUILDING LINE
	CONCRETE CURB
	CONCRETE CURB & GUTTER
	CONTOUR LINE
	OBSCURED CONTOUR LINE
	PROPERTY LINE
	SANITARY SEWER MANHOLE & CLEANOUT
	STORM DRAIN MANHOLE & CATCH BASIN
	SIDEWALK
	SPOT ELEVATION
	ANGLE POINT
	LANDSCAPE LIGHT
	FIRE HYDRANT
	GAS METER
	TRAFFIC SIGN
	TREE
	UTILITY BOX
	WATER VALVE
	AREA DRAIN
	ASPHALT
	BUILDING
	BACK OF WALK
	CONCRETE
	CLEANOUT
	DECOMPOSED GRANITE
	DOWNSPOUT
	ELECTRIC BOX
	FACE OF CURB
	FINISH FLOOR
	GRADE BREAK
	INVERT ELEVATION
	LANDSCAPE PAVEMENT
	PARWAY
	PER PLAN
	RIM ELEVATION
	SANITARY SEWER CLEANOUT
	TEMPORARY BENCHMARK
	TREE



KEY MAP  
N.T.S.



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STAMP

KEY PLAN

RESPONSE TO COMMENTS 09.14.17

NO. DESCRIPTION DATE



CLIENT EXELIXIS

PROJECT TENANT IMPROVEMENTS

ADDRESS 1801 HARBOR BAY PARKWAY  
ALAMEDA, CA 94502

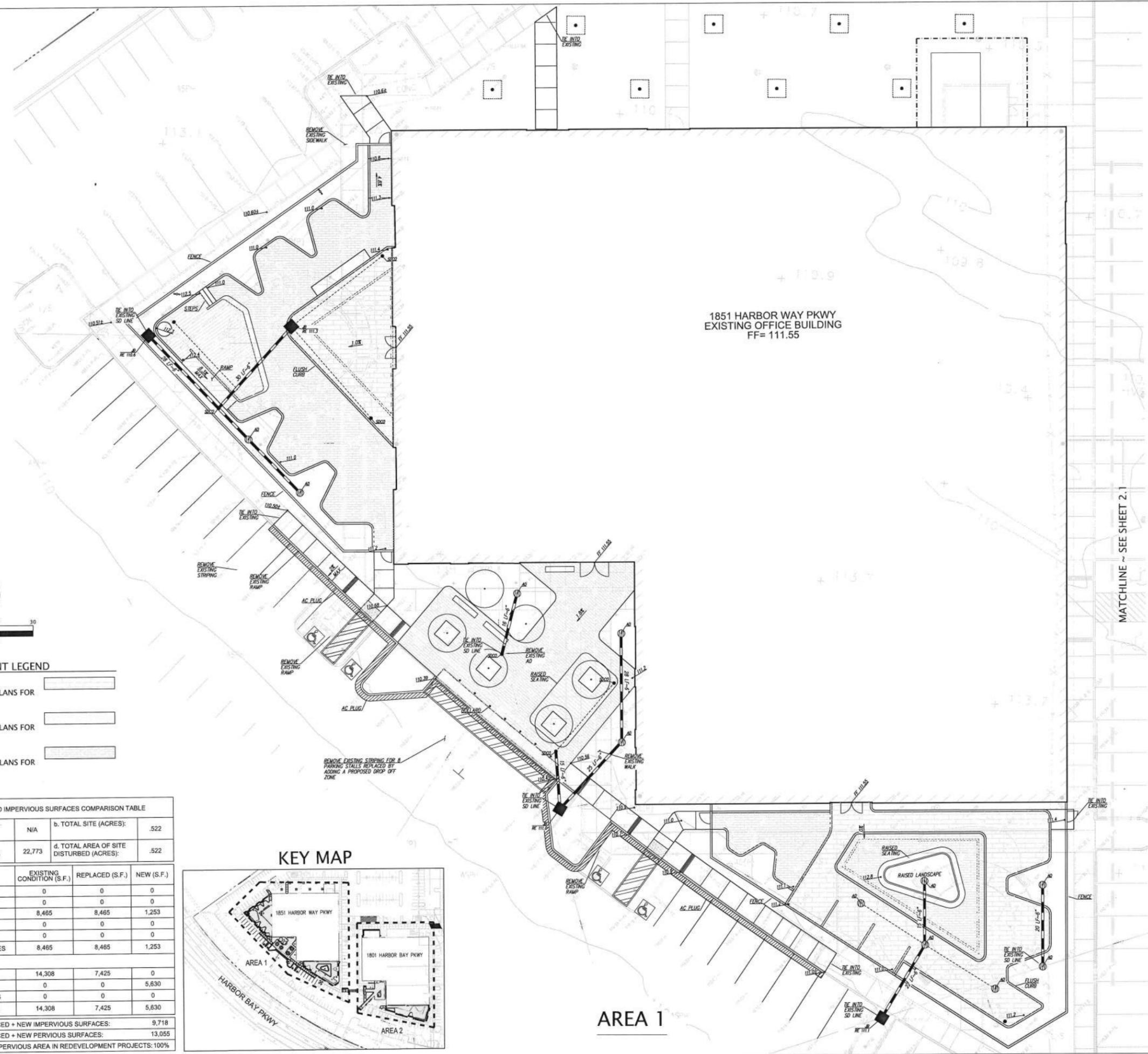
PROJECT NO. 17121

SCALE AS SHOWN

TITLE

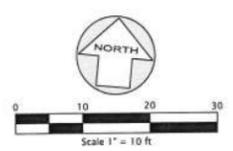
**PRELIMINARY GRADING  
AND DRAINAGE**

**C2.0**



1851 HARBOR WAY PKWY  
EXISTING OFFICE BUILDING  
FF= 111.55

MATCHLINE ~ SEE SHEET 2.1



**PAVEMENT LEGEND**

- PERVIOUS PAVEMENT  
(REFER TO LANDSCAPE PLANS FOR PAVEMENT TYPE)
- PERVIOUS PAVEMENT  
(REFER TO LANDSCAPE PLANS FOR PAVEMENT TYPE)
- IMPERVIOUS PAVEMENT  
(REFER TO LANDSCAPE PLANS FOR PAVEMENT TYPE)

