



PERSPECTIVE RENDERING BY APDW

DEVELOPER

Paceline Investors LLC
 242 California St.
 San Francisco, CA 94111
 Jay Atkinson
 415-350-9976
 www.pacelineinvestors.com

LANDSCAPE ARCHITECT

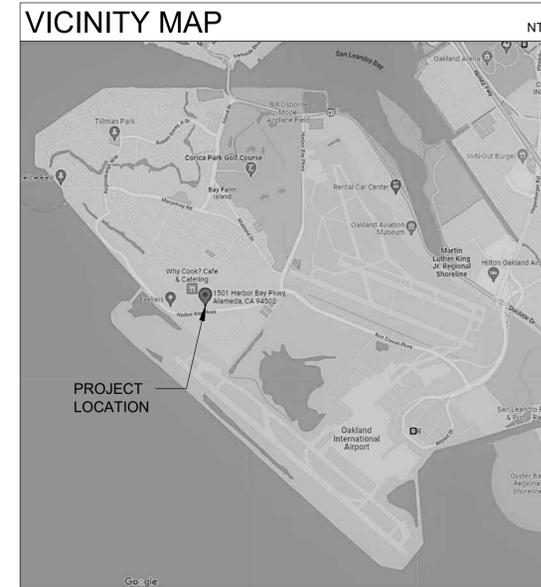
April Phillips Design Works, Inc
 4040 Civic Center Drive
 San Rafael, CA 94903
 April Phillips / FASLA, RLA
 aphillips@apdw.com

ARCHITECT OF MODULAR UNITS

Urban Bloc
 2350 Alvarado St., Building A
 San Leandro, CA 94577
 Jerry Jameson, CIO.
 510-798-8007
 jameson@urbanbloc.net

CIVIL ENGINEER

HMH | Land Development . Landscape Architecture
 Bill Sowa, RLA
 1570 Oakland Road
 San Jose, CA, 95131
 408-487-2200
 bsowa@hnhca.com



PROJECT AREA

TOTAL LOT AREA	107,596 SF (2.47 ACRES)
PROJECT SITE AREA (SEE LIMIT OF WORK ON L1.0)	9,285 SF (0.2 ACRE)

PROJECT CONTACT: PACELINE AND APDW

SHEET INDEX

COVER SHEET + SITE PLAN - APDW	
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L0.3	SITE RENDERING
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L1.0	LANDSCAPE MATERIALS PLAN
L2.0	LANDSCAPE IMAGERY
L3.0	LANDSCAPE PRELIM. DETAILS
URBAN BLOC - COMMERCIAL MODULAR UNITS, AS PERMITTED BY HCD STATE OF CA	
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A1.0	PLANS
A2.1	ELEVATIONS / SECTIONS
E.1	ELECTRICAL
P.1	PLUMBING
A5.1	DETAILS
2 - BEVERAGE	
A0.1	PROJECT DATA
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A2.1	ELEVATIONS / SECTIONS
E.1	ELECTRICAL
P.1	PLUMBING
A5.1	DETAILS
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A0.1	PROJECT DATA
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A2.2	SECTIONS
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A0.1	PROJECT DATA
A1.0	PLANS
A2.1	ELEVATIONS
A2.2	SECTIONS
E.1	ELECTRICAL
P.1	PLUMBING
A5.1	DETAILS



1501 HARBOR BAY PARKWAY - 'THE RADIUS'

1501 HARBOR BAY PARKWAY ALAMEDA, CA 94502



SD SITE PLAN SUBMITTAL
05/06/2022



APRIL PHILIPS DESIGN WORKS, INC.
 LANDSCAPE ARCHITECTURE - PLANNING - ILLUSTRATION
 4000 CINE CENTER DRIVE, STE. 200-10274
 SAN RAFAEL, CA 94903
 C. 415.729.4033 www.apdw.com

CLIENT:
PACELINE INVESTORS

**1501 HARBOR BAY -
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 1501 HARBOR BAY PARKWAY
 ALAMEDA, CA 94502**

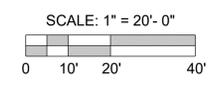
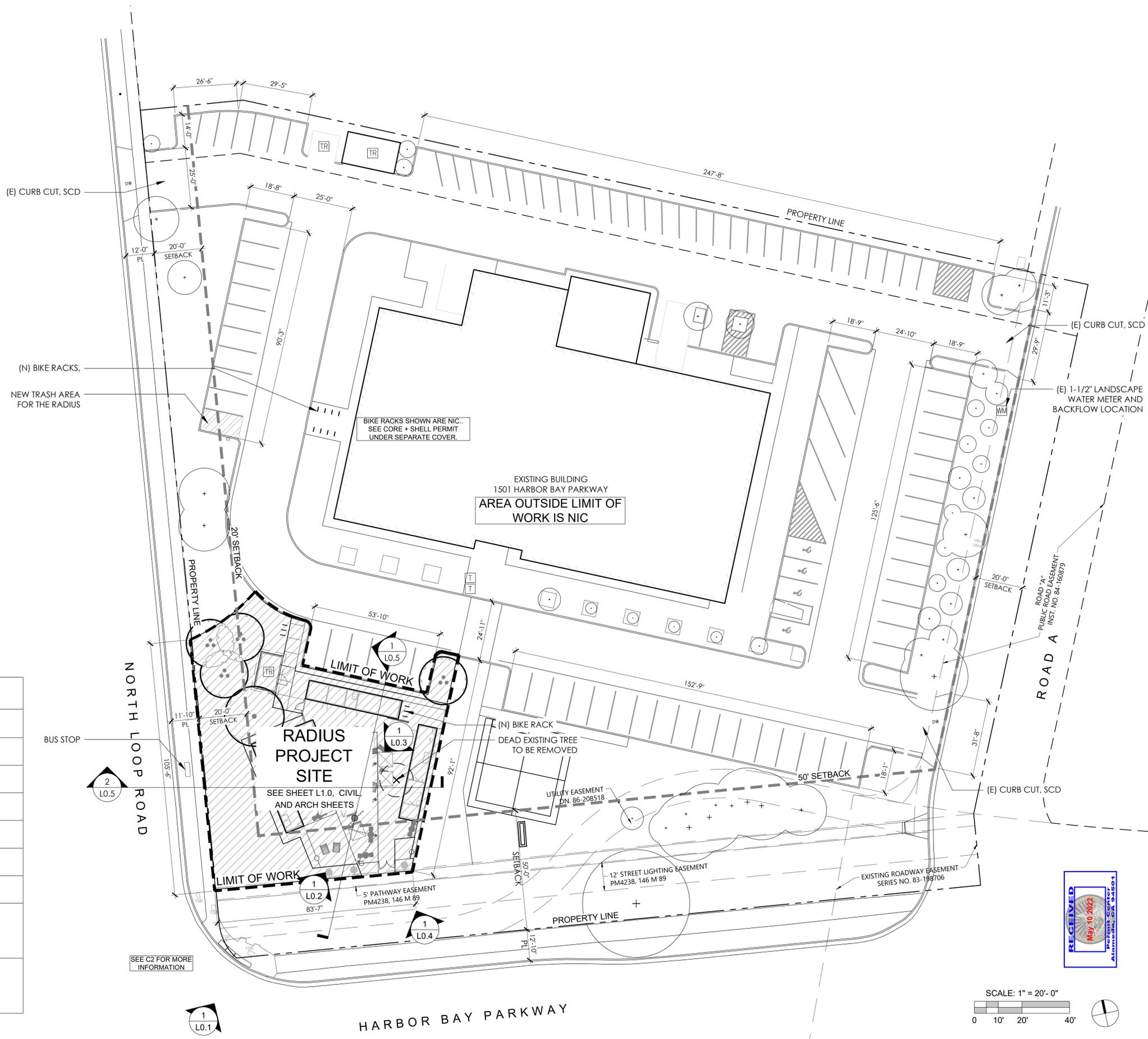
Date: 05/6/2022
 Project Number: 21dw313
 Drawn by: SB/CG
 Checked by: SB/AP
 Scale: As Noted

Date: FEB 10, 2022 Issue: PRE-APP SUBMITTAL
 MAY 6, 2022 PLANNING REVIEW

OVERALL SITE PLAN

L0.0

LEGEND	
	(E) 1-1/2" LANDSCAPE WATER METER AND BACKFLOW LOCATION
	COMPACT PARKING SPACE
	ACCESSIBLE PARKING SPACE
	PROPERTY LINE
	EASMENT, S.C.D.
	TRANSFORMER
	COVERED TRASH ENCLOSURE
	TREE TO REMAIN
	TREE TO REMOVE





1 RADIUS PLAZA BIRD'S EYE VIEW

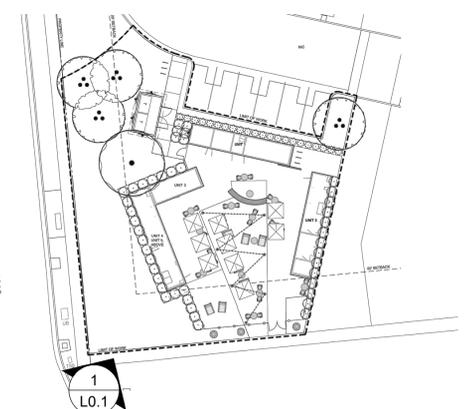


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1 SITE KEY
L0.1

SITE RENDERINGS

L0.1



1 RADIUS PLAZA PERSPECTIVE

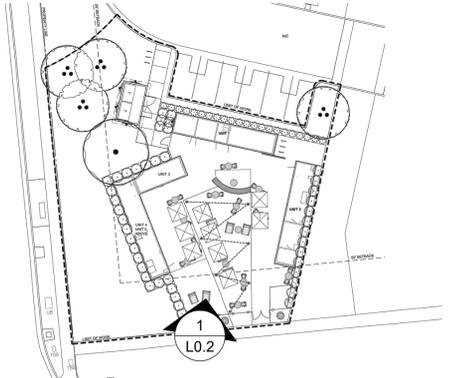


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1 SITE KEY

SITE RENDERINGS

L0.2



1 RADIUS PLAZA PERSPECTIVE

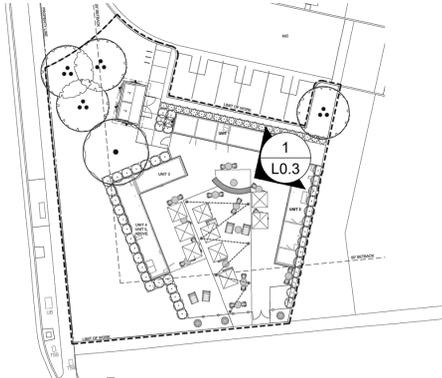


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1 SITE KEY

SITE RENDERING

L0.3



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4000 CMC CENTER DRIVE, STE 200-10274
SAN RAFAEL, CA 94903
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CLIENT:

**PACELINE
INVESTORS**

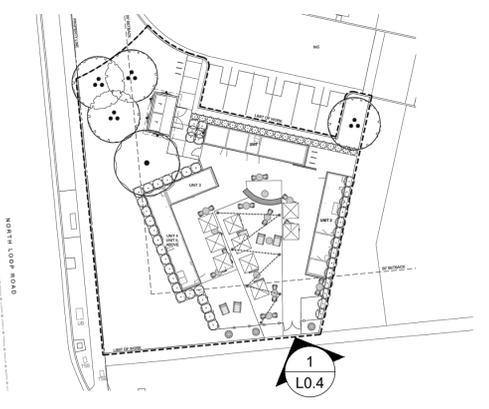
**1501 HARBOR BAY -
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1 RADIUS PLAZA PERSPECTIVE

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1 SITE KEY

**SITE
RENDERING**

L0.4



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 C.415.729.4033 www.apdwr.com

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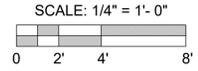
**1501 HARBOR BAY -
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 1501 HARBOR BAY PARKWAY
 ALAMEDA, CA 94502**



1 SECTION/ELEVATION: WEST
 1/4" = 1'-0"



2 SECTION/ELEVATION: NORTH
 1/4" = 1'-0"



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SITE SECTIONS
L0.5

SITE PHOTOS



1 VIEW FROM ROAD A AT HARBOR BAY PKWY



2 VIEW FROM HARBOR BAY PKWY TOWARD NORTH LOOP ROAD



3 VIEW FROM HARBOR BAY PARKWAY LOOKING TOWARD NORTH LOOP ROAD



4 VIEW FROM HARBOR BAY PARKWAY AT NORTH LOOP ROAD



5 VIEW FROM THE NORTH OF EXISTING BUILDING



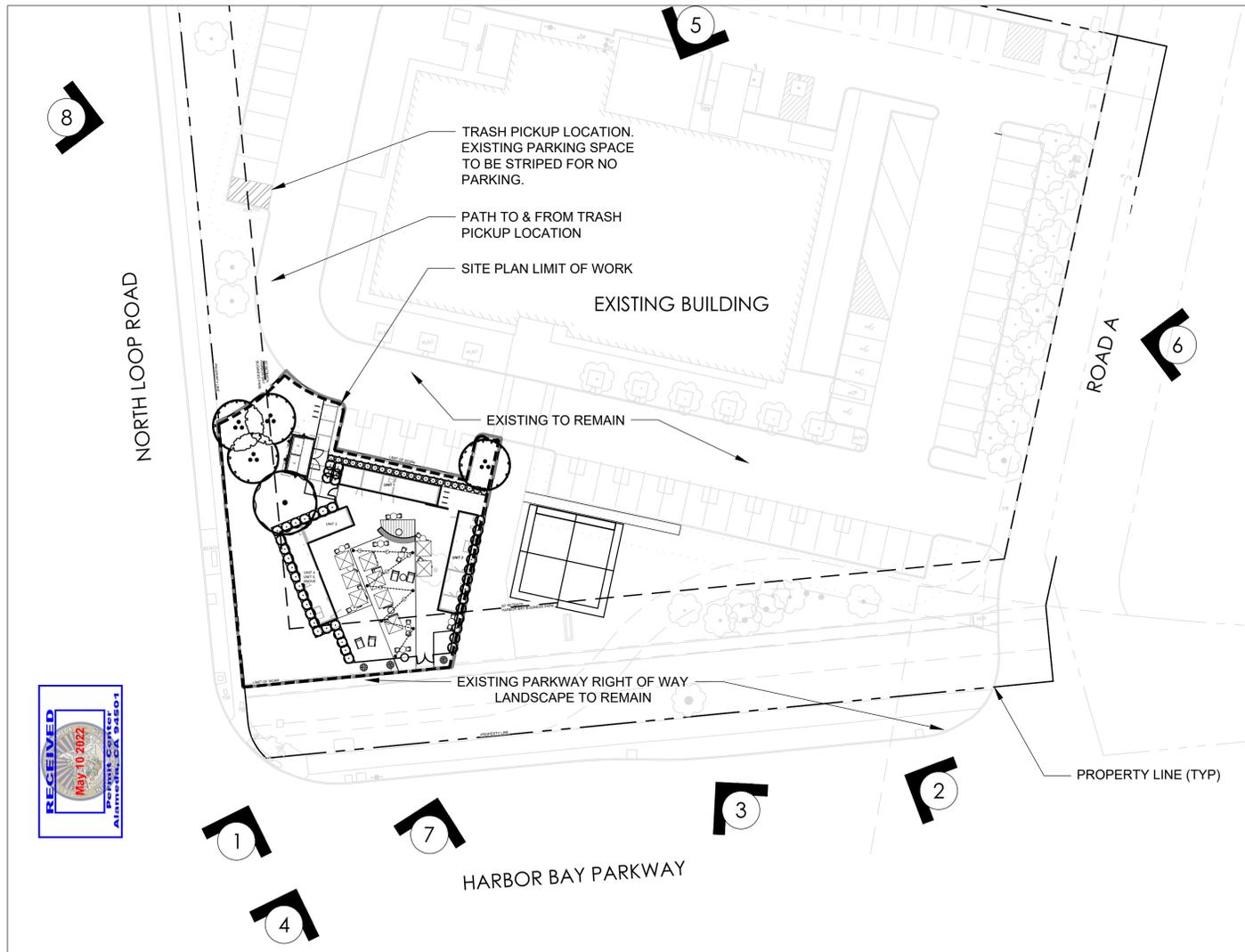
6 EAST ELEVATION OF EXISTING BUILDING



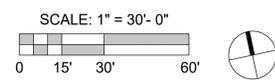
7 SOUTH ELEVATION OF EXISTING BUILDING



8 WEST ELEVATION OF EXISTING BUILDING



SITE PHOTO KEY MAP AND TRASH PICKUP PLAN



CLIENT:
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**1501 HARBOR BAY -
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Date:	05/6/2022
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SITE PHOTOS

L0.6



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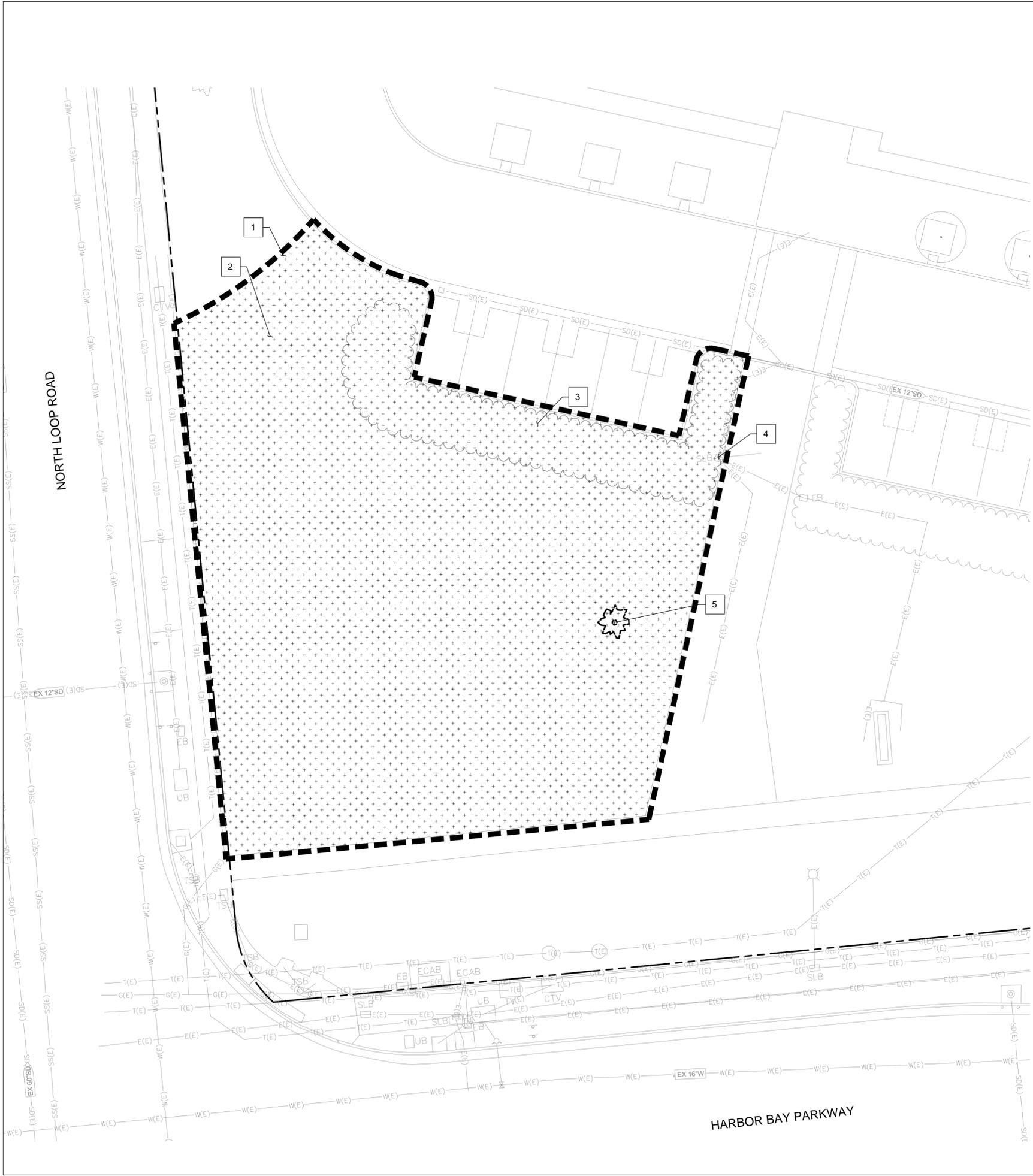


Date: 05/6/2022
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 Drawn by: DO/JLC
 Checked by: JLC
 Scale: As Noted

Date: FEB 10, 2022 Issue: PRE-APP SUBMITTAL
 MAY 6, 2022 PLANNING REVIEW

DEMOLITION PLAN

C1



DEMOLITION LEGEND:

- CLEAR AND GRUB LANDSCAPE
- LIMIT OF WORK
- TREE TO BE REMOVED
- TREE TO BE PROTECTED AND REMAIN IN PLACE.

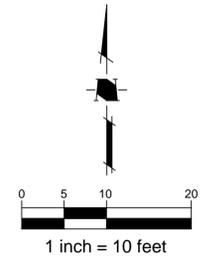
DEMOLITION NOTES

- 1 LIMITS OF WORK
- 2 CONTRACTOR TO REMOVE ALL EXISTING LANDSCAPE AND IRRIGATION EQUIPMENT IN THE LIMITS OF WORK
- 3 EXISTING VEGETATION TO BE REMOVED
- 4 EXISTING UTILITY BOX TO REMAIN, PROTECT IN PLACE
- 5 EXISTING TREE SEE LANDSCAPE PLANS FOR DISPOSITION

PROTECT ALL UTILITIES IN PLACE UNLESS OTHERWISE NOTED

ADDITIONAL DEMOLITION MAY BE REQUIRED BY ARCHITECTURE OR LANDSCAPE PLANS. SEE OTHERS FOR DEMOLITION LIMITS

DEMOLITION PLAN NOT APPROVED BY PUBLIC WORKS



UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.



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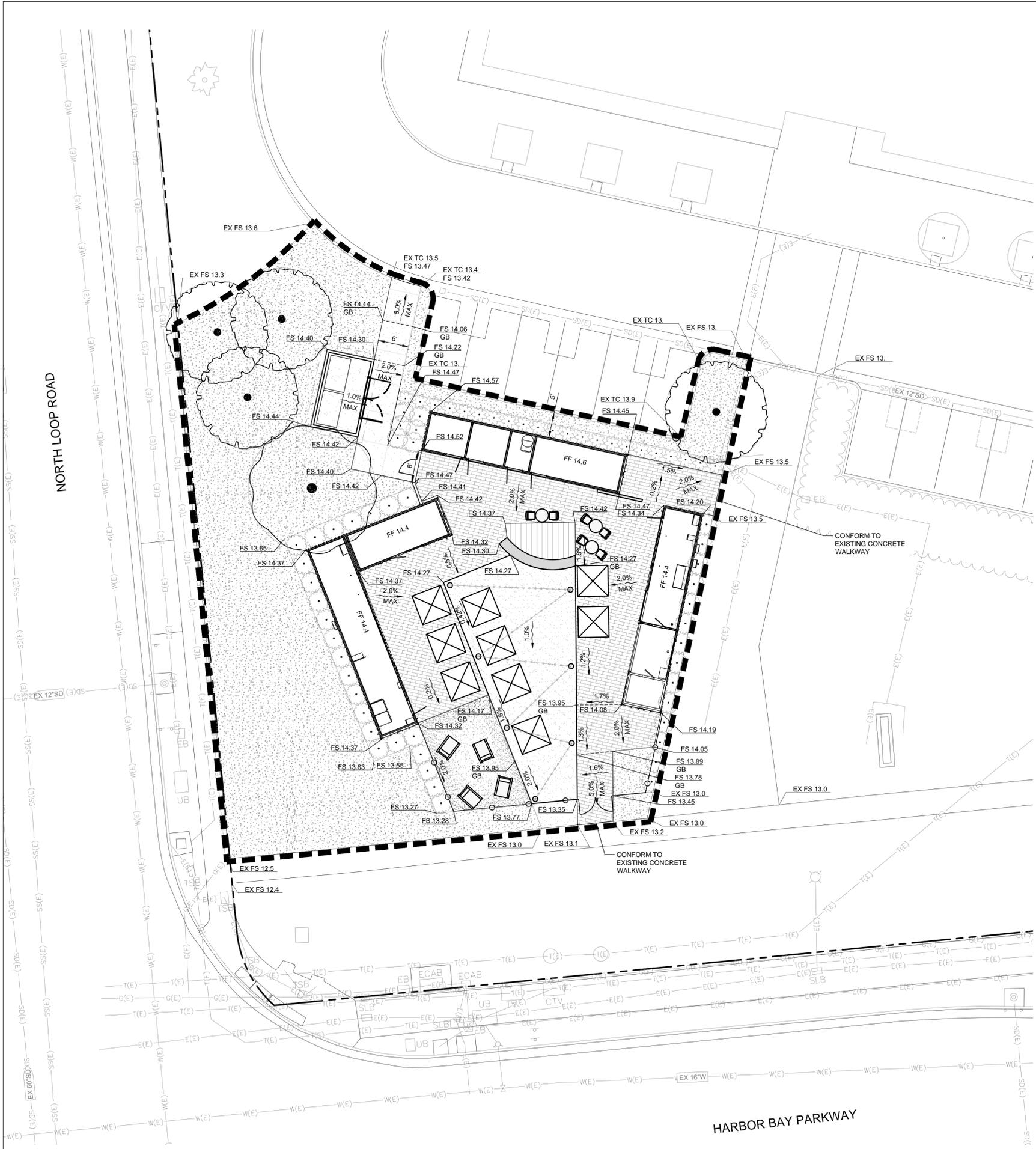
Date: FEB 10, 2022 Issue: PRE-APP SUBMITTAL
 MAY 6, 2022 Issue: PLANNING REVIEW

GRADING AND DRAINAGE PLAN

C3

GRADING LEGEND:

- PROPOSED CONCRETE
- PROPOSED PERMEABLE PAVERS (SEE LANDSCAPE PLANS)
- PROPOSED DECOMPOSED GRANITE (SEE LANDSCAPE PLANS)
- PROPOSED LAWN (SEE LANDSCAPE PLANS)
- PROPOSED LANDSCAPING (SEE LANDSCAPE PLANS)
- PROPOSED SHRUBS (SEE LANDSCAPE PLANS)
- LIMIT OF WORK
- DIRECTION OF SURFACE DRAINAGE
- EX EXISTING
- FF FINISHED FLOOR
- FG FINISHED GRADE
- FS FINISHED SURFACE
- GB GRADE BREAK
- PAD PAD ELEVATION
- TC TOP OF CURB





Date: 05/6/2022
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UTILITY PLAN

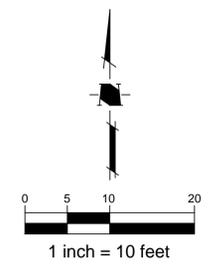
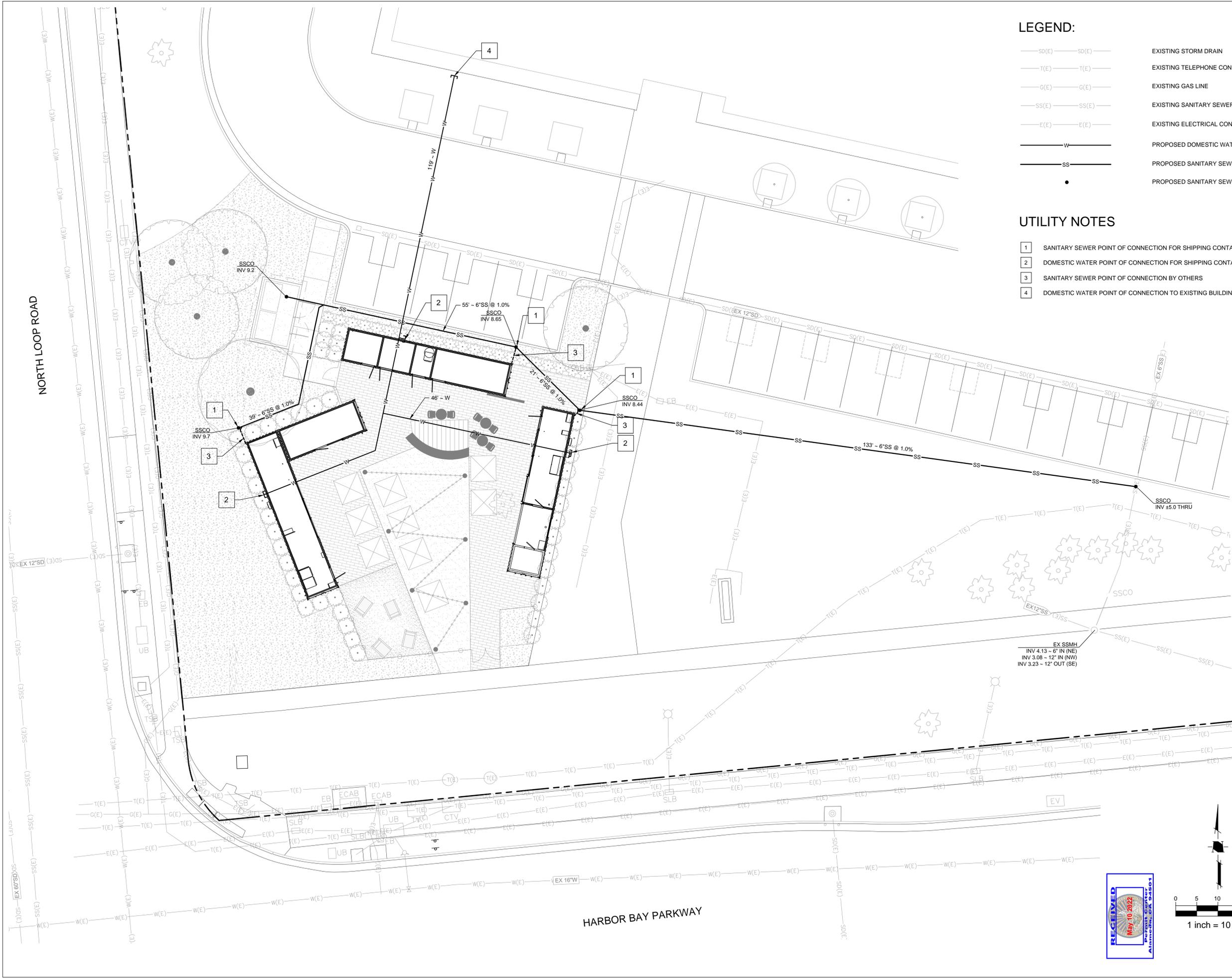
C4

LEGEND:

- SD(E)—SD(E)— EXISTING STORM DRAIN
- T(E)—T(E)— EXISTING TELEPHONE CONDUIT
- G(E)—G(E)— EXISTING GAS LINE
- SS(E)—SS(E)— EXISTING SANITARY SEWER
- E(E)—E(E)— EXISTING ELECTRICAL CONDUIT
- W— PROPOSED DOMESTIC WATERLINE
- SS— PROPOSED SANITARY SEWER
- PROPOSED SANITARY SEWER CLEANOUT

UTILITY NOTES

- 1 SANITARY SEWER POINT OF CONNECTION FOR SHIPPING CONTAINERS
- 2 DOMESTIC WATER POINT OF CONNECTION FOR SHIPPING CONTAINERS
- 3 SANITARY SEWER POINT OF CONNECTION BY OTHERS
- 4 DOMESTIC WATER POINT OF CONNECTION TO EXISTING BUILDING



Bay-Friendly Basics Landscape Checklist



This Bay-Friendly Basics Checklist is for all new construction and renovation of landscapes that are 2,500 square feet of irrigated area or greater and require a permit. The Bay-Friendly Basics represents the 9 required practices from the Bay-Friendly Landscape Scorecard. It is considered a minimum set of practices to improve the environmental performance of the landscape. Projects are recommended to meet all applicable measures on the checklist. For measures that are not applicable or are not in the project's scope of work, check "N/A" and make a note of why the measure does not apply to the project (attach additional sheets if necessary). For electronic copies of this checklist, and other Bay-Friendly Landscaping resources, visit: www.BayFriendly.org

Project: 1501 Harbor Bay - The Radius
 Address: 1501 Harbor Bay Parkway, Alameda, CA 94502
 Date: May 6, 2022

Earthwork & Soil Health

Yes No N/A	Measure & Requirement	Documentation	Notes
<input checked="" type="checkbox"/>	1. Mulch Requirement All soil on site is protected with a minimum of 3 inches of mulch after construction. Recommendation Use recycled or greenwaste mulch instead of landscape fabric. Trees identified for removal are chipped and used on site as mulch, on-site storage space permitting. Reference Bay-Friendly Landscape Guidelines, Practice 4.1; Bay-Friendly Guide to Mulch, available at www.BayFriendly.org . Provides sources of recycled mulch and proper application of mulch and information on sheet mulching.	<ul style="list-style-type: none"> Submit square footage of planting areas as well as cubic yards required to cover planting areas to a minimum three-inch (3") depth. Submit a delivery ticket or receipt of purchased mulch and/or Submit receipts for sheet mulching materials and/or (Optional) Submit photos of trees being chipped for mulch (if applicable). 	

<input checked="" type="checkbox"/>	2. Amend the Soil with Compost Before Planting Requirement Compost is specified as the soil amendment, at the rates indicated by a soil analysis to bring the soil organic matter content to a minimum of 3.5% by dry weight or 1 inch of compost. If the imported or site soil meets the organic content of 3.5% or more, then the requirement is waived. Recommendation Purchase compost from a producer who participates in the U.S. Composting Council's Standard Testing Assurance (STA) program to ensure quality. Reference Bay-Friendly Landscape Guidelines, Practice 4.1; Model Bay-Friendly Soil specifications, at www.BayFriendly.org ; U.S. Composting Council Standard Testing Assurance program explanation and list of participating producers can be found at: www.compostingcouncil.org	<ul style="list-style-type: none"> Submit the site soil or imported topsoil analysis. No soils analysis is required if 1" of compost is used. Submit a soil analysis report details from construction documents. Submit the receipt or delivery ticket for the compost, indicating the amount of the compost delivered/purchased. <p><i>If a waiver is requested based on soil organic matter content or the needs of plant palette, Submit a completed plant palette with species that need little/no soil organic matter identified, and include the source of information on their soil needs OR</i></p> <ul style="list-style-type: none"> Submit a soils report that indicates the soil has an organic matter content of 3.5% or greater. 	
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Materials

<input checked="" type="checkbox"/>	3. Reduce and Recycle Landscape Construction Waste Requirement Divert 50% of landscape construction and demolition waste by weight. Verify the local jurisdiction's minimum requirement and reporting procedures for construction and demolition (C&D) recycling. Reference: StopWaste.Org, Builders' Guide to Reuse & Recycling; A Directory for Construction and Demolition Materials and sample Waste Management Plan for recycling C&D materials at www.BuiltGreenNow.org .	<ul style="list-style-type: none"> State the percent diversion goal in the design documents. List specific goals and recycling and reuse requirements in plans and specifications. Require contractors to review the waste management plan with subcontractors and to include contract language requiring subcontractors comply with the plan. Prior to construction, complete a construction waste management plan. The City should provide a sample template, or one can be downloaded at www.BuiltGreenNow.org. After construction, provide final waste management plan with backup documentation. If materials were sent to a C&D Recycling facility, apply a facility average diversion rate because not all materials can be recycled. Most large C&D facilities have a calculated diversion rate and can provide you with documentation stating the percentage of materials recycled at that facility (typically 50% to 90%). 	
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Planting

<input checked="" type="checkbox"/>	4. Choose & Locate Plants to Grow to Natural Size Requirement Species will be selected and plants spaced to allow them to grow to their natural size and shape. Pruning for structural integrity and health of plant is permitted. In addition, plants located in a row or adjacent to buildings, sidewalks or roads will be spaced between their minimum and maximum mature plant spread according to a published reference plant book and will fit into their planting area without significant overhang. Trees must meet the spacing requirements only when adjacent to buildings, in a row or other adjacent to other vertical obstructions. Vines are not subject to spacing requirements. Reference Bay-Friendly Landscape Guidelines, Practices 2.1; Bay-Friendly Plant lists are available at www.BayFriendly.org ; Bronstein, Carol, David Fross and Bart O'Brien, California Native Plants for the Garden; East Bay Municipal Utility District, Plants and Landscapes for Summer Dry Climates; Sunset, Western Garden Book.	<ul style="list-style-type: none"> Submit plant legend indicating plant species, spacing and mature spread of plant. Indicate the source of information on spacing and spread. Submit a statement signed by the Landscape Architect, Designer or Contractor verifying that installed plants meet this requirement. 	
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<input checked="" type="checkbox"/>	5. Do Not Plant Invasive Plant Species Requirement None of the plant species listed by CAL-IPC's Don't Plant a Pest as invasive in the San Francisco Bay Area are included in the planting plan. Definition An invasive species is defined as a species that is non-native (or alien) to the ecosystem under consideration and whose introduction causes or is likely to cause economic or environmental harm or harm to human health. Federal Executive Order 13111. Reference Bay-Friendly Landscape Guidelines, Practice 2.1d; Don't Plant a Pest brochure for trees and plants available at www.cal-ipc.org ; www.cal-ipc.org/inventory/wedlist.php .	<ul style="list-style-type: none"> Compare the complete list of plants in the plant palette to the Cal-IPC list of plants that are invasive to the San Francisco Bay Area. Submit the complete plant palette. Submit a statement signed by the Landscape Architect, Designer or Contractor confirming that no invasive species were substituted for specified species. 	
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<input checked="" type="checkbox"/>	6. Grow drought tolerant CA native, Mediterranean or climate adapted plants Requirement A minimum of 75% of the total number of plants in non-turf areas must be species that require no or little summer watering once established. Species should be adapted to the climate in which they will be planted, as referenced by a published plant reference. If plants are given a range of water needs from "occasional to moderate" for example, the landscape designer must determine if the plant will require either occasional or moderate watering based on site, soil, and climate conditions and categorize the plant appropriately. Recommendation California or Mediterranean species are strongly recommended. Reference Bay-Friendly Landscape Guidelines Practice 4.2; www.water.ca.gov/docs/wuools00.pdf .	<ul style="list-style-type: none"> Submit a plant legend that identifies species, number of plants, irrigation requirements (and reference source of the water requirement), total number of drought tolerant plants and total number of non-turf plants. (download a Bay-Friendly plant legend template to facilitate this process at www.BayFriendly.org). Submit a statement signed by the Landscape Architect, Designer or Contractor verifying that installed plants meet this requirement. 	
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Yes No N/A	Measure & Requirement	Documentation	Notes
<input checked="" type="checkbox"/>	7. Minimize the lawn Requirement A maximum of 25% of total irrigated area is specified as turf, with sports or multiple use fields exempted. Reference Bay-Friendly Landscape Guidelines, Practice 4.3; Bay-Friendly Lawn Alternatives plant list at www.BayFriendly.org ; Brooklyn Botanic Garden Publications, Easy Lawns, Low Maintenance Native Grasses for Gardeners Everywhere.	<ul style="list-style-type: none"> Submit calculations of square feet of turf, excluding sports and multiple use fields, and square feet of total irrigated area. Submit planting plans with sports and multiple use fields identified. Include a statement about the purpose of multiple use fields. Submit as statement signed by the Landscape Architect, Designer or Contractor that installed turf meets the requirements for this credit. 	

<input checked="" type="checkbox"/>	8. Specify Weather-Based Irrigation Controllers (automatic, self-adjusting) that includes a Moisture & Rain Sensor Shut-off Requirement Weather-based irrigation controllers, soil moisture based controllers or other self-adjusting irrigation controllers, shall be required for all irrigation systems. Reference Bay-Friendly Landscape Guidelines, Practice 4.6; EBIMUD website has a list of recommended self-adjusting controllers at www.ebimud.com .	<ul style="list-style-type: none"> Submit the make and model and product sheet of the irrigation controller. Provide a statement signed by the Landscape Architect, Designer or Contractor that the installed controller is a self-adjusting model and includes shut off capacity. 	
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<input checked="" type="checkbox"/>	9. Sprinkler & Spray Heads are Not Specified for Areas Less Than 8 Feet Wide Requirement Sprinkler and spray heads are not specified in areas less than or equal to 8 feet wide to prevent overspray and runoff. Acceptable alternatives include drip, subsurface drip, bubblers or no irrigation. Bubblers shall not exceed 1.5 gallons per minute per bubbler.	<ul style="list-style-type: none"> Submit statement signed by the Landscape Architect, Designer or Contractor verifying that irrigation as installed does not have sprinkler or spray heads in planted areas less than 8 feet wide. 	
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Yes No N/A	Measure & Requirement	Documentation	Notes
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Bay-Friendly Basics: Bay-Friendly Basics represents the 9 required practices in the Bay-Friendly Landscape Scorecard. Landscapes that achieve the Bay-Friendly Basics will achieve significant environmental benefits for the project and community as well as taking the first step toward becoming a Bay-Friendly Rated Landscape. If a project is interested in seeking to qualify as a Bay-Friendly Rated Landscape, it must also earn a minimum of 60 points on the Bay-Friendly Landscape Scorecard and be evaluated by a qualified Bay-Friendly Rater. Please visit www.BayFriendlyCoalition.org to learn more about taking this next step in sustainability. The Bay-Friendly Basics is not a substitute for exercising sound judgment in particular circumstances. Rather, the Bay-Friendly Basics is designed to help local governments raise the minimum environmental requirements for landscape projects that require a permit.

This checklist works well with the Small Commercial Green Building Checklist available at www.stopwaste.org/smallcommercial.

