



PERSPECTIVE RENDERING BY APDW

DEVELOPER
Paceline Investors LLC
242 California St.
San Francisco, CA 94111
Jay Atkinson
415-350-9976
www.pacelineinvestors.com

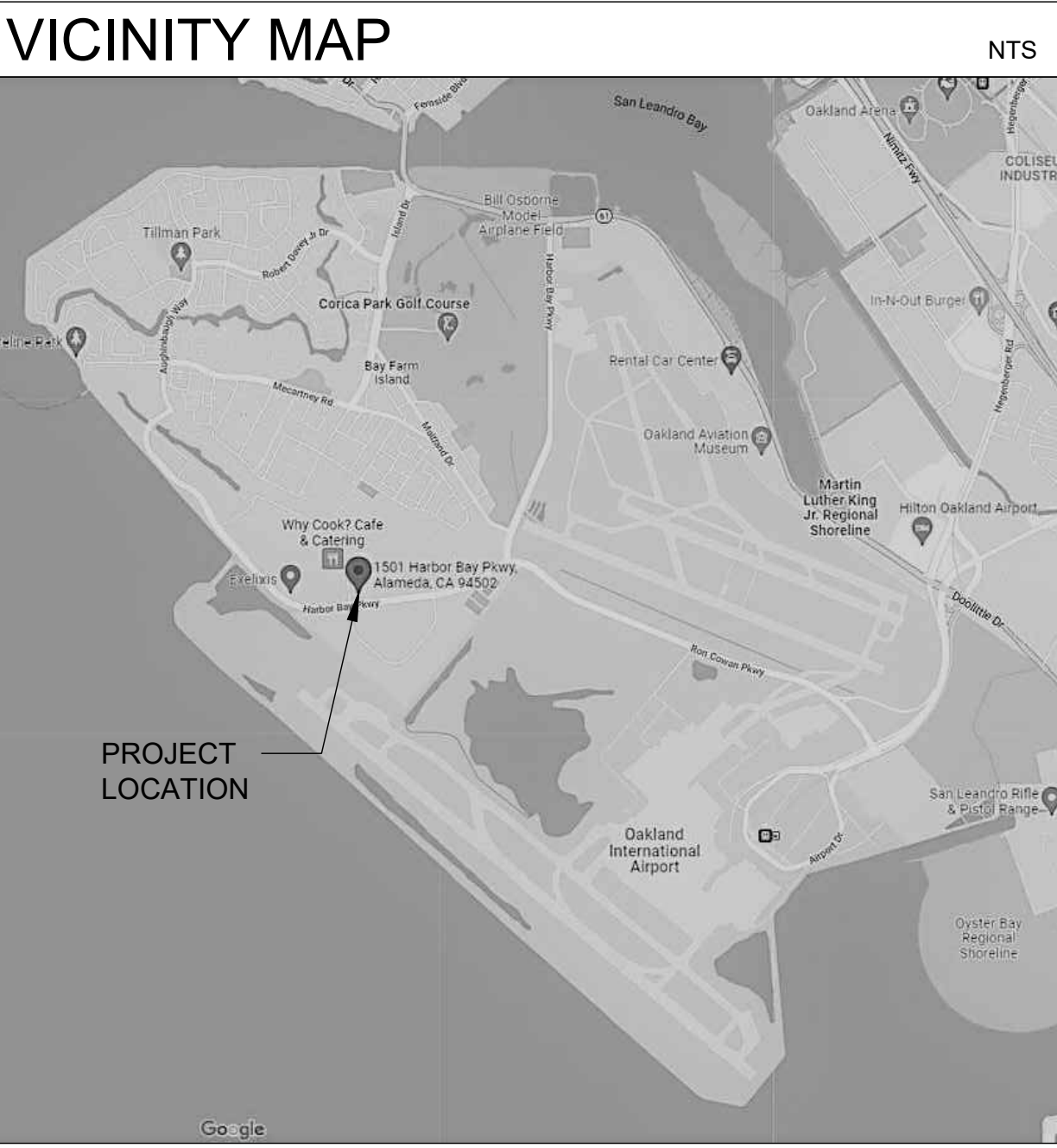
LANDSCAPE ARCHITECT
April Phillips Design Works, Inc
4040 Civic Center Drive
San Rafael, CA 94903
April Phillips / FASLA, RLA
aphillips@apdw.com