**PERVIOUS AND IMPERVIOUS SURFACES COMPARISON TABLE**

a. PROJECT PHASE NUMBER: ROOF AREA(S)	N/A	b. TOTAL SITE (ACRES):	.522
c. TOTAL SITE EXISTING IMPERVIOUS SURFACES (S.F.)	22,773	d. TOTAL AREA OF SITE DISTURBED (ACRES):	.522
e. IMPERVIOUS SURFACES	EXISTING CONDITION (S.F.)	REPLACED (S.F.)	NEW (S.F.)
ROOF AREA(S)	0	0	0
PARKING	0	0	0
SW, PATIOS, PATHS ETC.	8,465	8,465	1,253
STREETS (PUBLIC)	0	0	0
STREETS/E.V.A (PRIVATE)	0	0	0
TOTAL IMPERVIOUS SURFACES	8,465	8,465	1,253
f. PERVIOUS SURFACES			
LANDSCAPING	14,308	7,425	0
PERVIOUS PAVING	0	0	5,630
OTHER PERVIOUS SURFACES	0	0	0
TOTAL PERVIOUS SURFACES	14,308	7,425	5,630
g) TOTAL PROPOSED REPLACED + NEW IMPERVIOUS SURFACES:			9,718
h) TOTAL PROPOSED REPLACED + NEW PERVIOUS SURFACES:			13,055
i) % OF REPLACEMENT OF IMPERVIOUS AREA IN REDEVELOPMENT PROJECTS:			100%

**KEY MAP**



**AREA 1**



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KEY PLAN

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NO. DESCRIPTION DATE



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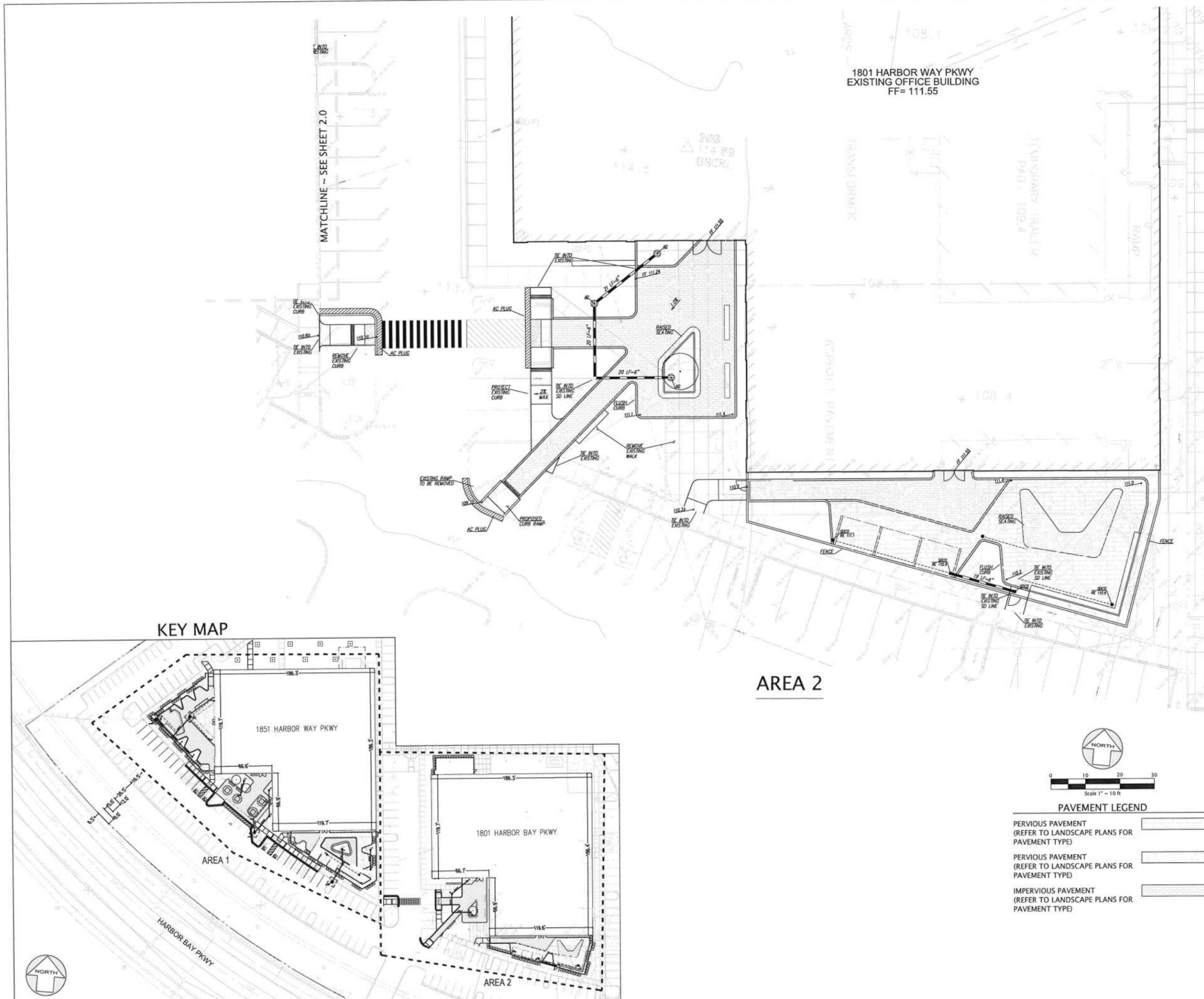
PROJECT NO. 17121