Version 2.1, December 2011

Page 4 of 4



GENERAL NOTES:

- DESIGN SHALL MEET ALL APPLICABLE STATE AND LOCAL CODES.
- SEE CIVIL PLANS FOR GRADES, STORMWATER MANAGEMENT, AND ADA PATH OF TRAVEL.
- LIGHTING TO BE LOW LEVEL AND DARK SKY COMPLIANT.
- VERIFY EXISTING SITE INFORMATION, INCLUDING GRADES, UTILITIES, PROPERTY LINES, SETBACKS, EASEMENTS, LIMITS OF ROADWAYS, CURBS AND GUTTERS.
- PROVIDE WRITTEN NOTIFICATION OF ANY DISCREPANCIES BETWEEN EXISTING AND PROPOSED SITE IMPROVEMENTS. CONTRACTOR SHALL REVIEW THESE PLANS THOROUGHLY, MAKE A DETAILED SITE VISIT, AND SHALL BRING ANY INCONSISTENCIES, SITE LAYOUT PROBLEMS, OR ANY OTHER REQUESTS FOR CLARIFICATION TO THE LANDSCAPE ARCHITECT FOR RESOLUTION PRIOR TO THE DELIVERY OF ANY BID. FAILURE TO DO SO SHALL CAUSE THE CONTRACTOR TO BE INELIGIBLE FOR EXTRAS RELATING TO SUCH MATTERS.
- INFORMATION ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS APPROXIMATIVE ONLY. DRAWINGS ARE GENERALLY DIAGNOSTIC AND INDICATIVE OF THE WORK TO BE INSTALLED, BEFORE PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL CHECK AND VERIFY ALL EXISTING CONDITIONS AND INFORM THE LANDSCAPE ARCHITECT OF ANY DISCREPANCY BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS. THE CONTRACTOR SHALL EXERCISE CARE IN EXCAVATING AND WORKING NEAR EXISTING UTILITIES AND STRUCTURES.
- ALL MATERIALS, FINISHES, MANUFACTURED ITEMS AND EQUIPMENT SHALL BE INSTALLED IN FULL ACCORDANCE WITH THE SUPPLIER'S OR MANUFACTURER'S WRITTEN RECOMMENDATIONS OR THESE DOCUMENTS, WHICHEVER IS MOST STRINGENT.
- LOCATE, IDENTIFY, AND CLEARLY MARK UNDERGROUND UTILITY LINES, PIPES, CABLES, AND CONDUITS. PROTECT EXISTING SEWER AND DRAIN LINES FROM DAMAGE. THE CONTRACTOR SHALL EXERCISE CARE IN EXCAVATING AND WORKING NEAR EXISTING UTILITIES AND STRUCTURES.
- PROVIDE CONSTRUCTION BARRIERS AS REQUIRED. PROTECT ADJACENT PROPERTY.
- SCALE APPLIES TO FULL-SIZED DRAWINGS ONLY. DO NOT SCALE FROM REDUCED DRAWINGS.
- CONTRACTOR TO DIVERT 50% OF LANDSCAPE CONSTRUCTION AND DEMOLITION WASTE BY WEIGHT. VERIFY ALAMEDA MINIMUM REQUIREMENTS AND REPORTING PROCEDURES FOR CONSTRUCTION AND DEMOLITION (C&D) RECYCLING.

PLANTING & WATER USE NOTES:

- ALL PLANT GROUPS ARE DESIGNED FOR LOW WATER USE, AND LAID OUT BY WATER ZONES DEPENDING ON WATER NEEDS. ALL PLANTING IS WATERED BY DRIP, BUBBLERS OVERHEAD, OR SUB-SURFACE IRRIGATION.
- ALL GROUND COVER PLANTING AREAS ARE EXPECTED TO UNIFORMLY COVER THE PLANTING AREA IN TWO (2) YEARS. ALL SHRUB PLANTING AREAS ARE EXPECTED TO UNIFORMLY COVER THE PLANTING AREA IN FIVE (5) YEARS.
- PRIOR TO THE PLANTING OF ANY MATERIAL, COMPACTED SOILS SHALL BE TRANSFORMED TO A FRIABLE CONDITION.
- ALL NEW PLANTING AREA SHALL HAVE A MINIMUM OF 3" DEPTH LAYER OF ORGANIC MULCH APPLIED. STABILIZING MULCH PRODUCTS SHALL BE APPLIED TO SLOPES OF 3 TO 1 OR GREATER.
- A SOIL ANALYSIS SHOULD BE PERFORMED DETERMINING THE SOIL TEXTURE, ORGANIC MATTER AND ESSENTIAL NUTRIENTS. SOIL INFILTRATION RATE, MEASURE OF PH AND TOTAL SOLUBLE SALTS. ALL RECOMMENDATIONS SHALL BE ORGANIC AND NON-SYNTHETIC AND BASED ON RECYCLED WATER USE. TOP SOIL SHALL BE STOCKPILED ON SITE AS SPACE ALLOWS.
- PROTECT EXISTING TREES PER ARBORISTS' RECOMMENDATIONS.
- AMENDMENTS OF SOILS DESIGNED TO PROMOTE HEALTHY WATER AND AIR ACCESS TO THE ROOT ZONE OF TREES TO BE PLANTED WITHIN 5 FEET OF ANY PAVEMENT OR OTHER COMPACTED AREA AND THE AMOUNT OF COMPOST SHALL ACHIEVE A MINIMUM OF 3.5% ORGANIC MATTER CONTENT BY DRY WEIGHT UNLESS SOIL REPORT RECOMMENDS AN ALTERNATIVE PERCENT OF ORGANIC MATTER TAILORED TO THE PLANT MATERIALS SPECIFIED IN THE LANDSCAPE DESIGN PLAN.
- SEE CIVIL DRAWINGS FOR STORMWATER AND GRADING INFORMATION.

IRRIGATION DESIGN NOTES:

- THE PROPOSED IRRIGATION DESIGN IS TO BE SERVED BY THE EXISTING 1-1/2" WATER METER AND BACKFLOW, IN ACCORDANCE WITH THE CITY OF ALAMEDA'S REQUIREMENTS.
- AN AUTOMATIC IRRIGATION CONTROLLER UTILIZING EITHER EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA UTILIZING NON-VOLATILE MEMORY SHALL BE USED FOR IRRIGATION SCHEDULING ON THE PROPOSED IRRIGATION SYSTEM. CONTROLLER TO BE HUNTER RAINBIRD, OR EQUAL.
- A PRESSURE-REGULATING DEVICE IS REQUIRED TO ENSURE THAT THE DYNAMIC PRESSURE AT EACH EMISSION DEVICE IS WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE FOR OPTIMAL PERFORMANCE.
- A WEATHER SENSOR IS TO BE INSTALLED TO PREVENT IRRIGATION DURING WINDY WEATHER, FREEZING WEATHER, OR RAIN.
- MANUAL SHUT OFF VALVES SHALL BE INSTALLED AT THE POINT OF CONNECTION, VALVE CLUSTERS, AND EVERY LOCATION WHERE THE IRRIGATION MAINLINE PASSES UNDER 2' OF HARDSCAPE MATERIAL.
- A BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED TO PROTECT THE LOCAL WATER SUPPLY FROM CONTAMINATION. PER CITY OF ALAMEDA REQUIREMENTS.
- FLOW SENSOR(S) SHALL BE INSTALLED AS NECESSARY TO DETECT, ALERT, AND PREVENT HIGH FLOW CONDITIONS OR MALFUNCTIONS.
- IRRIGATION CONTROL VALVES, HUNTER, RAINBIRD, OR EQUAL, SHALL BE INSTALLED.
- THE IRRIGATION SYSTEM IS DESIGNED TO PREVENT RUNOFF, LOW HEAD DRAINAGE, OVERSPRAY, OR OTHER SIMILAR CONDITIONS WHERE IRRIGATION WATER FLOWS ONTO NON-TARGET AREAS, SUCH AS ADJACENT PROPERTY, NON-IRRIGATED AREAS, HARDSCAPES, ROADWAYS, OR STRUCTURES.
- INFORMATION GATHERED DURING THE SOIL ANALYSIS REPORT HAS BEEN USED TO DEVELOP THE INCLUDED IRRIGATION SYSTEM.
- THE IRRIGATION DESIGN CONFORMS TO THE HYDROZONES OF THE LANDSCAPE DESIGN PLAN.
- THE INCLUDED IRRIGATION SYSTEM DESIGN CONFORMS TO THE IRRIGATION EFFICIENCY CRITERIA AS DEMONSTRATED ON THE SUBMITTED WATER EFFICIENT LANDSCAPE WORKSHEET REGARDING THE MAXIMUM APPLIED WATER ALLOWANCE.
- ALL IRRIGATION EMISSION DEVICES MEET THE REQUIREMENTS SET IN THE ANSI STANDARD, American Society of Agricultural and Biological Engineers/International Code Council's (ASABE/ICC) 802-2014 "Landscape Irrigation Sprinkler and Emitter Standard". All sprinkler heads installed in the landscape must document a distribution uniformity low quarter of 0.65 or higher using the protocol defined in ASABE/ICC 802-2014.
- PRIOR TO DESIGN, ADPW CONTACTED TBD TO DETERMINE PEAK WATER OPERATING DEMANDS OR WATER RESTRICTIONS THAT MAY IMPACT THE EFFECTIVENESS OF THE IRRIGATION DESIGN ON TBD.
- LOW-VOLUME IRRIGATION IS TO BE USED IN ALL MULCHED PLANTING AREAS.
- ALL SPRINKLER HEADS AND OTHER EMISSION DEVICES HAVE MATCHED PRECIPITATION RATES.
- THE INCLUDED IRRIGATION DESIGN ACHIEVES HEAD-TO-HEAD COVERAGE TO ACHIEVE MAXIMUM DISTRIBUTION CONFORMITY.
- SWING JOINTS ARE TO BE USED ON ALL RISERS.
- SPRINKLER HEADS TO BE LOW VOLUME ROTATOR HEADS, HUNTER, RAINBIRD, OR EQ. CHECK VALVES ARE THE BE USED ON ALL SPRINKLER HEADS.
- ALL TREES ARE TO BE PLACED ON A SEPARATE VALVE FROM SHRUBS, GROUNDCOVERS, AND TURF.
- MAIN AND LATERAL LINES TO BE SCH 40 PVC, SIZED PER MFR RECOMMENDATIONS.
- QUICK COUPLERS TO BE INSTALLED AT EACH TERMINUS OF MAIN LINE, VALVE CLUSTER, AND PER PLAN.

PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	WUCOL	SPACING	QTY	REMARKS
	MEI QUI	MELALEUCA QUINQUENARIA	CAJUPUT TREE	36" BOX	L	PER PLAN	4	
	ROB PSE	ROBINIA PSEUDOACACIA	BLACK LOCUST	36" BOX	VL	PER PLAN	1	
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	WUCOL	SPACING	QTY	REMARKS
	ANI BRD	ANIGONANTHOS X 'BIG RED'	BIG RED KANGAROO PAW	1 GAL	L	36" o.c.	22	
	MYR CAL	MYRICA CALIFORNICA	PACIFIC WAX MYRTLE	5 GAL	L	48" o.c.	44	
MEADOW PLANTING	CODE	BOTANICAL NAME	COMMON NAME	SIZE	WUCOL	SPACING	QTY	REMARKS
	LOM IRA	LOMANDRA LONGIFOLIA 'BREEZE' TM	BREEZE MAT RUSH	1 GAL	L	30" o.c.	671	
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	WUCOL	SPACING	QTY	REMARKS
	FES MOL	PENN RK4 / REBEL XLR / FIRECRACKER SILS / RIDGELINE	DELTA BLUEGRASS 90-10 TALL FESCUE BLEND	SOD	M	SOD	304 5F	

HYDROZONE 01
LOW WATER USE

HYDROZONE 02
MODERATE WATER USE

MATERIALS LEGEND

SYMBOL	DESCRIPTION	AREA	QTY	NOTES
	DECOMPOSED GRANITE (DG)	824 SF		SUNSET GOLD STABILIZED PATH FINES, SUNSET GOLD, STABILIZED WITH BINDER OR EQUAL
	PERMEABLE PAVERS (ADA ACCESSIBLE)	1837 SF		BELGARD MODULINE SERIES CONCRETE PAVERS, CONGRAPHITE, FOUNDRY, LINEN BLEND (3X12) OR EQUAL
	CONCRETE PAVING	416 SF		SCORED NATURAL CONCRETE
	DECK	84 SF		ADA AT-GRADE, THERMORY OR EQUAL
	SEATING WITH UMBRELLA	9		AVONA MONTERREY 6.5' SQ UMBRELLA W/ STAND OR EQUAL
	TABLES & CHAIRS	12		STREET FURNITURE AUSTRALIA - CAFE + LINEA LINES OR EQUAL
	INFORMAL SITE FURNITURE	11		STREET FURNITURE AUSTRALIA - CAFE + LINEA LINES OR EQUAL
	BIKE RACKS	3		MATCH EXISTING
	SEATWALL	17.5 LF		18" HIGH SEATWALL, THERMORY OR EQUAL
	LIGHT POLE AND STRING LIGHTS	108 LF	7	INCLUDES DOWNLIGHTING @ EA POLE - TBD

WATER-USE RATING NOTE:

WUCOLS BY CATEGORIES OF WATER NEEDS:
 WATER USE CLASSIFICATION OF LANDSCAPE SPECIES BY UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION, CALIFORNIA DEPARTMENT OF RESOURCES, US BUREAU OF RECLAMATION, JANUARY 2014.

WATER USE EVALUATION:

MAXIMUM APPLIED WATER ALLOWANCE (MAWA):
 MAWA = (ETo) (0.62) [(ETAF X TLA) + ((1-ETAF) X SLA)]
 = (41.8)(0.62)[(0.45 X 5.010ft) + (0.60 X 0 ft)]
 = (25.92 in/year)(2,004 ft)
 = 56,428 gallons/year

 ESTIMATED TOTAL WATER USE (ETWU):
 ETWU HYDROZONE 1 = (ETo)(0.62)(ETAF)(AREA)
 = (41.8)(0.62)(.25)(4,705)
 = 30,107
 ETWU HYDROZONE 2 = (41.8)(0.62)(.67)(305)
 = 5,270
TOTAL = 35,428 gallons/year

SUMMARY:

MAXIMUM APPLIED WATER ALLOWANCE (MAWA):
52,538 gallons/year

 ESTIMATED TOTAL WATER USE (ETWU):
35,428 gallons/year

LANDSCAPE PERCENTAGE

OVERALL SITE AREA	110,065.09 SF
OVERALL LANDSCAPE AREA	36,396.01 SF
OVERALL LA PERCENTAGE	33.07%
THE RADIUS LIMIT OF WORK AREA	
AREA OF WORK	9,548.17 SF
LANDSCAPE AREA	5,010.00 SF
LANDSCAPE PERCENTAGE	52.47%



CLIENT:

PACELINE INVESTORS

1501 HARBOR BAY - "THE RADIUS"
 1501 HARBOR BAY PARKWAY
 ALAMEDA, CA 94502

Date: 05/6/2022
 Project Number: 21dw313
 Drawn by: SB/CG
 Checked by: SB/AP
 Scale: As Noted

Date: Issue:
 FEB 10, 2022 PRE-APP SUBMITTAL
 MAY 6, 2022 PLANNING REVIEW

SCHEDULE + NOTES

L0.7

PERMEABLE HARDSCAPE MATERIALS PALETTE & STRING LIGHTING VOCABULARY



PLANTING PALETTE DROUGHT TOLERANT COASTAL VOCABULARY



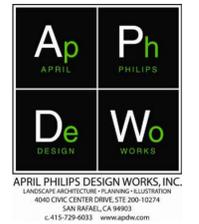
WIND SCULPTURE



MOVEABLE SITE FURNISHINGS AND PLAY EXPERIENCE VOCABULARY



CENTRAL GATHERING COURTYARD INSPIRATION



CLIENT:
PACELINE INVESTORS

**1501 HARBOR BAY -
"THE RADIUS"
1501 HARBOR BAY PARKWAY
ALAMEDA, CA 94502**

Date: 02/10/2022
Project Number: 21dw313
Drawn by: EG/KB
Checked by: Pvc/AP
Scale: As Noted

Date: FEB 10, 2022
Issue: PRE-APP SUBMITTAL
MAY 6, 2022 PLANNING REVIEW

LANDSCAPE IMAGERY

L2.0



12 SUN LOUNGER
nts



9 PEDESTRIAN BARRIER
nts



MELALUCA QUINQUENERVIA



ARBUTUS UNEDO - ALTERNATIVE



ROBINIA AMBIGUA

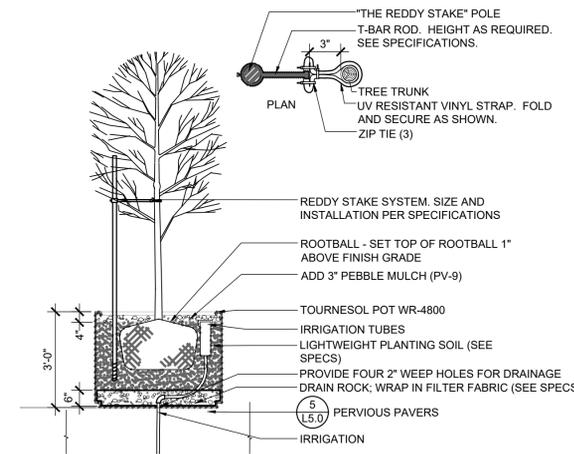
6 TREE IMAGERY
N.T.S.



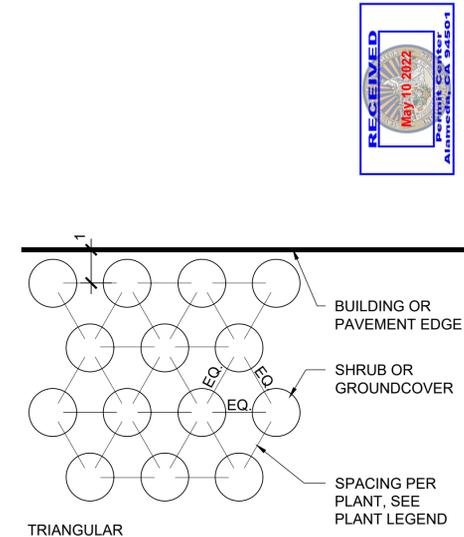
11 CAFE SEATING
nts



8 PEDESTRIAN PAVERS
nts



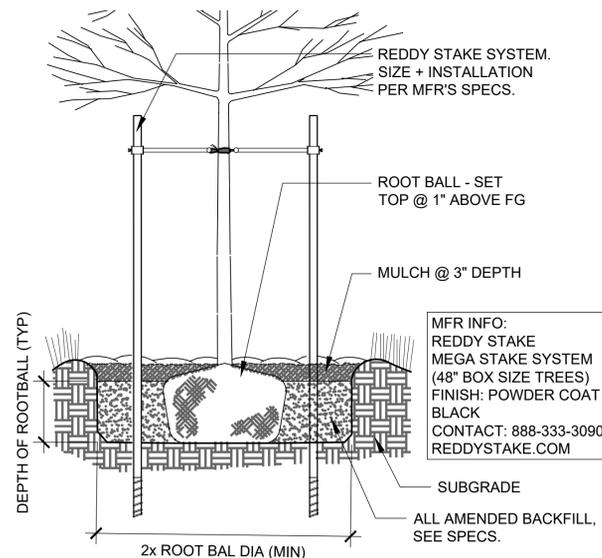
5 PLANTER POT
3/8" - 1'-0"



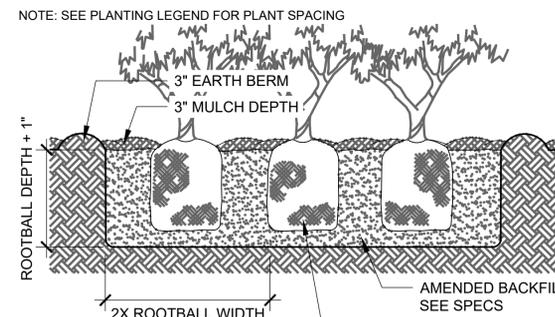
2 TRIANGULAR SHRUB + GROUNDCOVER SPACING
1/2" = 1'-0"



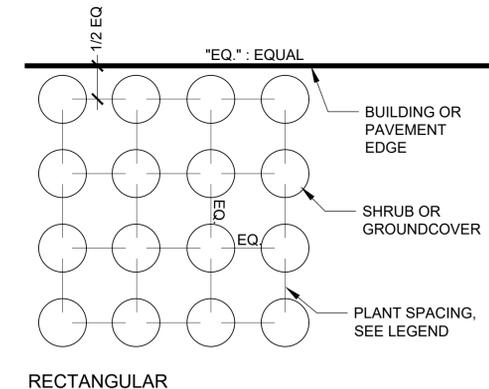
10 DECK AND SEATWALL
nts



7 TREE PLANTING AND STAKING
3/4" = 1'-0"



4 SHRUB + GROUNDCOVER PLANTING
3/4" = 1'-0"



1 RECTANGULAR SHRUB + GROUNDCOVER SPACING
1/2" = 1'-0"



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MAY 6, 2022
PLANNING REVIEW

LANDSCAPE PRELIMINARY DETAILS
L3.0

UNIT 1, RESTROOM & STORAGE - THE RADIUS @ ALAMEDA. CA



1540 Morse Blvd. San Carlos CA. 94070
P. 510 798 8007. F. 650 592 5494
e-mail. jameson@urbanbloc.net

COMMERCIAL MODULAR UNIT
AS DEFINED UNDER CALIFORNIA CODE OF REGULATIONS TITLE 25. DIV. 1 HOUSING AND COMMUNITY DEVELOPMENT
MANUFACTURED BY URBAN BLOC INC. CA. #MF1265006

NOTE: THIS UNIT IS REFERENCED TO CONSTRUCTION DRAWING SET I-581-1007 APPROVED BY HCD.04.12.2022

DESIGNED AS A FREESTANDING MODULE
Building environment, Utilities and systems Under separate Local permit, (Where noted for reference only.)
FOUNDATIONS BY OTHERS.

CONSTRUCTION TYPE (As per 2019 CBC. CH 6. Table 601)						
TYPE Iib.	NO FIRE RATED WALLS, FLOORS OR CEILINGS REQUIRED NO SPRINKLERS REQUIRED (CFC. 903.2.1.2) <5000SF, < 100 OCC.					
OCCUPANCY SEPERATION (As per 2019 CBC. CH 3. Table 508.4)						
Note: Per Cbc 303.1.1 Small Assembly Spaces. A-2 Occupant Load < 50 is regarded as a B Occupancy.						
UNIT#	MODEL / SERIAL	USE ADJACENT	SF./ OCC.	FIRE.	NOTES	
1	BATHROOM & UTILITY UB40-AF 181215AL_XXXX	B Module	320sq		ADA Bathroom, Utility, Storage	



LOCATION

ALL CONSTRUCTION, REGARDLESS OF DETAILS ON PLANS, SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF:

Title 24, DIV. 1. California Code of Regulations (CCR) 2019.

- PART 1 - CALIFORNIA BUILDING STNDRDS. ADMINISTRATIVE CODE
- PART 2 - CALIFORNIA BUILDING CODE
- PART 3 - CALIFORNIA ELECTRICAL CODE
- PART 4 - CALIFORNIA MECHANICAL CODE
- PART 5 - CALIFORNIA PLUMBING CODE
- PART 6 - CALIFORNIA ENERGY CODE (2008)
- PART 9 - CALIFORNIA FIRE CODE
- PART 10 - CALIFORNIA EXISTING BUILDING CODE
- PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE
- PART 12 - CALIFORNIA REFERENCE STANDARDS CODE

THE FOLLOWING SCOPE OF WORK TO BE SUBMITTED TO LOCAL JURISDICTIONS AS DESIGN-BUILD BY CONTRACTOR OR AS A DEFERRED SUBMITTAL:

1. ELECTRICAL SUPPLY TO UNIT
2. LATERAL CONNECTIONS TO (E) SEWER.
3. STRUCTURAL FOUNDATIONS.
4. ENVIRONMENTAL HEALTH REVIEW (IF REQD)
5. SPRINKLER DESIGN AS DEFERRED SUBMITTAL

BATHROOM FIXTURE COUNTS.
Minimum plumbing fixture calculations following 2019 California Plumbing Code are included in project's building permit application submitted to the City of Victorville for approval.

JURISDICTION

ALL WORK AND MATERIAL SHALL BE EXECUTED IN FULL ACCORDANCE WITH ALL APPLICABLE CODES. MANUFACTURER SHALL PROVIDE AND BE RESPONSIBLE FOR ALL COSTS FOR PUBLIC PROTECTION AS REQUIRED BY THE CONTRACT DOCUMENTS AND LOCAL GOVERNMENT AGENCIES. FIRE EXTINGUISHERS AND CABINETS AS REQUIRED BY LOCAL GOVERNMENT AGENCY SHALL BE PROVIDED AND INCLUDED IN CONTRACT. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS ON THE SITE ALL EXITS TO BE OPENABLE FROM INSIDE WITHOUT USE OF A KEY.

GENERAL NOTES

ARCHITECTURAL

A0.1	PROJECT DATA
A1.0	PLANS
A2.1	ELEVATIONS/ SECTIONS
E1	ELECTRICAL
P1	PLUMBING
A5.1	DETAILS

DRAWING LIST

DESIGN, PERMITTING, FACTORY MANUFACTURING. TEAM LEAD

URBAN BLOC INC.
1540 Morse Blvd.
San Carlos CA. 94070.

Project Manager,
Jerry Jameson, CIO Urban Bloc Inc.
510 798 8007. jameson@urbanbloc.net.

ENGINEER OF RECORD STRUCTURAL ENGINEER
R&S Tavares Associates, Inc
11777 Bernardo Plaza Court,
San Diego, CA 92128
ph: 858-444-3344 x 1801

T24 ENERGY COMPLIANCE
WADE ENERGY
1942 Linda Drive
Pleasant Hill CA 94523
510 383 5490

MECHANICAL/ PLUMBING
URBAN BLOC INC.
1540 Morse Blvd.
San Carlos CA. 94070.
510 798 8007.
jameson@urbanbloc.net.

APPROVED THIRD PARTY AGENCY
RADCO
3220 E. 59th St.
Long Beach, CA 90805
T: (562) 272-7231 Ex. 127
F: (562) 529-7513

MECHANICAL/ VENTILATION
URBAN BLOC INC.
1540 Morse Blvd.
San Carlos CA. 94070.
510 798 8007.
jameson@urbanbloc.net.8

CONTROLLED INSPECTIONS
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3220 E. 59th St.
Long Beach, CA 90805
T: (562) 272-7231 Ex. 127
F: (562) 529-7513

ELECTRICAL
URBAN BLOC INC.
1540 Morse Blvd.
San Carlos CA. 94070.
510 798 8007.
jameson@urbanbloc.net.

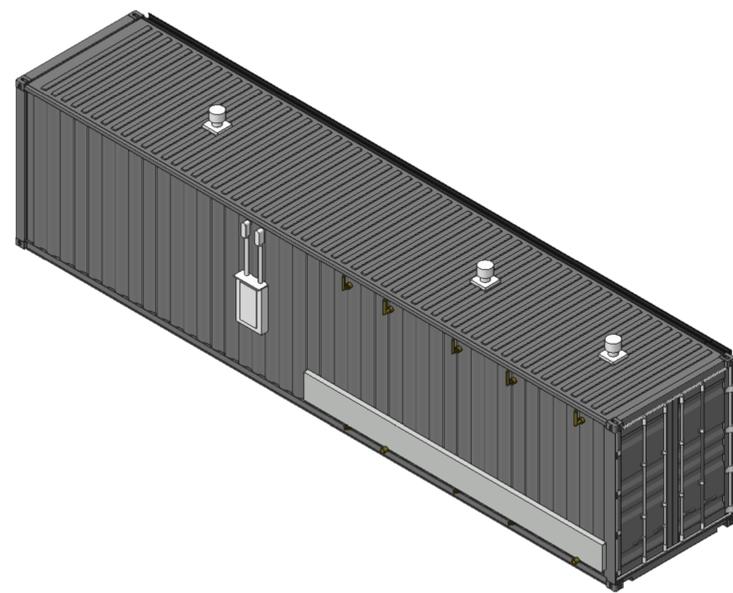
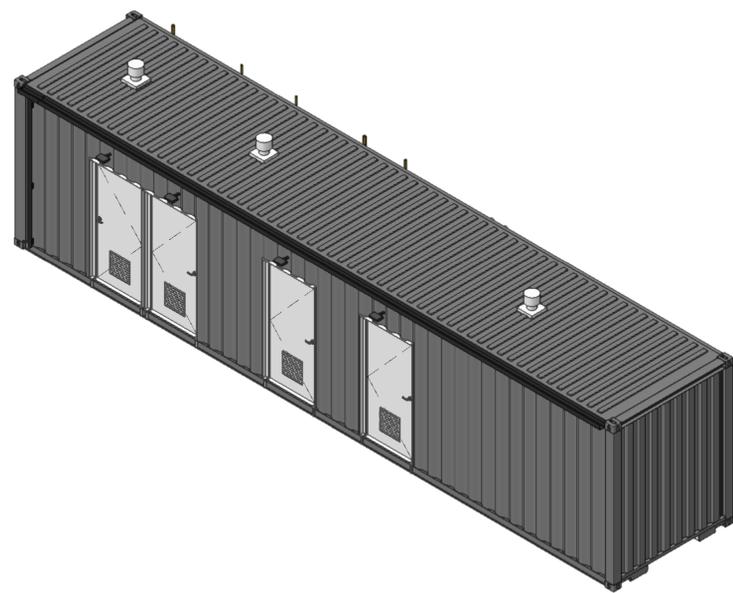
PROJECT TEAM

ENVIRONMENTAL HEALTH NOTE:
ELECTRICAL WATER HEATER SIZING
ASSUMING 62deg. Temp Rise

ITEM	QTY	DEFAULT FACTOR	GPH	
Hand Wash Sink (including restrooms)	2	5	10	
Mop Sink	1	15	15	
			25	TOTAL
SINGLE USE UTENSILS (X0.8)			20	TOTAL

POWER CONSUMPTION
 $\frac{20(62)(8.33)}{0.98(3412)} = \frac{10329.2}{3343.8} = 3 \text{ KW}$

AO SMITH COMMERCIAL DEL-20, 20 Gal. 3 KW.



SITE PLAN (SEE SITE ARCHITECTURE DRAWINGS)



ISSUED FOR REFERENCE ONLY
MANUFACTURED COMMERCIAL MODULAR UNITS
PRODUCED UNDER LICENSE & PERMIT BY CA. HCD.
AS DEFINED UNDER CALIFORNIA CODE OF REGULATIONS TITLE 25. DIV. 1 H.C.D.

THE RADIUS - RESTROOM & STORAGE
1501 Harbor Bay Pkwy, Alameda, CA 94502

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SUBMITTALS
ISSUE 90% CLIENT 05.05.22

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May 5, 2022

DRAWING TITLE
PROJECT DATA

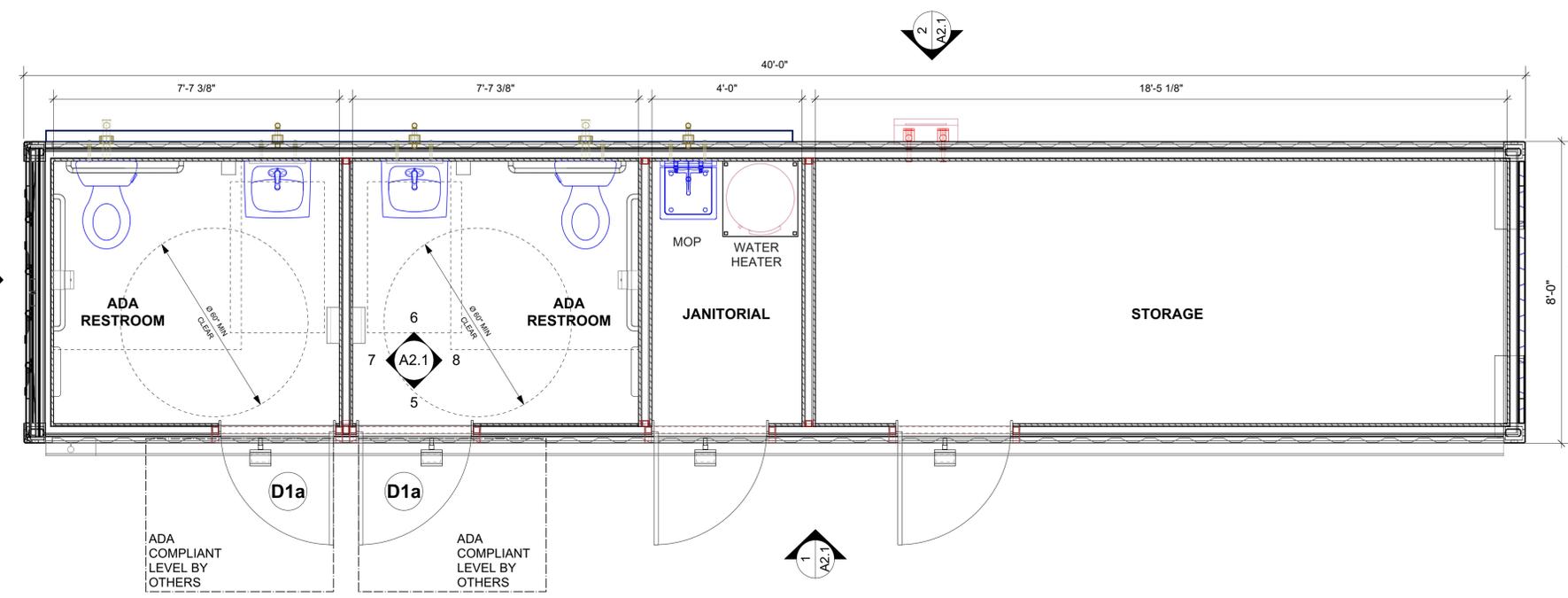
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SHEET NUMBER

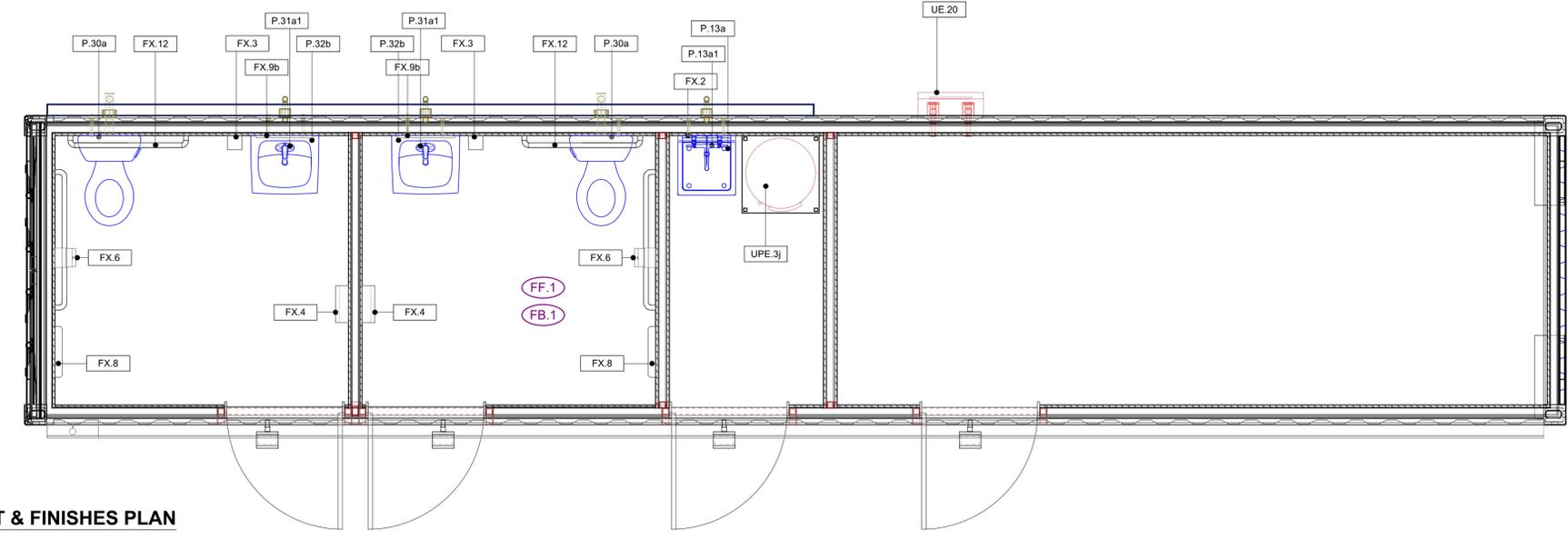
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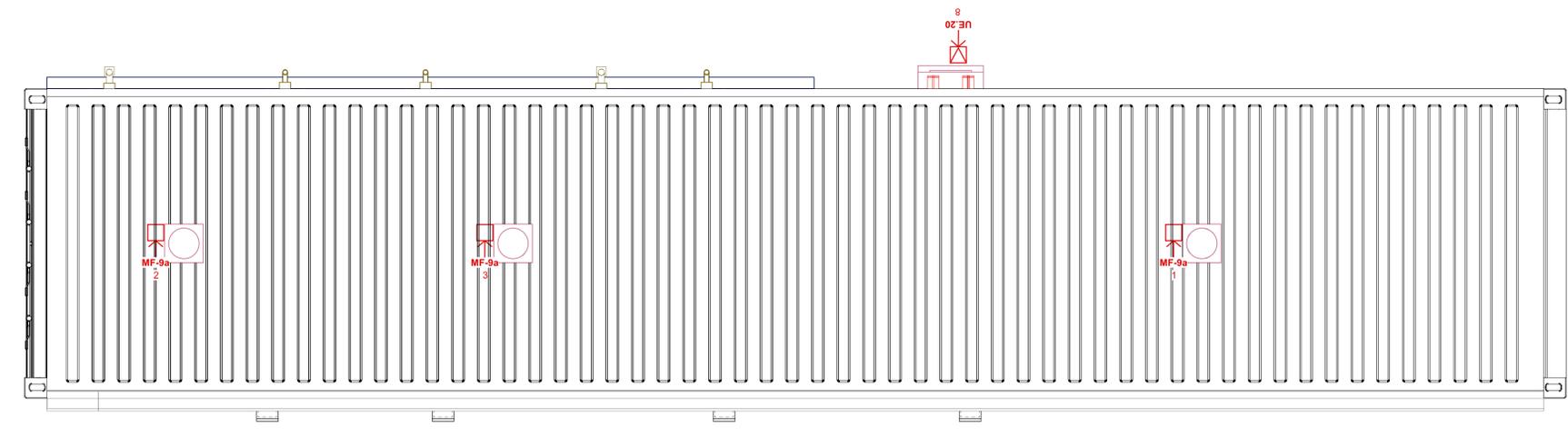
ELECTRICAL LEGEND	
LIGHTING - 30 LUMENS / WATT OR GREATER FOR GENERAL LIGHTING IN WORK AREAS AND BATHROOMS PER 2020 IBC STANDARD. IF MORE THAN ONE LIGHT IS PROVIDED IN BATHROOM, GENERAL LIGHTING TO BE FLUORESCENT. FOOD USE - A MINIMUM OF 10 FT CANDLES (115 LUX) LIGHT MEASURED 30" OFF THE FLOOR IS PROVIDED. ALL FOOD PREPARATION AREAS DURING GENERAL CLEANUP ACTIVITIES. A MINIMUM OF 10 FT CANDLES (115 LUX) OF LIGHT MEASURED 30" OFF THE FLOOR IS PROVIDED IN UTENSIL CLEANING AREA (BACK BAR AREA).	
MANDATORY MEASURES <input type="checkbox"/> Building Lighting Shut-off: THIS BUILDING LIGHTING SHUT-OFF CONSISTS OF AUTOMATIC TIME SWITCH WITH SEPARATE ZONES AND OVERCURE SWITCHES. <input type="checkbox"/> Automatic Control Devices Certified: ALL AUTOMATIC CONTROL DEVICES SPECIFIED ARE CERTIFIED BY THE MANUFACTURER. ANY ALTERNATE EQUIPMENT SHALL BE CERTIFIED AND RETULED AS DIRECTED BY THE MANUFACTURER. SEE AND LUMINAIRE CERTIFIED. <input type="checkbox"/> Fluorescent Ballasts and Luminaires Certified: ALL FLUORESCENT LIGHT FIXTURES SUBJECT TO THE CERTIFICATION AND SPECIFIED FOR THIS PROJECT ARE CERTIFIED. <input type="checkbox"/> Individual Room/Area Control: EACH ROOM AND AREA IN THIS TENANT SPACE IS EQUIPPED WITH A SEPARATE SWITCH OR OCCUPANCY SENSOR DEVICE FOR EACH AREA WITH FLOOR TO CEILING WALLS. <input type="checkbox"/> Uniform Reducible for Individual Rooms: ALL ROOMS AND AREA GREATER THAN 100 SQUARE FEET AND MORE THAN 8' WATER PEE SQUARE FOOT OF LIGHTING CAN BE CONTROLLED WITH LEVEL SWITCHING FOR UNIFORM REDUCTION OF LIGHTING WITHIN THE ROOM. <input type="checkbox"/> Daylight Area Controls, etc. <input type="checkbox"/> Control of Exterior Lights: By Owner.	
OUTLETS DUPLEX DPLX-2 TRIPLEX TRIP-2 QUAD QUAD 220/1 220/3 220/3	Decora Type UGN: Circuit 2 way, 3 way, Etc. SWITCHING D. ← Circuit 2 way, 3 way, Etc. ELECTRICAL PANELBOARD SEE PANEL SCHEDULE CA Code Compliant Raceway, 3.5 x 5", Wiremold, Two Piece or approved equal. RACEWAY FLEX MTL. CONDUIT, TYP Armoured cable drop locations, size of armoured cable to be determined by load requirements. See Southwire Type MC EXIT & EMERGENCY LIGHTING Combination Exit & Emergency Twin Head Lighting Wiretrig Battery Unit SMOKE DETECTOR Hard Wired DATA DATA DISTRIBUTION POINT, HARDWIRED LOCATION. Ceiling identified includes duplex outlet for switch Router. VENTILATION FAN MIN. 300 CFM. Through Wall Installation. HARD WIRE CONNECTION LB EXTERIOR PENETRATION LB JUNCTION BOX Size as indicated on drawings
LIGHTING FIXTURES CL-1 2x2 LAY IN FIXTURE Low Voltage LED. CL-2 RECESSED DOWNLIGHT (a) Downlight (b) Wall Washer Low Voltage LED. CL-3 SURFACE MTD CEILING Commercial Electric fluorescent. #CEW104-06 4x F32T8 CD 2x2 LAY IN FIXTURE Ceiling Air Duct Square Diffuser XL-1 EXTERIOR SCENCE Low Voltage LED. Exterior J box and conduit to interior raceway system. Exterior lighting on single 30A circuit UGN. IL-2 PENDANT LIGHT IL-3 INTERIOR SCENCE DL-1 TRACK DISPLAY LIGHTING Circuit provided only. Circuit limiters may be installed. DL-2 LED LINEAR	



1 FLOOR PLAN
 1/2" = 1'-0"



2 EQUIPMENT & FINISHES PLAN
 1/2" = 1'-0"



3 ROOF
 1/2" = 1'-0"

#	QTY	ITEM	MFG. CAT.	SPECIFICATION	REMARKS
WALL FINISHES					
W1.1		FRP		White Frp (fiberglass Reinforced Panel) Sequencia Or Eq., With integral silicone seals or mouldings @ All Joint, Corner, And Edge Conditions. Aluminum "h" Moulding At Bottom. Class C Rated.	
W1.3		EXTERIOR PAINT		Direct to metal Paint Color	Sherwin-Williams SW7674 Peppercorn
FLOOR FINISHES					
FF.1		EPOXY FLOOR COATING		General Polymer 3744 High Performance Cr Epoxy. Epoxy Applied As 10 Mil. Slurry. Light Grey. OR APPROVED EQUAL.	Comply W/ Env. CA. Retail food Code. Flooring to be smooth finish under sinks, counters and racks.
FB.1		COVE BASE BOARD		EPOXY TO MATCH	Provide 6" integral base W/ 1/2" min radiused cove.
CEILING FINISHES					
CG.1		GYPSSUM LAY IN		Gold Bond 2x4, 2x2 Gridstone(Laminated vinyl Food Grade) 9/16". White Smooth ALu. Trim & Hangers.	All trim pieces, factory painted. cleanable.
CG.2		ACOUSTIC LAY IN		Armstrong 2x4, 2x2 KITCHEN ZONE(Food Grade) 9/16". White Smooth ALu. Trim & Hangers.	All trim pieces, factory painted. cleanable.
EXTERIOR CLADDING					
EP-4		BLACKENED METAL PLATE		1/8" Mil Plate. Sealed.	Include all support frames, Trim Etc.

UID #	#	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (WxDxH)	COMMENTS	FURNISH	INSTALL
1	MF-9a	1	Roof Vent	Aura Attic Fan	AF-6-C4-CMF	12" x 12" x 12"	CFM 120	UB	UB
2	MF-9a	1	Roof Vent	Aura Attic Fan	AF-6-C4-CMF	12" x 12" x 12"	CFM 120	UB	UB
3	MF-9a	1	Roof Vent	Aura Attic Fan	AF-6-C4-CMF	12" x 12" x 12"	CFM 120	UB	UB
7	UE.3j	1	Water Heater	AO Smith	DEL-20, 20g, 3kw	21 3/4"Ø x 22 1/4"H	20g. 3000/3000	UB	UB
8	UE.20	1	Electrical Panel	SIEMENS	200A	TBD		UB	UB

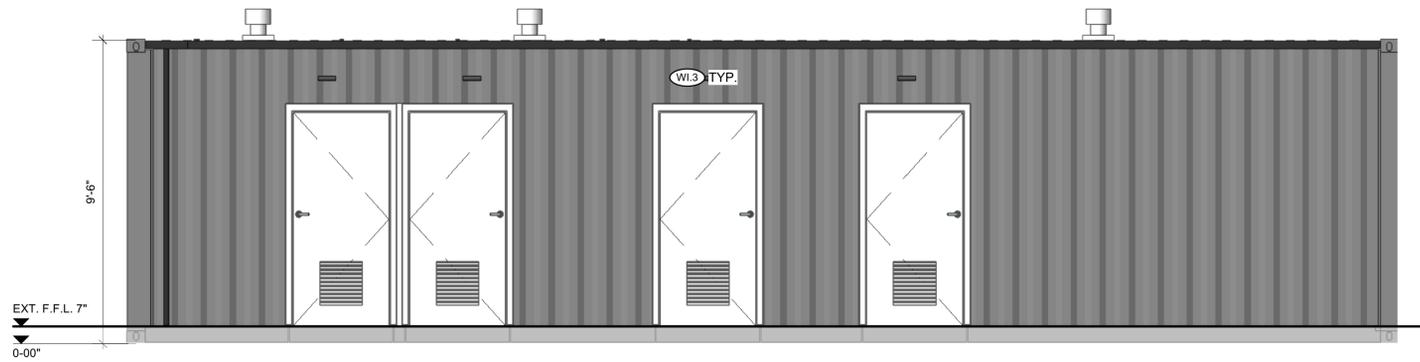
#	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (W X D x h)	PLUMBING COMMENTS	FURNISH	INSTALL
FX.2	1	Mop Holder	CARLISLE	Model: 4073100	18" x 1 1/2" x 2 1/2"		UB	UB
FX.3	2	Soap Dispenser	SAN JAMAR	Model: SH900TBK	5.5" x 4" x 12"		UB	UB
FX.4	2	Paper Towel Dispenser	SAN JAMAR	Model: T1900XC	11 3/8" x 4" x 14 3/4"		UB	UB
FX.6	2	Toilet Paper Dispenser	SAN JAMAR	R3500TBK	7 1/4" x 7" x 12 3/4"		UB	UB
FX.8	2	Toilet Seat Cover Dispenser	ASI	Model: 20477-SM	15 3/4" x 2 3/8" x 11"		UB	UB
FX.9b	2	Bathroom Mirror	BRADLEY	781-1824	18" x 24"		Client	Client
FX.12	2	ADA Grab Bars (Set)	ASI	3801-36P, 3801-42P			UB	UB
P.13a	1	Mop Sink	GWS	SE15151P	15" x 15"		UB	UB
P.13a1	1	Mop Sink Faucet	FISHER	8253		Mop Sink	UB	UB
P.30a	2	Toilet	GERBER	20-022			UB	UB
P.31a1	2	Lavatory Faucet	DELTA	Model: 523LF-HDF	4 13/16" x 6 17/32" x 6 7/8"		UB	UB
P.32b	2	Lavatory	American Standard	0355.012, wall mount	20 1/2" x 18 1/4"		UB	UB

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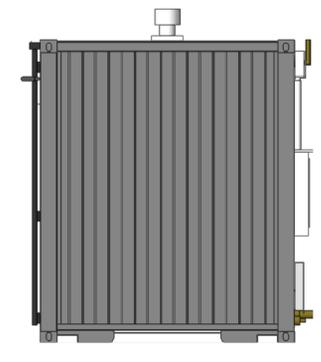
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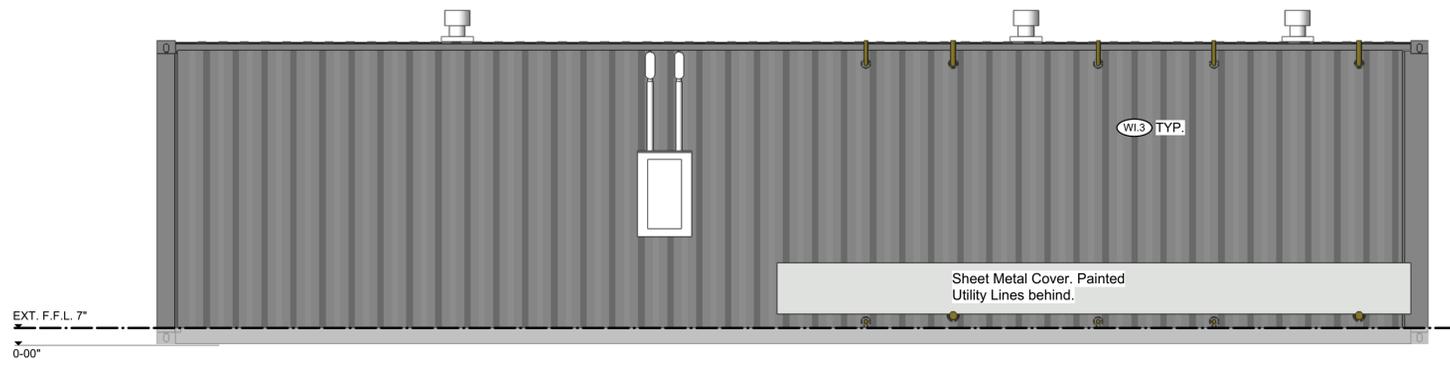
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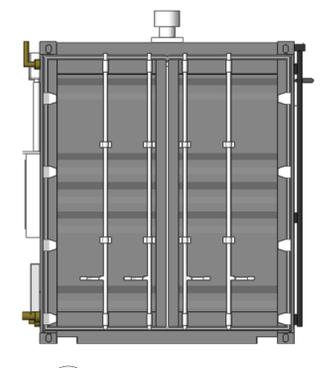
1 FRONT ELEVATION
Scale: 3/8" = 1'-0"



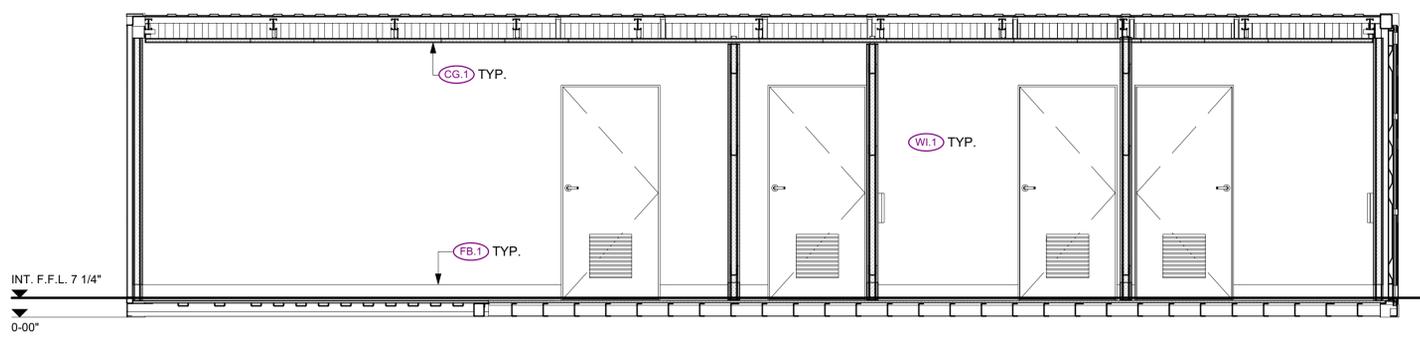
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Scale: 3/8" = 1'-0"



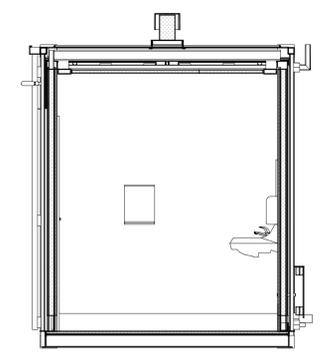
2 BACK ELEVATION
Scale: 3/8" = 1'-0"



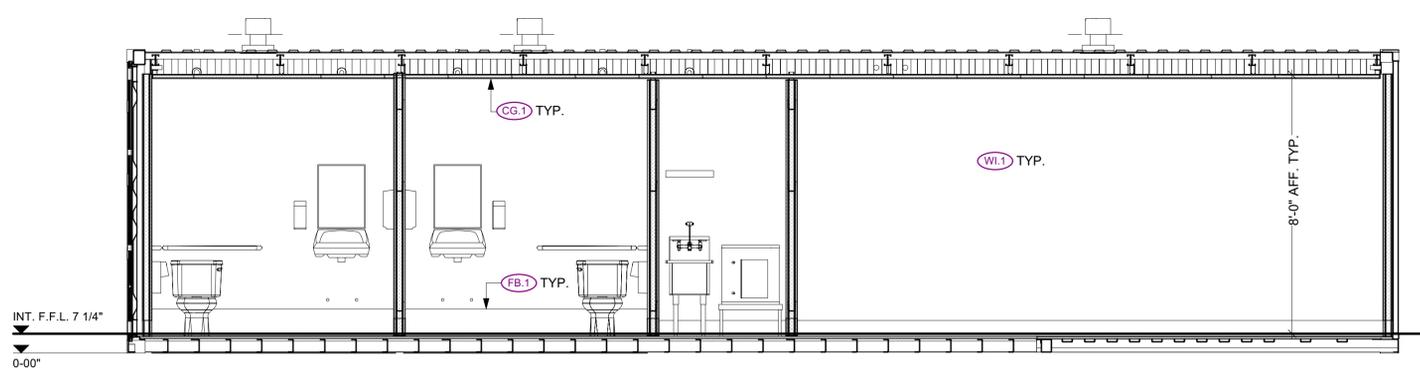
4 LEFT ELEVATION
Scale: 3/8" = 1'-0"



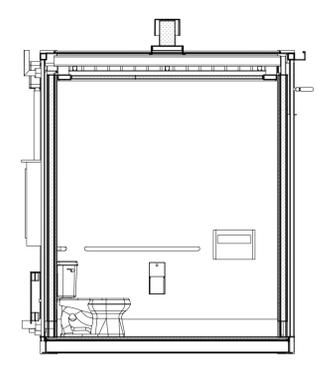
5 INTERIOR SECTION
Scale: 3/8" = 1'-0"



7 INTERIOR SECTION
Scale: 3/8" = 1'-0"



6 INTERIOR SECTION
Scale: 3/8" = 1'-0"



8 INTERIOR SECTION
Scale: 3/8" = 1'-0"



FINISH SCHEDULE				
#	QTY	ITEM	MFG. CAT. SPECIFICATION	REMARKS
WALL FINISHES				
WL.1		FRP	White Frp (fiberglass Reinforced Panel) Sequencia Or Eq., With integral silicone seals or mouldings @ All Joint, Corner, And Edge Conditions. Aluminum 7" Moulding At Bottom. Class C Rated.	
WL.3		EXTERIOR PAINT	Direct to metal Paint Color	Sherwin-Williams SW7674 Peppercom
FLOOR FINISHES				
FF.1		EPOXY FLOOR COATING	General Polymer 3744 High Performance Cr Epoxy. Epoxy Applied As 10 Mil. Slurry. Light Grey. OR APPROVED EQUAL.	Comply W/ Env. CA. Retail food Code. Flooring to be smooth finish under sinks, counters and racks.
FB.1		COVE BASE BOARD	EPOXY TO MATCH	Provide 6" integral base W/ 1/2" min radiused cove.
CEILING FINISHES				
CG.1		GYPSUM LAY IN	Gold Bond 2x4, 2x2 Gridstone(Laminated vinyl Food Grade) 9/16". White Smooth ALU. Trim & Hangers.	All trim pieces, factory painted. cleanable.
CG.2		ACOUSTIC LAY IN	Armstrong 2x4, 2x2 KITCHEN ZONE(Food Grade) 9/16". White Smooth ALU. Trim & Hangers.	All trim pieces, factory painted. cleanable.
EXTERIOR CLADDING				
EP-4		BLACKENED METAL PLATE	1/8" Mil Plate. Sealed.	Include all support frames, Trim Etc.

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ELEVATIONS
SECTIONS

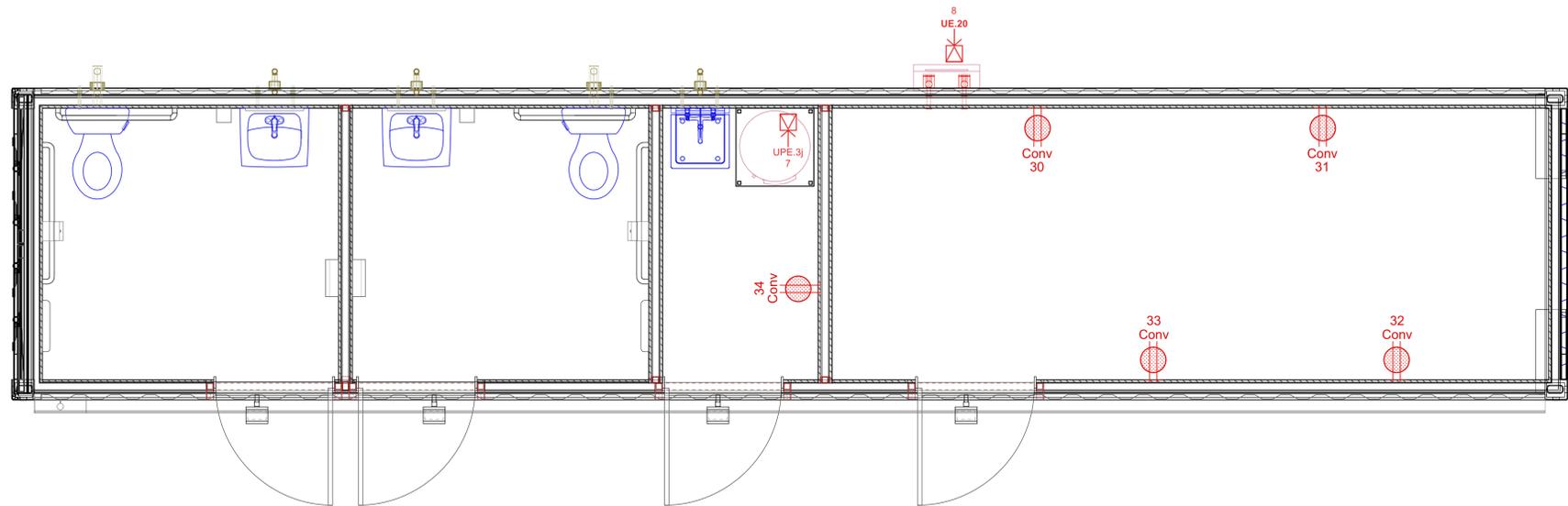
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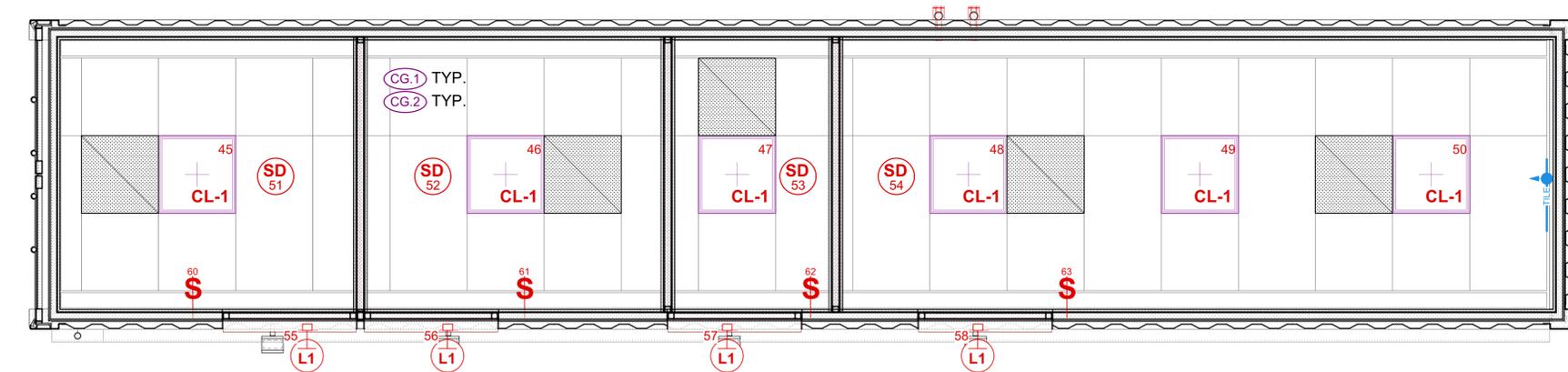
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1 POWER PLAN
1/2" = 1'-0"



2 CEILING PLAN
1/2" = 1'-0"

NOTE: FOR ROOF ELECTRICAL CONNECTION SEE A1.1

EQUIPMENT LIST

UID #	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (WxDxH)	COMMENTS	FURNISH	INSTALL	ELECTRICAL					PLUMBING						
									VOLTAGE	PHASE	AMPS	PLUG	HT.AFF	WIRE	DRN. (D/I)	HOT	COLD	GAS	COMMENTS	
1	MF-9a	1	Roof Vent	Aura Attic Fan	AF-6-C4-CMF	12" x 12" x 12"	CFM 120	UB	UB	115	1	0.9	HW	Ceiling	12/2					
2	MF-9a	1	Roof Vent	Aura Attic Fan	AF-6-C4-CMF	12" x 12" x 12"	CFM 120	UB	UB	115	1	0.9	HW	Ceiling	12/2					
3	MF-9a	1	Roof Vent	Aura Attic Fan	AF-6-C4-CMF	12" x 12" x 12"	CFM 120	UB	UB	115	1	0.9	HW	Ceiling	12/2					
7	UPE.3j	1	Water Heater	AO Smith	DEL-20, 20g. 3kw	21 3/4"Ø x 22 1/4"H	20g. 3000/3000	UB	UB	208	3	14.4	HW	12/3						
8	UE.20	1	Electrical Panel	SIEMENS	200A	TBD		UB	UB	208	3	200	Exterior							

ELECTRICAL LEGEND

LIGHTING - 40 LUMENS / WATT OR GREATER FOR GENERAL LIGHTING IN WORK AREAS AND BATHROOMS PER 907724 STANDARD. IF MORE THAN ONE LIGHT IS PROVIDED IN A BATHROOM, GENERAL LIGHTING TO BE FLUORESCENT.
 FOOD: USE A MINIMUM OF 25 FT CANDLES (30 LUX) OF LIGHT MEASURED 30" OFF THE FLOOR IS PROVIDED IN ALL FOOD PREPARATION AREAS DURING GENERAL CLEANUP ACTIVITIES. A MINIMUM OF 10 FT CANDLES (100 LUX) OF LIGHT MEASURED 30" OFF THE FLOOR IS PROVIDED IN UTENSIL CLEANING AREA (BACK BAR AREA).

MANDATORY MEASURES

- Building Lighting Shut-off: THE BUILDING LIGHTING SHUT-OFF CONSISTS OF AUTOMATIC TIME SWITCH WITH SEPARATE ZONES AND OVER-RIDE SWITCHES.
- Automatic Control Device Certified: ALL AUTOMATIC CONTROL DEVICES SPECIFIED ARE CERTIFIED BY THE MANUFACTURER. ANY AUTOMATIC EQUIPMENT SHALL BE CERTIFIED AND INSTALLED AS DIRECTED BY THE MANUFACTURER.
- Fluorescent Ballast and Luminaires Certified: ALL FLUORESCENT LIGHT FIXTURES SUBJECT TO THE CERTIFICATION AND SPECIFIED FOR THIS PROJECT ARE CERTIFIED.
- Individual Room/Area Controls: EACH ROOM AND AREA IN THIS TENANT SPACE IS EQUIPPED WITH A SEPARATE SWITCH OR OCCUPANCY SENSOR DEVICE FOR EACH AREA WITH FLOOR TO CEILING WALLS.
- Uniform Reduction for Individual Rooms: ALL ROOMS AND AREA GREATER THAN 100 SQUARE FEET AND MORE THAN 8 WATTS PER SQUARE FOOT OF LIGHTING LOAD ARE CONTROLLED WITH BELIEVED SWITCHING FOR UNIFORM REDUCTION OF LIGHTING WITHIN THE ROOM.
- Dimmable Controls: NA
- Control of Exterior Lights: By Owner.

OUTLETS

- DUPLEX DPLX-2
- QUAD 220/1
- 220/3
- 220/1
- 220/3

SWITCHING

- SEE PANEL SCHEDULE
- CA. Code Compliant Raceway: 3.5 x 5" Wiremold Two-Piece or approved equal.
- Armoured cable drop locations, size of armoured cable to be determined by load requirements Southwire Armortite Type MC
- EXIT & EMERGENCY LIGHTING: Combination Exit & Emergency Twin Head Lighting Wiresnap Battery Unit.
- SMOKE DETECTOR: Hard Wired
- DATA: DATA DISTRIBUTION POINT. HARDWIRED LOCATION. Ceiling identified includes duplex outlet for switch/ Router.
- VENTILATION FAN: MIN. 300 CFM. Through Wall Installation.
- HARD WIRE CONNECTION
- EXTERIOR PENETRATION: LB
- JUNCTION BOX: Size as indicated on drawings

LIGHTING FIXTURES

- CL-1: 2x2 LAY IN FIXTURE Low Voltage LED.
- CL-2: RECESSED DOWNLIGHT Low Voltage LED. (a) Downlight (b) Wall Washer
- CL-3: SURFACE MTD CELLING Commercial Electric Fluorescent. #CEV104-06 4x F32T8
- CD: 2x2 LAY IN FIXTURE Ceiling Air Duct Square Diffuser
- XL-1: EXTERIOR SCIENCE Low Voltage LED. Exterior J-box and conduit to interior raceway system. Exterior lighting on single 30A circuit UON.
- IL-2: PENDANT LIGHT
- IL-3: INTERIOR SCIENCE
- DL-1: INTERIOR TRACK DISPLAY LIGHTING. Circuit provided only. Circuit limiters may be installed.
- DL-2: LED LINEAR

(E)PANEL The Radius Restroom Unit

VOLTAGE: 208Y/120V WIRE: 4 MOUNTING: SURFACE NOTES:
 BUS RATING: 20A PHASE: 3 AIC RATING: 10K
 MAIN REQUIREMENT: 20A MLO TYPE: N-3R CONDITION: NEW

CKT#	NOTES	LOAD	CB	LOAD DESCRIPTION	LOAD KVA	PHASE	LOAD KVA	LOAD DESCRIPTION	CB	LOAD	NOTES	CKT#
1		D	1	20 AC	0.96	A	0.96		1	20	D	2
3		D	1	20	0.96	B	0.96	UPE.3j	1	20	D	4
5		G	1	20 CONV.30,31	0.36	C	0.96		1	20	D	6
7		G	1	20 CONV.32,33,34	0.54	A	0.96		1	20	D	8
9		C	1	20 LIGHTING - GENERAL	0.54	B						10
11						C						12

CONNECTED LOAD:
 PHASE A: 2.46 KVA
 PHASE B: 2.46 KVA
 PHASE C: 1.32 KVA
 TOTAL: 6.24 KVA

DEMAND LOAD CALCULATION

DEMAND LOAD	SUBTOTAL	NEC DEMAND FACTOR	
CONTINUOUS LOAD (C)	0.54	125%	0.68
DEDICATED LOAD (D)	4.80	100%	4.80
GENERAL RECEPTACLE (G)	0.90	100% of 1st 10KVA & 50% of remaining	0.90
INTERMEDIATE EQUIPMENT (K)	0.00	65%	0.00
MECHANICAL EQUIPMENT (M)	0.00	125% of largest motor & 100% of remaining	0.00
TOTAL DEMAND KVA			6.38
AMPS @ 208Y/120V, 3 PHASE, 4 WIRE:			17.70

NOTES:
 HL=PADLOCKABLE HANDLE LOCK-OFF

E-INFRASTRUCTURE

UID#	ID.	FIXTURE TYPE	HT. FFL	REMARKS	WIRE
30	Conv	Convenience	44"	REGULAR	12/2
31	Conv	Convenience	44"	REGULAR	12/2
32	Conv	Convenience	44"	REGULAR	12/2
33	Conv	Convenience	44"	REGULAR	12/2
34	Conv	Convenience	44"	REGULAR	12/2
45	CL-1	2X2 Fixture	Ceiling	Lay In Fixt.	12/2
46	CL-1	2X2 Fixture	Ceiling	Lay In Fixt.	12/2
47	CL-1	2X2 Fixture	Ceiling	Lay In Fixt.	12/2
48	CL-1	2X2 Fixture	Ceiling	Lay In Fixt.	12/2
49	CL-1	2X2 Fixture	Ceiling	Lay In Fixt.	12/2
50	CL-1	2X2 Fixture	Ceiling	Lay In Fixt.	12/2
51	SD	Smoke Detector	Ceiling	Addressable	12/2
52	SD	Smoke Detector	Ceiling	Addressable	12/2
53	SD	Smoke Detector	Ceiling	Addressable	12/2
54	SD	Smoke Detector	Ceiling	Addressable	12/2
55	L1	Exterior Sconce	84"		12/2
56	L1	Exterior Sconce	84"		12/2
57	L1	Exterior Sconce	84"		12/2
58	L1	Exterior Sconce	84"		12/2
60	Switch	Switch	44"	45	12/2
61	Switch	Switch	44"	46	12/2
62	Switch	Switch	44"	47	12/2
63	Switch	Switch	44"	48	12/2

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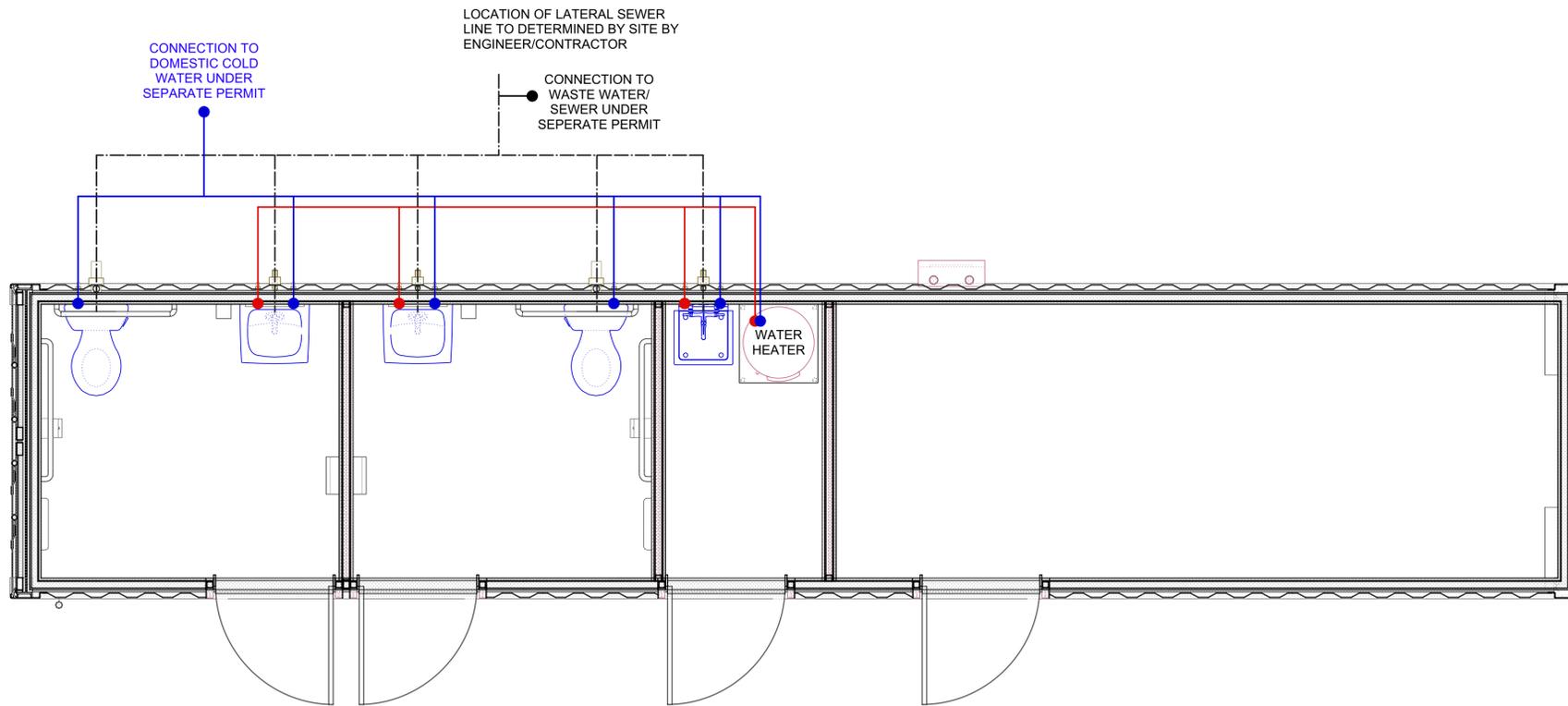
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WATER SUPPLY							
#	QTY	ITEM	WSFU		WATER DEMAND	LINE SIZE	
			COLD	HOT		LATERAL	BRANCH
P.32b	2	Lavatory	2	2	3	3/4"(H&C)	1/2"
P.13a	1	Mop	3	3	4.5	3/4"(H&C)	1/2"
P.30a	2	Toilet	5	-	7.5	3/4"(C)	1/2"
			10	5	15	3/4"	1/2"

MINIMUM PRESSURE DEMAND FOR ALL FIXTURES=15PSI.
HOT & COLD COMBINED DEMAND .75 OF TOTAL VALUE
STATIC PRESSURE LOSS = -(0.43x5) = -2.15 (Highest fixture below supply)
FRICTION LOSS / 100ft (A4.1(1) = 12, Per 50'=6PSI.
TOTAL PRESSURE LOSS= 6-2.15=3.85PSI.
MAX. PIPE LENGTH TO FARTHEST FIXTURE= 30'-0"
ALLOWANCE FOR FITTINGS= 1.5
DEVELOPED LENGTH = 45'-0", say 60'-0"
PER CPC 2019 Table 610.4 46-60PSI Range 31 WSFU Allowed.

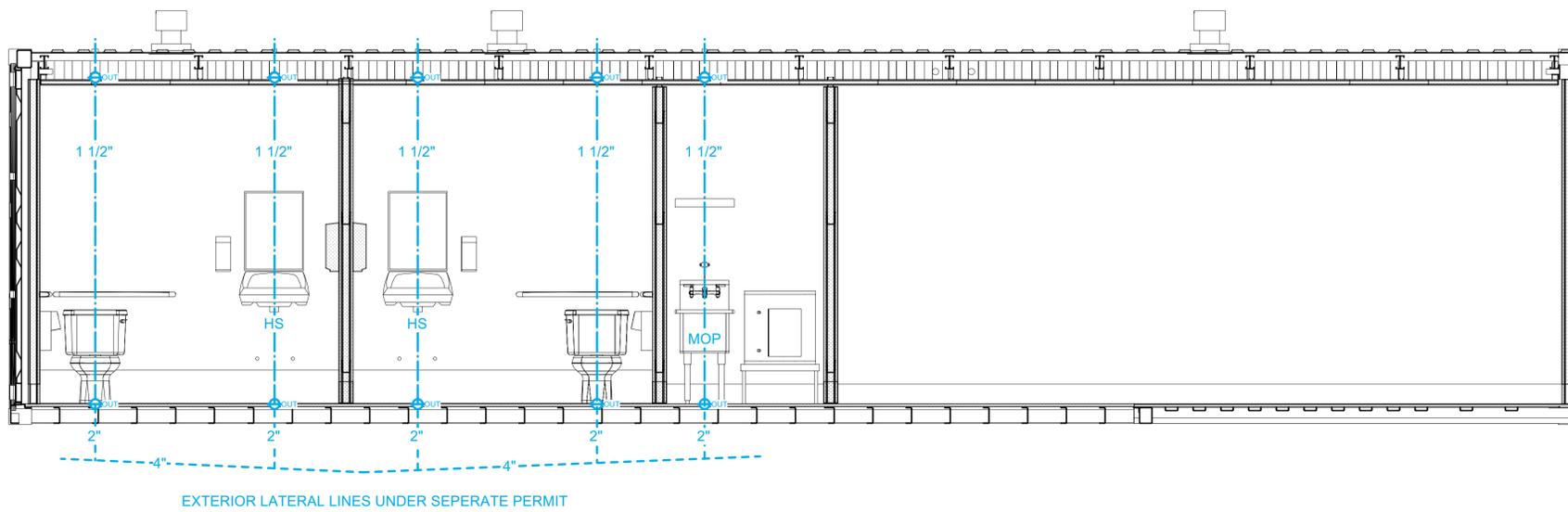
DRAINAGE TABLE								
#	QTY	ITEM	FIX. UNITS (DFU)	LINE SIZE			TOT	REMARKS/ CALCULATIONS
				Horiz.	Vert.	Vent		
P.13a	1	Mop	3	2	2	1 1/2"	3	
P.32b	2	Lavatory	2	2	2	1 1/2"	2	
P.30a	2	Toilet	6	3	3	2'0"	6	
TOTAL DFU's								Per CPC Table 703.2, 3" Horiz/ Vert Piping required/ Provided. Per CPC Table 703.2, 1 1/2" vent Piping required/ Provided. 2" for toilet

Note: As Defined By CPC 2019 905.3 Structural Conditions Do Not Allow For Vent Fittings Less Than 6" Above The Flood-level Rim Of Certain Assemblies To Be Drainage Type.

These Conditions Have Been Reviewed And Approved As Alternate Means And Methods As allowed by CPC 1.8.7 And Included In Approved Drawing Set I-581-1007 Approved By HCD.11.15.2020

VENTILATION FAN SYSTEM								
UNIT #	MANUFACTURER	MODEL #	CFM	V	A	HP	So	Comments
MF-9a	Aura Attic Fan	AF-6-C4-CMF	120			0.9		

1 PLUMBING & VENTILATION PLAN
1/2" = 1'-0"



2 PLUMBING RISE DIAGRAM
1/2" = 1'-0"

PLUMBING, STAINLESS & FIXTURES											
#	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (W X D x h)	PLUMBING COMMENTS	FURNISH	INSTALL	COLD	HOT	DRN. (D/I) MTG. HT.
FX.2	1	Mop Holder	CARLISLE	Model: 4073100	18" x 1 1/2" x 2 1/2"		UB	UB			
FX.3	2	Soap Dispenser	SAN JAMAR	Model: SH900TBK	5.5" x 4" x 12"		UB	UB			
FX.4	2	Paper Towel Dispenser	SAN JAMAR	Model: T1900XC	11 3/8" x 4" x 14 3/4"		UB	UB			
FX.6	2	Toilet Paper Dispenser	SAN JAMAR	R3500TBK	7 1/4" x 7" x 12 3/4"		UB	UB			
FX.8	2	Toilet Seat Cover Dispenser	ASI	Model: 20477-SM	15 3/4" x 2 3/8" x 11"		UB	UB			
FX.9b	2	Bathroom Mirror	BRADLEY	781-1824	18" x 24"		Client	Client			
FX.12	2	ADA Grab Bars (Set)	ASI	3801-36P, 3801-42P			UB	UB			
P.13a	1	Mop Sink	GSW	SE15151P	15" x 15"		UB	UB			
P.13a1	1	Mop Sink Faucet	FISHER	8253		Mop Sink	UB	UB			
P.30a	2	Toilet	GERBER	20-022			UB	UB			
P.31a1	2	Lavatory Faucet	DELTA	Model: 523LF-HDF	4 13/16" x 6 17/32" x 6 7/8"		UB	UB			
P.32b	2	Lavatory	American Standard	0355.012, wall mount	20 1/2" x 18 1/4"		UB	UB			



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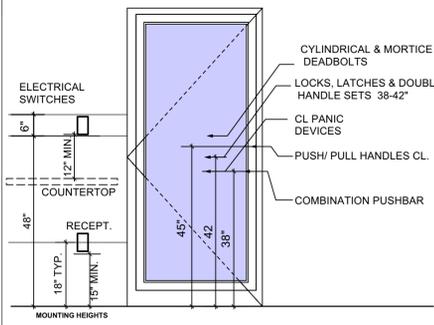
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PLUMBING VENTILATION

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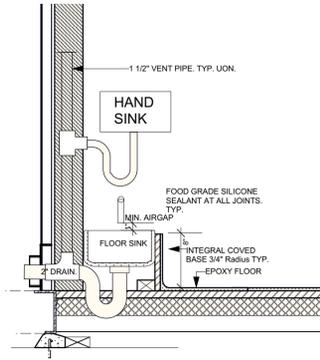
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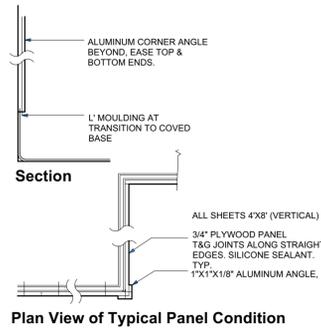
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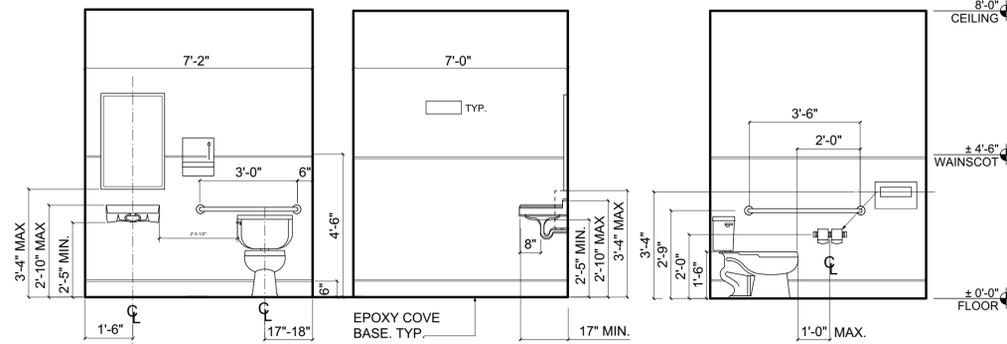
1 MOUNTING HEIGHTS
 1/2"=1'-0"



2 FLOOR SINK DETAILS
 1"=1'-0"



3 COVE BASE COUNTERS
 1"=1'-0"



5 BATHROOM DETAILS

DOOR HARDWARE SCHEDULE			
GROUP	DESCRIPTION	FINISH	MFR.
1) SINGLE ENTRY DOOR	TELSTAR PRO DOOR 30x68 INVISIBLE DEADBOLT, SOLID LIGHT GRAY, A40 GALVALUME STEEL	613	TELL MANUFACTURING
01a	LOCK CYLINDER CY-1-184, GRADE 2 ENTRY LEVER	613	TELL MANUFACTURING
	ENG 600 SERIES DOOR CLOSER	613	TELL MANUFACTURING
	ADA COMPLIANT THRESHOLD INTEGRATIVE	613	TELL MANUFACTURING

REMARKS

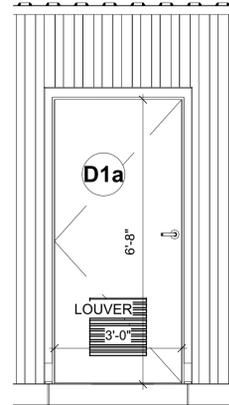
A - EXIT DOORS ARE TO BE OPENABLE FROM INSIDE WITHOUT USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. KEY LOCKING HARDWARE MAY BE USED ON THE MAIN EXIT WHEN THE MAIN EXIT DOOR HAS A DURABLE SIGN ON OR ADJACENT TO THE DOOR STATING: THIS DOOR MUST REMAIN UNLOCKED DURING BUSINESS HOURS. THE SIGN SHALL BE IN LETTERS NOT LESS THAN ONE INCH HIGH ON A CONTRASTING BACKGROUND.