SCALE AS SHOWN

TITLE

**PRELIMINARY GRADING  
AND DRAINAGE**

**C2.1**

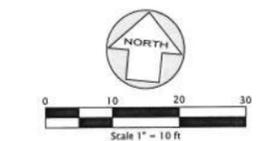


1801 HARBOR WAY PKWY  
EXISTING OFFICE BUILDING  
FF= 111.55

MATCHLINE ~ SEE SHEET 2.0

AREA 2

KEY MAP



**PAVEMENT LEGEND**

PERVIOUS PAVEMENT (REFER TO LANDSCAPE PLANS FOR PAVEMENT TYPE)	
PERVIOUS PAVEMENT (REFER TO LANDSCAPE PLANS FOR PAVEMENT TYPE)	
IMPERVIOUS PAVEMENT (REFER TO LANDSCAPE PLANS FOR PAVEMENT TYPE)	























FLOOR PLAN GENERAL NOTES:

- REFER TO GENERAL REQUIREMENT NOTES, CODE COMPLIANCE GENERAL NOTES, AND NEW CONSTRUCTION GENERAL NOTES ON DRAWING NO. AE011.
- FOR TYPICAL INTERIOR FRAMING DETAILS REFER TO DRAWING NO. AE511.
- REFER TO DRAWING NO. AE001 FOR THE WALL TYPE SCHEDULE AND TYPICAL DETAILS.
- PROVIDE BACKING IN WALLS AT, BUT NOT LIMITED TO, ALL LAB CASEWORK (BASE CABINETS, UPPER, TALL CABINETS), FUME HOODS, BSCS, FREE STANDING VIBES, METRO RACKS, PALLET RACKS, SAFETY EQUIPMENT (F.E., AED KITS, FIRST AID KITS, ETC.), FREE STANDING FLAMMABLE STORAGE CABINETS, CYLINDER RACKS, WALL MOUNTED EQUIPMENT, EQUIPMENT REQUIRING SEISMIC RESTRAINT, RESTROOM ACCESSORIES, CRASH RAILS, WHITE BOARDS, AND GUARDRAILS. REFER TO DETAIL 22020511 FOR TYPICAL BACKING DETAILS FOR ITEMS THAT WEIGH AND SUPPORT LESS THAN A TOTAL OF 100 LBS. ITEMS THAT WEIGH AND SUPPORT MORE THAN 100 LBS. WILL REQUIRE STRUCTURALLY ENGINEERED DETAILS AND CALCULATIONS.
- FURR AROUND ALL EXPOSED STRUCTURAL COLUMNS AND BEAMS, U.O.N.
- HOT WATER AND DRAIN PIPES ACCESSIBLE UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED.
- WHEN MORE THAN ONE SWITCH IS REQUIRED, GANG SWITCHES WITH ONE COVER PLATE.
- ELECTRICAL PANEL LOCATIONS THAT ARE OUTSIDE OF THE ELECTRICAL ROOMS/ CLOSETS SHOULD BE LOCATED PER ARCHITECTURAL DRAWINGS. WHERE DISCREPANCIES OCCUR BETWEEN ARCHITECTURAL AND ELECTRICAL CONTACT ARCHITECT FOR THEIR DIRECTION.
- EXAMINE AND VERIFY THAT ALL CABINETS AND PANELS TO BE PROVIDED HAVE ADEQUATE DEPTH ACCOMMODATE THE CABINET/PANEL.  
A. AT NON RATED WALLS INSTALL PER DETAIL 2/AE514.  
B. AT FIRE RATED WALLS, CABINET/PANELS MUST EITHER BE AN APPROVED FIRE TESTED, LISTED AND LABELED ASSEMBLY AND INSTALLED PER DETAIL 3/AE514, OR AT FIRE RATINGS OF THE WALL MUST CONTINUE BEHIND THE ACCESSORY PER DETAIL 4/AE514 AT 1-HOUR RATED WALLS, OR DETAIL 5/AE514 AT 2-HOUR FIRE RATED WALLS.
- RECESSED PANELS OR FIXTURES IN SOUND-RATED WALLS SHALL BE CONSTRUCTED PER DETAIL 7/AE514.
- PROVIDE CONTROL JOINTS AT GYPSUM BOARD WALLS PER SPECIFICATION SECTION 09210 AND PER DETAIL 1/AE514.
- OUTLET BOXES ON OPPOSITE SIDES OF A WALL SHALL BE SEPARATED BY 24" MINIMUM OR PER DETAIL 8/AE514.
- PROVIDE IDENTIFICATION OF FIRE RESISTIVE RATINGS ON EXISTING AND NEW FIRE RATED WALLS PER DETAIL 11/AE512.
- ALL OFFICE WALLS SHALL BE TYPE FA3S, UNLESS NOTED OTHERWISE.
- ALL LABORATORY WALLS SHALL BE TYPE FA6S, UNLESS NOTED OTHERWISE.

FLOOR PLAN LEGEND:

- 88A DOOR NUMBER (SEE SCHEDULE ON DWG. NO. AE002 AND AE003)
- WINDOW TYPE (SEE SCHEDULE ON DWG. NO. AE005)
- FA3S WALL TYPE DESIGNATION (SEE SCHEDULE ON DWG. NO. AE001)
- AED AUTOMATED EXTERNAL DEFIBRILLATOR IN FULLY RECESSED CABINET (SEE DETAILS 2, 3, 4 AND 5 ON DWG. NO. AE513)
- FAK FIRST AID KIT IN FULLY RECESSED CABINET (SEE DETAILS 2, 3, 4 AND 5 ON DWG. NO. AE513)
- FEC FIRE EXTINGUISHER CABINET FULLY RECESSED (SEE DETAILS 2, 3, 4 AND 5 ON DWG. NO. AE513)
- SCX SPILL CONTROL KIT IN FULLY RECESSED CABINET (SEE DETAILS 2, 3, 4 AND 5 ON DWG. NO. AE513)
- FE FIRE EXTINGUISHER WALL MOUNTED ON BRACKET
- CR CARD READER
- PO POWER OPERATOR
- CRPO CARD READER ACTIVATED POWER OPERATOR
- SI SOFT INTERLOCK
- IC INTERCOM (TWO-WAY COMMUNICATION SYSTEM)
- CS CODE SIGNAGE (REFER TO DWG NO. AE012)
- ALIGN (FACE OF FINISH TO FACE OF FINISH)
- CHAIN LINK FENCE
- EXISTING WALL NON-RATED
- EXISTING WALL 1HR FIRE RATED
- EXISTING WALL 2HR FIRE RATED
- NEW WALL NON-RATED - REFER TO WALL TYPES ON DRAWING NO. AE001
- NEW WALL 1HR FIRE RATED, FULL-HEIGHT - REFER TO WALL TYPES ON DRAWING NO. AE001
- NEW WALL 2HR FIRE RATED, FULL-HEIGHT - REFER TO WALL TYPES ON DRAWING NO. AE001