B - UNLATCHING FORCE, OR OPENING FORCE NOT TO EXCEED 5 POUNDS. (CALIFORNIA)



6"X6" MIN. SIGN SIZE
 INTERNATIONAL SYMBOL OF ACCESSIBILITY, WHITE FIGURE ON BLUE DECAL PER CBC 1117B.5.8.1

NOTE: PLACE NEAR ACCESSIBLE BUILDING ENTRY



SELF-CLOSING OUTSWING DOOR

Solid Core MTL. Self-closing door
 Custom frame Assembly
 Hardware as per Group 1

6 DOOR SCHEDULES



UNIT 2, BEVERAGE - THE RADIUS @ ALAMEDA. CA



1540 Morse Blvd. San Carlos CA. 94070
P. 510 798 8007. F. 650 592 5494
e-mail. jameson@urbanbloc.net

COMMERCIAL MODULAR UNIT
AS DEFINED UNDER CALIFORNIA CODE OF REGULATIONS TITLE 25, DIV. 1 HOUSING AND COMMUNITY DEVELOPMENT
MANUFACTURED BY URBAN BLOC INC. CA. #MF1265006

NOTE: THIS UNIT IS REFERENCED TO CONSTRUCTION DRAWING SET I-581-1007 APPROVED BY HCD.04.12.2022

DESIGNED AS A FREESTANDING MODULE
Building environment, Utilities and systems Under separate Local permit, (Where noted for reference only.)
FOUNDATIONS BY OTHERS.

CONSTRUCTION TYPE (As per 2019 CBC. CH 6. Table 601)						
TYPE Iib.	NO FIRE RATED WALLS, FLOORS OR CEILINGS REQUIRED NO SPRINKLERS REQUIRED (GFC. 903.2.1.2) <5000SF, < 100 OCC.					
OCCUPANCY SEPERATION (As per 2019 CBC. CH 3. Table 508.4)						
Note: Per Cbc 303.1.1 Small Assembly Spaces. A-2 Occupant Load < 50 is regarded as a B Occupancy.						
UNIT#	MODEL / SERIAL	USE ADJACENT	SF./ OCC.	FIRE.	NOTES	
1	BAR AND COFFEE UB40-AF 181215AL_XXXX	B Module	320sq		Bar and coffee service Prepackaged food	

PROJECT DATA



LOCATION

ALL CONSTRUCTION, REGARDLESS OF DETAILS ON PLANS, SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF:

- Title 24, DIV. 1. California Code of Regulations (CCR) 2019.**
- PART 1 - CALIFORNIA BUILDING STNDRS. ADMINISTRATIVE CODE
 - PART 2 - CALIFORNIA BUILDING CODE
 - PART 3 - CALIFORNIA ELECTRICAL CODE
 - PART 4 - CALIFORNIA MECHANICAL CODE
 - PART 5 - CALIFORNIA PLUMBING CODE
 - PART 6 - CALIFORNIA ENERGY CODE (2008)
 - PART 9 - CALIFORNIA FIRE CODE
 - PART 10 - CALIFORNIA EXISTING BUILDING CODE
 - PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE
 - PART 12 - CALIFORNIA REFERENCE STANDARDS CODE

THE FOLLOWING SCOPE OF WORK TO BE SUBMITTED TO LOCAL JURISDICTIONS AS DESIGN-BUILD BY CONTRACTOR OR AS A DEFERRED SUBMITTAL:

1. ELECTRICAL SUPPLY TO UNIT
2. LATERAL CONNECTIONS TO (E) SEWER.
3. STRUCTURAL FOUNDATIONS.
4. ENVIRONMENTAL HEALTH REVIEW (IF REQD)
5. SPRINKLER DESIGN AS DEFERRED SUBMITTAL

JURISDICTION

ALL WORK AND MATERIAL SHALL BE EXECUTED IN FULL ACCORDANCE WITH ALL APPLICABLE CODES. MANUFACTURER SHALL PROVIDE AND BE RESPONSIBLE FOR ALL COSTS FOR PUBLIC PROTECTION AS REQUIRED BY THE CONTRACT DOCUMENTS AND LOCAL GOVERNMENT AGENCIES. FIRE EXTINGUISHERS AND CABINETS AS REQUIRED BY LOCAL GOVERNMENT AGENCY SHALL BE PROVIDED AND INCLUDED IN CONTRACT. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS ON THE SITE ALL EXITS TO BE OPENABLE FROM INSIDE WITHOUT USE OF A KEY.

GENERAL NOTES

ARCHITECTURAL

- A0.1 PROJECT DATA
- A1.0 PLANS
- A2.1 ELEVATIONS/ SECTIONS
- E1 ELECTRICAL
- P1 PLUMBING
- A5.1 DETAILS

DRAWING LIST

DESIGN, PERMITTING, FACTORY MANUFACTURING. TEAM LEAD

URBAN BLOC INC.
1540 Morse Blvd.
San Carlos CA. 94070.

Project Manager,
Jerry Jameson, CIO Urban Bloc Inc.
510 798 8007. jameson@urbanbloc.net

ENGINEER OF RECORD STRUCTURAL ENGINEER
R&S Tavares Associates, Inc
11777 Bernardo Plaza Court,
San Diego, CA 92128
ph: 858-444-3344 x 1801

T24 ENERGY COMPLIANCE
WADE ENERGY
1942 Linda Drive
Pleasant Hill CA 94523
510 383 5490

MECHANICAL/ PLUMBING
URBAN BLOC INC.
1540 Morse Blvd.
San Carlos CA. 94070.
510 798 8007.
jameson@urbanbloc.net.

MECHANICAL/ VENTILATION
URBAN BLOC INC.
1540 Morse Blvd.
San Carlos CA. 94070.
510 798 8007.
jameson@urbanbloc.net.8

APPROVED THIRD PARTY AGENCY
RADCO
3220 E. 59th St.
Long Beach, CA 90805
T: (562) 272-7231 Ex. 127
F: (562) 529-7513

ELECTRICAL
URBAN BLOC INC.
1540 Morse Blvd.
San Carlos CA. 94070.
510 798 8007.
jameson@urbanbloc.net.

CONTROLLED INSPECTIONS
RADCO
3220 E. 59th St.
Long Beach, CA 90805
T: (562) 272-7231 Ex. 127
F: (562) 529-7513

PROJECT TEAM

ENVIRONMENTAL HEALTH NOTES.

ALL FOOD ITEMS SHALL COME FROM AN APPROVED AND INSPECTED SOURCE
A COPY OF THE MENU IS INCLUDED WITH THE EQUIPMENT CUT SHEETS.NO POTENTIALLY HAZARDOUS FOOD WILL BE SERVED.

COMPLY WITH MANUFACTURERS RECOMMENDATIONS FOR A COMPLETE AND FULLY OPERATIONAL INSTALLATION.

FOR SHELVING OVER 5'-0" TALL, LAG-BOLT WALL UNITS TO WALL FRAMING. AT ISLAND UNITS, BOLT TO FLOOR AT EACH OF FOUR CORNERS. SEE DETAIL 5/A7.1

ALL CRACKS AND CREVICES AT OR NEAR FOOD PREPARATION EQUIPMENT SHALL BE SEALED.

PROVIDE SPACE FOR NON-FOOD ITEMS, CLEANERS, TOWELS, AND APPAREL.

PROVIDE SEPARATE STORAGE CONTAINER FOR SOILED LINENS, TOWELS, AND APPAREL.

ALL SHELVING OVER WET AREAS SHALL BE METAL.

A MINIMUM OF 50-FT CANDLES (538 LUX) OF LIGHT MEASURED 30" OFF THE FLOOR IS PROVIDED IN ALL FOOD PREPARATION AREAS DURING GENERAL CLEANUP ACTIVITIES.
THE FLOOR IS PROVIDED IN UTENSIL CLEANING AREA .

ALL FOOD-RELATED AND UTENSIL-RELATED EQUIPMENT SHALL MEET OR BE EQUIVALENT TO SANITATION STANDARDS ESTABLISHED BY AN AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) ACCREDITED PROGRAM.

ALL UTENSILS TO BE WASHED IN SCULLERY AND/OR IN DISHWASHER. HAND SINKS NOT TO BE USED FOR THIS PURPOSE.

THE UNDERSIDE OF ALL COUNTERTOPS SHALL BE WHITE. SURFACE SHALL BE SMOOTH AND EASILY CLEANABLE.

ALL COUNTERTOPS SHALL HAVE AN EASILY CLEANABLE SURFACE.

ALL FOOD SHALL BE STORED AT LEAST 6" OFF THE FLOOR.
ALL CONTAINERS STORED ON DOLLIES, RACKS, OR PALLETS SHALL BE EASILY MOVABLE.

SHELVING TO BE CONSTRUCTED SO AS TO BE EASILY CLEANABLE.

ALL EQUIPMENT SHALL BE EITHER EASILY MOVABLE (IE., ON CASTERS), LIGHT ENOUGH SO AS TO BE EASILY MOVED BY ONE PERSON, INSTALLED ON RAISED MINIMUM 6" ROUNDED METAL LEGS, OR SEALED IN POSITION ON 4" MINIMUM HIGH CONTINUOUSLY AND INTEGRALLY COVED BASE OR COVED CONCRETE CURB TO FACILITATE EASE OF CLEANING.
GAPS AND SPACES BETWEEN EQUIPMENT BASE AND TOP OF ISLANDS SHALL BE SEALED WITH A NON-HARDENING SILICONE SEALANT.

ALL EQUIPMENT ON COUNTERS, TABLES, AND SHELVES THAT ARE NOT EASILY LIFTED ARE TO BE INSTALLED ON APPROVED 4" LEGS, OR SEALED TO TABLE, SHELVES, ETC.

ALL EQUIPMENT, FLASHING, AND BACKSPLASHES ARE TO BE ADEQUATELY SEALED TO THE WALL AND ABUTTING EQUIPMENT, OR MOVED AWAY FROM THE WALL 6" FOR EVERY 4 LINEAR FEET OF EQUIPMENT FRONTAL LENGTH, OR AWAY FROM EACH OTHER.

ALL UTENSIL WASHING SINKS, STEAM TABLES, ICE MACHINES AND BINS, DISPLAY CASES, AND OTHER SIMILAR EQUIPMENT WHICH DISCHARGE LIQUID WASTE, SHALL HAVE THIS WASTE CONVEYED BY A SEWER LINE AND DISPOSED THEREIN BY AN INDIRECT CONNECTION INTO A FLOOR SINK, FUNNEL DRAIN, OR EQUIVALENT DEVICE. INDIRECT WASTE RECEPTORS SHALL BE LOCATED SO AS TO BE READILY ACCESSIBLE FOR INSPECTION AND CLEANING. DRAIN LINES SHALL NOT CROSS ANY AISLE, TRAFFIC AREA, OR DOOR OPENING.

ENVIRONMENTAL HEALTH NOTES.

LIGHT BULBS SHALL BE SHIELDED, COATED, OR OTHERWISE SHATTER-RESISTANT IN AREAS WHERE THERE IS NONPREPACKED READY-TO-EAT FOOD, CLEAN EQUIPMENT, UTENSILS, AND LINENS, OR UNWRAPPED SINGLE-USE.

ALL ADJACENT/ SHARED FACILITIES UNDER SAME OWNERSHIP.

- (See Site Plan for locations)
- EMPLOYEE BATHROOMS
- JANITORIAL SERVICES
- TRASH AREAS

PROJECT IS PERMITTED AS A FOOD COURT UNDER SEPARATE PERMIT.

ENVIRONMENTAL HEALTH NOTE:
DRY GOODS STORAGE PER CFRC 2015

SQFT (Interior) 230 x .25 =58 Lin.ft required

Metro Shelf 3'-0" (5 tier) x 1 (qty)	15
Metro Shelf 4'-0" (5 tier) x 1 (qty)	20
Wall Shelving 3'-0" x 1 (qty)	3
Wall Shelving 4'-0" x 3 (qty)	12
Wall Shelving 5'-0" x 2 (qty)	10
Total provided	=60 Lin.ft

ENVIRONMENTAL HEALTH NOTE:
ELECTRICAL WATER HEATER SIZING

ASSUMING 62deg. Temp Rise

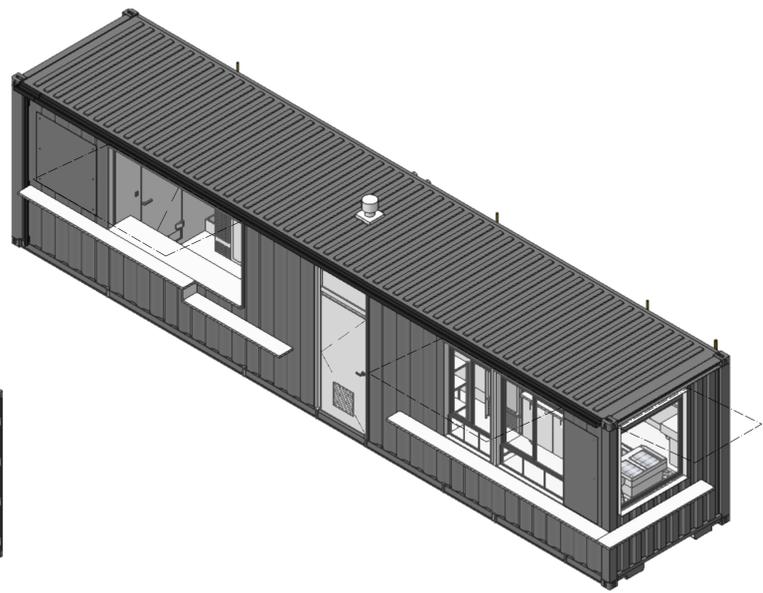
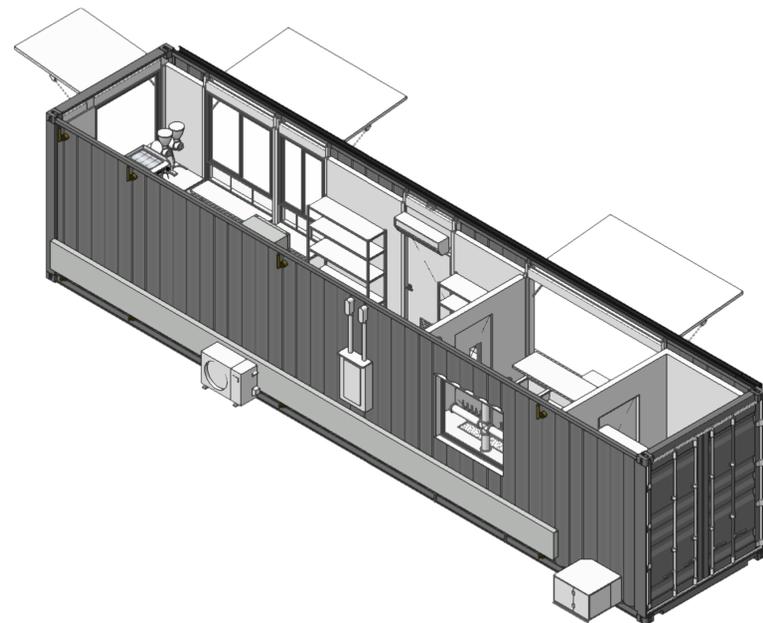
ITEM	QTY	DEFAULT FACTOR	GPH	
Utensil Sink Small (18"x18" or smaller)	3	14	42	
Hand Wash Sink (including restrooms)	2	5	10	
			52	TOTAL
SINGLE USE UTENSILS (X0.9)			46.8	TOTAL

POWER CONSUMPTION
 $46.8(62)(8.33) = 24170.35 = 7.25 KW$
 $0.98(3412) = 3343.8$

AO SMITH COMMERCIAL DEN-52, 50 Gal. 8KW.

WALL & CEILING FINISHES.
Smooth, Durable, Easily Cleanable Light Colored And Non-absorbent Finishes Are Required In The Following Areas:

- Where Food Is Prepared Or Packaged.
- Customer Self Service Locations Where Open Food Or Beverages Is Dispensed
- Wait stations
- Utensil Washing Or Storage
- Janitorial Areas
- Restrooms
- Employee Locker Rooms
- Walk In Refrigerators/ Freezers
- Food Storage In Original Unopened Containers
- Garbage And Refuse Storage.



SITE PLAN (SEE SITE ARCHITECTURE DRAWINGS)

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THE RADIUS - BEVERAGE
1501 Harbor Bay Pkwy. Alameda, CA 94502

SUBMITTALS
ISSUE 90% CLIENT 05.05.22

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May 5, 2022

DRAWING TITLE
PROJECT DATA

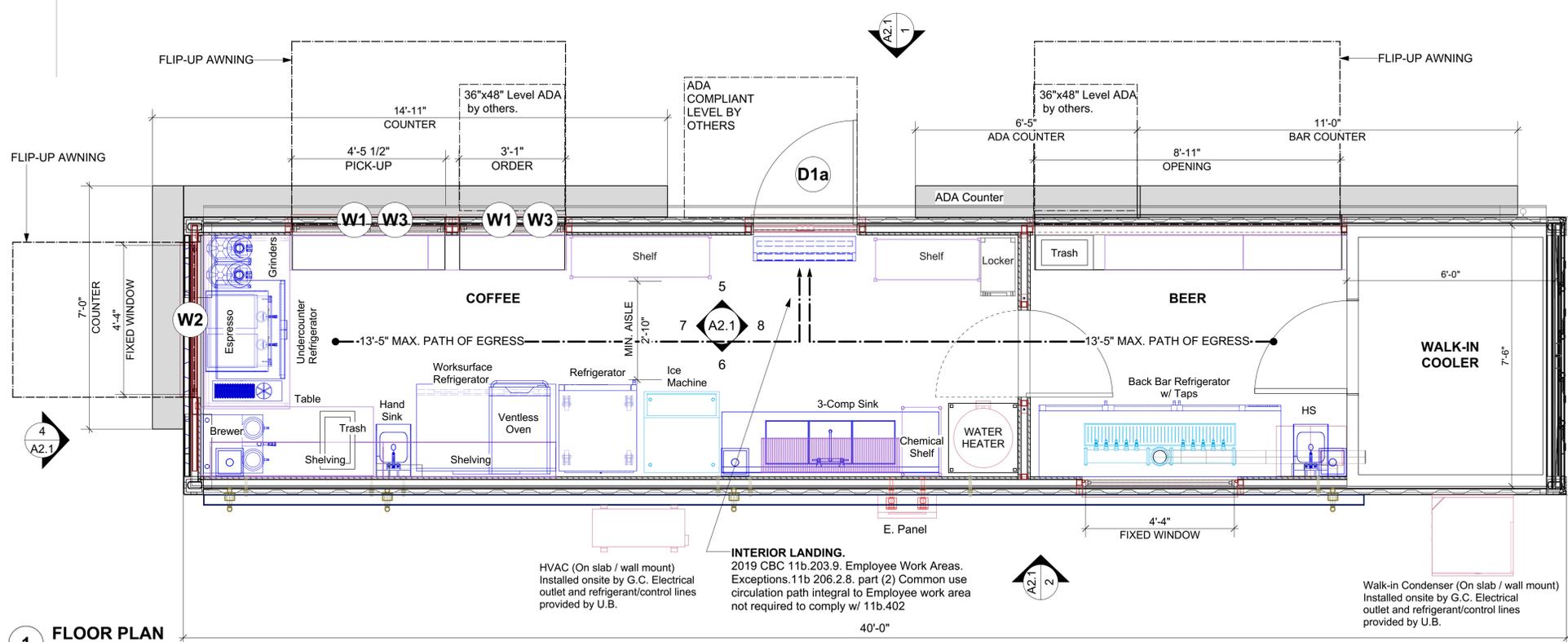
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SHEET NUMBER

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PAGES @ 24"x36"

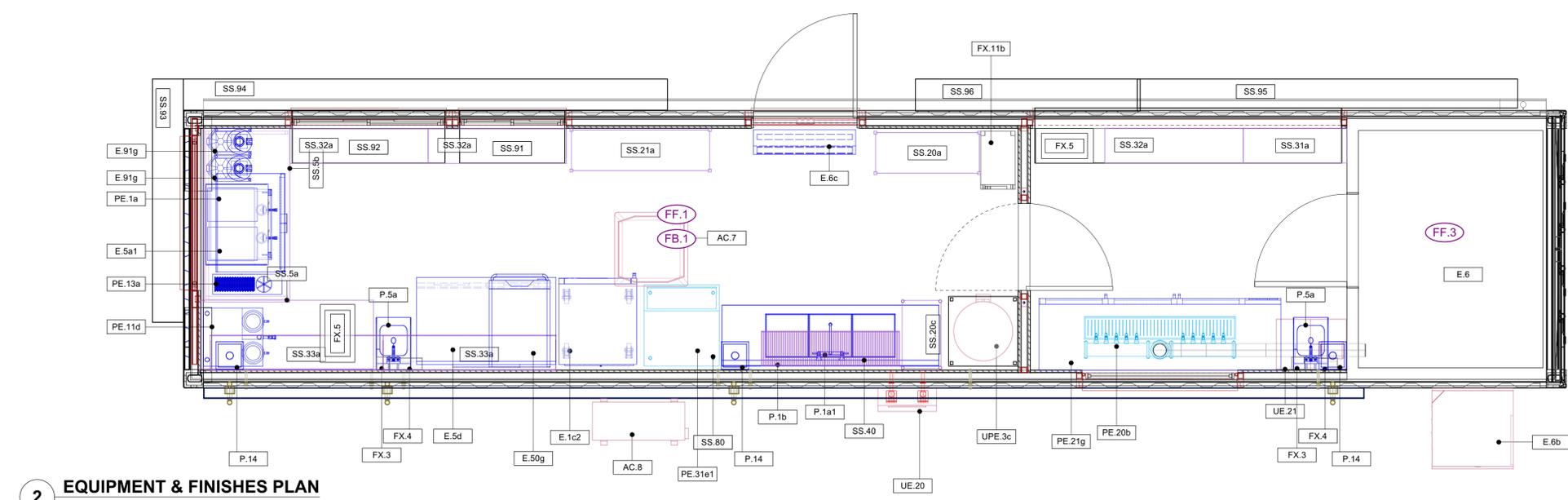
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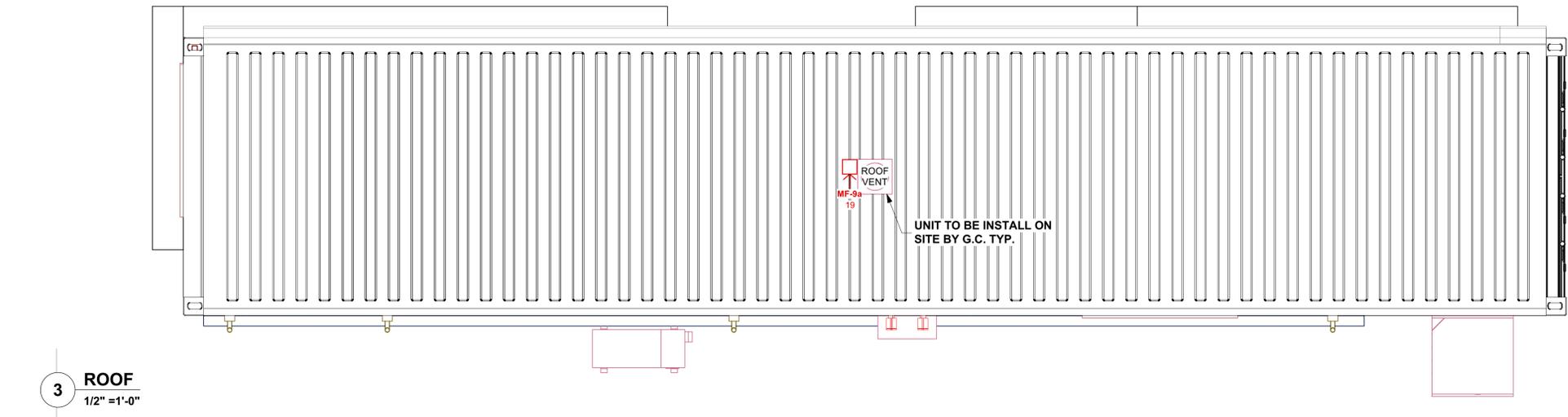


FINISH SCHEDULE			
#	QTY	ITEM	REMARKS
WALL FINISHES			
W1.1	FRP	White Frp (fiberglass Reinforced Panel) Sequencia Or Eq. With integral silicone seals or mouldings @ All Joint, Corner, And Edge Conditions. Aluminum "M" Moulding At Bottom. Class C Rated.	
W1.3	EXTERIOR PAINT	Direct to metal Paint Color	Sherwin-Williams SW7674 Peppercorn
W1.4	GALV. WALLPANELS	WALK IN COOLER MANUFACTURER	26GA. Stucco Galv. Steel Panels NSF Approved W/ Cam Lock Fasteners & Silicone sealant @ all joints. TYP.
FLOOR FINISHES			
FF.1	EPOXY FLOOR COATING	General Polymer 3744 High Performance Cr Epoxy. Epoxy Applied As 10 Mil. Slurry. Light Grey. OR APPROVED EQUAL.	Comply W/ Env. Ca. Retail food Code. Flooring to be smooth finish under sinks, counters and racks.
FF.3	WALK IN COOLER	STAINLESS STEEL FLOOR	NSF Compliant W/ 3/8" Integral Radius at Floor/ Wall Junction 22GA. Stainless Floor Smooth.
FB.1	COVE BASE BOARD	EPOXY TO MATCH	Provide 6" integral base W/ 1/2" min radiused cove.
CEILING FINISHES			
CG.1	GYPSUM LAY IN	Gold Bond 2x4, 2x2 Gridstone(Laminated vinyl Food Grade) 9/16". White Smooth ALU. Trim & Hangers.	All trim pieces, factory painted. cleanable.
CG.2	ACOUSTIC LAY IN	Armstrong 2x4, 2x2 KITCHEN ZONE(Food Grade) 9/16". White Smooth ALU. Trim & Hangers.	All trim pieces, factory painted. cleanable.
EXTERIOR CLADDING			
EP-2	Wood Panels	3/4" Wd. Boards	
EP-4	BLACKENED METAL PLATE	1/8" Mil Plate. Sealed.	Include all support frames. Trim Etc.

EQUIPMENT LIST									
UID #	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (WxDxH)	COMMENTS	FURNISH	INSTALL	
1	E.91g	1	Coffee Grinder	Cimball	7/5A	10"W x 19"D x 25"H		Client	Client
2	E.91g	1	Coffee Grinder	Cimball	7/5A	10"W x 19"D x 25"H		Client	Client
3	PE.1a	1	Espresso Machine	LA MARZOCCO	Linea Classic: 2 Group	28"W x 21"D x 22"H		Client	Client
4	E.5a1	1	Refrigerator: Worktop	BEVERAGE-AI R	WTR34HC	34" x 24 5/8" x 36 1/8"		Client	Client
5	PE.11d	1	Coffee Brewer	CURTIS	G4TP110A3100	20.13 x 20.63 x 24.75		Client	Client
6	E.5d	1	Refrigerator: Worktop	TRUE	TWT-48-HC	48-3/8" x 30-1/8" x 33-3/8"		Client	Client
7	E.50g	1	Ventless Oven	TURBO CHEF	BULLET	21.17" x 29.98" x 23"		Client	Client
8	E.1c2	1	Single Door Refrigerators	TRUE	T-23G-HC	27"W x 29 7/8"D x 78 3/8"H		Client	Client
9	PE.31e1	1	Ice Machine	Manitowoc	UDF-0190A	26 x 28 x 38.5	substitute legs for 12" (SS.80)	Client	Client
10	PE.21g	1	Perlick Back Bar Refrigerator	Perlick	BBS84	84" x 24.75" x 24.565"		Client	Client
11	PE.20b	1	Beer Tower w/ drip tray	Perlick	CM1901924 / C18663	52.38" x 15.5"		Client	Client
13	E.6c	1	36" Air Curtain	Curtron	AP-2-36-SS	36" x 10" x 12"		UB	UB
14	E.6	1	Custom Walk-in Cooler	RUDY'S	8'-6" High Mill Clad Wood Pnls	TBD	Custom Manufactured	UB	UB
15	E.6b	1	Walk-in Cooler Condensing Unit	HEATCRAFT	MOH010X62CFM	17 1/4 x 28 1/4 x 23 3/4	Connections made on site	UB	UB
16	UE.21	1	Beer Chiller System	Perlick	4410	24.25 x 17.25 x 25.5		Client	Client
17	AC.7	1	Ductless System	Carrier	40MBCQ18--3	22.44" x 22.44" x 10.24"		UB	UB
18	AC.8	1	Outdoor Condenser	Carrier	38MAQB18R--3	35.04" x 13.46" x 29.13"		Client	Client
19	MF-9a	1	Roof Vent	Aura Attic Fan	AF-6-C4-CMF	12" x 12" x 12"	CFM 120	UB	UB
20	UPE.3c	1	Water Heater	AO Smith	DEN-52.50g.8KW	20 1/2"Ø x 54 7/8"H	Connections made on site	UB	UB
21	UE.20	1	Electrical Panel	SIEMENS	200A	TBD		UB	UB



PLUMBING, STAINLESS & FIXTURES									
#	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (W X D x h)	COMMENTS	FURNISH	INSTALL	
FX.3	2	Soap Dispenser	SAN JAMAR	Model: SH900TBK	5.5" x 4" x 12"		UB	UB	
FX.4	2	Paper Towel Dispenser	SAN JAMAR	Model: T1900XC	11 3/8" x 4" x 14 3/4"		UB	UB	
FX.5	2	Trash Can	SLIM JIM	23 gallon	15.8" x 22" x 30"		Client	Client	
FX.11b	1	Locker	GSW	ELS-5DR	12" x 16" x 77"		TBD	TBD	
P.1a1	1	3-Comp Sink w/ splash guards	T&S	5F-8WLX10		3-Comp Sink	UB	UB	
P.1b	1	3-Comp Sink w/ splash guards	GSW	SE15153D	75 1/4" x 21" x 45"		UB	UB	
P.5a	2	Drop-in Hand Sink w/ splash guards	KROWNE	HS-1225	12" x 18" x 15 1/2"	5" bowl	UB	UB	
P.14	3	Floor Sink	WATTS	FS-710 Sanitary Floor Sink	8 1/8"W x 8 1/8"D x 6 1/4"H		UB	UB	
PE.13a	1	Pitcher Rinser	Espresso Parts	EPPR724	24 x 7 x 7/8		UB	UB	
SS.5a	1	5' Stainless Table	GSW	16 Gauge SS top and back splashes 4" sealed. Optional undershelf	60"W x 24"D x 35 1/2"H		TBD	TBD	
SS.5b	1	5' Stainless Table	GSW	16 Gauge SS top and back splashes 4" sealed. Optional undershelf	60"W x 30"D x 35 1/2"H		TBD	TBD	
SS.20a	1	3' Metro Shelf 5 Tier	METRO	5-Tier	36" x 14" x 73 1/2"		TBD	TBD	
SS.20c	1	2' Metro Shelving	METRO	2-Tier	24" x 14"	chrome finish	UB	UB	
SS.21a	1	4' Metro Shelf 5 Tier	METRO	5-Tier	48" x 14" x 73 1/2"		TBD	TBD	
SS.31a	1	3' SS Shelving Solid	GSW	SS Shelving	12" x 36"		TBD	TBD	
SS.32a	3	4' SS Shelving Solid	GSW	SS Shelving	12 x 48		TBD	TBD	
SS.33a	2	5' SS Shelving Solid	GSW	SS Shelving	12" x 60"		TBD	TBD	
SS.40	1	Wire Wall Shelf	EAGLE	SNSW1248V-X, Gray Epoxy	48" x 12"		UB	UB	
SS.80	1	Stainless Steel Legs 12"	Manitowoc	K00144	12"	substitute legs for ice machine	Client	Client	
SS.91	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD		UB	UB	
SS.92	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD		UB	UB	
SS.93	1	Custom Counter	SEAPORT	SS Counter	TBD		UB	UB	
SS.94	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD		UB	UB	
SS.95	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD		UB	UB	
SS.96	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD		UB	UB	



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THE RADIUS - BERBERAGE
1501 Harbor Bay Pkwy. Alameda, CA 94502

Submittals
ISSUE 90% CLIENT 05.05.22

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May 5, 2022

DRAWING TITLE
PLANS

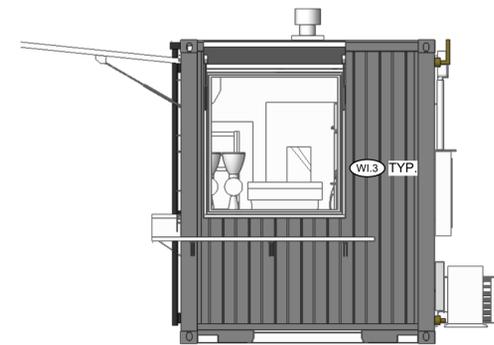
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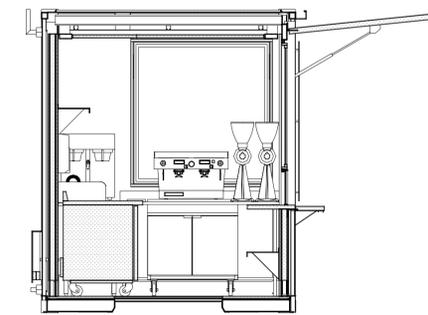
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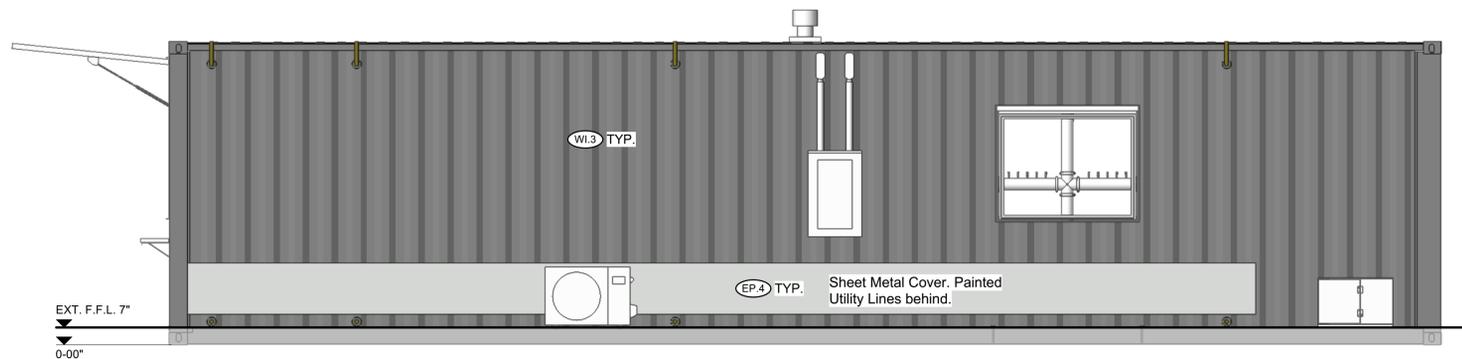
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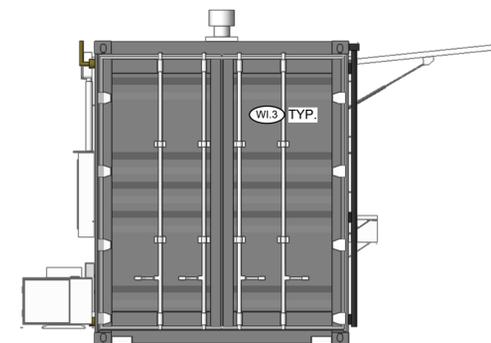
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Scale: 3/8" = 1'-0"



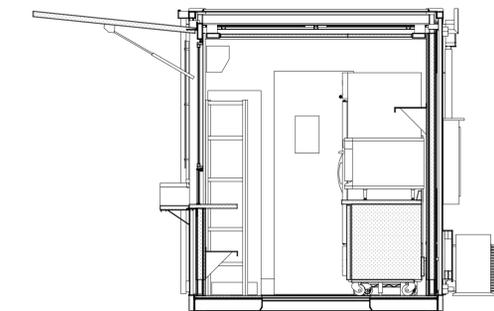
7 SECTION VIEW
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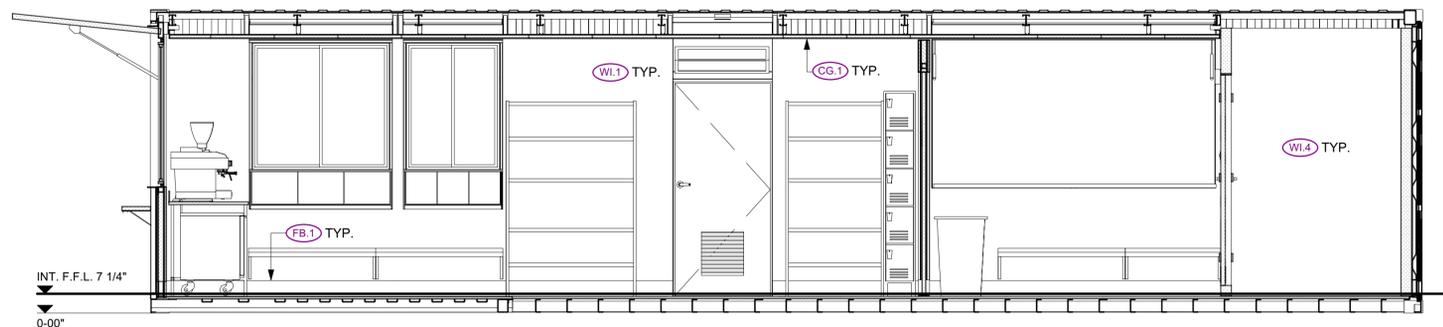
2 FRONT ELEVATION
Scale: 3/8" = 1'-0"



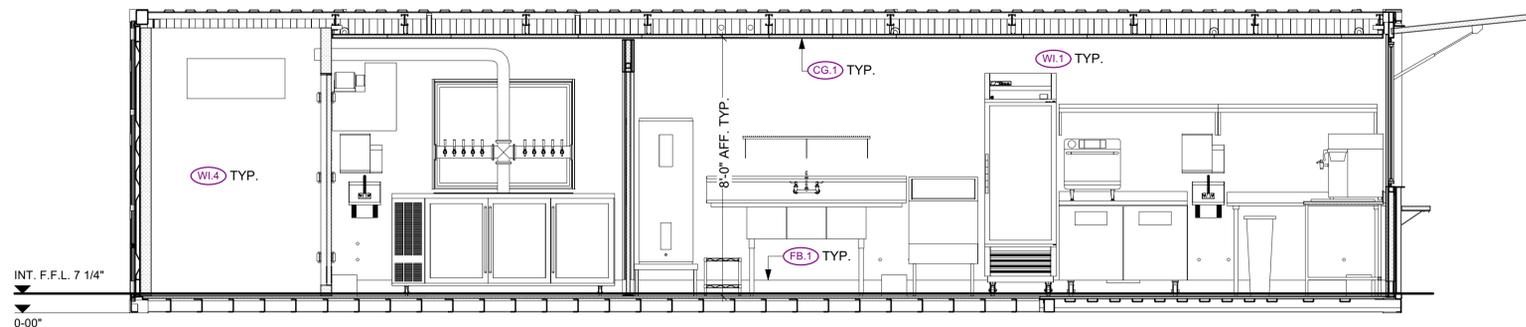
4 RIGHT ELEVATION
Scale: 3/8" = 1'-0"



8 SECTION VIEW
Scale: 3/8" = 1'-0"



5 SECTION VIEW
Scale: 3/8" = 1'-0"



6 SECTION VIEW
Scale: 3/8" = 1'-0"

FINISH SCHEDULE			
#	QTY/ITEM	MFG. CAT. SPECIFICATION	REMARKS
WALL FINISHES			
WI.1	FRP	White Frp (fiberglass Reinforced Panel) Sequencia Or Eq., With integral silicone seals or mouldings @ All Joint, Corner, And Edge Conditions. Aluminum "H" Moulding At Bottom. Class C Rated.	
WI.3	EXTERIOR PAINT	Direct to metal Paint Color	Sherwin-Williams SW7674 Peppercorn
WI.4	GALV. WALLPANELS	WALK IN COOLER MANUFACTURER	26GA. Stucco Galv. Steel Panels NSF Approved W/ Cam Lock Fasteners & Silicone sealant @ all joints. TYP.
FLOOR FINISHES			
FF.1	EPOXY FLOOR COATING	General Polymer 3744 High Performance Cr Epoxy. Epoxy Applied As 10 Mil. Slurry. Light Grey. OR APPROVED EQUAL.	Comply W/ Env. CA. Retail food Code. Flooring to be smooth finish under sinks, counters and racks.
FF.3	WALK IN COOLER	STAINLESS STEEL FLOOR	NSF Compliant W/ 3/8" Integral Radius at Floor/ Wall Junction 22GA. Stainless Floor Smooth.
FB.1	COVE BASE BOARD	EPOXY TO MATCH	Provide 6" integral base W/ 1/2" min radiused cove.
CEILING FINISHES			
CG.1	GYPSUM LAY IN	Gold Bond 2x4, 2x2 Gridstone(Laminated vinyl Food Grade) 9/16". White Smooth ALU. Trim & Hangers.	All trim pieces, factory painted. cleanable.
CG.2	ACOUSTIC LAY IN	Armstrong 2x4, 2x2 KITCHEN ZONE(Food Grade) 9/16". White Smooth ALU. Trim & Hangers.	All trim pieces, factory painted. cleanable.
EXTERIOR CLADDING			
EP-2	Wood Panels	3/4" Wd. Boards	
EP-4	BLACKENED METAL PLATE	1/8" Mil Plate. Sealed.	Include all support frames, Trim Etc.



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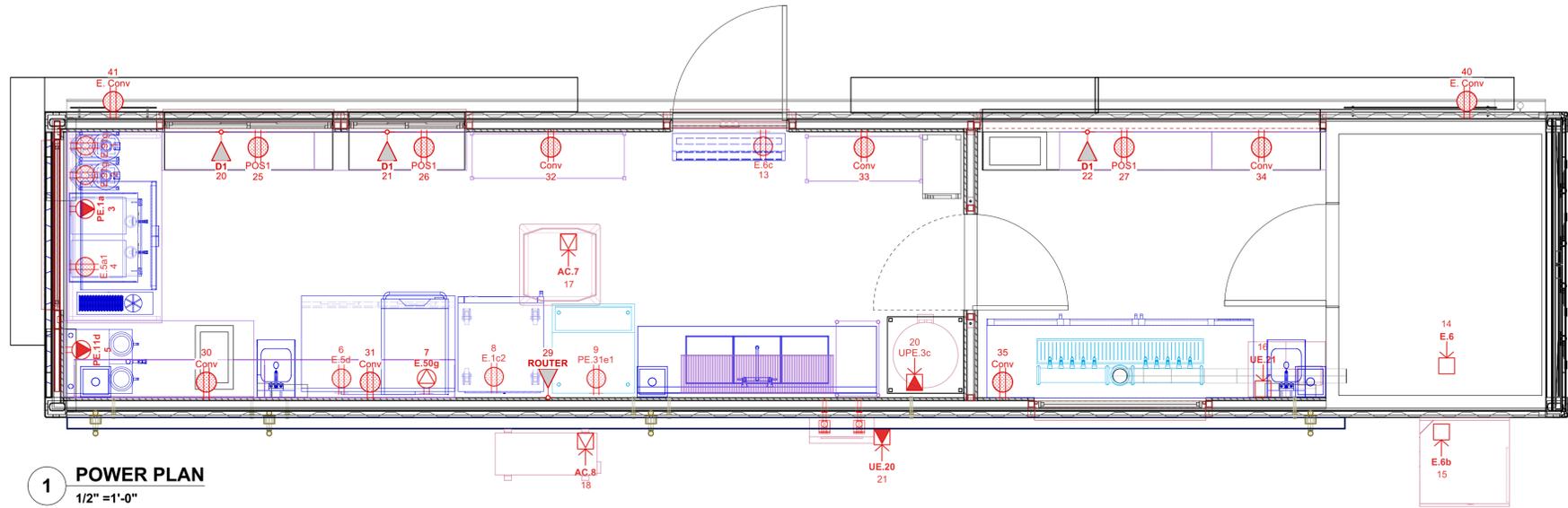
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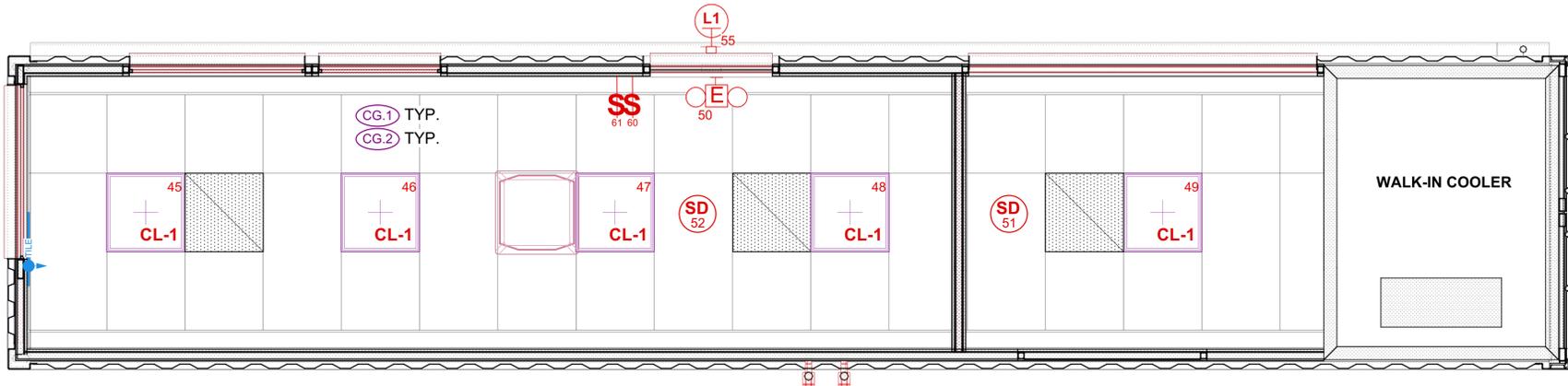
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A2.1
PAGES @ 24"x36"

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1 POWER PLAN
1/2" = 1'-0"



2 CEILING PLAN
1/2" = 1'-0"

NOTE: FOR ROOF ELECTRICAL CONNECTION SEE A1.1

EQUIPMENT LIST							ELECTRICAL					PLUMBING							
UID #	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (WxDxH)	COMMENTS	FURNISH	INSTALL	VOLTAGE	PHASE	AMPS	PLUG	HT.AFF	WIRE	DRN. (D/I)	HOT	COLD	GAS	COMMENTS
1	E.91g	1	Coffee Grinder	Cimballi	7/SA	10"W x 19"D x 25"H	Client	Client	208-240	1	1.36	5-15	18"	12/2					
2	E.91g	1	Coffee Grinder	Cimballi	7/SA	10"W x 19"D x 25"H	Client	Client	208-240	1	1.36	5-15	18"	12/2					
3	PE.1a	1	Espresso Machine	LA MARZOCCO	Linea Classic: 2 Group	28"W x 21"D x 22"H	Client	Client	208-240	3	22	6-20	18"	10/3	Indirect		3/4"		
4	E.5a1	1	Refrigerator: Worktop	BEVERAGE-AIR	WTR34HC	34" x 24 5/8" x 36 1/8"	Client	Client	115	1	2	5-15	18"	12/2					
5	PE.11d	1	Coffee Brewer	CURTIS	G4TP1T10A3100	20.13 x 20.63 x 24.75	Client	Client	220	3	23-34.5	HW	44"	8/3			3/4"		
6	E.5d	1	Refrigerator: Worktop	TRUE	TWT-48-HC	48-3/8" x 30-1/8" x 33-3/8"	Client	Client	115	1	3	5-15	18"	12/2					
7	E.50g	1	Ventless Oven	Turbo Chef	BULLET	21.17" x 29.98" x 23"	Client	Client	208/240	1	30	6-30	44"	10/3					
8	E.1c2	1	Single Door Refrigerators	TRUE	T-23G-HC	27"W x 29 7/8"D x 78 3/8"H	Client	Client	115	1	2.2	5-15	18"	12/2					
9	PE.31e1	1	Ice Machine	Manitowoc	UDF-0190A	26 x 28 x 38.5	substitute legs for 12" (SS.80)	Client	Client	115	1	6	5-15	18"	12/2	Indirect		3/8"	
10	PE.21g	1	Perlick Back Bar Refrigerator	Perlick	BBS84	84" x 24.75" x 24.565"	Client	Client	120	1	6.3	5-15	18"	12/2	Indirect				
11	PE.20b	1	Beer Tower w/ drip tray	Perlick	CM1801924 / C18663	52.38" x 15.5"									Indirect				
13	E.6c	1	36" Air Curtain	Curtron	AP-2-36-SS	36" x 10" x 12"		UB	UB	120	1	4.17	5-15	RW	12/2				
14	E.6	1	Custom Walk-in Cooler	RUDY'S	8'-6" High Mil Clad Wood Pnlis	TBD	Custom Manufactured	UB	UB			TBD			Indirect				
15	E.6b	1	Walk-in Cooler Condensing Unit	HEATCRAFT	MOH010X62CFM	17 1/4 x 28 1/4 x 23 3/4	Connections made on site	UB	UB	208-230	1	7	5-15	TBD	12/3				
16	UE.21	1	Beer Chiller System	Perlick	4410	24.25 x 17.25 x 25.5	Client	Client	120	1	17.5	HW		12/2					
17	AC.7	1	Ductless System	Carrier	40MBCQ18--3	22.44" x 22.44" x 10.24"		UB	UB	208/230	1	0.2	HW	Ceiling	12/3	Indirect			
18	AC.8	1	Outdoor Condenser	Carrier	38MAQB18R--3	35.04" x 13.46" x 29.13"	Client	Client	208/230	1	16	HW		12/3	Indirect				
19	MF-9a	1	Roof Vent	Aura Attic Fan	AF-6-C4-CMF	12" x 12" x 12"	CFM 120	UB	UB	115	1	0.9	HW	Ceiling	12/2				
20	UPE.3c	1	Water Heater	AO Smith	DEN-52, 50g, 8KW 4000/4000	20 1/2"Ø x 54 7/8"H	Connections made on site	UB	UB	208	3	33.3	HW	18"	8/3	Indirect			
21	UE.20	1	Electrical Panel	SIEMENS	200A	TBD		UB	UB			200							

ELECTRICAL LEGEND

LIGHTING - 40 LUMENS/WATT OR GREATER FOR GENERAL LIGHTING IN WORK AREAS AND BATHROOMS PER 90774 STANDARD. IF MORE THAN ONE LIGHT IS PROVIDED IN A ROOM, GENERAL LIGHTING TO BE FLUORESCENT.

FOOD: USE A MINIMUM OF 20 FT CANDLES/100 SQ FT OF LIGHT MEASURED 30" OFF THE FLOOR IS PROVIDED IN ALL FOOD PREPARATION AREAS DURING GENERAL CLEANUP ACTIVITIES. A MINIMUM OF 10 FT CANDLES (100 LUX) OF LIGHT MEASURED 30" OFF THE FLOOR IS PROVIDED IN UTENSIL CLEANING AREA (BACK BAR AREA).

MANDATORY MEASURES

- Building Lighting Shut-off: THE BUILDING LIGHTING SHUT-OFF CONSISTS OF AUTOMATIC TIME SWITCH WITH SEPARATE ZONES AND OVER-RIDE SWITCHES.
- Automatic Control Device Certified: ALL AUTOMATIC CONTROL DEVICES SPECIFIED ARE CERTIFIED BY THE MANUFACTURER. ANY AUTOMATIC EQUIPMENT SHALL BE CERTIFIED AND RETAILOUT AS DIRECTED BY THE MANUFACTURER.
- Fluorescent Ballast and Luminaires Certified: ALL FLUORESCENT LIGHT FIXTURES SUBJECT TO THE CERTIFICATION AND SPECIFIED FOR THIS PROJECT ARE CERTIFIED.
- Individual Room/Area Controls: EACH ROOM AND AREA IN THE TENANT SPACE IS EQUIPPED WITH A SEPARATE SWITCH OR OCCUPANCY SENSOR DEVICE FOR EACH AREA WITH FLOOR TO CEILING WALLS.
- Uniform Redesign for Individual Rooms: ALL ROOMS AND AREA GREATER THAN 100 SQUARE FEET AND MORE THAN 8 WATTS PER SQUARE FOOT OF LIGHTING LOAD ARE CONTROLLED WITH BELIEVABLE SWITCHING FOR UNIFORM REDUCTION OF LIGHTING WITHIN THE ROOM.
- Dark Area Controls: NA
- Control of Exterior Lights: By Owner.

OUTLETS

Decorate Type UON. Circuit/ 2 way, 3 way, Etc.

SWITCHING

Decorate Type UON. Circuit/ 2 way, 3 way, Etc.

ELECTRICAL PANELBOARD

SEE PANEL SCHEDULE
 CA. Code Compliant Raceway: 3.5 x 5" Wiremold Two-Piece or approved equal.

RACEWAY

Armoured cable drop locations, size of armoured cable to be determined by load requirements Southwest Armortite Type MC

FLEX MTL CONDUIT, TYP

Combination Exit & Emergency Twin Head Lighting Integral Battery Unit

EXIT & EMERGENCY LIGHTING

SMOKE DETECTOR: Hard Wired

DATA

DATA DISTRIBUTION POINT. HARDWIRED LOCATION. Ceiling identified includes duplex outlet for switch/ Router.

VENTILATION FAN

MIN. 300 CFM. Through Wall Installation.

HARD WIRE CONNECTION

LB

EXTERIOR PENETRATION

Size as indicated on drawings

JUNCTION BOX

Size as indicated on drawings

LIGHTING FIXTURES

CL-1 2x2 LAY IN FIXTURE Low Voltage LED.

CL-2 RECESSED DOWNLIGHT Low Voltage LED. (a) Downlight (b) Wall Washer

CL-3 SURFACE MTD CEILING Commercial Electric Fluorescent. #CEV104-06 4x F32T8

CD 2x2 LAY IN FIXTURE Ceiling Air Duct Square Diffuser

XL-1 EXTERIOR SCENCE Low Voltage LED. Exterior J-box and conduit to interior raceway system. Exterior lighting on single 30A circuit UON.

IL-2 PENDANT LIGHT

IL-3 INTERIOR SCENCE

DL-1 INTERIOR TRACK DISPLAY LIGHTING. Circuit provided only. Circuit limiters may be installed.

DL-2 LED LINEAR

E-INFRASTRUCTURE

UID#	ID.	FIXTURE TYPE	HT. FFL	REMARKS	WIRE
20	D1	Data	24"	REGULAR	12/2
21	D1	Data	24"	REGULAR	12/2
22	D1	Data	24"	REGULAR	12/2
25	POS1	POS	24"	REGULAR	12/2
26	POS1	POS	24"	REGULAR	12/2
27	POS1	POS	24"	REGULAR	12/2
29	ROUTER	Router	Ceiling	Above Raceway	12/2
30	Conv	Convenience	44"	REGULAR	12/2
31	Conv	Convenience	44"	REGULAR	12/2
32	Conv	Convenience	44"	REGULAR	12/2
33	Conv	Convenience	44"	REGULAR	12/2
34	Conv	Convenience	44"	REGULAR	12/2
35	Conv	Convenience	44"	REGULAR	12/2
40	E. Conv	Ext. Convenience	18"	REGULAR	12/2
41	E. Conv	Ext. Convenience	18"	REGULAR	12/2
45	CL-1	2X2 Fixture	Ceiling	Lay In Fxt.	12/2
46	CL-1	2X2 Fixture	Ceiling	Lay In Fxt.	12/2
47	CL-1	2X2 Fixture	Ceiling	Lay In Fxt.	12/2
48	CL-1	2X2 Fixture	Ceiling	Lay In Fxt.	12/2
49	CL-1	2X2 Fixture	Ceiling	Lay In Fxt.	12/2
50	E	Exit/Emergency Lighting	Ceiling		12/2
51	SD	Smoke Detector	Ceiling	Addressable	12/2
52	SD	Smoke Detector	Ceiling	Addressable	12/2
55	L1	Exterior Sconce	84"		12/2
60	Switch	Switch	44"	45,46,47,48,49	12/2
61	Switch	Switch	44"	55	12/2

(E)PANEL
The Radius Beverage Unit

VOLTAGE: 208Y/120V WIRE: 4 MOUNTING: SURFACE NOTES:
 BUS RATING: 200A PHASE: 3 AIC RATING: 10K
 MAIN REQUIREMENT: 200A MLO TYPE: N-3R CONDITION: NEW

CKT#	NOTES	LOAD	CB	P	T	LOAD DESCRIPTION	LOAD KVA	PHASE	LOAD KVA	LOAD DESCRIPTION	CB	P	T	LOAD	NOTES	CKT#
1		K	1	20		E.91g	0.48	A	1.47		3	30		K		2
3		K	1	20		E.91g	0.48	B	1.47	PE.1a				K		4
5		K	1	20		E.5a1	0.24	C	1.47					K		6
7		K	1	20		E.5d	0.36	A	2.33					K		8
9		K	1	20		E.1c2	0.26	B	2.33	PE.11d				K		10
11		K	1	20		PE.31e1	0.72	C	2.33					K		12
13		K	1	20		E.21g	0.76	A	2.00					K		14
15		K	1	20		E.6c	0.50	B	2.00	E.50g				K		16
19		D	1	20		E.6 walk-in cooler	1.88	C	2.00					D		18
21		D	1	20		UE.21	1.88	A	2.22					D		20
23		D	1	20		AC	1.92	B	2.22	UPE.3c				D		22
25		D	1	20		POSITION 20.21.22	0.54	A	0.14	MF-9a				D		24
27		D	1	20		POSITION 25.26.27	0.54	B	0.36	CONV.30.31				D		26
29		G	1	20		CONV.32.33	0.36	C	0.36	CONV.34.35				G		28
31		C	1	20		LIGHTING - GENERAL	0.54	A	0.36	CONV.30.41				G		30
33																32
35																34
37																36
39																38
41																40
42																42

CONNECTED LOAD:
 PHASE A 13.08 KVA
 PHASE B 12.08 KVA
 PHASE C 13.30 KVA
TOTAL 38.46 KVA

DEMAND LOAD CALCULATION

LOAD	NEC DEMAND FACTOR	LOAD
CONTINUOUS LOAD (C)	0.54	125%
DEDICATED LOAD (D)	15.28	100%
GENERAL RECEPTACLE (G)	1.44	100% of 1st 10kVA & 50% of remaining
INTERMITTENT EQUIPMENT (K)	21.20	65%
MECHANICAL EQUIPMENT (M)	0.00	125% of largest motor & 100% of remaining
TOTAL DEMAND KVA		31.17
AMPS @ 208Y/120V, 3 PHASE, 4 WIRE:		88.83

NOTES:
 HL=PADLOCKABLE HANDLE LOCK-OFF



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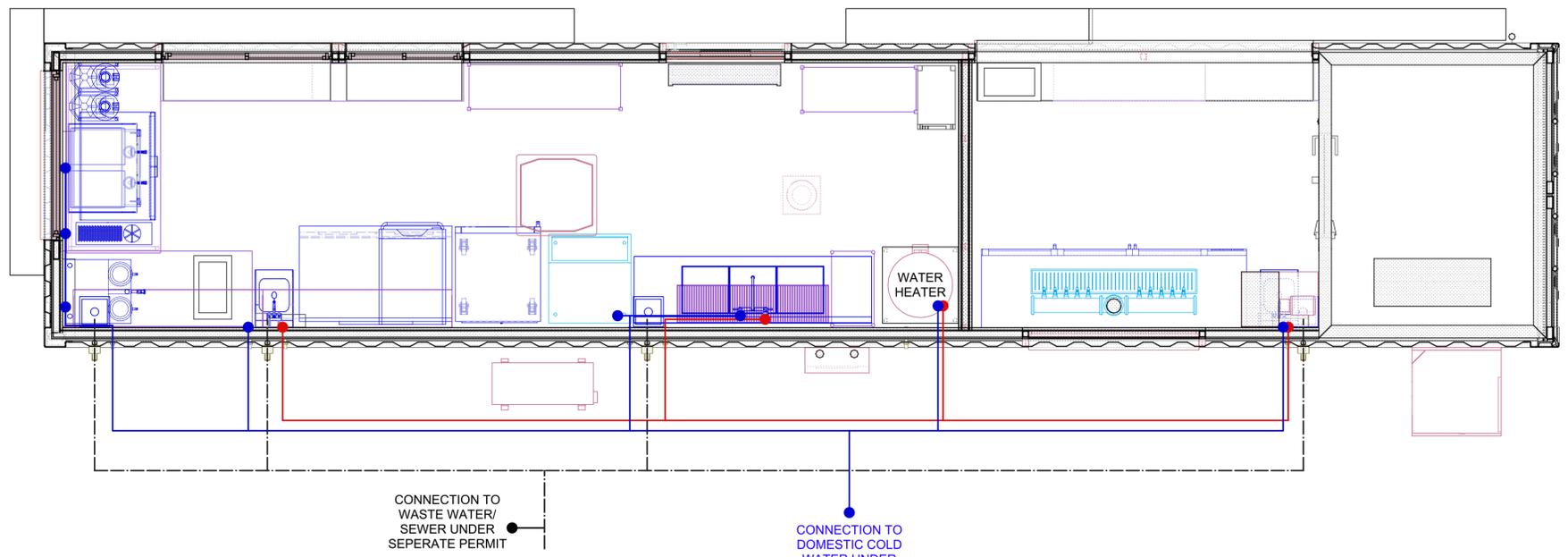
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1 PLUMBING & VENTILATION PLAN
 1/2" = 1'-0"

LOCATION OF LATERAL SEWER LINE TO DETERMINED BY SITE BY ENGINEER/CONTRACTOR

CONNECTION TO DOMESTIC COLD WATER UNDER SEPARATE PERMIT

CONNECTION TO WASTE WATER/SEWER UNDER SEPARATE PERMIT

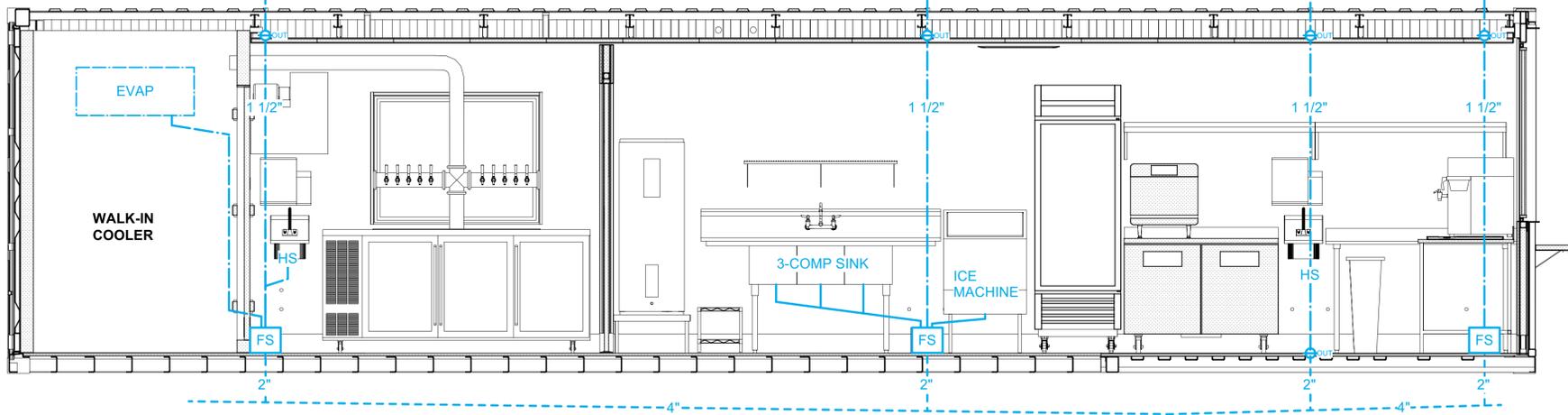
WATER SUPPLY						
#	QTY ITEM	WSFU	WATER DEMAND		LINE SIZE	
			COLD	HOT	LATERAL	BRANCH
P.5a	2 Hand Sink	2	2	3	3/4"(H&C)	1/2"
P.1a1	1 3-Com Sink	2	2	3	3/4"(H&C)	1/2"
P.31e1	1 Ice Machine	0.5	-	0.75	1/4"(C)	1/2"
PE.11d	1 Coffee Brewer	0.5	-	0.75	1/4"(C)	1/2"
PE.1a	1 Espresso	0.5	-	0.75	1/4"(C)	1/2"
		5.5	5	8.25	3/4"	1/2"

MINIMUM PRESSURE DEMAND FOR ALL FIXTURES=15PSI.
 HOT & COLD COMBINED DEMAND .75 OF TOTAL VALUE
 STATIC PRESSURE LOSS = -(0.43x5) = -2.15' (Highest fixture below supply)
 FRICTION LOSS / 100ft (4.11) = 12. Per 50'=6PSI.
 TOTAL PRESSURE LOSS= 6+2.15=3.85PSI.
 MAX. PIPE LENGTH TO FARTHEST FIXTURE= 30'-0"
 ALLOWANCE FOR FITTINGS= 1.5'
 DEVELOPED LENGTH = 45'-0", say 60'-0"
 PER CPC 2019 Table 610.4 46-60PSI Range 31 WSFU Allowed.

DRAINAGE TABLE							
#	QTY ITEM	FIX. UNITS (DFU)	LINE SIZE			TOT	REMARKS/ CALCULATIONS
			Horiz.	Vert.	Vent		
P.5a	2 Hand Sink	2	2	2	1 1/2"	2	
P.1b	1 3-Com Sink	3	3	3	2'0"	3	
P.14	3 Floor Sink	3	2	2	1 1/2"	3	
			TOTAL DFU's			8	Per CPC Table 703.2, 3" Horiz/ Vert Piping required/ Provided. Per CPC Table 703.2, 1 1/2" vent Piping required/ Provided. 2" for toilet

Note: As Defined By CPC 2019 905.3 Structural Conditions Do Not Allow For Vent Fittings Less Than 6" Above The Flood-level Rim Of Certain Assemblies To Be Drainage Type.

These Conditions Have Been Reviewed And Approved As Alternate Means And Methods As allowed by CPC 1.8.7 And Included In Approved Drawing Set I-581-1007 Approved By HCD.11.15.2020



2 PLUMBING RISE DIAGRAM
 1/2" = 1'-0"

EXTERIOR LATERAL LINES UNDER SEPARATE PERMIT

HEAT GAINS & COOLING LOADS				
ASHRAE Fundamentals Handbook 2017, (SI), CH. 29.				
HEAT GAIN FROM COMMERCIAL EQUIPMENT.				
#	QTY	Sensible (W)	Latent (W)	Total (W)
E.5d	1 Worktop Refrigerator	390	0	390
PE.11d	1 Coffee Brewer	66	34	100
E.5a1	1 U/C Refrigerator	390	0	390
E.50g	1 Ventless Oven	1630	0	1630
E.1c	1 1-Door Refrigerator	690	0	690
PE.31e1	1 Ice Machine	1680	0	1680
				4880
	2 EMPLOYEES	800		1600
				6480
TOTALS		Assume 80% Efficiency factor		
		TOTAL (W)		5184
		Total BTU (3.409x W)		17672

INTERNAL COOLING PROVIDED
 Carrier Performance Series 40MBCQ Cassette
 Ductless Heating/Cooling Evaporator Ceiling Mounted. On Slab Condenser.
 As Per Manufacturers Specifications.
 AC.6 TOTAL BTU COOLING 18,000 BTU.

NATURAL VENTILATION (Unconditioned)
 Conditioned Floor (Area x 0.2) CFM 230x 0.2 46 CFM. reqd.
 Door Louver, Supply. (18x18")
 MF.9a Mechanical Exhaust, Switched. 120CFM prov.

PLUMBING, STAINLESS & FIXTURES												
#	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (W X D x h)	PLUMBING COMMENTS	FURNISH	INSTALL	COLD	HOT	DRN. (D/I)	MTG. HT.
FX.3	2	Soap Dispenser	SAN JAMAR	Model: SH900TBK	5.5" x 4" x 12"		UB	UB				
FX.4	2	Paper Towel Dispenser	SAN JAMAR	Model: T1900XC	11 3/8" x 4" x 14 3/4"		UB	UB				
FX.5	2	Trash Can	SLIM JIM	23 gallon	15.8" x 22" x 30"		Client	Client				
FX.11b	1	Locker	GSW	ELS-5DR	12" x 16" x 77"		TBD	TBD				
P.1a1	1	3-Comp Sink Faucet	T&S	5F-8WLX10		3-Comp Sink	UB	UB				
P.1b	1	3-Comp Sink w/ splash guards	GSW	SE15153D	75 1/4" x 21" x 45"		UB	UB				
P.5a	2	Drop-in Hand Sink w/ splash guards	KROWNE	HS-1225	12" x 18" x 15 1/2"	5" bowl	UB	UB				
P.14	3	Floor Sink	WATTS	FS-710 Sanitary Floor Sink	8 1/8"W x 8 1/8"D x 6 1/4"H		UB	UB				
PE.13a	1	Pitcher Rinser	Espresso Parts	EPPR724	24 x 7 x 7/8		UB	UB				
SS.5a	1	5' Stainless Table	GSW	16 Gauge SS top and back splashes 4" sealed. Optional undershelf	60"W x 24"D x 35 1/2"H		TBD	TBD				
SS.5b	1	5' Stainless Table	GSW	16 Gauge SS top and back splashes 4" sealed. Optional undershelf	60"W x 30"D x 35 1/2"H		TBD	TBD				
SS.20a	1	3' Metro Shelf 5 Tier	METRO	5-Tier	36" x 14" x 73 1/2"		TBD	TBD				
SS.20c	1	2' Metro Shelving	METRO	2-Tier	24" x 14"	chrome finish	UB	UB				
SS.21a	1	4' Metro Shelf 5 Tier	METRO	5-Tier	48" x 14" x 73 1/2"		TBD	TBD				
SS.31a	1	3' SS Shelving Solid	GSW	SS Shelving	12" x 36"		TBD	TBD				
SS.32a	3	4' SS Shelving Solid	GSW	SS Shelving	12" x 48"		TBD	TBD				
SS.33a	2	5' SS Shelving Solid	GSW	SS Shelving	12" x 60"		TBD	TBD				
SS.40	1	Wire Wall Shelf	EAGLE	SNSW1248V-X, Gray Epoxy	48" x 12"		UB	UB				
SS.80	1	Stainless Steel Legs 12"	Manitowoc	K00144	12"	substitute legs for ice machine	Client	Client				
SS.91	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD		UB	UB				
SS.92	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD		UB	UB				
SS.93	1	Custom Counter	SEAPORT	SS Counter	TBD		UB	UB				
SS.94	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD		UB	UB				
SS.95	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD		UB	UB				
SS.96	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD		UB	UB				

VENTILATION FAN SYSTEM									
UNIT #	MANUFACTURER	MODEL #	CFM	V	A	HP	So	Comments	
MF-9a	Aura Attic Fan	AF-6-C4-CMF	120			0.9			

MINI SPLIT HEAT PUMP SYSTEM											
UID#	UNIT #	MANUFACTURER	MODEL #	SERVICE	RATED CAPACITY	EER	AIR CIRC.	AMPS	WEIGHT	SOUND	FILTER TYPE
				COOL	HEAT	(SEER)	V / PH / HZ	lb	dB(A)		
17	AC.7	Carrier	40MBCQ18-3	18,000 BTU	5,600-17,000	8,700-21,000	12.5-19.6/290/350/420	208/230/1-60	39.68	46/48/50	CLEANABLE
18	AC.8	Carrier	38MAQB18R-3	18,000 BTU	5,600-17,000	8,700-21,000	25/1,765	208/230/1-60	100.97	59	CLEANABLE



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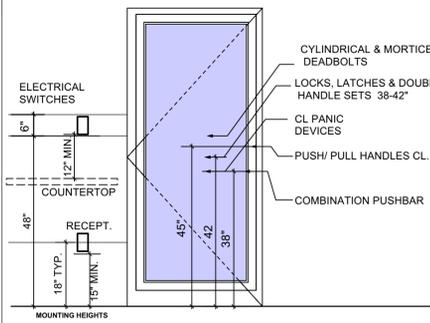
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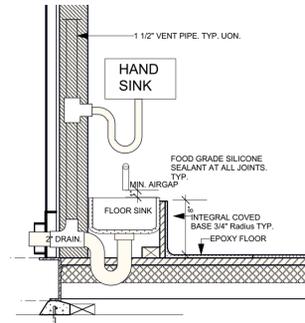
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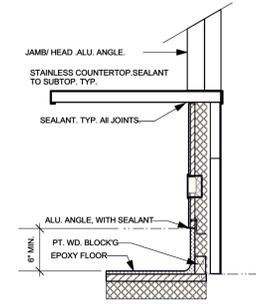
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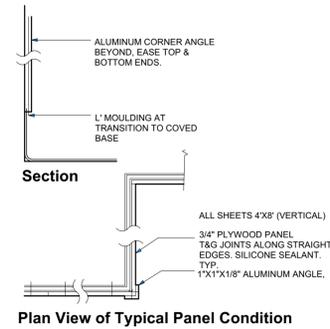
1 MOUNTING HEIGHTS
1/2"=1'-0"



2 PLUMBING PENETRATIONS
1"=1'-0"



3 COVE BASE COUNTERS



4 WALL PANELS

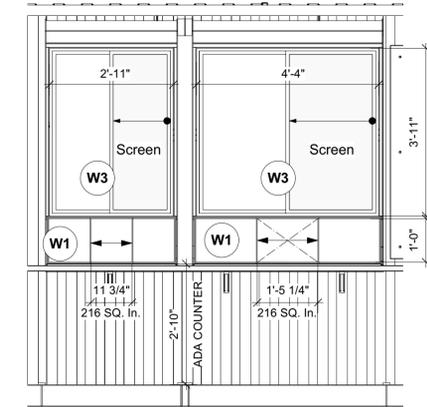
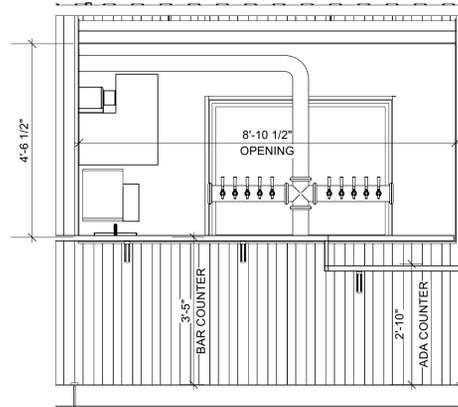
GROUP	DESCRIPTION	FINISH	MFR.
1) SINGLE ENTRY DOOR	TELSTAR PRO DOOR 30x68 INVISIBLE DEADBOLT, SOLID LIGHT GRAY, A40 GALVALUME STEEL	613	TELL MANUFACTURING
(D1a)	LOCK CYLINDER CY-1-184, GRADE 2 ENTRY LEVER	613	TELL MANUFACTURING
	ENG 600 SERIES DOOR CLOSER	613	TELL MANUFACTURING
	ADA COMPLIANT THRESHOLD INTEGRATIVE	613	TELL MANUFACTURING
3) SWING DOOR	ELIASON BI-SWING DOOR W/ INTEGRAL PIVOT HINGES NO LOCKS OR LATCHES		
(D4)			
4) STEP-IN REFRIGERATOR	DURACOLD MANUFACTURED ENCLOSURE Flush Mounted, Self Closing. Locking handle. Internal safety latches.		
(D5)	RUDY'S REFRIGERATION, NSF-APPROVED		
5) FOOD SVCE. WINDOW	ALUMINUM FRAME, 1/4" SLIDING ACRYLIC PANELS, SELF CLOSING SLIDING SERVICE WINDOW, ENV. HLTH COMPLIANT		
(W1)			
6) FIXED WINDOW	MILGUARD STANDARD ALUMINUM PICTURE WINDOW, 3/4" GLAZING, LOW E. ARGON		
(W2)			
7) OPERABLE WINDOW	MILGUARD STANDARD ALUMINUM, SLIDING WINDOW 3/4" INSULATED GLAZING, LOW E. ARGON		
(W3)			

REMARKS
A - EXIT DOORS ARE TO BE OPENABLE FROM INSIDE WITHOUT USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. KEY LOCKING HARDWARE MAY BE USED ON THE MAIN EXIT WHEN THE MAIN EXIT DOOR HAS A DURABLE SIGN ON OR ADJACENT TO THE DOOR STATING: THIS DOOR MUST REMAIN UNLOCKED DURING BUSINESS HOURS. THE SIGN SHALL BE IN LETTERS NOT LESS THAN ONE INCH HIGH ON A CONTRASTING BACKGROUND.
B - UNLATCHING FORCE, OR OPENING FORCE NOT TO EXCEED 5 POUNDS, (CALIFORNIA)



6"X8" MIN. SIGN SIZE INTERNATIONAL SYMBOL OF ACCESSIBILITY. WHITE FIGURE ON BLUE DECAL. PER CBC 1117B.5.8.1

NOTE: PLACE NEAR ACCESSIBLE BUILDING ENTRY



SLIDING WINDOW

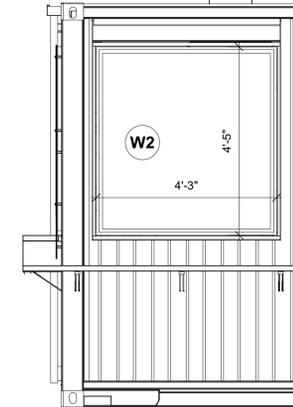
(W3) Alum. frame horizontal sliding window 1/4" glass with integral insect screen

Hardware as per Manufacture

SERVICE WINDOW

(W1) Sliding self closing acrylic windows compliant with C.E.H.C. Requirements - max opening size 216 sq in. No air curtain required.

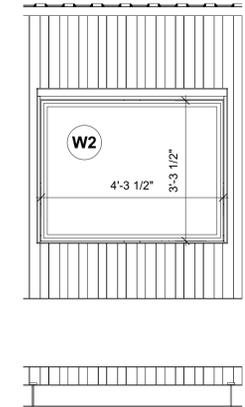
Hardware as per Group 5



FIXED WINDOW

(W2) Alum. frame fixed window 1/4" glass.

Hardware as per Manufacture

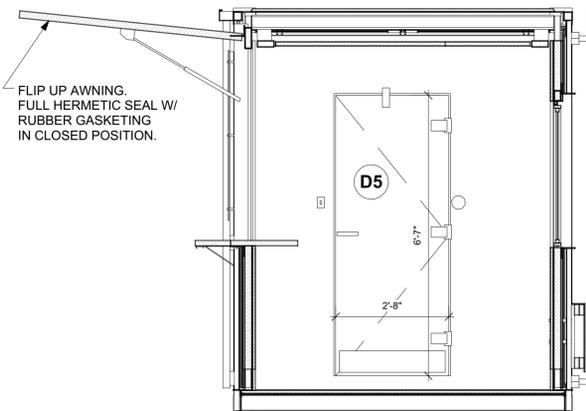


FIXED WINDOW

(W2) Alum. frame fixed window 1/4" glass.

Hardware as per Manufacture

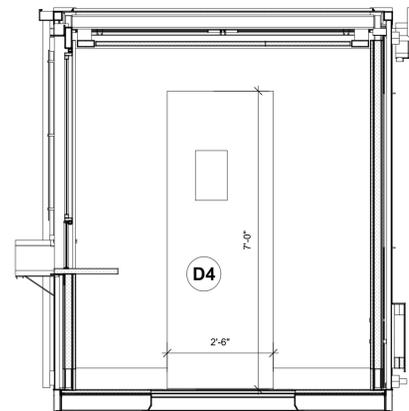
6 DOOR SCHEDULES



STEP-IN REFRIGERATOR DOOR

Duracold Manufactured Step In Refrigerator. Flush Mounted, Self Closing. Locking handle. Internal safety latches. Leaf Size 6'-7" x 32". Vision Light. Hardware per Manufacturer.

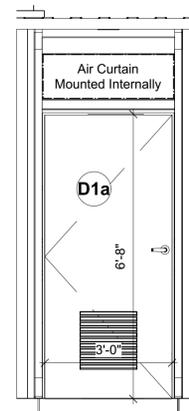
Hardware as per Group 4



SELF-CLOSING SWING DOOR

Eliason ENG-1 Traffic Swing Door. Double action. Leaf Size 84" x 30". Vision Light. Hardware per Manufacturer. No locks. Pivot Hinges as per Manufacturer.