FLOOR PLAN KEY NOTES:

- (N) FIXTURES, FINISHES, AND TOILET PARTITIONS, TYP.
- (N) ELEVATOR
- (N) HIGH DENSITY FILE STORAGE SHELVING SYSTEM
- (N) EXTERIOR DOUBLE DOORS/STOREFRONT SYSTEM
- NEW GYP BO FLOORING AT EXTERIOR WALLS TO UNDERSIDE OF CEILINGS - TYP THROUGHOUT

STAMP

KEY PLAN

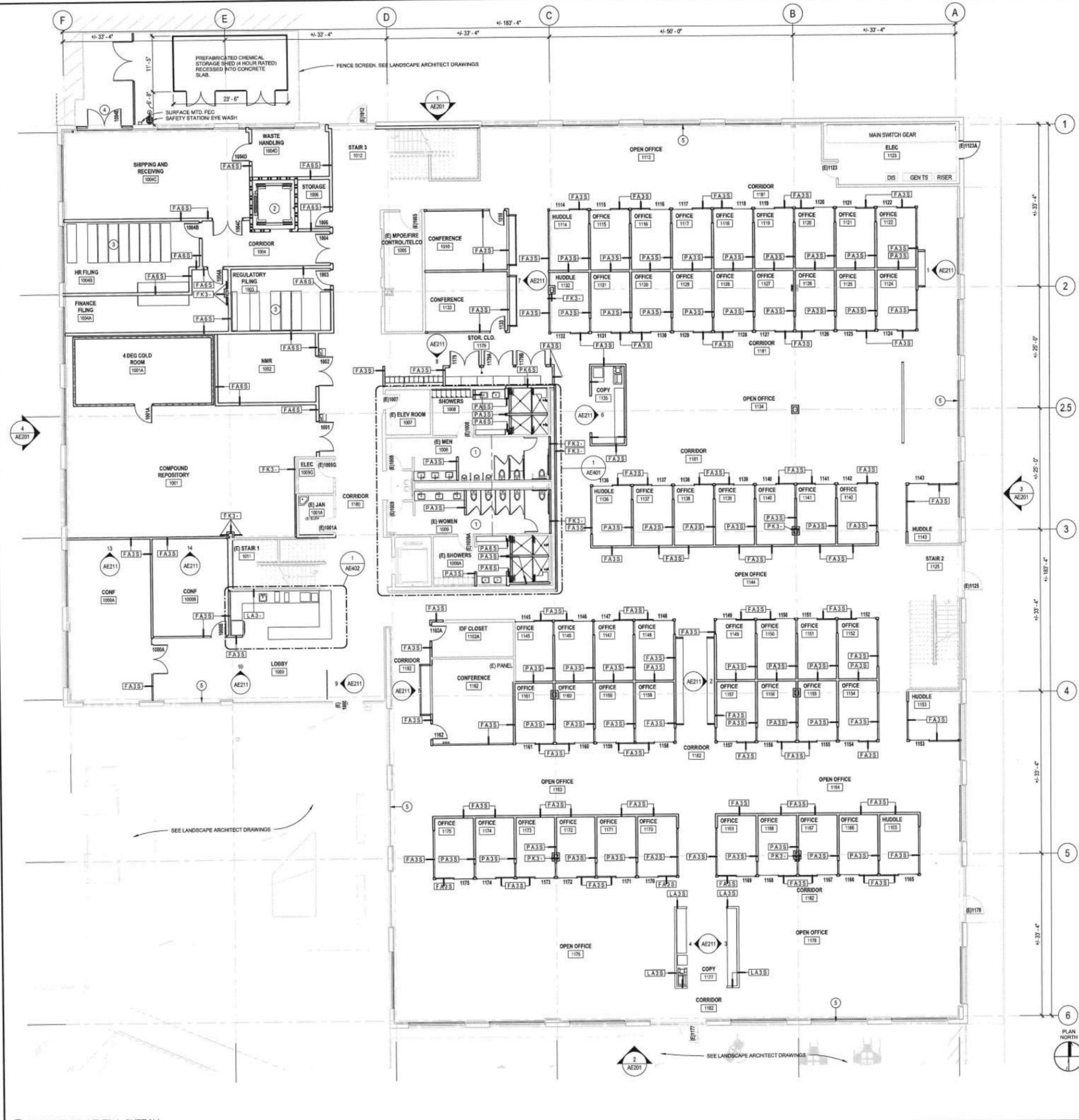
RESPONSE TO COMMENTS	09.14.17
PLANNING DEPT. SUBMITTAL	08.28.17
NO. DESCRIPTION	DATE



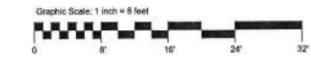
CLIENT EXELIXIS  
PROJECT TENANT IMPROVEMENTS  
ADDRESS 1801 HARBOR BAY PARKWAY ALAMEDA, CA 94502  
PROJECT NO. 17019  
SCALE 1/8" = 1'-0"  
TITLE

FLOOR PLAN - LEVEL I, OVERALL

AE101B



1 FLOOR PLAN - LEVEL I, OVERALL





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445 West Ash Street, San Diego, CA 92101 619.465.1990  
400 Capitol Mall, Suite 1540 Sacramento, CA 95814 916.441.6800

CONSULTANTS  
Landscape Architect  
Creo Landscape Architecture  
466 Geary Street, Suite 300  
San Francisco, CA 94102  
415.688.2506  
Civil Engineer  
Kier & Wright Civil Engineers & Surveyors, Inc.  
3350 Scott Blvd. Bldg #22  
Santa Clara, CA 95054  
408.727.8665