Hardware as per Group 3



SELF-CLOSING OUTSWING DOOR

Solid Core MTL. Self-closing door Custom frame Assembly

Hardware as per Group 1



UNIT 3, OFFICE - THE RADIUS @ ALAMEDA. CA



1540 Morse Blvd. San Carlos CA. 94070
P. 510 798 8007 F. 650 592 5494
e-mail. jameson@urbanbloc.net

<p>COMMERCIAL MODULAR UNIT AS DEFINED UNDER CALIFORNIA CODE OF REGULATIONS TITLE 25, DIV. 1 HOUSING AND COMMUNITY DEVELOPMENT MANUFACTURED BY URBAN BLOC INC. CA. #MF1265006</p> <p>NOTE: THIS UNIT IS REFERENCED TO CONSTRUCTION DRAWING SET I-581-1007 APPROVED BY HCD.04.12.2022</p>	<p>LOCATION</p>	<p>ALL CONSTRUCTION, REGARDLESS OF DETAILS ON PLANS, SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF:</p> <p>Title 24, DIV. 1. California Code of Regulations (CCR) 2019.</p> <p>PART 1 - CALIFORNIA BUILDING STNDRS. ADMINISTRATIVE CODE PART 2 - CALIFORNIA BUILDING CODE PART 3 - CALIFORNIA ELECTRICAL CODE PART 4 - CALIFORNIA MECHANICAL CODE PART 5 - CALIFORNIA PLUMBING CODE PART 6 - CALIFORNIA ENERGY CODE (2008) PART 9 - CALIFORNIA FIRE CODE PART 10 - CALIFORNIA EXISTING BUILDING CODE PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE PART 12 - CALIFORNIA REFERENCE STANDARDS CODE</p> <p>THE FOLLOWING SCOPE OF WORK TO BE SUBMITTED TO LOCAL JURISDICTIONS AS DESIGN-BUILD BY CONTRACTOR OR AS A DEFERRED SUBMITTAL:</p> <ol style="list-style-type: none"> 1. ELECTRICAL SUPPLY TO UNIT 2. LATERAL CONNECTIONS TO (E) SEWER. 3. STRUCTURAL FOUNDATIONS. 4. ENVIRONMENTAL HEALTH REVIEW (IF REQD) 5. SPRINKLER DESIGN AS DEFERRED SUBMITTAL <p>BATHROOM FIXTURE COUNTS. *Minimum plumbing fixture calculations following 2019 California Plumbing Code are included in project's building permit application submitted to the City of Victorville for approval.*</p> <p>JURISDICTION</p>	<p>GENERAL NOTES</p> <p>ALL WORK AND MATERIAL SHALL BE EXECUTED IN FULL ACCORDANCE WITH ALL APPLICABLE CODES. MANUFACTURER SHALL PROVIDE AND BE RESPONSIBLE FOR ALL COSTS FOR PUBLIC PROTECTION AS REQUIRED BY THE CONTRACT DOCUMENTS AND LOCAL GOVERNMENT AGENCIES. FIRE EXTINGUISHERS AND CABINETS AS REQUIRED BY LOCAL GOVERNMENT AGENCY SHALL BE PROVIDED AND INCLUDED IN CONTRACT. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS ON THE SITE ALL EXITS TO BE OPENABLE FROM INSIDE WITHOUT USE OF A KEY.</p>	<p>DRAWING LIST</p> <p>ARCHITECTURAL A0.1 PROJECT DATA A1.0 PLANS/ELECTRICAL A2.1 ELEVATIONS/ SECTIONS A5.1 DETAILS</p>	<p>DESIGN, PERMITTING, FACTORY MANUFACTURING, TEAM LEAD</p> <p>URBAN BLOC INC. 1540 Morse Blvd. San Carlos CA. 94070.</p> <p>Project Manager, Jerry Jameson, CIO Urban Bloc Inc. 510 798 8007. jjameson@urbanbloc.net.</p> <p>ENGINEER OF RECORD STRUCTURAL ENGINEER R&S Tavares Associates, Inc 11777 Bernardo Plaza Court, San Diego, CA 92128 ph: 858-444-3344 x 1801</p> <p>MECHANICAL/ PLUMBING URBAN BLOC INC. 1540 Morse Blvd. San Carlos CA. 94070. 510 798 8007. jjameson@urbanbloc.net.</p> <p>MECHANICAL/ VENTILATION URBAN BLOC INC. 1540 Morse Blvd. San Carlos CA. 94070. 510 798 8007. jjameson@urbanbloc.net.8</p> <p>ELECTRICAL URBAN BLOC INC. 1540 Morse Blvd. San Carlos CA. 94070. 510 798 8007. jjameson@urbanbloc.net.</p> <p>T24 ENERGY COMPLIANCE WADE ENERGY 1942 Linda Drive Pleasant Hill CA 94523 510 383 5490</p> <p>APPROVED THIRD PARTY AGENCY RADCO 3220 E. 59th St. Long Beach, CA 90805 T: (562) 272-7231 Ex. 127 F: (562) 529-7513</p> <p>CONTROLLED INSPECTIONS RADCO 3220 E. 59th St. Long Beach, CA 90805 T: (562) 272-7231 Ex. 127 F: (562) 529-7513</p> <p>PROJECT TEAM</p>														
<p>DESIGNED AS A FREESTANDING MODULE Building environment, Utilities and systems Under separate Local permit, (Where noted for reference only.) FOUNDATIONS BY OTHERS.</p> <p>CONSTRUCTION TYPE (As per 2019 CBC. CH 6. Table 601)</p> <p>TYPE IIb. NO FIRE RATED WALLS, FLOORS OR CEILINGS REQUIRED NO SPRINKLERS REQUIRED (CFC. 903.2.1.2) <5000SF, < 100 OCC.</p> <p>OCCUPANCY SEPERATION (As per 2019 CBC. CH 3. Table 508.4) Note: Per Cbc 303.1.1 Small Assembly Spaces. A-2 Occupant Load < 50 is regarded as a B Occupancy.</p> <table border="1"> <thead> <tr> <th>UNIT#</th> <th>MODEL / SERIAL</th> <th>USE</th> <th>ADJACENT</th> <th>SF./ OCC.</th> <th>FIRE.</th> <th>NOTES</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>OFFICE MOD. UB40-AF 181215AL_XXXX</td> <td>B</td> <td>Module</td> <td>129sq</td> <td></td> <td>Office / Retail</td> </tr> </tbody> </table> <p>PROJECT DATA</p>	UNIT#	MODEL / SERIAL	USE	ADJACENT	SF./ OCC.	FIRE.	NOTES	1	OFFICE MOD. UB40-AF 181215AL_XXXX	B	Module	129sq		Office / Retail	<p>LOCATION</p>	<p>JURISDICTION</p>	<p>GENERAL NOTES</p>	<p>DRAWING LIST</p>	<p>PROJECT TEAM</p>
UNIT#	MODEL / SERIAL	USE	ADJACENT	SF./ OCC.	FIRE.	NOTES													
1	OFFICE MOD. UB40-AF 181215AL_XXXX	B	Module	129sq		Office / Retail													



SITE PLAN (SEE SITE ARCHITECTURE DRAWINGS)



ISSUED FOR REFERENCE ONLY
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PRODUCED UNDER LICENSE & PERMIT BY CA. HCD.
AS DEFINED UNDER CALIFORNIA CODE OF REGULATIONS TITLE 25, DIV. 1 H.C.D.

THE RADIUS - OFFICE
1501 Harbor Bay Pkwy. Alameda, CA 94502

SUBMITTALS
ISSUE 90% CLIENT 05.05.22

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May 5, 2022

DRAWING TITLE

PROJECT DATA

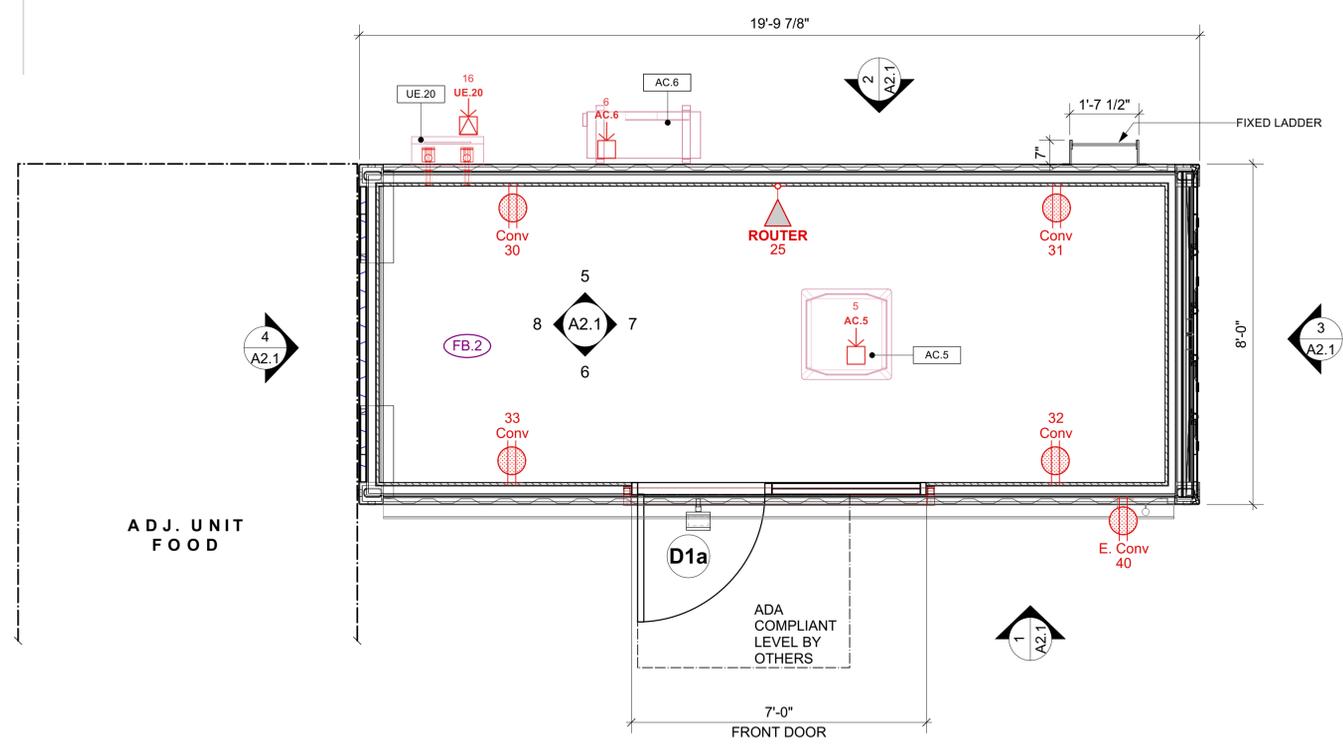
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SHEET NUMBER

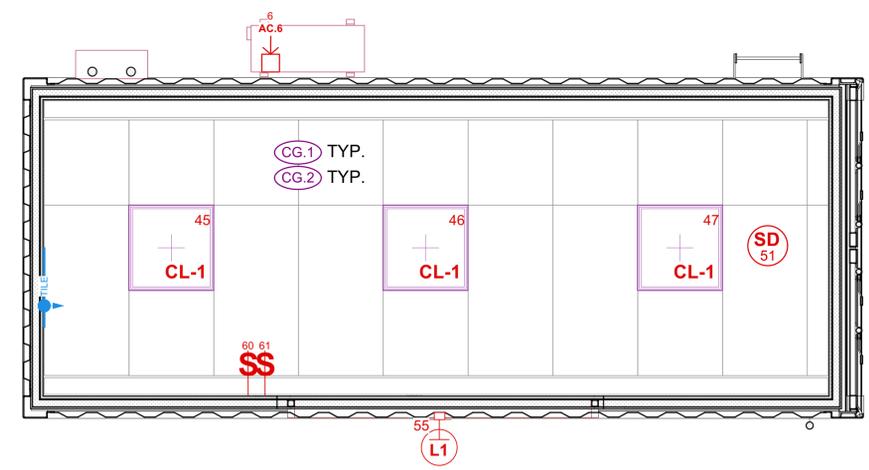
A0.1

PAGES @ 24"X36"

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1 FLOOR PLAN / FINISHES / POWER
 1/2" = 1'-0"



2 CEILING PLAN
 1/2" = 1'-0"

FINISH SCHEDULE #	QTY/ITEM	MFG. CAT. SPECIFICATION	REMARKS
WALL FINISHES			
WI.1	FRP	White Frp (fiberglass Reinforced Panel) Sequencia Or Eq., With integral silicone seals or mouldings @ All Joint, Corner, And Edge Conditions. Aluminum "h" Moulding At Bottom. Class C Rated.	
WI.3	EXTERIOR PAINT	Direct to metal Paint Color	Sherwin-Williams SW6804 Dignity Blue
FLOOR FINISHES			
FB.2	LVT		
CEILING FINISHES			
CG.1	GYPSUM LAY IN	Gold Bond 2x4, 2x2 Gridstone(Laminated vinyl Food Grade) 9/16". White Smooth ALU. Trim & Hangers.	All trim pieces, factory painted, cleanable.
CG.2	ACOUSTIC LAY IN	Armstrong 2x4, 2x2 KITCHEN ZONE(Food Grade) 9/16". White Smooth ALU. Trim & Hangers.	All trim pieces, factory painted, cleanable.

E-INFRASTRUCTURE	UID#	ID.	FIXTURE TYPE	HT. FFL	REMARKS	WIRE
ROUTER	25	Router	Ceiling	Above Raceway	12/2	
Conv	30	Convenience	44"	REGULAR	12/2	
Conv	31	Convenience	44"	REGULAR	12/2	
Conv	32	Convenience	44"	REGULAR	12/2	
Conv	33	Convenience	44"	REGULAR	12/2	
E. Conv	40	Ext. Convenience	18"	REGULAR	12/2	
CL-1	45	2X2 Fixture	Ceiling	Lay In Fixt.	12/2	
CL-1	46	2X2 Fixture	Ceiling	Lay In Fixt.	12/2	
CL-1	47	2X2 Fixture	Ceiling	Lay In Fixt.	12/2	
SD	51	Smoke Detector	Ceiling	Addressable	12/2	
L1	55	Exterior Sconce	84"		12/2	
Switch	60	Switch	44"	45,46,47,48	12/2	
Switch	61	Switch	44"	55	12/2	

(E)PANEL		VOLTAGE:	208Y/120V	WIRE:	4	MOUNTING:	SURFACE	NOTES:							
The Radius Office Unit		BUS RATING:	20A	PHASE:	3	AIC RATING:	10K								
MAIN REQUIREMENT:		20A MLO	TYPE:	N-3R	CONDITION:	NEW									
CKT#	NOTES	LOAD	CB	P	T	LOAD DESCRIPTION	LOAD KVA	PHASE	LOAD KVA	LOAD DESCRIPTION	CB	LOAD	NOTES	CKT#	
1	D	1	20			AC	0.96	A	0.36	CONV. 30,31	P	20	G	2	
3	D	1	20				0.96	B	0.36	CONV. 32, 33	1	20	G	4	
5	C	1	20			LIGHTING - GENERAL	0.54	C	0.36	CONV. 40	1	20	G	6	
7														8	
9														10	
11														12	
CONNECTED LOAD:												DEMAND LOAD CALCULATION			
PHASE A		1.32		KVA		DEMAND LOAD		SUBTOTAL		NEC DEMAND FACTOR					
PHASE B		1.32		KVA		CONTINUOUS LOAD (C)		0.54		125%		0.68			
PHASE C		0.90		KVA		DEDICATED LOAD (D)		1.92		100%		1.92			
TOTAL		3.54		KVA		GENERAL RECEPTACLE (G)		1.08		100% of 1st 10KVA & 50% of remaining		1.08			
						INTERMITTENT EQUIPMENT (K)		0.00		65%		0.00			
						MECHANICAL EQUIPMENT (M)		0.00		125% of largest motor & 100% of remaining		0.00			
TOTAL DEMAND KVA												3.88			
AMPS @ 208Y/120V, 3 PHASE, 4 WIRE:												10.20			

EQUIPMENT LIST

UID #	#	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (WxDxH)	COMMENTS	FURNISH	INSTALL	ELECTRICAL				PLUMBING							
										VOLTAGE	PHASE	AMPS	PLUG	HT.AFF	WIRE	DRN. (D/I)	HOT	COLD	GAS	COMMENTS	
5	AC.5	1	Ductless System	Carrier	40MBCQ09-3	22.44 x 22.44 x 10.24		UB	UB	208/230	1	0.2	HW	Ceiling	12/3	Indirect					
6	AC.6	1	Outdoor Condenser	Carrier	38MAQB09AA3	33.66 x 14.17 x 27.63		UB	Client	208/230	1	18	HW	Exterior	12/3	Indirect					
16	UE.20	1	Electrical Panel	SIEMENS	200A	TBD		UB	UB	208	3	200									

PLUMBING, STAINLESS & FIXTURES

#	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (W X D x h)	COMMENTS	FURNISH	INSTALL	COLD	HOT	DRN. (D/I)	MTG. HT.
LDR.1	1	Ladder		TBD			UB	UB				

MINI SPLIT HEAT PUMP SYSTEM

UID#	UNIT #	MANUFACTURER	MODEL #	SERVICE	RATED CAPACITY	EER	AIR	AMPS	WEIGHT	SOUND	FILTER TYPE	
				COOL	HEAT	(SEER)	CIRC.	V / PH / HZ	lb	dB(A)		
5	AC.5	Carrier	40MBCQ012-3	12,000 BTU	3,000-13,700	2,000-15,300	13-21.5	280/340/400	208/230/1-60	35.27	36/39/42	CLEANABLE
6	AC.6	Carrier	38MAQB012R-3	12,000 BTU	3,000-13,700	2,000-15,300	25	1,324	208/230/1-60	76.63	56	CLEANABLE

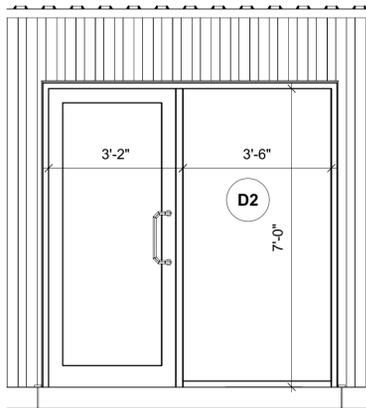
DOOR HARDWARE SCHEDULE

GROUP	DESCRIPTION	FINISH	MFR.
1) SINGLE ENTRY DOOR	TEL STAR PRO DOOR 30x68 INVISIBLE DEADBOLT, SOLID LIGHT GRAY, A40 GALVALUME STEEL	613	TELL MANUFACTURING
(D1a)	LOCK CYLINDER CY-1-184, GRADE 2 ENTRY LEVER	613	TELL MANUFACTURING
(D2)	ENG 600 SERIES DOOR CLOSER ADA COMPLIANT THRESHOLD INTEGRATIVE	613	TELL MANUFACTURING

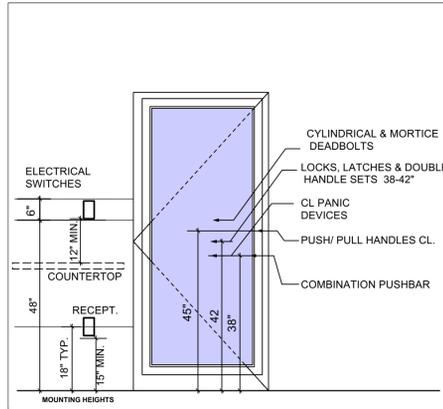
REMARKS
 A - EXIT DOORS ARE TO BE OPENABLE FROM INSIDE WITHOUT USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. KEY LOCKING HARDWARE MAY BE USED ON THE MAIN EXIT WHEN THE MAIN EXIT DOOR HAS A DURABLE SIGN ON OR ADJACENT TO THE DOOR STATING: THIS DOOR MUST REMAIN UNLOCKED DURING BUSINESS HOURS. THE SIGN SHALL BE IN LETTERS NOT LESS THAN ONE INCH HIGH ON A CONTRASTING BACKGROUND.
 B - UNLATCHING FORCE, OR OPENING FORCE NOT TO EXCEED 5 POUNDS. (CALIFORNIA)



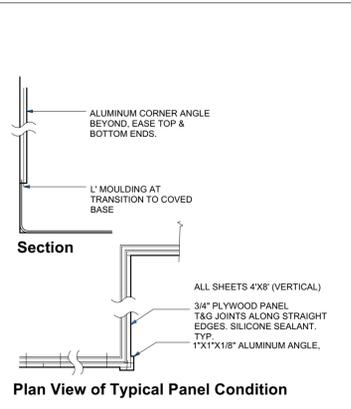
6"X6" MIN. SIGN SIZE INTERNATIONAL SYMBOL OF ACCESSIBILITY. WHITE FIGURE ON BLUE DECAL. PER CBC 1117B.5.8.1
 NOTE: PLACE NEAR ACCESSIBLE BUILDING ENTRY



DOOR & SIDELITE
 D2 Solid Core MTL. Sliding door Custom frame Assembly
 Hardware as per Group 1



4 MOUNTING HEIGHTS
 1/2" = 1'-0"



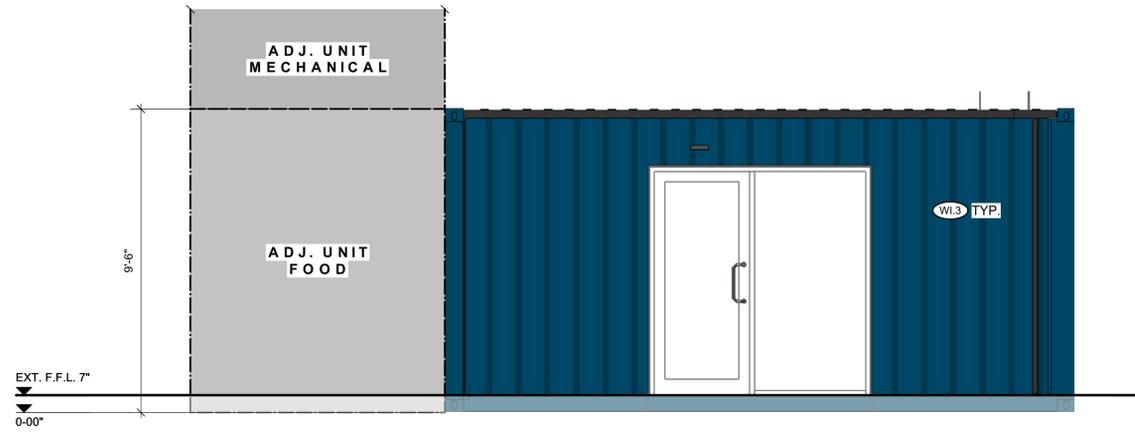
5 WALL PANELS

6 DOOR SCHEDULES

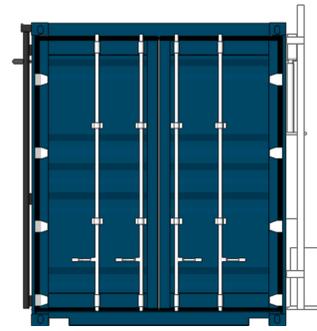
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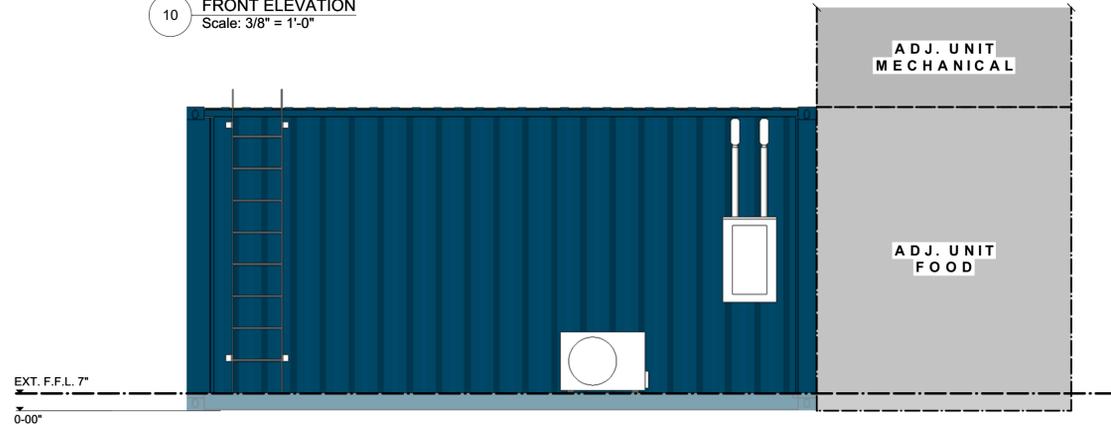
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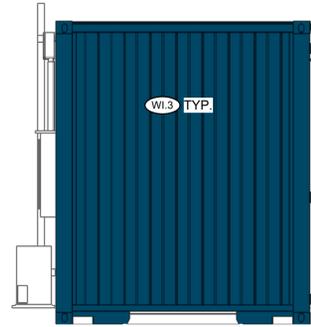
10 FRONT ELEVATION
 Scale: 3/8" = 1'-0"



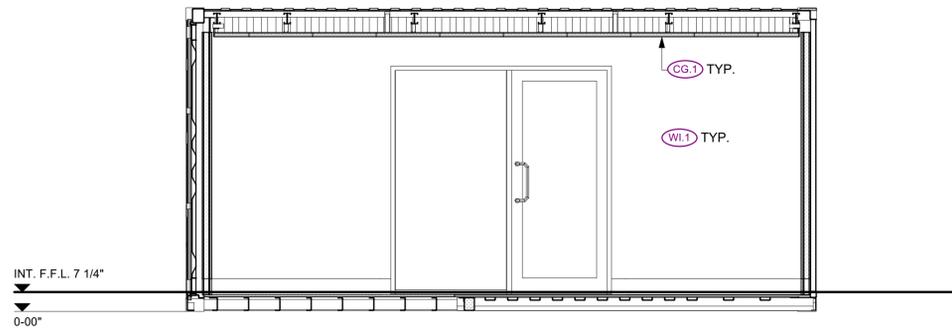
12 RIGHT ELEVATION
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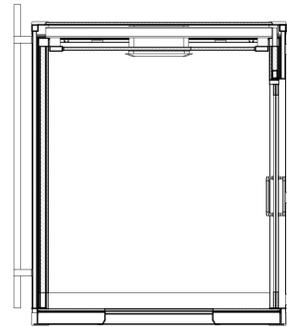
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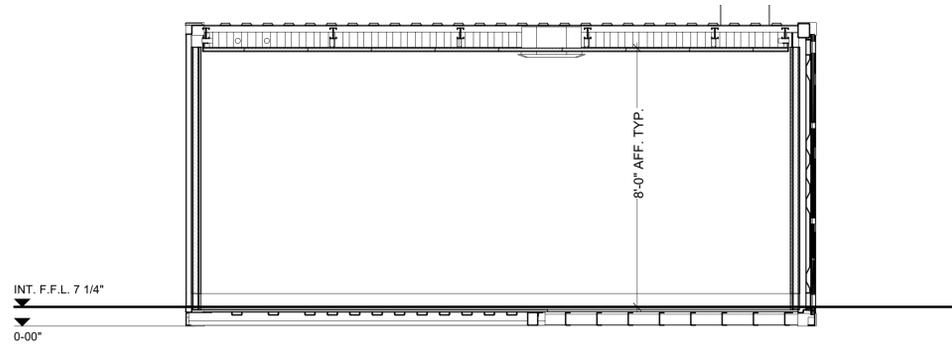
11 LEFT ELEVATION
 Scale: 3/8" = 1'-0"



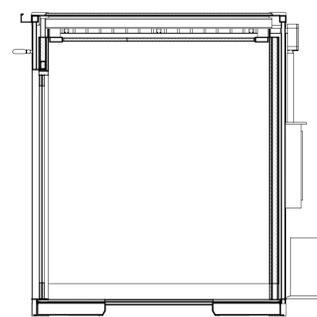
6 INTERIOR SECTION
 Scale: 3/8" = 1'-0"



7 INTERIOR SECTION
 Scale: 3/8" = 1'-0"



5 INTERIOR SECTION
 Scale: 3/8" = 1'-0"



8 INTERIOR SECTION
 Scale: 3/8" = 1'-0"



FINISH SCHEDULE #	QTY ITEM	MFG. CAT. SPECIFICATION	REMARKS	COST	link
WALL FINISHES					
W1.1	FRP	White Frp (fiberglass Reinforced Panel) Sequencia Or Eq., With integral silicone seals or mouldings @ All Joint, Corner, And Edge Conditions. Aluminum "h" Moulding At Bottom. Class C Rated.			http://www.webstaurantstore.com
W1.3	EXTERIOR PAINT	Direct to metal Paint Color	Sherwin-Williams SW6804 Dignity Blue		
FLOOR FINISHES					
FB.2	LVT				
CEILING FINISHES					
CG.1	GYPSUM LAY IN	Gold Bond 2x4, 2x2 Gridstone(Laminated vinyl Food Grade) 9/16". White Smooth ALu. Trim & Hangers.	All trim pieces, factory painted. cleanable.		

UNIT 4&5, FOOD - THE RADIUS @ ALAMEDA. CA



1540 Morse Blvd. San Carlos CA. 94070
P. 510 798 8007. F. 650 592 5494
e-mail. jameson@urbanbloc.net

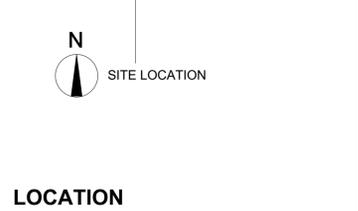
COMMERCIAL MODULAR UNIT
AS DEFINED UNDER CALIFORNIA CODE OF REGULATIONS TITLE 25, DIV. 1 HOUSING AND COMMUNITY DEVELOPMENT
MANUFACTURED BY URBAN BLOC INC. CA. #MF1265006

NOTE: THIS UNIT IS REFERENCED TO CONSTRUCTION DRAWING SET I-581-1007 APPROVED BY HCD.04.12.2022

DESIGNED AS A FREESTANDING MODULE
Building environment, Utilities and systems Under separate Local permit, (Where noted for reference only.)
FOUNDATIONS BY OTHERS.

CONSTRUCTION TYPE (As per 2019 CBC. CH 6. Table 601)						
TYPE Iib.	NO FIRE RATED WALLS, FLOORS OR CEILINGS REQUIRED NO SPRINKLERS REQUIRED (CFC. 903.2.1.2) <5000SF, < 100 OCC.					
OCCUPANCY SEPERATION (As per 2019 CBC. CH 3. Table 508.4)						
Note: Per Cbc 303.1.1 Small Assembly Spaces. A-2 Occupant Load < 50 is regarded as a B Occupancy.						
UNIT#	MODEL / SERIAL	USE ADJACENT	SF./ OCC.	FIRE.	NOTES	
1	FOOD VENDING MOD. UB40-AF 181215AL_XXXX	B Module	320sq		Kitchen Unit/Food Service Type 2 Hood. Service Window Walk-In Cooler	
2	MECHANICAL UB40-AF 181215AL_XXXX	B Module	320sq		Ventilation Supply & Exhaust	

PROJECT DATA



LOCATION

ALL CONSTRUCTION, REGARDLESS OF DETAILS ON PLANS, SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF:

Title 24, DIV. 1. California Code of Regulations (CCR) 2019.

PART 1 - CALIFORNIA BUILDING STNDRS. ADMINISTRATIVE CODE
PART 2 - CALIFORNIA BUILDING CODE
PART 3 - CALIFORNIA ELECTRICAL CODE
PART 4 - CALIFORNIA MECHANICAL CODE
PART 5 - CALIFORNIA PLUMBING CODE
PART 6 - CALIFORNIA ENERGY CODE (2008)
PART 9 - CALIFORNIA FIRE CODE
PART 10 - CALIFORNIA EXISTING BUILDING CODE
PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE
PART 12 - CALIFORNIA REFERENCE STANDARDS CODE

THE FOLLOWING SCOPE OF WORK TO BE SUBMITTED TO LOCAL JURISDICTIONS AS DESIGN-BUILD BY CONTRACTOR OR AS A DEFERRED SUBMITTAL:

- ELECTRICAL SUPPLY TO UNIT
- LATERAL CONNECTIONS TO (E) SEWER.
- STRUCTURAL FOUNDATIONS.
- ENVIRONMENTAL HEALTH REVIEW (IF REQD)
- SPRINKLER DESIGN AS DEFERRED SUBMITTAL

JURISDICTION

ALL WORK AND MATERIAL SHALL BE EXECUTED IN FULL ACCORDANCE WITH ALL APPLICABLE CODES. MANUFACTURER SHALL PROVIDE AND BE RESPONSIBLE FOR ALL COSTS FOR PUBLIC PROTECTION AS REQUIRED BY THE CONTRACT DOCUMENTS AND LOCAL GOVERNMENT AGENCIES. FIRE EXTINGUISHERS AND CABINETS AS REQUIRED BY LOCAL GOVERNMENT AGENCY SHALL BE PROVIDED AND INCLUDED IN CONTRACT. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS ON THE SITE ALL EXITS TO BE OPENABLE FROM INSIDE WITHOUT USE OF A KEY.

GENERAL NOTES

ARCHITECTURAL

A0.1 PROJECT DATA
A1.0 PLANS
A2.1 ELEVATIONS
A2.2 SECTIONS
E1 ELECTRICAL PLUMBING
P1 DETAILS
A5.1

DRAWING LIST

DESIGN, PERMITTING, FACTORY MANUFACTURING. TEAM LEAD

URBAN BLOC INC.
1540 Morse Blvd.
San Carlos CA. 94070.

Project Manager,
Jerry Jameson, CIO Urban Bloc Inc.
510 798 8007. jameson@urbanbloc.net.

ENGINEER OF RECORD STRUCTURAL ENGINEER
R&S Tavares Associates, Inc
11777 Bernardo Plaza Court,
San Diego, CA 92128
ph: 858-444-3344 x 1801

T24 ENERGY COMPLIANCE
WADE ENERGY
1942 Linda Drive
Pleasant Hill CA 94523
510 383 5490

MECHANICAL/ PLUMBING
URBAN BLOC INC.
1540 Morse Blvd.
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jameson@urbanbloc.net.

APPROVED THIRD PARTY AGENCY RADCO
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ELECTRICAL
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PROJECT TEAM

ENVIRONMENTAL HEALTH NOTES.

ALL FOOD ITEMS SHALL COME FROM AN APPROVED AND INSPECTED SOURCE
A COPY OF THE MENU IS INCLUDED WITH THE EQUIPMENT CUT SHEETS.NO POTENTIALLY HAZARDOUS FOOD WILL BE SERVED.

COMPLY WITH MANUFACTURERS RECOMMENDATIONS FOR A COMPLETE AND FULLY OPERATIONAL INSTALLATION.

FOR SHELVING OVER 5'-0" TALL, LAG-BOLT WALL UNITS TO WALL FRAMING. AT ISLAND UNITS, BOLT TO FLOOR AT EACH OF FOUR CORNERS. SEE DETAIL 5/A7.1

ALL CRACKS AND CREVICES AT OR NEAR FOOD PREPARATION EQUIPMENT SHALL BE SEALED.

PROVIDE SPACE FOR NON-FOOD ITEMS, CLEANERS, TOWELS, AND APPAREL.

PROVIDE SEPARATE STORAGE CONTAINER FOR SOILED LINENS, TOWELS, AND APPAREL.

ALL SHELVING OVER WET AREAS SHALL BE METAL.

A MINIMUM OF 50-FT CANDLES (538 LUX) OF LIGHT MEASURED 30" OFF THE FLOOR IS PROVIDED IN ALL FOOD PREPARATION AREAS DURING GENERAL CLEANUP ACTIVITIES.
THE FLOOR IS PROVIDED IN UTENSIL CLEANING AREA .

ALL FOOD-RELATED AND UTENSIL-RELATED EQUIPMENT SHALL MEET OR BE EQUIVALENT TO SANITATION STANDARDS ESTABLISHED BY AN AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) ACCREDITED PROGRAM.

ALL UTENSILS TO BE WASHED IN SCULLERY AND/OR IN DISHWASHER. HAND SINKS NOT TO BE USED FOR THIS PURPOSE.

THE UNDERSIDE OF ALL COUNTERTOPS SHALL BE WHITE. SURFACE SHALL BE SMOOTH AND EASILY CLEANABLE.

ALL COUNTERTOPS SHALL HAVE AN EASILY CLEANABLE SURFACE.

ALL FOOD SHALL BE STORED AT LEAST 6" OFF THE FLOOR.
ALL CONTAINERS STORED ON DOLLIES, RACKS, OR PALLETS SHALL BE EASILY MOVABLE.

SHELVING TO BE CONSTRUCTED SO AS TO BE EASILY CLEANABLE.

ALL EQUIPMENT SHALL BE EITHER EASILY MOVABLE (IE., ON CASTERS), LIGHT ENOUGH SO AS TO BE EASILY MOVED BY ONE PERSON, INSTALLED ON RAISED MINIMUM 6" ROUNDED METAL LEGS, OR SEALED IN POSITION ON 4" MINIMUM HIGH CONTINUOUSLY AND INTEGRALLY COVED BASE OR COVED CONCRETE CURB TO FACILITATE EASE OF CLEANING.
GAPS AND SPACES BETWEEN EQUIPMENT BASE AND TOP OF ISLANDS SHALL BE SEALED WITH A NON-HARDENING SILICONE SEALANT.

ALL EQUIPMENT ON COUNTERS, TABLES, AND SHELVES THAT ARE NOT EASILY LIFTED ARE TO BE INSTALLED ON APPROVED 4" LEGS, OR SEALED TO TABLE, SHELVES, ETC.

ALL EQUIPMENT, FLASHING, AND BACKSPLASHES ARE TO BE ADEQUATELY SEALED TO THE WALL AND ABUTTING EQUIPMENT, OR MOVED AWAY FROM THE WALL 6" FOR EVERY 4 LINEAR FEET OF EQUIPMENT FRONTAL LENGTH, OR AWAY FROM EACH OTHER.

ALL UTENSIL WASHING SINKS, STEAM TABLES, ICE MACHINES AND BINS, DISPLAY CASES, AND OTHER SIMILAR EQUIPMENT WHICH DISCHARGE LIQUID WASTE, SHALL HAVE THIS WASTE CONVEYED BY A SEWER LINE AND DISPOSED THEREIN BY AN INDIRECT CONNECTION INTO A FLOOR SINK, FUNNEL DRAIN, OR EQUIVALENT DEVICE. INDIRECT WASTE RECEPTORS SHALL BE LOCATED SO AS TO BE READILY ACCESSIBLE FOR INSPECTION AND CLEANING. DRAIN LINES SHALL NOT CROSS ANY AISLE, TRAFFIC AREA, OR DOOR OPENING.

ENVIRONMENTAL HEALTH NOTES.

LIGHT BULBS SHALL BE SHIELDED, COATED, OR OTHERWISE SHATTER-RESISTANT IN AREAS WHERE THERE IS NONPREPACKED READY-TO-EAT FOOD, CLEAN EQUIPMENT, UTENSILS, AND LINENS, OR UNWRAPPED SINGLE-USE.

ALL ADJACENT/ SHARED FACILITIES UNDER SAME OWNERSHIP.
(See Site Plan for locations)
EMPLOYEE BATHROOMS
JANITORIAL SERVICES
TRASH AREAS

PROJECT IS PERMITTED AS A FOOD COURT UNDER SEPARATE PERMIT.

ENVIRONMENTAL HEALTH NOTE:
DRY GOODS STORAGE PER CFRC 2015

SQFT (Interior) 230 x .25 =58 Lin.ft required

Metro Shelf 6'-0" (5 tier) x 1 (qty)	30
Metro Shelf 3'-0" (5 tier) x 1 (qty)	15
Wall Shelving 4'-0" x 1 (qty)	4
Wall Shelving 5'-0" x 2 (qty)	10
Total provided	=59 Lin.ft

ENVIRONMENTAL HEALTH NOTE:
ELECTRICAL WATER HEATER SIZING
ASSUMING 62deg. Temp Rise

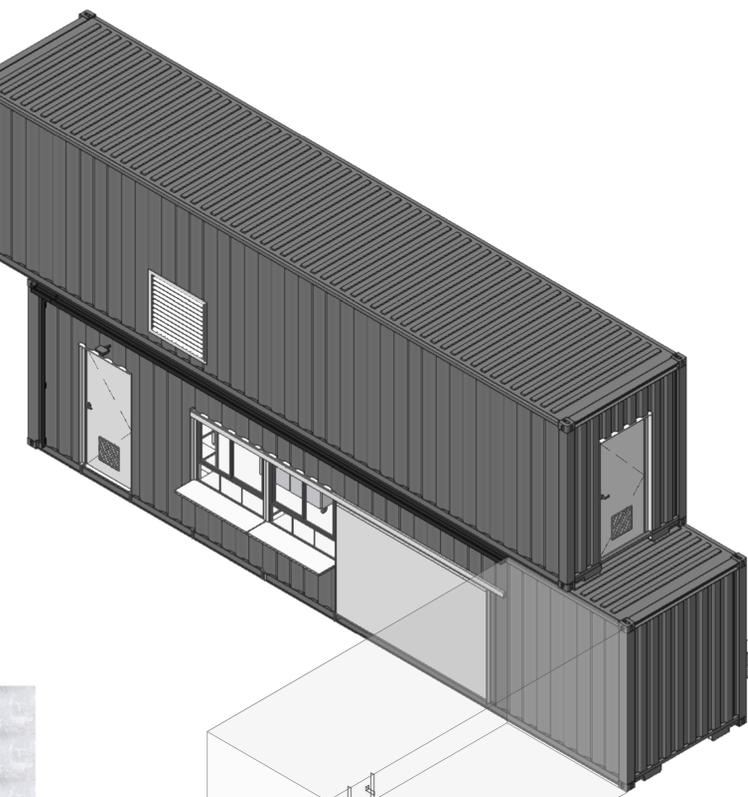
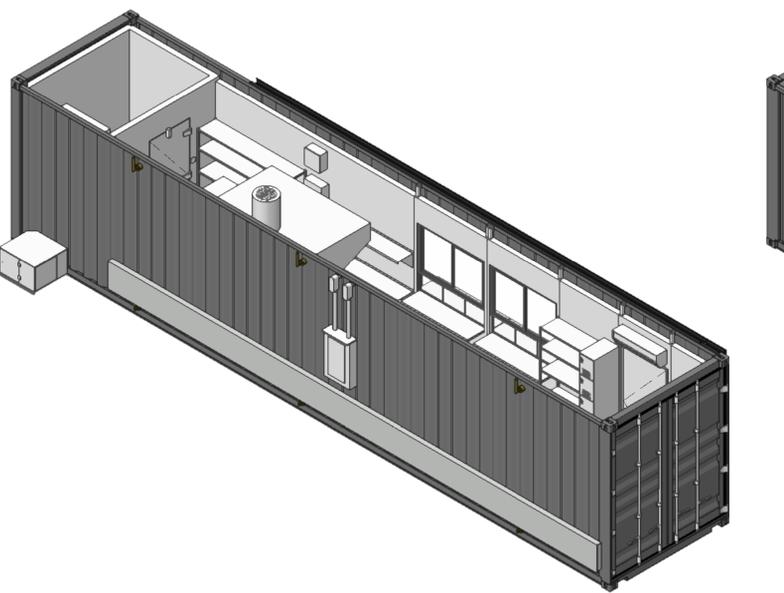
ITEM	QTY	DEFAULT FACTOR	GPH	
Utensil Sink Small (18"x18" or smaller)	3	14	42	
Hand Wash Sink (including restrooms)	1	5	5	
Food Prep Sink	1	5	5	
			52	TOTAL
SINGLE USE UTENSILS (X0.9)			46.8	TOTAL

POWER CONSUMPTION
 $46.8(62)(8.33) = 24170.35 = 7.25 KW$
 $0.98(3412) = 3343.8$

AO SMITH COMMERCIAL DEN-52, 50 Gal. 8KW.

WALL & CEILING FINISHES.
Smooth, Durable, Easily Cleanable Light Colored And Non-absorbent Finishes Are Required In The Following Areas:

- Where Food Is Prepared Or Packaged.
- Customer Self Service Locations Where Open Food Or Beverages Is Dispensed
- Wait stations
- Utensil Washing Or Storage
- Janitorial Areas
- Restrooms
- Employee Locker Rooms
- Walk In Refrigerators/ Freezers
- Food Storage In Original Unopened Containers
- Garbage And Refuse Storage.



SITE PLAN (SEE SITE ARCHITECTURE DRAWINGS)



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THE RADIUS - FOOD
1501 Harbor Bay Pkwy. Alameda, CA 94502

Submittals
ISSUE 90% CLIENT 05.05.22

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May 5, 2022

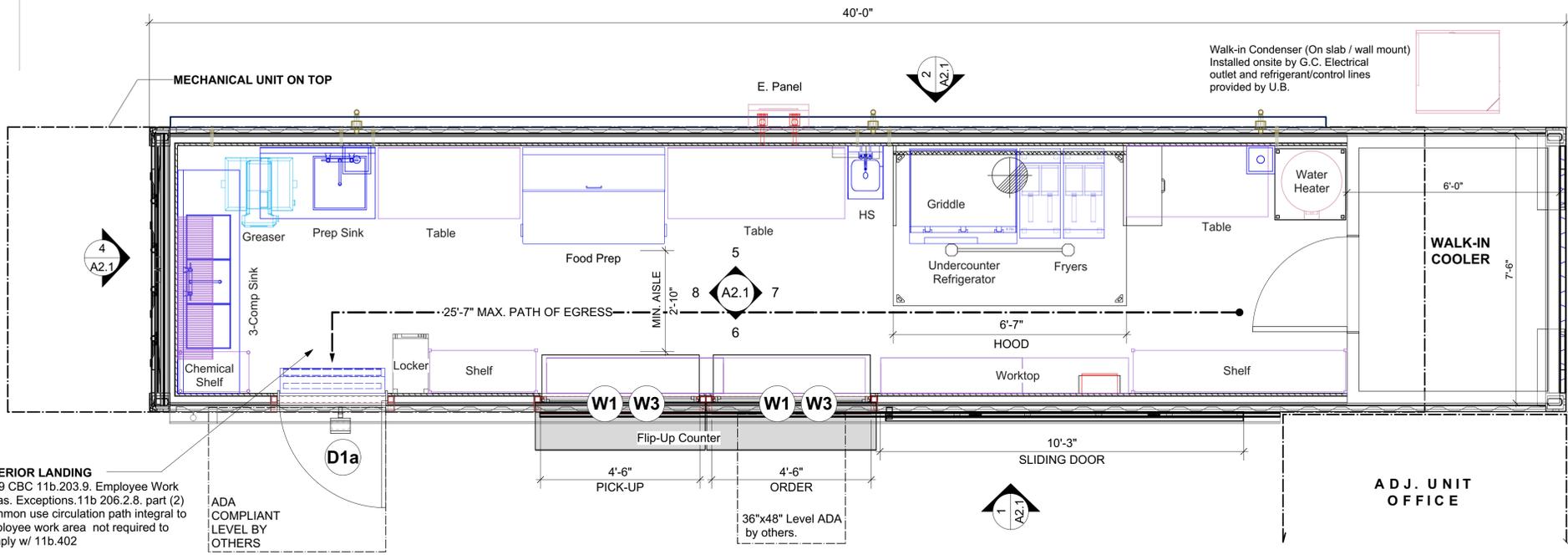
DRAWING TITLE
PROJECT DATA

UB#

SHEET NUMBER

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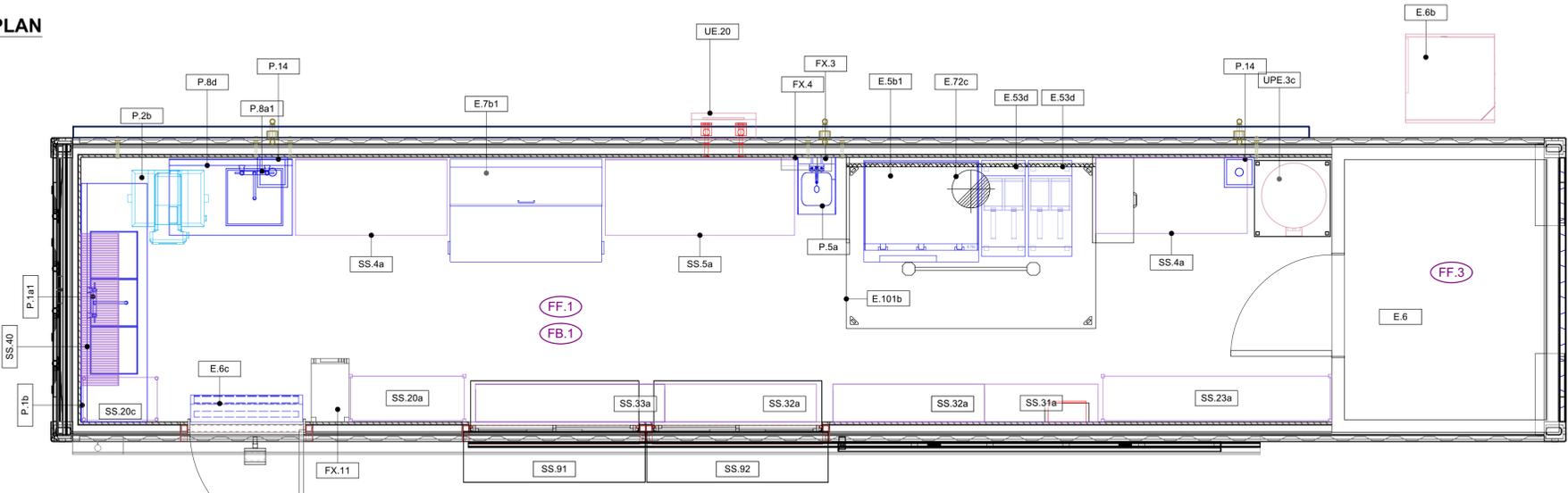
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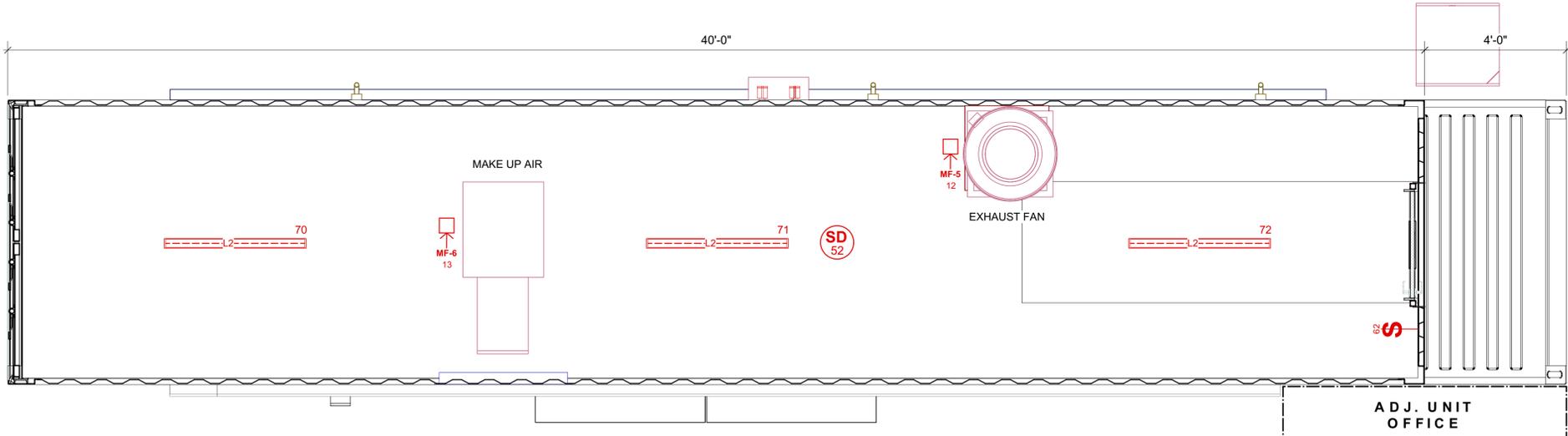
INTERIOR LANDING
 2019 CBC 11b.203.9. Employee Work Areas. Exceptions.11b 206.2.8, part (2) Common use circulation path integral to Employee work area not required to comply w/ 11b.402

ADA COMPLIANT LEVEL BY OTHERS

1 FLOOR PLAN
 1/2" = 1'-0"



2 EQUIPMENT & FINISHES PLAN
 1/2" = 1'-0"



3 MECHANICAL UNIT
 1/2" = 1'-0"

ELECTRICAL LEGEND

Lighting: 40 LUMENS / WATT OR GREATER FOR GENERAL LIGHTING IN WORK AREAS AND BATHROOMS PER IBC 2021 STANDARD. IF MORE THAN ONE LIGHT IS PROVIDED IN BATHROOM, GENERAL LIGHTING TO BE FLUORESCENT.

FIXTURES: A MINIMUM OF 20 FT CABLES (20' MIN OF LIGHT SPREAD) BY THE FLOOR IS PROVIDED FOR ALL FOOD PREPARATION AREAS DURING GENERAL CLEANUP ACTIVITIES. A MINIMUM OF 10 FT CABLES (10' MIN OF LIGHT SPREAD) BY THE FLOOR IS PROVIDED IN UTENSIL CLEANING AREA (BACK BAR AREA).

MANDATORY MEASURES

- Building Lighting Shut-off: TIME-SENSITIVE SHUT-OFF CONSISTS OF AUTOMATIC TIME SWITCH WITH SEPARATE ON/OFF SWITCHES.
- Automatic Control Devices: Certified.
- ALTERNATE EQUIPMENT SHALL BE CERTIFIED AND INSTALLED AS DIRECTED BY THE MANUFACTURER'S AND LUMINAIRE CERTIFICATES.
- ALL FLUORESCENT LIGHT FIXTURES SUBJECT TO THE CERTIFICATION AND SPECIFIED FOR THIS PROJECT ARE CERTIFIED.
- Individual Room/Area Control: EACH ROOM AND AREA IN THIS TENANT SPACE IS EQUIPPED WITH A SEPARATE SWITCH OR SCENARIO SENSITIVE DEVICE FOR EACH AREA WITH FLOOR-CESING WALLS.
- Uniform Illumination: UNIFORM ILLUMINATION SHALL BE MAINTAINED THROUGHOUT THE TENANT SPACE. UNIFORM ILLUMINATION SHALL BE MAINTAINED THROUGHOUT THE TENANT SPACE. UNIFORM ILLUMINATION SHALL BE MAINTAINED THROUGHOUT THE TENANT SPACE.
- Daylight Controls: NA.
- Control of Exterior Lights: by owner.

OUTLETS

Decora Type UON.

DUPLX DPXL-2, QUAD 2201, 2203, 2201, 2203

SWITCHING

Decora Type UON.

Electrical Panelboard, Raceway, FLEX MTL COND. INT. TYP, EXIT & EMERGENCY LIGHTING, SMOKE DETECTOR, DATA, VENTILATION FAN, HARD WIRE CONNECTION, EXTERIOR PENETRATION, JUNCTION BOX

SEE PANEL SCHEDULE

CA Code Compliant Raceway: 3.5 x 0.75" Wrenwood Two-Piece or approved equal. Armoured cable drop locations, size of armoured cable to be determined by load requirements. Southwire Armortite Type MC Combination Exit & Emergency Twin Head Lighting Wiringage Battery Unit. Hard Wired. MIN. 300 CFM. Through Wall Installation. LB. Size as indicated on drawings.

LIGHTING FIXTURES

CL-1 2x2 LAY IN FIXTURE Low Voltage LED.
 CL-2 RECESSED DOWNLIGHT (a) Downlight (b) Wall Washer Low Voltage LED.
 CL-3 SURFACE MTD CEILING Commercial Electric, Fluorescent. #CEW194-06 4x F30T8
 CD 2x2 LAY IN FIXTURE Ceiling Air Duct Square Diffuser
 XL-1 EXTERIOR SCENCE Low Voltage LED. Exterior J box and conduit to interior roadway system. Exterior lighting on single 30A circuit UON.
 IL-2 PENDANT LIGHT
 IL-3 INTERIOR SCENCE
 DL-1 INTERIOR TRACK DISPLAY LIGHTING. Circuit provided only. Circuit limiters may be installed.
 DL-2 LED LINEAR

FINISH SCHEDULE

#	QTY	ITEM	MFG. CAT.	SPECIFICATION	REMARKS
W1.1	FRP	FRP		White Frp (fiberglass Reinforced Panel) Sequencia Or Eq. With integral silicone seals or mouldings @ All Joint, Corner, And Edge Conditions. Aluminum "h" Moulding At Bottom.	
W1.3	EXTERIOR PAINT	Class C. Rataul.		Direct to metal Paint Color	Shervin-Williams SW7674 Peppercorn
W1.4	GALV. WALLPANELS	ALUMINUM		WALK IN COOLER MANUFACTURER	26GA. Stucco Galv. Steel Panels NSF Approved W/ Cam Lock Fasteners & Silicone sealant @ all joints. TYP.
W1.5	ALUMINUM				Plywood with Aluminum Face
FF.1	EPOXY FLOOR COATING			General Polymer 3744 High Performance Cr Epoxy. Epoxy Applied As 10 Mil. Slurry. Light Grey. OR APPROVED EQUAL.	Comply W/ Env. CA. Retail food Code. Flooring to be smooth finish under sinks, counters and racks.
FF.3	WALK IN COOLER			STAINLESS STEEL FLOOR	NSF Compliant W/ 3/8" Integral Radius at Floor/ Wall Junction
FB.1	COVE BASE BOARD			EPOXY TO MATCH	Provide 6" integral base W/ 1/2" min radiused cove.
CG.1	GYPSUM LAY IN			Gold Bond 2x4, 2x2 Gridstone (Laminated vinyl Food Grade) 9/16". White Smooth ALU. Trim & Hangers.	All trim pieces, factory painted, cleanable.
CG.2	ACOUSTIC LAY IN			Armstrong 2x4, 2x2 KITCHEN ZONE (Food Grade) 9/16". White Smooth ALU. Trim & Hangers.	All trim pieces, factory painted, cleanable.
EP-2	Wood Panels			3/4" Wd. Boards	
EP-4	BLACKENED METAL PLATE			1/8" Mtl Plate. Sealed.	Include all support frames, Trim Etc.

EQUIPMENT LIST

UID #	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (WxDxH)	COMMENTS	FURNISH	INSTALL
1	E.7b1	1 Refrigerator: Food Prep Table	TRUE	TSSU-48-12-HC	48 3/8" x 30 1/8" x 43"		Client	Client
2	E.5b1	1 Refrigerator: Worksurface	TURE	TRCB-36	36-3/8" x 32-1/8" x 20-3/8"		Client	Client
3	E.72c	1 Electric Griddle	STAR	536TGF	36" x 27.9" x 15.5"		Client	Client
4	E.53d	1 Floor Fryer	Dean	SR114E	15 3/4" x 27 1/4" x 44"		Client	Client
5	E.53d	1 Floor Fryer	Dean	SR114E	15 3/4" x 27 1/4" x 44"		Client	Client
6	P.2b	1 Grease	BIG DIPPER	W-200-IS	28.5" x 23.375" x 15.5"		UB	UB
7	E.6c	1 36" Air Curtain	Curtron	AP-2-36-SS	36" x 10" x 12"		UB	UB
10	E.101b	1 Hood	Captiveair	5412-SND2	6'-7" L.		UB	UB
11	E.101c	1 Hood Control Panel	Captiveair		14" x 18" x 6"		UB	UB
12	MF-5	1 EXHAUST FAN	CAPTIVEAIRE	TBD	TBD	Ductwork provided, site installed by client	UB	Client
13	MF-6	1 EVAPORATIVE COOLING/HEATING UNIT	CAPTIVEAIRE	TBD	TBD	Ductwork provided, site installed by client	UB	Client
14	E.6	1 Custom Walk-in Cooler	RUDY'S	8'-6" High Mtl Clad Wood Pnl's	TBD	Custom Manufactured on site	UB	UB
15	E.6b	1 Walk-in Cooler Condensing Unit	HEATCRAFT	MOH010X62CFM	17 1/4 x 28 1/4 x 23 3/4	Connections made on site	UB	UB
20	UPE.3c	1 Water Heater	AO Smith	DEN-52, 50g, 8KW 4000/4000	20 1/2"Ø x 54 7/8"H	Connections made on site	UB	UB
21	UE.20	1 Electrical Panel	SIEMENS	200A	TBD		UB	UB

PLUMBING, STAINLESS & FIXTURES

#	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (W X D x h)	COMMENTS	FURNISH	INSTALL
FX.3	1	Soap Dispenser	SAN JAMAR	Model: SH900TBK	5.5" x 4" x 12"		UB	UB
FX.4	1	Paper Towel Dispenser	SAN JAMAR	Model: T1900XC	11 3/8" x 4" x 14 3/4"		UB	UB
FX.11	1	Locker	GSW	EL-5DR	12" x 20" x 77"		Client	Client
LDR.1	1	Ladder					UB	UB
P.1a1	1	3-Comp Sink Faucet	T&S	5F-8WLX10		3-Comp Sink	UB	UB
P.1b	1	3-Comp Sink w/ splash guards	GSW	SE15153D	75 1/4" x 21" x 45"		UB	UB
P.2b	1	Grease	Big Dipper	W-200-IS	28.5" x 23.375" x 15.5"		UB	UB
P.5a	1	Drop-in Hand Sink w/ splash guards	KROWNE	HS-1225	12" x 18" x 15 1/2"	5" bowl	UB	UB
P.8a1	1	Prep Sink Faucet	T&S	5F-8WLX08		Prep Sink	UB	UB
P.8d	1	Prep Sink	GSW	SE18181L	39" x 24" x 45"		UB	UB
P.14	2	Floor Sink	WATTS	FS-710 Sanitary Floor Sink	8 1/8" x 8 1/8" x 6 1/4"		UB	UB
SS.4a	2	4' Stainless Table	GSW	16 Gauge SS top, back splashes 4" sealed, Optional undershelf	48" x 24" x 35"		TBD	TBD
SS.5a	1	5' Stainless Table	GSW	16 Gauge SS top, back splashes 4" sealed, Optional undershelf	60" x 24" x 35"		TBD	TBD
SS.20a	1	3' Metro Shelf 5 Tier	METRO	5-Tier	36" x 14" x 73 1/2"		TBD	TBD
SS.20c	1	2' Metro Shelving	METRO	2-Tier	24" x 14"	chrome finish	UB	UB
SS.23a	1	6' Metro Shelf 5 Tier	METRO	5-Tier	72" x 14" x 73 1/2"		TBD	TBD
SS.31a	1	3' SS Shelving Solid	GSW	SS Shelving	12" x 36"		TBD	TBD
SS.32a	3	4' SS Shelving Solid	GSW	SS Shelving	12" x 48"		TBD	TBD
SS.33a	1	5' SS Shelving Solid	GSW	SS Shelving	12" x 60"		TBD	TBD
SS.40	1	Wire Wall Shelf	EAGLE	SNSW1248V-X, Gray Epoxy	48" x 12"		UB	UB
SS.91	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing			UB	UB
SS.92	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing			UB	UB

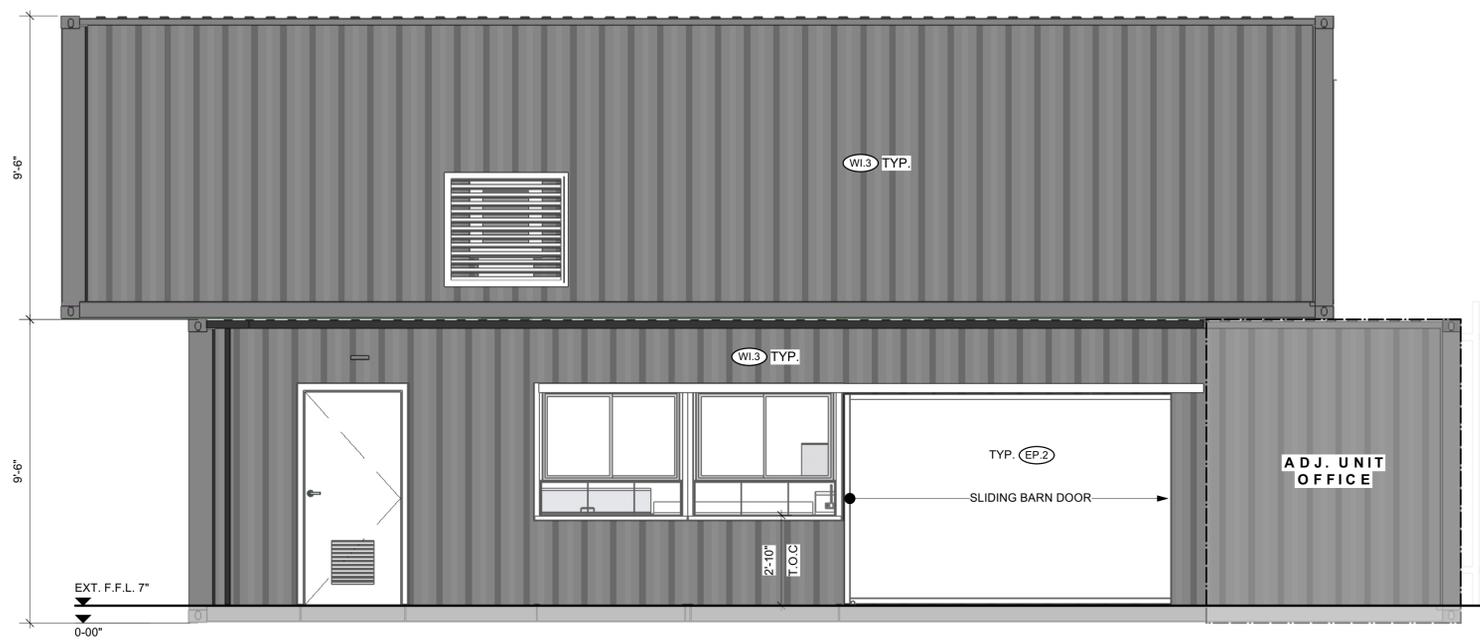


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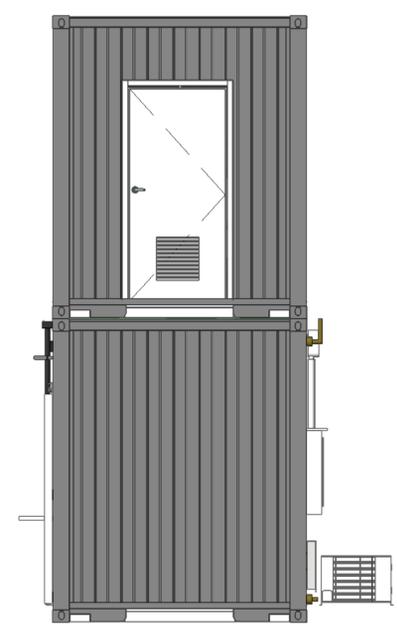
THE RADIUS - FOOD
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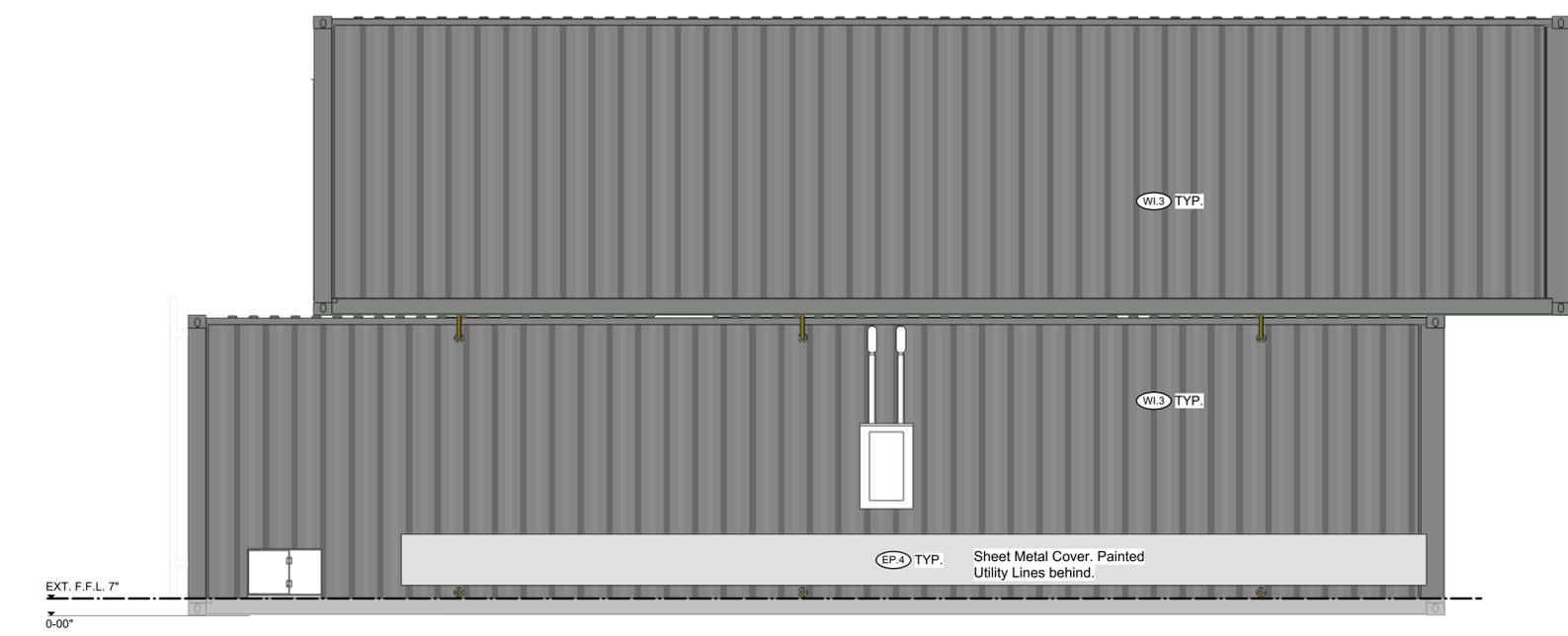
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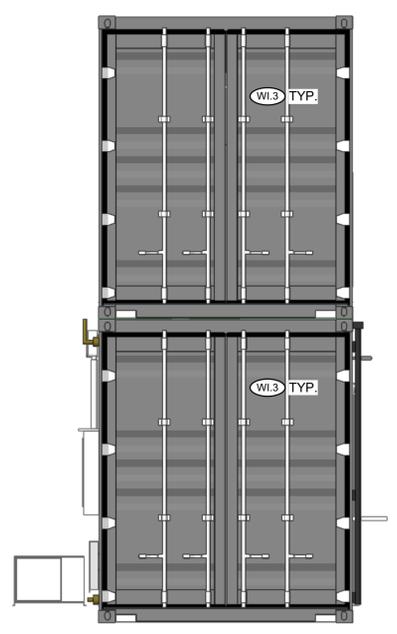
1 FRONT ELEVATION
 Scale: 3/8" = 1'-0"



3 RIGHT ELEVATION
 Scale: 3/8" = 1'-0"



2 FRONT ELEVATION
 Scale: 3/8" = 1'-0"



4 LEFT ELEVATION
 Scale: 3/8" = 1'-0"

FINISH SCHEDULE			
#	QTY/ITEM	MFG. CAT. SPECIFICATION	REMARKS
WALL FINISHES			
WI.1	FRP	White Frp (fiberglass Reinforced Panel) Sequencia Or Eq.. With integral silicone seals or mouldings @ All Joint, Corner, And Edge Conditions. Aluminum "h" Moulding At Bottom.	
WI.3	EXTERIOR PAINT	Direct to metal Paint Color	Sherwin-Williams SW7674 Peppercorn
WI.4	GALV. WALLPANELS	WALK IN COOLER MANUFACTURER	28GA. Stucco Galv. Steel Panels NSF Approved W/ Cam Lock Fasteners & Silicone sealant @ all joints. TYP.
WI.5	ALUMINUM		Plywood with Aluminum Face
FLOOR FINISHES			
FF.1	EPOXY FLOOR COATING	General Polymer 3744 High Performance Cr Epoxy. Epoxy Applied As 10 Mil. Slurry. Light Grey. OR APPROVED.EQJAL	Comply W/ Env. CA. Retail food Code. Flooring to be smooth finish under sinks, counters and racks.
FF.3	WALK IN COOLER	STAINLESS STEEL FLOOR	NSF Compliant W/ 3/8" Integral Radius at Floor/ Wall Junction
FB.1	COVE BASE BOARD	EPOXY TO MATCH	22GA. Stainless Floor Smooth. Provide 6" integral base W/ 1/2" min radiused cove.
CEILING FINISHES			
CG.1	GYPSUM LAY IN	Gold Bond 2x4, 2x2 Gridstone(Laminated vinyl Food Grade) 9/16". White Smooth ALu. Trim & Hangers.	All trim pieces, factory painted. cleanable.
CG.2	ACOUSTIC LAY IN	Armstrong 2x4, 2x2 KITCHEN ZONE(Food Grade) 9/16". White Smooth ALu. Trim & Hangers.	All trim pieces, factory painted. cleanable.
EXTERIOR CLADDING			
EP-2	Wood Panels	3/4" Wd. Boards	
EP-4	BLACKENED METAL PLATE	1/8" Mil Plate. Sealed.	Include all support frames, Trim Etc.



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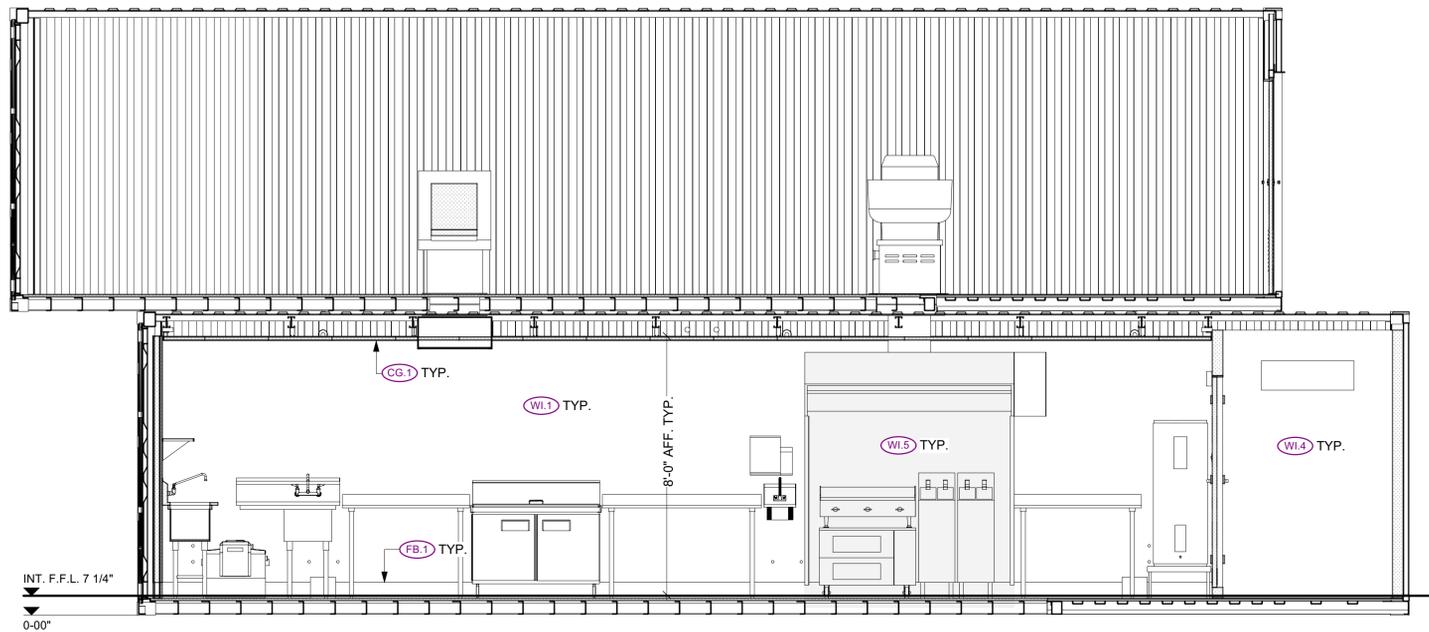
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DRAWING TITLE
**ELEVATIONS
 SECTIONS**

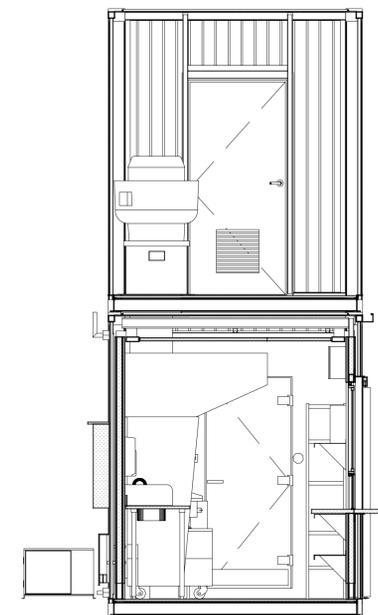
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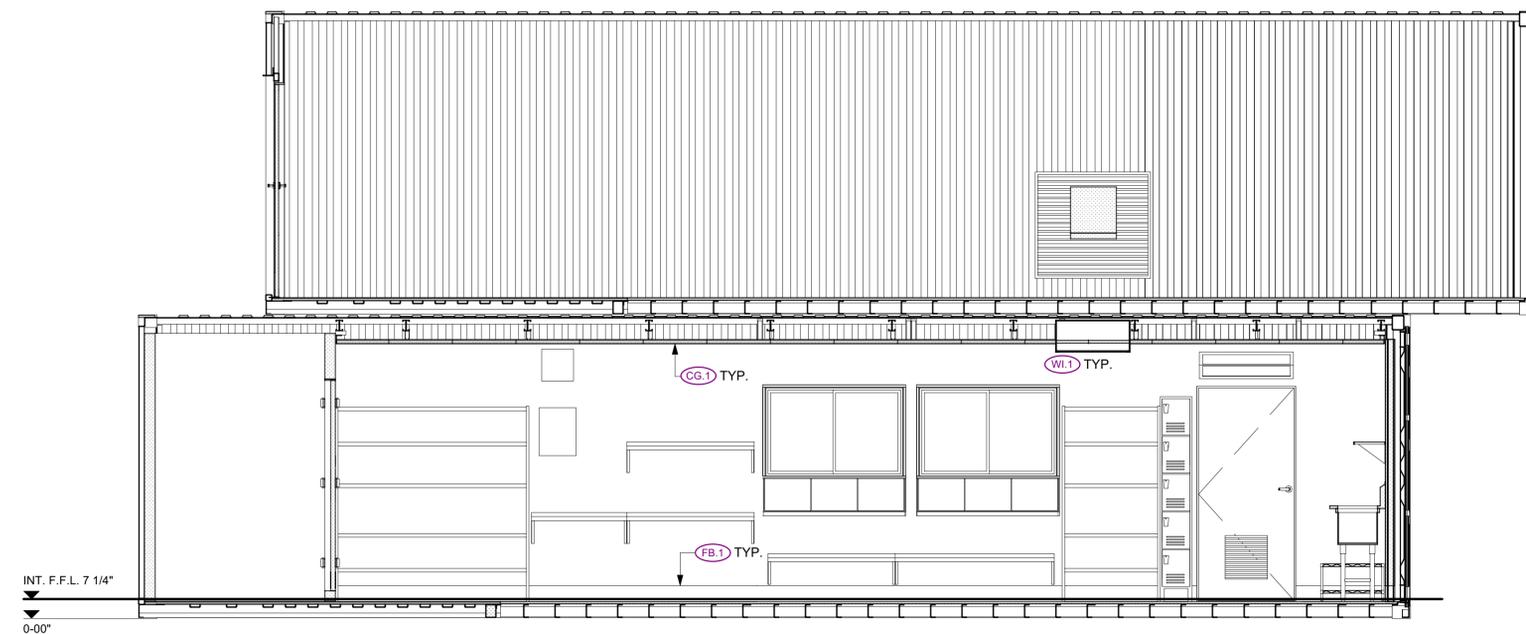
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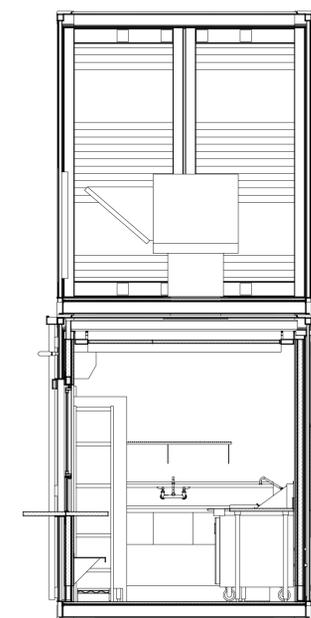
5 INTERIOR SECTION
 Scale: 3/8" = 1'-0"



7 INTERIOR SECTION
 Scale: 3/8" = 1'-0"



6 INTERIOR SECTION
 Scale: 3/8" = 1'-0"



8 INTERIOR SECTION
 Scale: 3/8" = 1'-0"

#	QTY	ITEM	MFG. CAT. SPECIFICATION	REMARKS
WALL FINISHES				
WI.1		FRP	White Frp (fiberglass Reinforced Panel) Sequencia Or Eq.. With integral silicone seals or mouldings @ All Joint, Corner, And Edge Conditions. Aluminum "h" Moulding At Bottom.	
WI.3		EXTERIOR PAINT	Direct to metal Paint Color	Sherwin-Williams SW7674 Peppercorn
WI.4		GALV. WALLPANELS	WALK IN COOLER MANUFACTURER	28GA. Stucco Galv. Steel Panels NSF Approved W/ Cam Lock Fasteners & Silicone sealant @ all joints. TYP.
WI.5		ALUMINUM		Plywood with Aluminum Face
FLOOR FINISHES				
FF.1		EPOXY FLOOR COATING	General Polymer 3744 High Performance Cr Epoxy. Epoxy Applied As 10 Mil. Slurry. Light Grey. OR APPROVED.EQJAL	Comply W/ Env. CA. Retail food Code. Flooring to be smooth finish under sinks, counters and racks.
FF.3		WALK IN COOLER	STAINLESS STEEL FLOOR	NSF Compliant W/ 3/8" Integral Radius at Floor/ Wall Junction
FB.1		COVE BASE BOARD	EPOXY TO MATCH	22GA. Stainless Floor Smooth. Provide 6" integral base W/ 1/2" min radiused cove.
CEILING FINISHES				
CG.1		GYPSUM LAY IN	Gold Bond 2x4, 2x2 Gridstone(Laminated vinyl) Food Grade) 9/16". White Smooth ALu. Trim & Hangers.	All trim pieces, factory painted. cleanable.
CG.2		ACOUSTIC LAY IN	Armstrong 2x4, 2x2 KITCHEN ZONE(Food Grade) 9/16". White Smooth ALu. Trim & Hangers.	All trim pieces, factory painted. cleanable.
EXTERIOR CLADDING				
EP-2		Wood Panels	3/4" Wd. Boards	
EP-4		BLACKENED METAL PLATE	1/8" Mil Plate. Sealed.	Include all support frames, Trim Etc.