STAMP

KEY PLAN

RESPONSE TO COMMENTS	09.14.17	
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NO.	DESCRIPTION	DATE



CLIENT EXELIXIS

PROJECT TENANT IMPROVEMENTS

ADDRESS 1801 HARBOR BAY PARKWAY  
ALAMEDA, CA 94502

PROJECT NO. 17019

SCALE 1/8" = 1'-0"

TITLE

FLOOR PLAN - LEVEL 2, OVERALL

AE102B

FLOOR PLAN GENERAL NOTES:

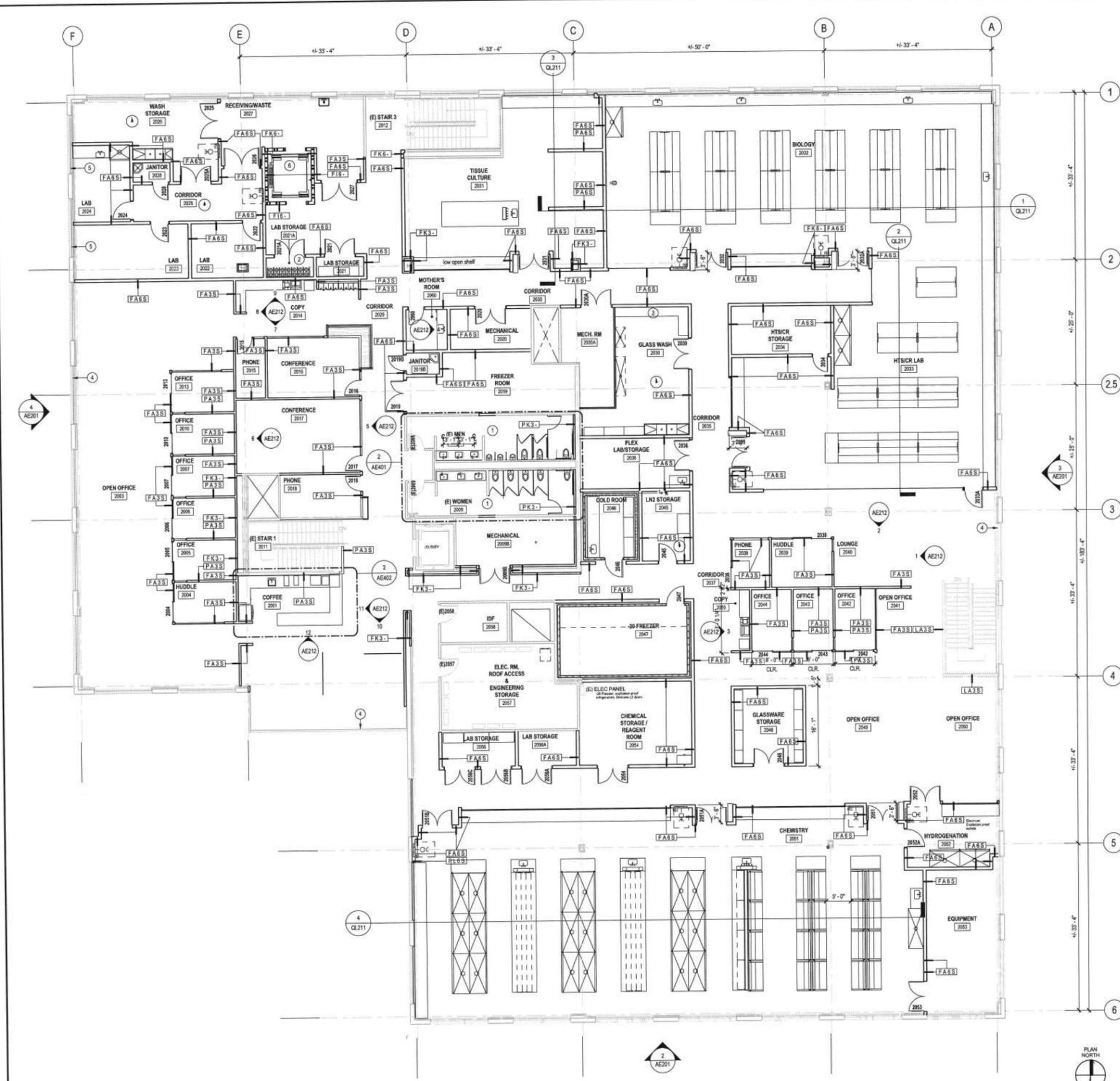
- REFER TO DRAWING NO. AE101B FOR GENERAL FLOOR PLAN NOTES.

FLOOR PLAN LEGEND:

- 81A DOOR NUMBER (SEE SCHEDULE ON DWG. NO. AE602 AND AE603)
- WINDOW TYPE (SEE SCHEDULE ON DWG. NO. AE605)
- FA3S WALL TYPE DESIGNATION (SEE SCHEDULE ON DWG. NO. AE601)
- AED AUTOMATED EXTERNAL DEBRIS EJECTOR IN FULLY RECESSED CABINET (SEE DETAILS 2, 3, 4 AND 5 ON DWG. NO. AE513)
- FAK FIRST AID KIT IN FULLY RECESSED CABINET (SEE DETAILS 2, 3, 4 AND 5 ON DWG. NO. AE513)
- REC FIRE EXTINGUISHER CABINET FULLY RECESSED (SEE DETAILS 2, 3, 4 AND 5 ON DWG. NO. AE513)
- SKK SPILL CONTROL KIT IN FULLY RECESSED CABINET (SEE DETAILS 2, 3, 4 AND 5 ON DWG. NO. AE513)
- FE FIRE EXTINGUISHER WALL MOUNTED ON BRACKET
- CR CARD READER
- PO POWER OPERATOR
- CRPO CARD READER ACTIVATED POWER OPERATOR
- SI SOFT INTERLOCK
- IC INTERCOM (TWO-WAY COMMUNICATION SYSTEM)
- WX CODE STORAGE (REFER TO DWG NO. AE612)
- ALIGN (FACE OF FINISH TO FACE OF FINISH)
- CHAIN LINK FENCE
- EXISTING WALL NON-RATED
- EXISTING WALL 1HR FIRE RATED
- EXISTING WALL 2HR FIRE RATED
- NEW WALL NON-RATED - REFER TO WALL TYPES ON DRAWING NO. AE601
- NEW WALL 1HR FIRE RATED, FULL-HEIGHT - REFER TO WALL TYPES ON DRAWING NO. AE601
- NEW WALL 2HR FIRE RATED, FULL-HEIGHT - REFER TO WALL TYPES ON DRAWING NO. AE601

FLOOR PLAN KEY NOTES:

- (N) FIXTURES, FINISHES, AND TOILET PARTITIONS, TYP.
- CO2 CYLINDER CLOSET
- S.S. COUNTERTOP
- NEW GYP BD FURRING AT EXTERIOR WALLS TO UNDERSIDE OF CEILINGS - TYP THROUGHOUT
- (N) GYP BD FURRING
- (N) ELEVATOR



1 FLOOR PLAN - LEVEL 2, OVERALL  
SCALE: 1/8" = 1'-0"











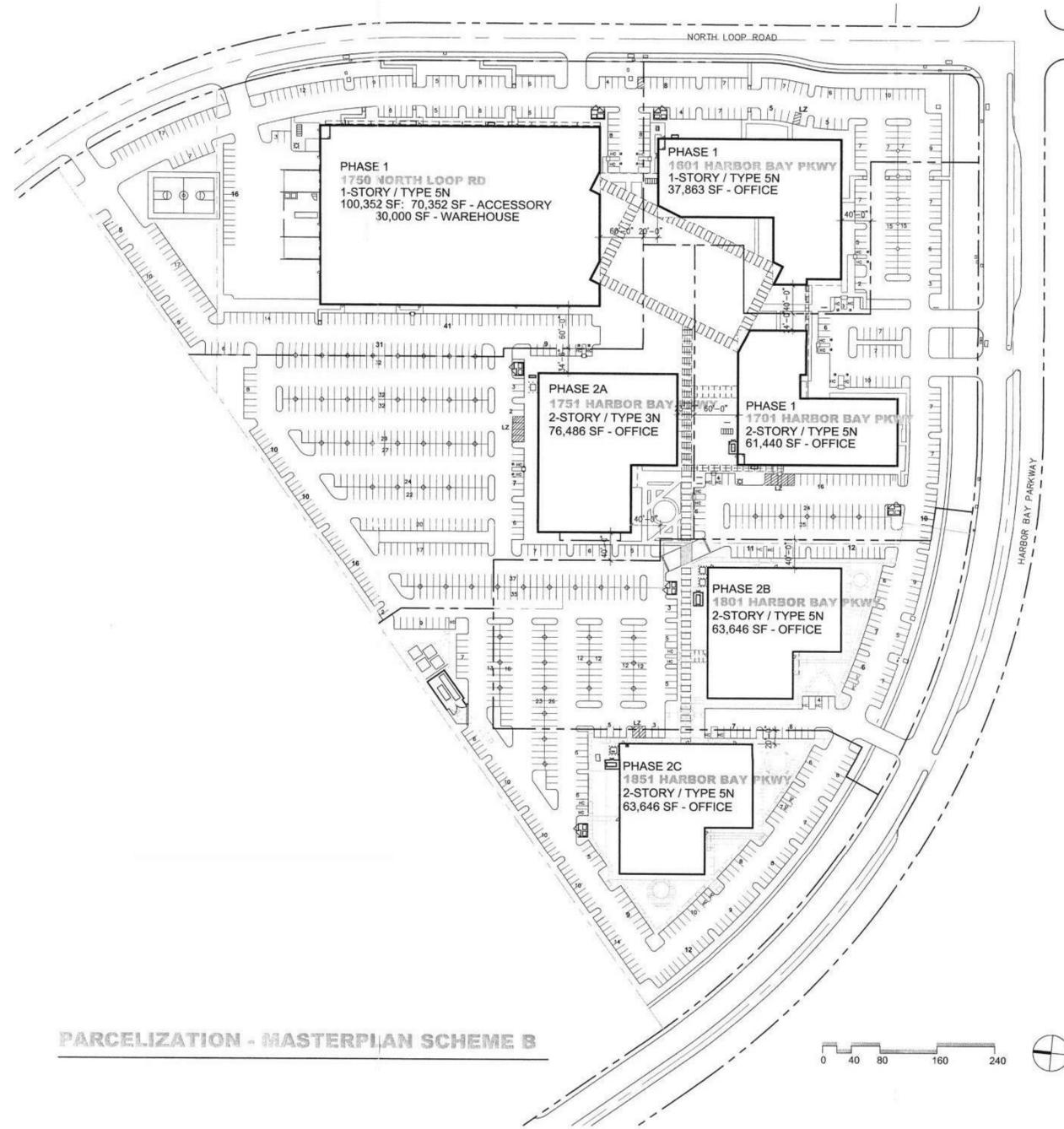




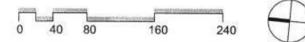
CONSULTANTS  
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### LUCENT CAMPUS SUBDIVISION

HARBOR BAY PARKWAY  
& NORTH LOOP ROAD  
ALAMEDA, CALIFORNIA



PARCELIZATION - MASTERPLAN SCHEME B



#### 1750 NORTH LOOP ROAD

SITE AREA	291,850 SF / 6.70 AC
BUILDING COVERAGE	100,352 SF / 34.3%
LANDSCAPE COVERAGE	XX,XXX SF / XX.X%
FAR	.343
BUILDING AREA	100,352 SF
ALLOWABLE FLOOR AREA	8,000 SF
AREA INCREASES	NONE
ADDITIONAL STORY	NONE
SEPARATION 3 SIDES	UNLIMITED AREA
FIRE SPRINKLERS	UNLIMITED AREA
PARKING REQUIRED	70,352 SF @ 1/ 800 = 88 30,000 SF @ 1/1500 = 20 108
PARKING PROVIDED	249