THE RADIUS - FOOD
 1501 Harbor Bay Pkwy. Alameda, CA 94502

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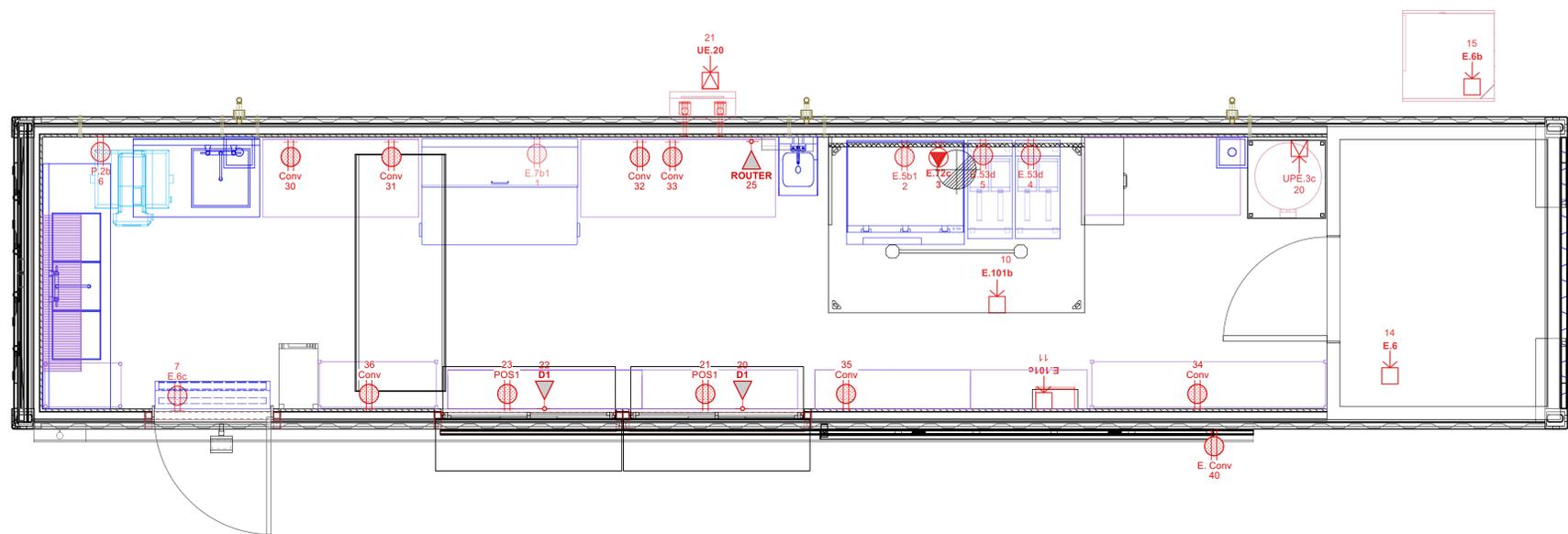
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 SECTIONS

UB#

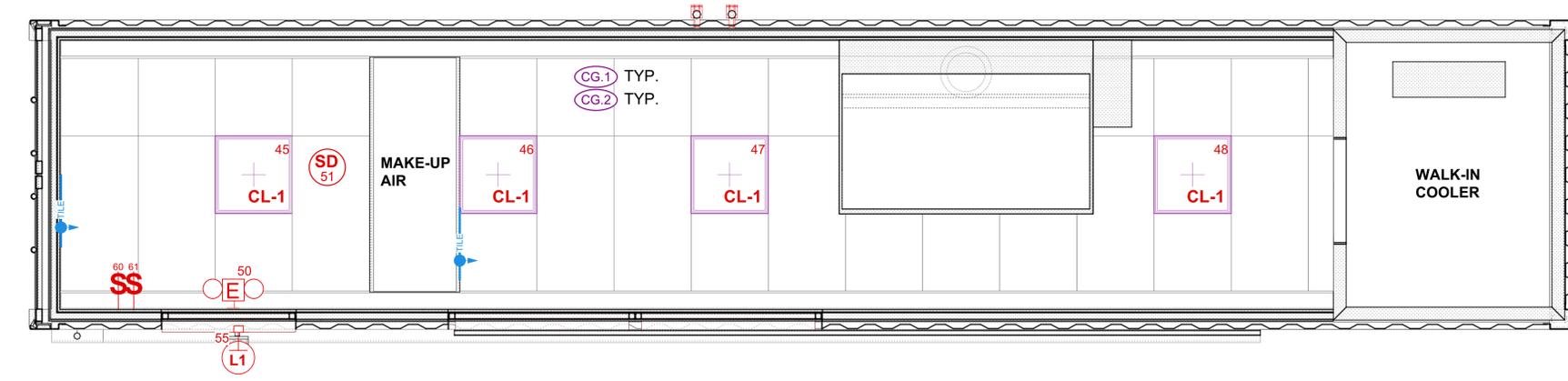
SHEET NUMBER

A2.1
 PAGES @ 24"x36"

ISSUED FOR REFERENCE ONLY
 MANUFACTURED COMMERCIAL MODULAR UNITS
 PRODUCED UNDER LICENSE & PERMIT BY CA. HCD.
 AS DEFINED UNDER CALIFORNIA CODE OF REGULATIONS TITLE 25, DIV. 1 H.C.D.



1 POWER PLAN
1/2" = 1'-0"



2 CEILING PLAN
1/2" = 1'-0"

NOTE: FOR ROOF/MECHANICAL UNIT ELECTRICAL CONNECTION SEE A1.1

EQUIPMENT LIST								ELECTRICAL						PLUMBING						
UID #	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (WxDxH)	COMMENTS	FURNISH	INSTALL	VOLTAGE	PHASE	AMPS	PLUG	HT.AFF	WIRE	DRN. (D/I)	HOT	COLD	GAS	COMMENTS	
1	E.7b1	1	TRUE	TSSU-48-12-HC	48 3/8" x 30 1/8" x 43"		Client	Client	115	1	5.8	5-15	18"	12/2						
2	E.5b1	1	TURE	TRCB-36	36-3/8" x 32-1/8" x 20-3/8"		Client	Client	115	1	5.7	5-15	18"	12/2						
3	E.72c	1	STAR	536TGF	36" x 27.9" x 15.5"		Client	Client	208	3	25	HW	44"	10/3						
4	E.53d	1	Dean	SR114E	15 3/4" x 27 1/4" x 44"		Client	Client	208	3	39	HW	18"	8/3						
5	E.53d	1	Dean	SR114E	15 3/4" x 27 1/4" x 44"		Client	Client	208	3	39	HW	18"	8/3						
6	P.2b	1	BIG DIPPER	W-200-IS	28.5" x 23.375" x 15.5"		UB	UB	115	1	10.2	5-15	18"	12/2						
7	E.6c	1	Curtron	AP-2-36-SS	36" x 10" x 12"		UB	UB	120	1	4.17	5-15	RW	12/2						
10	E.101b	1	Captiveair	5412-SND2	6-7" L.		UB	UB	110/108	1		HW	Cell							
11	E.101c	1	Captiveair		14" x 18" x 6"		UB	UB	208	1	6.9	HW		12/3						
12	MF-5	1	CAPTIVEAIRE	TBD	TBD	Ductwork provided, site installed by client	UB	Client				HW	Mech. Unit		Indirect					
13	MF-6	1	CAPTIVEAIRE	TBD	TBD	Ductwork provided, site installed by client	UB	Client				HW	Mech. Unit		Indirect					
14	E.6	1	RUDY'S	8'-6" High Mtl Clad Wood Pnl	TBD	Custom Manufactured	UB	UB							Indirect					
15	E.6b	1	HEATCRAFT	MOH010X62CFM	17 1/4 x 28 1/4 x 23 3/4	Connections made on site	UB	UB	208-230	1	7	5-15	Exterior	12/3						
20	UPE.3c	1	AO Smith	DEN-52, 50g, 8KW 4000/4000	20 1/2"Ø x 54 7/8" H	Connections made on site	UB	UB	208	3	33.3	HW	18"	8/3	Indirect					
21	UE.20	1	SIEMENS	200A	TBD		UB	UB	208	3	200		Exterior							

ELECTRICAL LEGEND

LIGHTING - 40 LUMENS/WATT OR GREATER FOR GENERAL LIGHTING IN WORK AREAS AND BATHROOMS PER 90774 STANDARD. IF MORE THAN ONE LIGHT IS PROVIDED IN A BATHROOM, GENERAL LIGHTING TO BE FLUORESCENT.

FOOD USE - A MINIMUM OF 20 FT CANDLES/100 SQ FT OF LIGHT MEASURED 30" OFF THE FLOOR IS PROVIDED IN ALL FOOD PREPARATION AREAS DURING GENERAL CLEANUP ACTIVITIES. A MINIMUM OF 10 FT CANDLES (100 LUX) OF LIGHT MEASURED 30" OFF THE FLOOR IS PROVIDED IN UTENSIL CLEANING AREA (BACK BAR AREA).

MANDATORY MEASURES

- Building Lighting Shut-off: THE BUILDING LIGHTING SHUT-OFF CONSISTS OF AUTOMATIC TIME SWITCH WITH SEPARATE ZONES AND OVER-RIDE SWITCHES.
- Automatic Control Device Certified: ALL AUTOMATIC CONTROL DEVICES SPECIFIED ARE CERTIFIED BY THE MANUFACTURER. ANY AUTOMATIC EQUIPMENT SHALL BE CERTIFIED AND INSTALLED AS DIRECTED BY THE MANUFACTURER'S INSTRUCTIONS AND LUMINAIRE CERTIFIED.
- Fluorescent Ballast and Luminaire Certified: ALL FLUORESCENT LIGHT FIXTURES SUBJECT TO THE CERTIFICATION AND SPECIFIED FOR THIS PROJECT ARE CERTIFIED.
- Individual Room/Area Controls: EACH ROOM AND AREA IN THIS TENANT SPACE IS EQUIPPED WITH A SEPARATE SWITCH OR OCCUPANCY SENSOR DEVICE FOR EACH AREA WITH FLOOR TO CEILING WALLS.
- Uniform Backdrop for Individual Rooms: ALL ROOMS AND AREA GREATER THAN 100 SQUARE FEET AND MORE THAN 8 WATTS PER SQUARE FOOT OF LIGHTING LOAD ARE CONTROLLED WITH BELIEVABLE SWITCHING FOR UNIFORM REDUCTION OF LIGHTING WITHIN THE ROOM.
- Dark Area Controls: NA
- Control of Exterior Lights: By Owner.

OUTLETS

0 DKT, 1 DKT, 2 DKT, 3 DKT, 4 DKT, 5 DKT, 6 DKT, 7 DKT, 8 DKT, 9 DKT, 10 DKT, 11 DKT, 12 DKT, 13 DKT, 14 DKT, 15 DKT, 16 DKT, 17 DKT, 18 DKT, 19 DKT, 20 DKT, 21 DKT, 22 DKT, 23 DKT, 24 DKT, 25 DKT, 26 DKT, 27 DKT, 28 DKT, 29 DKT, 30 DKT, 31 DKT, 32 DKT, 33 DKT, 34 DKT, 35 DKT, 36 DKT, 37 DKT, 38 DKT, 39 DKT, 40 DKT, 41 DKT, 42 DKT, 43 DKT, 44 DKT, 45 DKT, 46 DKT, 47 DKT, 48 DKT, 49 DKT, 50 DKT, 51 DKT, 52 DKT, 53 DKT, 54 DKT, 55 DKT, 56 DKT, 57 DKT, 58 DKT, 59 DKT, 60 DKT, 61 DKT, 62 DKT, 63 DKT, 64 DKT, 65 DKT, 66 DKT, 67 DKT, 68 DKT, 69 DKT, 70 DKT, 71 DKT, 72 DKT, 73 DKT, 74 DKT, 75 DKT, 76 DKT, 77 DKT, 78 DKT, 79 DKT, 80 DKT, 81 DKT, 82 DKT, 83 DKT, 84 DKT, 85 DKT, 86 DKT, 87 DKT, 88 DKT, 89 DKT, 90 DKT, 91 DKT, 92 DKT, 93 DKT, 94 DKT, 95 DKT, 96 DKT, 97 DKT, 98 DKT, 99 DKT, 100 DKT

SWITCHING

1 S, 2 S, 3 S, 4 S, 5 S, 6 S, 7 S, 8 S, 9 S, 10 S, 11 S, 12 S, 13 S, 14 S, 15 S, 16 S, 17 S, 18 S, 19 S, 20 S, 21 S, 22 S, 23 S, 24 S, 25 S, 26 S, 27 S, 28 S, 29 S, 30 S, 31 S, 32 S, 33 S, 34 S, 35 S, 36 S, 37 S, 38 S, 39 S, 40 S, 41 S, 42 S, 43 S, 44 S, 45 S, 46 S, 47 S, 48 S, 49 S, 50 S, 51 S, 52 S, 53 S, 54 S, 55 S, 56 S, 57 S, 58 S, 59 S, 60 S, 61 S, 62 S, 63 S, 64 S, 65 S, 66 S, 67 S, 68 S, 69 S, 70 S, 71 S, 72 S, 73 S, 74 S, 75 S, 76 S, 77 S, 78 S, 79 S, 80 S, 81 S, 82 S, 83 S, 84 S, 85 S, 86 S, 87 S, 88 S, 89 S, 90 S, 91 S, 92 S, 93 S, 94 S, 95 S, 96 S, 97 S, 98 S, 99 S, 100 S

ELECTRICAL PANELBOARD

1 EP, 2 EP, 3 EP, 4 EP, 5 EP, 6 EP, 7 EP, 8 EP, 9 EP, 10 EP, 11 EP, 12 EP, 13 EP, 14 EP, 15 EP, 16 EP, 17 EP, 18 EP, 19 EP, 20 EP, 21 EP, 22 EP, 23 EP, 24 EP, 25 EP, 26 EP, 27 EP, 28 EP, 29 EP, 30 EP, 31 EP, 32 EP, 33 EP, 34 EP, 35 EP, 36 EP, 37 EP, 38 EP, 39 EP, 40 EP, 41 EP, 42 EP, 43 EP, 44 EP, 45 EP, 46 EP, 47 EP, 48 EP, 49 EP, 50 EP, 51 EP, 52 EP, 53 EP, 54 EP, 55 EP, 56 EP, 57 EP, 58 EP, 59 EP, 60 EP, 61 EP, 62 EP, 63 EP, 64 EP, 65 EP, 66 EP, 67 EP, 68 EP, 69 EP, 70 EP, 71 EP, 72 EP, 73 EP, 74 EP, 75 EP, 76 EP, 77 EP, 78 EP, 79 EP, 80 EP, 81 EP, 82 EP, 83 EP, 84 EP, 85 EP, 86 EP, 87 EP, 88 EP, 89 EP, 90 EP, 91 EP, 92 EP, 93 EP, 94 EP, 95 EP, 96 EP, 97 EP, 98 EP, 99 EP, 100 EP

RACEWAY

1 R, 2 R, 3 R, 4 R, 5 R, 6 R, 7 R, 8 R, 9 R, 10 R, 11 R, 12 R, 13 R, 14 R, 15 R, 16 R, 17 R, 18 R, 19 R, 20 R, 21 R, 22 R, 23 R, 24 R, 25 R, 26 R, 27 R, 28 R, 29 R, 30 R, 31 R, 32 R, 33 R, 34 R, 35 R, 36 R, 37 R, 38 R, 39 R, 40 R, 41 R, 42 R, 43 R, 44 R, 45 R, 46 R, 47 R, 48 R, 49 R, 50 R, 51 R, 52 R, 53 R, 54 R, 55 R, 56 R, 57 R, 58 R, 59 R, 60 R, 61 R, 62 R, 63 R, 64 R, 65 R, 66 R, 67 R, 68 R, 69 R, 70 R, 71 R, 72 R, 73 R, 74 R, 75 R, 76 R, 77 R, 78 R, 79 R, 80 R, 81 R, 82 R, 83 R, 84 R, 85 R, 86 R, 87 R, 88 R, 89 R, 90 R, 91 R, 92 R, 93 R, 94 R, 95 R, 96 R, 97 R, 98 R, 99 R, 100 R

FLEX MTL CONDUIT, TYP

1 F, 2 F, 3 F, 4 F, 5 F, 6 F, 7 F, 8 F, 9 F, 10 F, 11 F, 12 F, 13 F, 14 F, 15 F, 16 F, 17 F, 18 F, 19 F, 20 F, 21 F, 22 F, 23 F, 24 F, 25 F, 26 F, 27 F, 28 F, 29 F, 30 F, 31 F, 32 F, 33 F, 34 F, 35 F, 36 F, 37 F, 38 F, 39 F, 40 F, 41 F, 42 F, 43 F, 44 F, 45 F, 46 F, 47 F, 48 F, 49 F, 50 F, 51 F, 52 F, 53 F, 54 F, 55 F, 56 F, 57 F, 58 F, 59 F, 60 F, 61 F, 62 F, 63 F, 64 F, 65 F, 66 F, 67 F, 68 F, 69 F, 70 F, 71 F, 72 F, 73 F, 74 F, 75 F, 76 F, 77 F, 78 F, 79 F, 80 F, 81 F, 82 F, 83 F, 84 F, 85 F, 86 F, 87 F, 88 F, 89 F, 90 F, 91 F, 92 F, 93 F, 94 F, 95 F, 96 F, 97 F, 98 F, 99 F, 100 F

EXIT & EMERGENCY LIGHTING

1 E, 2 E, 3 E, 4 E, 5 E, 6 E, 7 E, 8 E, 9 E, 10 E, 11 E, 12 E, 13 E, 14 E, 15 E, 16 E, 17 E, 18 E, 19 E, 20 E, 21 E, 22 E, 23 E, 24 E, 25 E, 26 E, 27 E, 28 E, 29 E, 30 E, 31 E, 32 E, 33 E, 34 E, 35 E, 36 E, 37 E, 38 E, 39 E, 40 E, 41 E, 42 E, 43 E, 44 E, 45 E, 46 E, 47 E, 48 E, 49 E, 50 E, 51 E, 52 E, 53 E, 54 E, 55 E, 56 E, 57 E, 58 E, 59 E, 60 E, 61 E, 62 E, 63 E, 64 E, 65 E, 66 E, 67 E, 68 E, 69 E, 70 E, 71 E, 72 E, 73 E, 74 E, 75 E, 76 E, 77 E, 78 E, 79 E, 80 E, 81 E, 82 E, 83 E, 84 E, 85 E, 86 E, 87 E, 88 E, 89 E, 90 E, 91 E, 92 E, 93 E, 94 E, 95 E, 96 E, 97 E, 98 E, 99 E, 100 E

SMOKE DETECTOR

1 SD, 2 SD, 3 SD, 4 SD, 5 SD, 6 SD, 7 SD, 8 SD, 9 SD, 10 SD, 11 SD, 12 SD, 13 SD, 14 SD, 15 SD, 16 SD, 17 SD, 18 SD, 19 SD, 20 SD, 21 SD, 22 SD, 23 SD, 24 SD, 25 SD, 26 SD, 27 SD, 28 SD, 29 SD, 30 SD, 31 SD, 32 SD, 33 SD, 34 SD, 35 SD, 36 SD, 37 SD, 38 SD, 39 SD, 40 SD, 41 SD, 42 SD, 43 SD, 44 SD, 45 SD, 46 SD, 47 SD, 48 SD, 49 SD, 50 SD, 51 SD, 52 SD, 53 SD, 54 SD, 55 SD, 56 SD, 57 SD, 58 SD, 59 SD, 60 SD, 61 SD, 62 SD, 63 SD, 64 SD, 65 SD, 66 SD, 67 SD, 68 SD, 69 SD, 70 SD, 71 SD, 72 SD, 73 SD, 74 SD, 75 SD, 76 SD, 77 SD, 78 SD, 79 SD, 80 SD, 81 SD, 82 SD, 83 SD, 84 SD, 85 SD, 86 SD, 87 SD, 88 SD, 89 SD, 90 SD, 91 SD, 92 SD, 93 SD, 94 SD, 95 SD, 96 SD, 97 SD, 98 SD, 99 SD, 100 SD

DATA

1 D, 2 D, 3 D, 4 D, 5 D, 6 D, 7 D, 8 D, 9 D, 10 D, 11 D, 12 D, 13 D, 14 D, 15 D, 16 D, 17 D, 18 D, 19 D, 20 D, 21 D, 22 D, 23 D, 24 D, 25 D, 26 D, 27 D, 28 D, 29 D, 30 D, 31 D, 32 D, 33 D, 34 D, 35 D, 36 D, 37 D, 38 D, 39 D, 40 D, 41 D, 42 D, 43 D, 44 D, 45 D, 46 D, 47 D, 48 D, 49 D, 50 D, 51 D, 52 D, 53 D, 54 D, 55 D, 56 D, 57 D, 58 D, 59 D, 60 D, 61 D, 62 D, 63 D, 64 D, 65 D, 66 D, 67 D, 68 D, 69 D, 70 D, 71 D, 72 D, 73 D, 74 D, 75 D, 76 D, 77 D, 78 D, 79 D, 80 D, 81 D, 82 D, 83 D, 84 D, 85 D, 86 D, 87 D, 88 D, 89 D, 90 D, 91 D, 92 D, 93 D, 94 D, 95 D, 96 D, 97 D, 98 D, 99 D, 100 D

VENTILATION FAN

1 V, 2 V, 3 V, 4 V, 5 V, 6 V, 7 V, 8 V, 9 V, 10 V, 11 V, 12 V, 13 V, 14 V, 15 V, 16 V, 17 V, 18 V, 19 V, 20 V, 21 V, 22 V, 23 V, 24 V, 25 V, 26 V, 27 V, 28 V, 29 V, 30 V, 31 V, 32 V, 33 V, 34 V, 35 V, 36 V, 37 V, 38 V, 39 V, 40 V, 41 V, 42 V, 43 V, 44 V, 45 V, 46 V, 47 V, 48 V, 49 V, 50 V, 51 V, 52 V, 53 V, 54 V, 55 V, 56 V, 57 V, 58 V, 59 V, 60 V, 61 V, 62 V, 63 V, 64 V, 65 V, 66 V, 67 V, 68 V, 69 V, 70 V, 71 V, 72 V, 73 V, 74 V, 75 V, 76 V, 77 V, 78 V, 79 V, 80 V, 81 V, 82 V, 83 V, 84 V, 85 V, 86 V, 87 V, 88 V, 89 V, 90 V, 91 V, 92 V, 93 V, 94 V, 95 V, 96 V, 97 V, 98 V, 99 V, 100 V

HARD WIRE CONNECTION

1 H, 2 H, 3 H, 4 H, 5 H, 6 H, 7 H, 8 H, 9 H, 10 H, 11 H, 12 H, 13 H, 14 H, 15 H, 16 H, 17 H, 18 H, 19 H, 20 H, 21 H, 22 H, 23 H, 24 H, 25 H, 26 H, 27 H, 28 H, 29 H, 30 H, 31 H, 32 H, 33 H, 34 H, 35 H, 36 H, 37 H, 38 H, 39 H, 40 H, 41 H, 42 H, 43 H, 44 H, 45 H, 46 H, 47 H, 48 H, 49 H, 50 H, 51 H, 52 H, 53 H, 54 H, 55 H, 56 H, 57 H, 58 H, 59 H, 60 H, 61 H, 62 H, 63 H, 64 H, 65 H, 66 H, 67 H, 68 H, 69 H, 70 H, 71 H, 72 H, 73 H, 74 H, 75 H, 76 H, 77 H, 78 H, 79 H, 80 H, 81 H, 82 H, 83 H, 84 H, 85 H, 86 H, 87 H, 88 H, 89 H, 90 H, 91 H, 92 H, 93 H, 94 H, 95 H, 96 H, 97 H, 98 H, 99 H, 100 H

EXTERIOR PENETRATION

1 P, 2 P, 3 P, 4 P, 5 P, 6 P, 7 P, 8 P, 9 P, 10 P, 11 P, 12 P, 13 P, 14 P, 15 P, 16 P, 17 P, 18 P, 19 P, 20 P, 21 P, 22 P, 23 P, 24 P, 25 P, 26 P, 27 P, 28 P, 29 P, 30 P, 31 P, 32 P, 33 P, 34 P, 35 P, 36 P, 37 P, 38 P, 39 P, 40 P, 41 P, 42 P, 43 P, 44 P, 45 P, 46 P, 47 P, 48 P, 49 P, 50 P, 51 P, 52 P, 53 P, 54 P, 55 P, 56 P, 57 P, 58 P, 59 P, 60 P, 61 P, 62 P, 63 P, 64 P, 65 P, 66 P, 67 P, 68 P, 69 P, 70 P, 71 P, 72 P, 73 P, 74 P, 75 P, 76 P, 77 P, 78 P, 79 P, 80 P, 81 P, 82 P, 83 P, 84 P, 85 P, 86 P, 87 P, 88 P, 89 P, 90 P, 91 P, 92 P, 93 P, 94 P, 95 P, 96 P, 97 P, 98 P, 99 P, 100 P

JUNCTION BOX

1 J, 2 J, 3 J, 4 J, 5 J, 6 J, 7 J, 8 J, 9 J, 10 J, 11 J, 12 J, 13 J, 14 J, 15 J, 16 J, 17 J, 18 J, 19 J, 20 J, 21 J, 22 J, 23 J, 24 J, 25 J, 26 J, 27 J, 28 J, 29 J, 30 J, 31 J, 32 J, 33 J, 34 J, 35 J, 36 J, 37 J, 38 J, 39 J, 40 J, 41 J, 42 J, 43 J, 44 J, 45 J, 46 J, 47 J, 48 J, 49 J, 50 J, 51 J, 52 J, 53 J, 54 J, 55 J, 56 J, 57 J, 58 J, 59 J, 60 J, 61 J, 62 J, 63 J, 64 J, 65 J, 66 J, 67 J, 68 J, 69 J, 70 J, 71 J, 72 J, 73 J, 74 J, 75 J, 76 J, 77 J, 78 J, 79 J, 80 J, 81 J, 82 J, 83 J, 84 J, 85 J, 86 J, 87 J, 88 J, 89 J, 90 J, 91 J, 92 J, 93 J, 94 J, 95 J, 96 J, 97 J, 98 J, 99 J, 100 J

LIGHTING FIXTURES

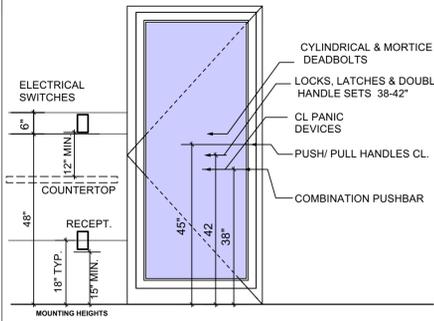
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E-INFRASTRUCTURE

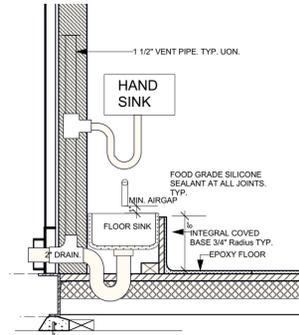
UID#	ID	FIXTURE TYPE	HT. FFL	REMARKS	WIRE
20	D1	Data	24"	REGULAR	12/2
21	POS1	POS	24"	REGULAR	12/2
22	D1	Data	24"	REGULAR	12/2
23	POS1	POS	24"	REGULAR	12/2
25	ROUTER	Router	Ceiling	Above Raceway	12/2
30	Conv	Convenience	44"	REGULAR	12/2
31	Conv	Convenience	44"	REGULAR	12/2
32	Conv	Convenience	44"	REGULAR	12/2
33	Conv	Convenience	44"	REGULAR	12/2
34	Conv	Convenience	44"	REGULAR	12/2
35	Conv	Convenience	44"	REGULAR	12/2
36	Conv	Convenience	44"	REGULAR	12/2
40	E. Conv	Ext. Convenience	18"	REGULAR	12/2
45	CL-1	2X2 Fixture	Ceiling	Lay In Fixt.	12/2
46	CL-1	2X2 Fixture	Ceiling	Lay In Fixt.	12/2
47	CL-1	2X2 Fixture	Ceiling	Lay In Fixt.	12/2
48	CL-1	2X2 Fixture	Ceiling	Lay In Fixt.	12/2
50	E	Exit/Emergency Lighting	Ceiling		12/2
51	SD	Smoke Detector	Ceiling	Addressable	12/2
52	SD	Smoke Detector	Ceiling	Addressable	12/2
55	L1	Exterior Sconce	84"		12/2
60	Switch	Switch	44"	45,46,47,48	12/2
61	Switch	Switch	44"	55	12/2
62	Switch	Switch	44"	70,71,72	12/2
70	L2	Linear LED Utility	Ceiling	Regular	See Spec.
71	L2	Linear LED Utility	Ceiling	Regular	See Spec.
72	L2	Linear LED Utility	Ceiling	Regular	See Spec.

(E)PANEL
The Radius Food Unit

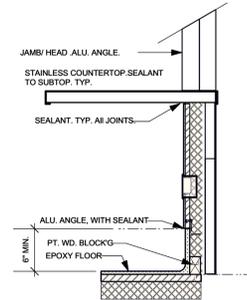
VOLTAGE: 208Y/120V WIRE: 4 MOUNTING: SURFACE NOTES:



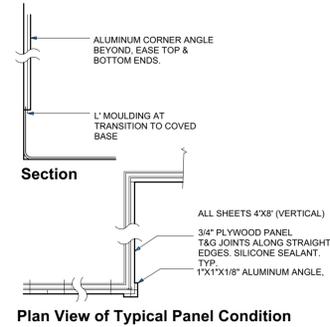
1 MOUNTING HEIGHTS
 1/2"=1'-0"



2 PLUMBING PENETRATIONS
 1"=1'-0"



3 COVE BASE COUNTERS



4 WALL PANELS

DOOR HARDWARE SCHEDULE			
GROUP	DESCRIPTION	FINISH	MFR.
1) SINGLE ENTRY DOOR	TELSTAR PRO DOOR 30x68	613	TELL MANUFACTURING
	INVISIBLE DEADBOLT, SOLID LIGHT GRAY, A40 GALVALUME STEEL		
	LOCK CYLINDER CY-1-184, GRADE 2 ENTRY LEVER	613	TELL MANUFACTURING
2) BARN DOOR	ENG 600 SERIES DOOR CLOSER	613	TELL MANUFACTURING
	ADA COMPLIANT THRESHOLD INTEGRATIVE	613	TELL MANUFACTURING
	PADLOCK HOOK & EYE PULL BARN TRACK & HANGER	CUSTOM ASSEMBLY PAINTED CUSTOM PAINTED	CROWN INDUSTRIAL SUPPLY
4) STEP-IN REFRIGERATOR	DURACOLD MANUFACTURED ENCLOSURE		
	Flush Mounted, Self Closing. Locking handle. Internal safety latches. RUDY'S REFRIGERATION, NSF-APPROVED		
5) FOOD SVCE. WINDOW	ALUMINUM FRAME. 1/4" SLIDING ACRYLIC PANELS. SELF CLOSING SLIDING SERVICE WINDOW ENV. HLTH COMPLIANT		
7) OPERABLE WINDOW	MILGUARD STANDARD ALUMINUM. SLIDING WINDOW		
	3/4" INSULATED GLAZING, LOW E. ARGON		

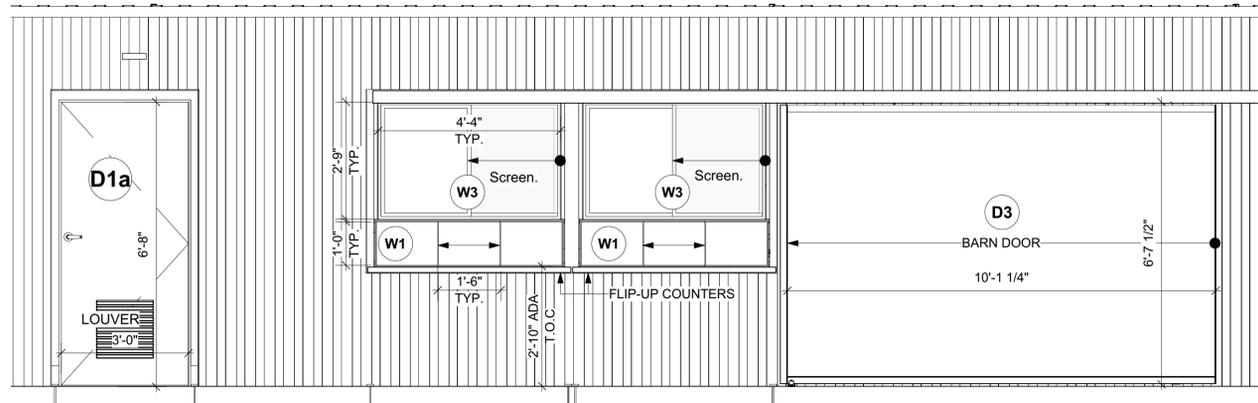
REMARKS
 A - EXIT DOORS ARE TO BE OPENABLE FROM INSIDE WITHOUT USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. KEY LOCKING HARDWARE MAY BE USED ON THE MAIN EXIT WHEN THE MAIN EXIT DOOR HAS A DURABLE SIGN ON OR ADJACENT TO THE DOOR STATING: THIS DOOR MUST REMAIN UNLOCKED DURING BUSINESS HOURS. THE SIGN SHALL BE IN LETTERS NOT LESS THAN ONE INCH HIGH ON A CONTRASTING BACKGROUND.

B - UNLATCHING FORCE, OR OPENING FORCE NOT TO EXCEED 5 POUNDS. (CALIFORNIA)



6"X6" MIN. SIGN SIZE INTERNATIONAL SYMBOL OF ACCESSIBILITY. WHITE FIGURE ON BLUE DECAL. PER CBC 1117B.5.8.1

NOTE: PLACE NEAR ACCESSIBLE BUILDING ENTRY



SELF-CLOSING OUTSWING DOOR

D1a Solid Core MTL. Self-closing door Custom frame Assembly Air curtain required.

Hardware as per Group 1

SERVICE WINDOW

W1 Sliding self closing acrylic windows compliant with C.E.H.C. Requirements - max opening size 216 sq.in. No air curtain required.

Hardware as per Group 5

SLIDING WINDOW

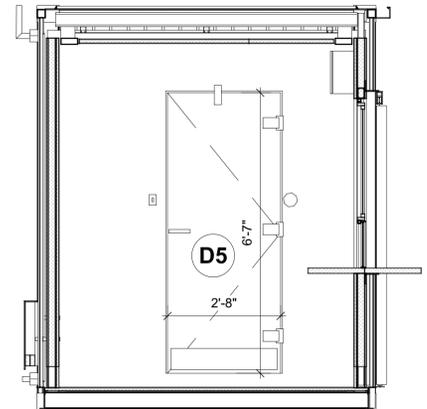
W3 Alum. frame horizontal sliding window 1/4" glass with integral insect screen.

Hardware as per Manufacture

BARN DOOR UNIT

D3 3/4" Wd. Boards over 3/4" exterior rated plywood substrate installed by client. Overhead track assembly w/ bottom guide wheel.

Hardware as per Group 2



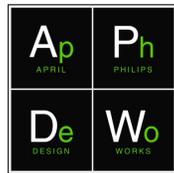
STEP-IN REFRIGERATOR DOOR

Duracold Manufactured Step In Refrigerator. Flush Mounted, Self Closing. Locking handle. Internal safety latches. Leaf Size 6'-7"x 32". Vision Light. Hardware per Manufacturer.

Hardware as per Group 4

6 DOOR SCHEDULES



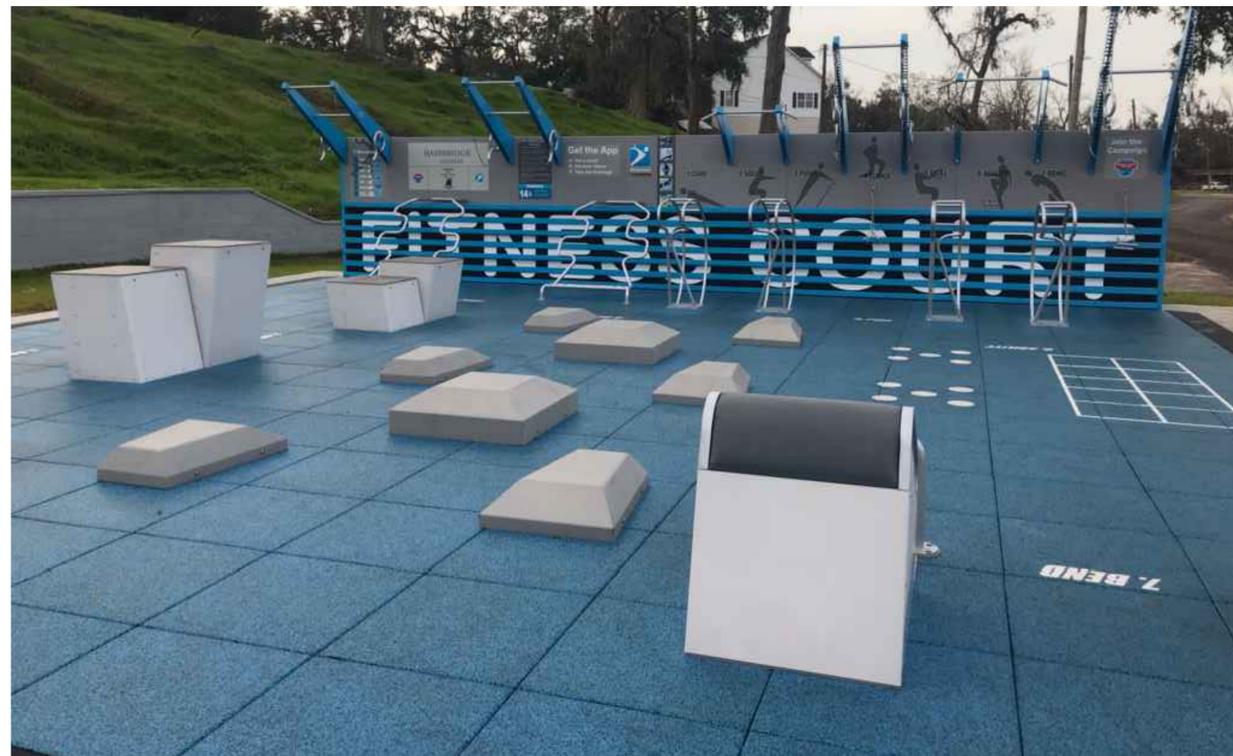


APRIL PHILIPS DESIGN WORKS, INC.
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 415-729-8033 www.apdw.com

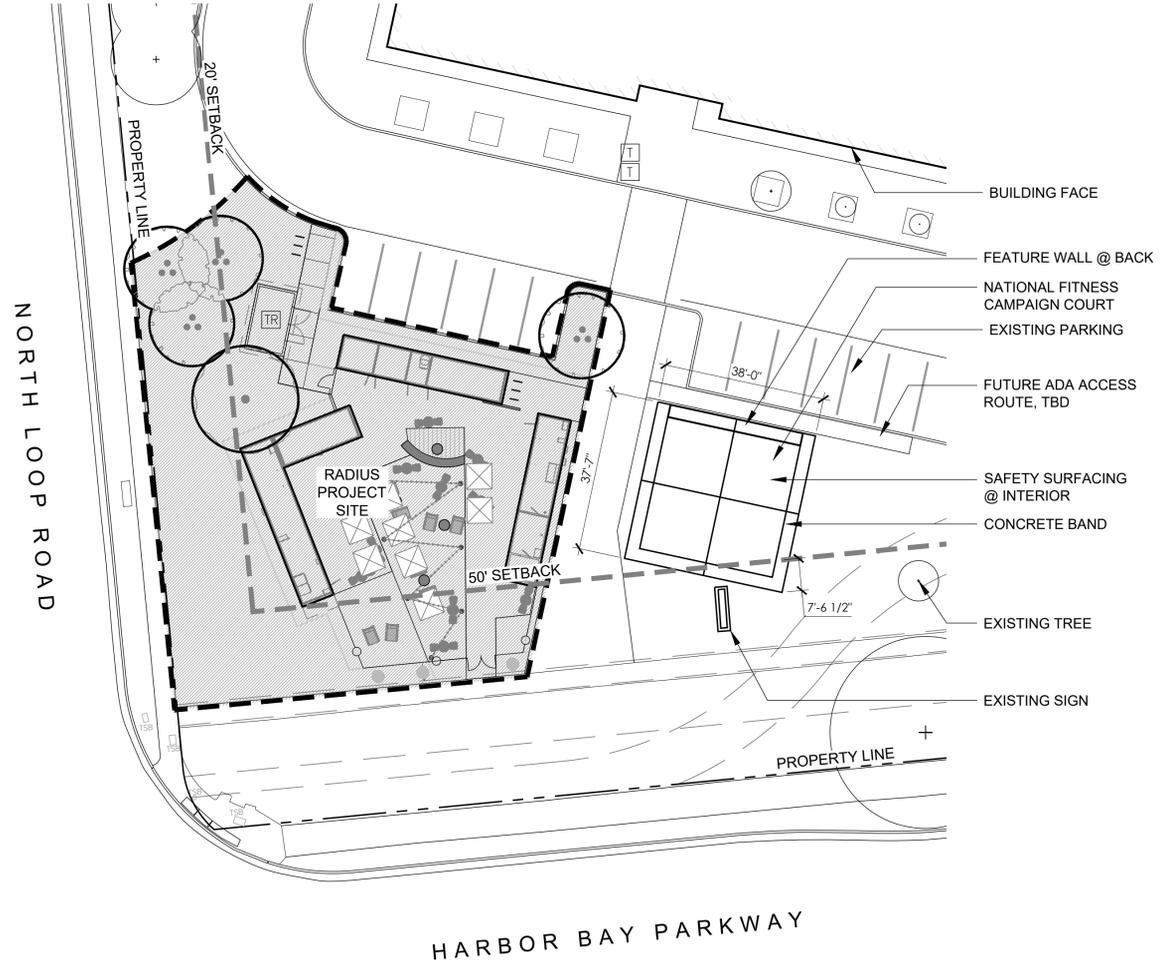
CLIENT:

**PACELINE
 INVESTORS**

**1501 HARBOR BAY -
 "THE RADIUS"
 1501 HARBOR BAY PARKWAY
 ALAMEDA, CA 94502**



NOTE:
 1. PROPOSED NATIONAL FITNESS CAMPAIGN COURT HAS BEEN APPROVED BY HARBOR BAY BUSINESS ASSOCIATION.
 2. EXISTING NATIONAL FITNESS COURT INSTALLATION IS LOCATED ALONG THE MARINA GREEN TRAIL NETWORK. SEE <https://nationalfitnesscampaign.com/news/sanfrancisco> FOR MORE INFORMATION



1 FITNESS COURT EXHIBIT
 1" = 20'-0"

SCALE: 1" = 20'-0"
 0 10' 20' 40'



Date: 05/6/2022
 Project Number: 21dw313
 Drawn by: SB/CG
 Checked by: SB/AP
 Scale: As Noted

Date: Issue:
 FEB 10, 2022 PRE-APP SUBMITTAL
 MAY 6, 2022 PLANNING REVIEW

**PROPOSED
 FITNESS COURT
 EXHIBIT**

E1.0