#### 1601 HARBOR BAR PARKWAY

SITE AREA	116,569 SF / 2.68 AC
BUILDING COVERAGE	37,863 SF / 32.5%
LANDSCAPE COVERAGE	XX,XXX SF / XX.X%
FAR	.325
BUILDING AREA	37,863 SF
ALLOWABLE FLOOR AREA	8,000 SF
AREA INCREASES	NONE
ADDITIONAL STORY	NONE
SEPARATION 3 SIDES	16,000 SF
FIRE SPRINKLERS	48,000 SF
PARKING REQUIRED	37,863 SF @ 1/200 = 189
PARKING PROVIDED	111

#### 1751 HARBOR BAY PARKWAY

SITE AREA	201,967 SF / 4.64 AC
BUILDING COVERAGE	38,121 SF / 18.9%
LANDSCAPE COVERAGE	XX,XXX SF / XX.X%
FAR	.379
BUILDING AREA	76,486 SF
ALLOWABLE FLOOR AREA	12,000 SF
AREA INCREASES	24,000 SF
ADDITIONAL STORY	16,000 SF
SEPARATION 3 SIDES	32,000 SF
FIRE SPRINKLERS	64,000 SF
PARKING REQUIRED	38,121 SF @ 1/200 = 191 38,365 SF @ 1/400 = 96 287
PARKING PROVIDED	355

#### 1701 HARBOR BAY PARKWAY

SITE AREA	163,269 SF / 3.75 AC
BUILDING COVERAGE	30,517 SF / 18.7%
LANDSCAPE COVERAGE	XX,XXX SF / XX.X%
FAR	.375
BUILDING AREA	61,440 SF
ALLOWABLE FLOOR AREA	8,000 SF
AREA INCREASES	16,000 SF
ADDITIONAL STORY	32,000 SF
SEPARATION 3 SIDES	64,000 SF
PARKING REQUIRED	30,517 SF @ 1/200 = 153 30,923 SF @ 1/400 = 77 230
PARKING PROVIDED	171

#### 1801 HARBOR BAY PARKWAY

SITE AREA	170,278 SF / 3.91 AC
BUILDING COVERAGE	30,271 SF / 17.8%
LANDSCAPE COVERAGE	52,399 SF / 30.8%
FAR	.377
BUILDING AREA	63,646 SF
ALLOWABLE FLOOR AREA	8,000 SF
AREA INCREASES	16,000 SF
ADDITIONAL STORY	32,000 SF
SEPARATION ALL SIDES	32,000 SF
FIRE SPRINKLERS	64,000 SF
PARKING REQUIRED	30,271 SF @ 1/200 = 151 33,375 SF @ 1/400 = 83 234
PARKING PROVIDED	235

#### 1851 HARBOR BAY PARKWAY

SITE AREA	163,353 SF / 3.75 AC
BUILDING COVERAGE	30,283 SF / 18.5%
LANDSCAPE COVERAGE	XX,XXX SF / XX.X%
FAR	.390
BUILDING AREA	63,646 SF
ALLOWABLE FLOOR AREA	8,000 SF
AREA INCREASES	16,000 SF
ADDITIONAL STORY	32,000 SF
SEPARATION 3 SIDES	64,000 SF
PARKING REQUIRED	30,283 SF @ 1/200 = 151 33,363 SF @ 1/400 = 83 234
PARKING PROVIDED	207

#### MASTER PLAN COMPOSITE

SITE AREA	1,106,967 SF / 25.41 AC
BUILDING COVERAGE	267,407 SF / 24.2%
LANDSCAPE COVERAGE	386,072 SF / 34.8%
FAR	.364
BUILDING AREA	403,433 SF
ALLOWABLE FLOOR AREA	167,055 SF @ 1/ 200 = 835 136,026 SF @ 1/ 400 = 340 70,352 SF @ 1/ 800 = 88 30,000 SF @ 1/1500 = 20 1,283
PARKING PROVIDED	1,328

#### MASTER PLAN LESS 1801 (LOT LINE ADJUSTMENT BALANCE)

SITE AREA	936,689 SF / 21.50 AC
BUILDING COVERAGE	237,136 SF / 25.3%
LANDSCAPE COVERAGE	333,673 SF / 35.6%
FAR	.363
BUILDING AREA	339,787 SF
ALLOWABLE FLOOR AREA	136,784 SF @ 1/ 200 = 684 102,651 SF @ 1/ 400 = 257 70,352 SF @ 1/ 800 = 88 30,000 SF @ 1/1500 = 20 1,049
PARKING PROVIDED	1,093

## F I M E

FEE MUNSON EBERT | ARCHITECTURE + DESIGN  
100 MONTGOMERY STREET SAN FRANCISCO CA 94111  
415.474.0330 FX 415.474.3468 WWW.FME-ARCH.COM

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Issues	Date
ISSUED FOR REVIEW	21 JUL 03
ISSUED FOR LOT LINE ADJUSTMENT	31 JUL 03
REVISED FOR PARKING SPACE COUNTS	6 OCT 15

Sheet Title

Produced on Acad2000

Project No/Path P:\A\_MILUCENT\SUBDIVISION\subdiv-schemeA

Scale 1"=80'-0"

Drawn TE

Checked

Sheet No.

STAMP



KEY PLAN

PLANNING DEPT. SUBMITTAL 08.28.17

NO. DESCRIPTION DATE



CLIENT EXELIXIS

PROJECT TENANT IMPROVEMENTS

ADDRESS 1851 HARBOR BAY PARKWAY  
ALAMEDA, CA 94502

PROJECT NO. 17019

SCALE

TITLE

REFERENCE EXISTING  
CAMPUS PARCEL MAP

FOR REFERENCE ONLY

AP002



DGA planning | architecture | interiors

530 Ellis Street, Mountain View, CA 94043 650-943-1660  
201 Filbert Street, 3rd Floor, San Francisco, CA 94133 415-477-2706  
445 West Ash Street, San Diego, CA 92101 619-485-3990  
400 Capitol Mall, Suite 1540, Sacramento, CA 95814 916-441-6802

CONSULTANTS  
Landscape Architect  
Creo Landscape Architecture  
466 Geary Street, Suite 300  
San Francisco, CA 94102  
415.688.2506  
Civil Engineer  
Kier & Wright Civil Engineers & Surveyors, Inc.  
3350 Scott Blvd, Bldg #22  
Santa Clara, CA 95054  
408.727.6665

STAMP

KEY PLAN

Table with 3 columns: NO., DESCRIPTION, DATE. Contains empty rows for stamping.

RESPONSE TO COMMENTS 09.14.17



CLIENT EXELIXIS  
PROJECT TENANT IMPROVEMENTS  
ADDRESS 1801 HARBOR BAY PARKWAY  
ALAMEDA, CA 94502  
PROJECT NO. 17019  
SCALE 1/2" = 1'-0"

TITLE  
CHEMICAL STORAGE SHED

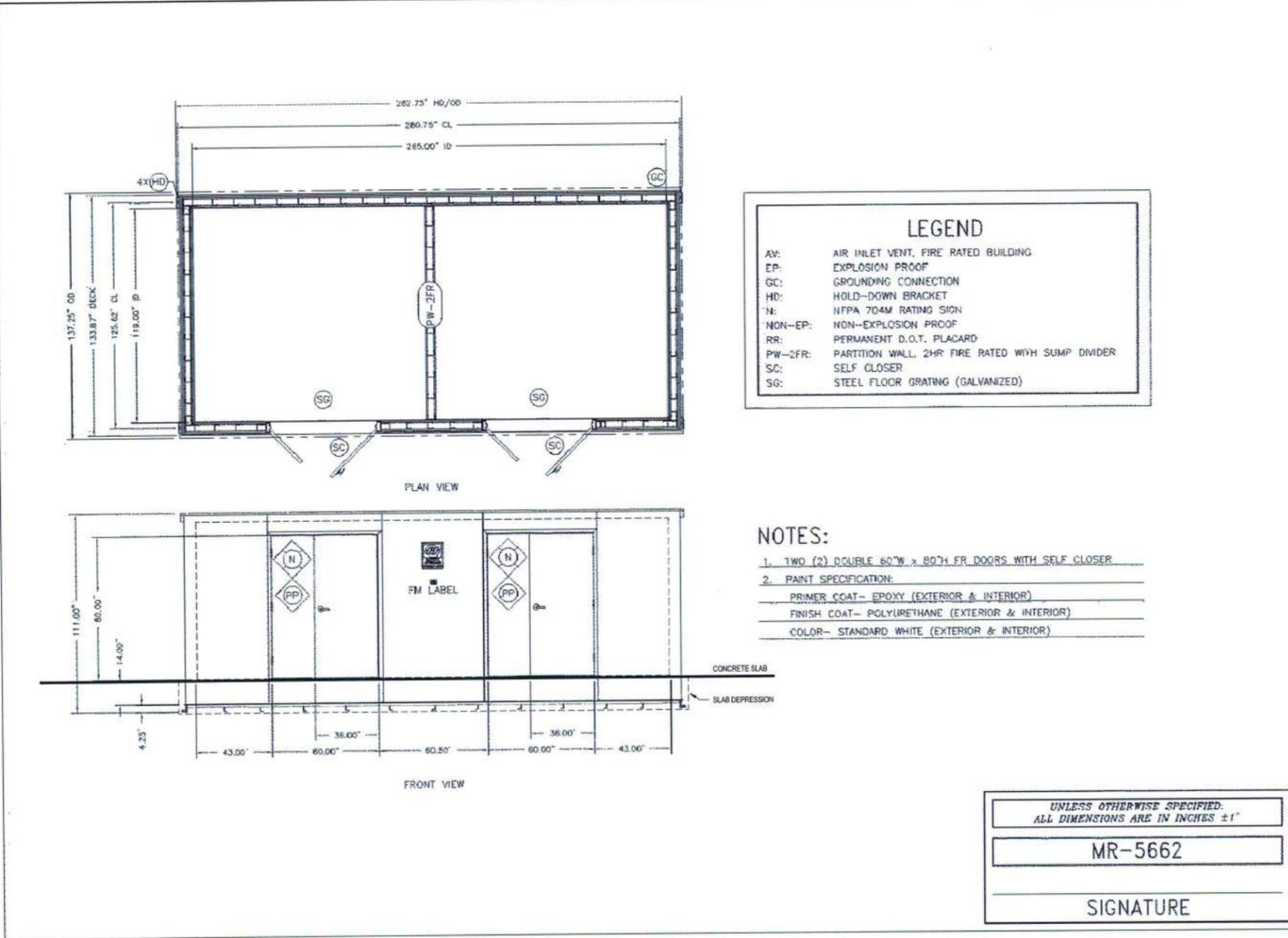


Table with 2 columns: REV, DATE. Contains drawing revision information.

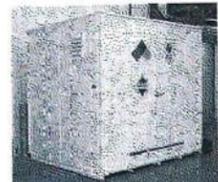
CUSTOMER EXILIXIS  
SSI MODEL: 2412-4FR  
SALES ORDER #:  
SERIAL #:



BUILDING LAYOUT  
D1



**Four-Hour Bi-Directional Fire-Rated (4FR/4FRE) Hazardous Material Storage Buildings**  
Four-Hour Models 4FR and 4FRE hazardous material storage buildings provide UL Approved 4-Hour Bi-Directional design (Standard U480) for added protection for the storage of drums, totes, compressed gas cylinders, bottles and other packages containing hazardous materials. Model 4FR is required for the storage of flammable materials where the storage building is located very close to other buildings and/or property lines or when the storage building is placed within another plant structure. Model 4FRE provides optional explosion control venting, if required.



- Noncombustible heavy gauge sheet steel
- Galvannealed sheet steel
- Structural channel and tube construction
- UL classified fire-resistive gypsum wall board

UNLESS OTHERWISE SPECIFIED:  
ALL DIMENSIONS ARE IN INCHES ±1"  
MR-5662  
SIGNATURE