ARCHITECT OF MODULAR UNITS
Urban Bloc
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CIVIL ENGINEER
HMH | Land Development . Landscape Architecture
Bill Sowa, RLA
1570 Oakland Road
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1501 HARBOR BAY PARKWAY - 'THE RADIUS'

1501 HARBOR BAY PARKWAY ALAMEDA, CA 94502



PROJECT AREA	
TOTAL LOT AREA	107,596 SF (2.47 ACRES)
PROJECT SITE AREA (SEE LIMIT OF WORK ON L1.0)	9,285 SF (0.2 ACRE)

PROJECT CONTACT: PACELINE AND APDW

SHEET INDEX	
COVER SHEET + SITE PLAN - APDW	
SHEET NUMBER	SHEET TITLE
COVER	
L0.0	SITE PLAN
L0.1	SITE RENDERING
L0.2	SITE RENDERING
L0.3	SITE RENDERING
L0.4	SITE RENDERING
L0.5	SITE SECTIONS
L0.6	SITE PHOTOS
BKF - CIVIL ENGINEERING	
C1.0	DEMOLITION PLAN
C2.0	PROPOSED SITE PLAN
C3.0	GRADING AND DRAINAGE PLAN
C4.0	UTILITY PLAN
C5.0	STORMWATER MANAGEMENT PLAN
APDW - LANDSCAPE ARCHITECTURE	
L0.7	SCHEDULE + NOTES
L1.0	LANDSCAPE MATERIALS PLAN
L2.0	LANDSCAPE IMAGERY
L3.0	LANDSCAPE PRELIM. DETAILS
URBAN BLOC - COMMERCIAL MODULAR UNITS, AS PERMITTED BY HCD STATE OF CA	
1 - RESTROOM & STORAGE	
A0.1	PROJECT DATA
A1.0	PLANS
A2.1	ELEVATIONS / SECTIONS
E.1	ELECTRICAL
P.1	PLUMBING
A5.1	DETAILS
2 - BEVERAGE	
A0.1	PROJECT DATA
A1.0	PLANS
A2.1	ELEVATIONS / SECTIONS
E.1	ELECTRICAL
P.1	PLUMBING
A5.1	DETAILS
3 - OFFICE	
A0.1	PROJECT DATA
A1.0	PLANS / ELECTRICAL / DETAILS
A2.1	ELEVATIONS
A2.2	SECTIONS
4&5 - FOOD	
A0.1	PROJECT DATA
A1.0	PLANS
A2.1	ELEVATIONS
A2.2	SECTIONS
E.1	ELECTRICAL
P.1	PLUMBING
A5.1	DETAILS





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LANDSCAPE ARCHITECTURE - PLANNING - ILLUSTRATION
4040 CMC CENTER DRIVE, STE. 200-10274
SAN RAFAEL, CA 94903
C.415.729.6033 www.apdw.com

CLIENT:

**PACELINE
INVESTORS**

1501 HARBOR BAY - "THE RADIUS" 1501 HARBOR BAY PARKWAY ALAMEDA, CA 94502

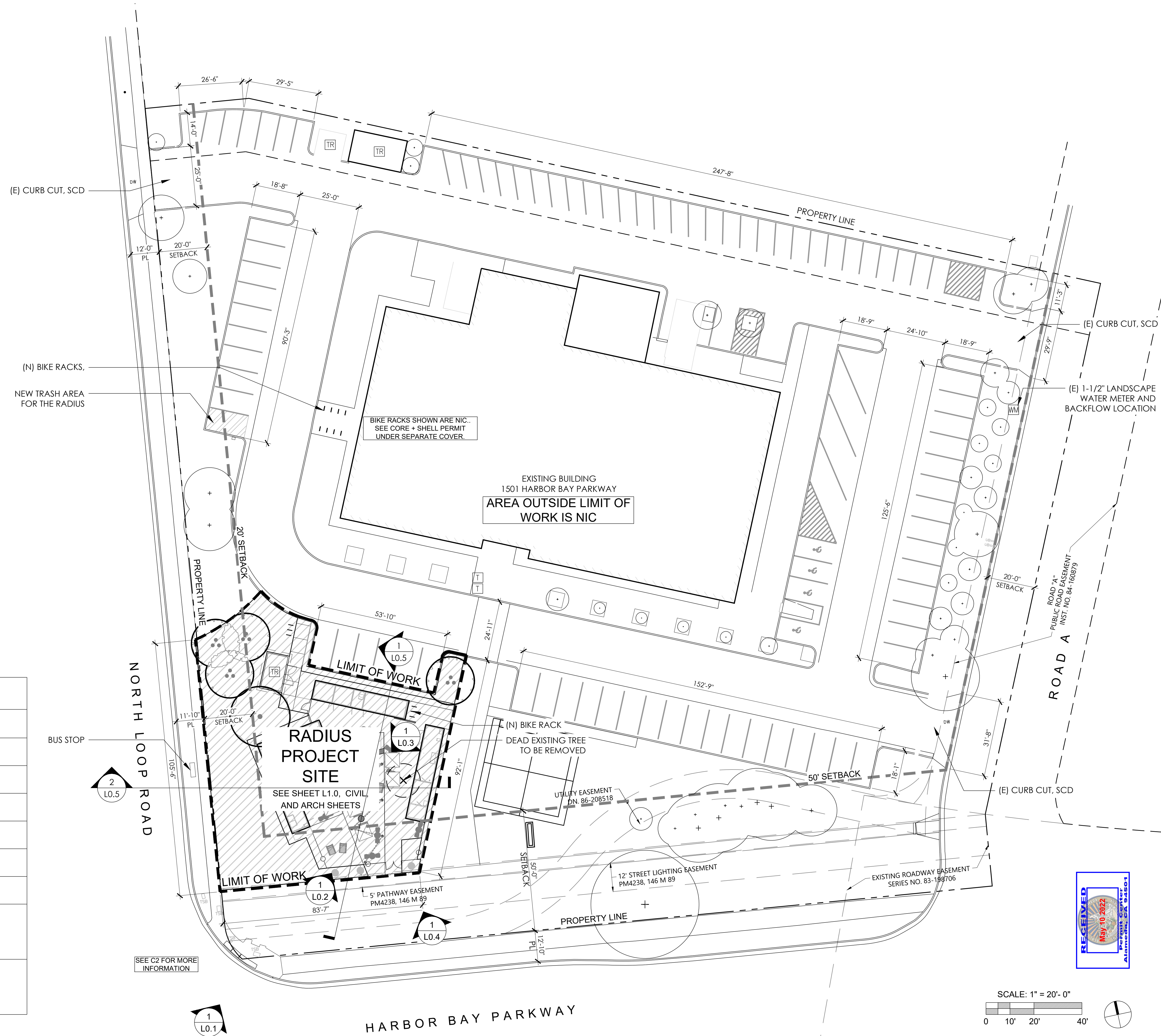
Date: 05/6/2022
Project Number: 21dw313
Drawn by: SB/CG
Checked by: SB/AP
Scale: As Noted

Date: FEB 10, 2022 Issue: PRE-APP SUBMITTAL
MAY 6, 2022 PLANNING REVIEW

**OVERALL SITE
PLAN**

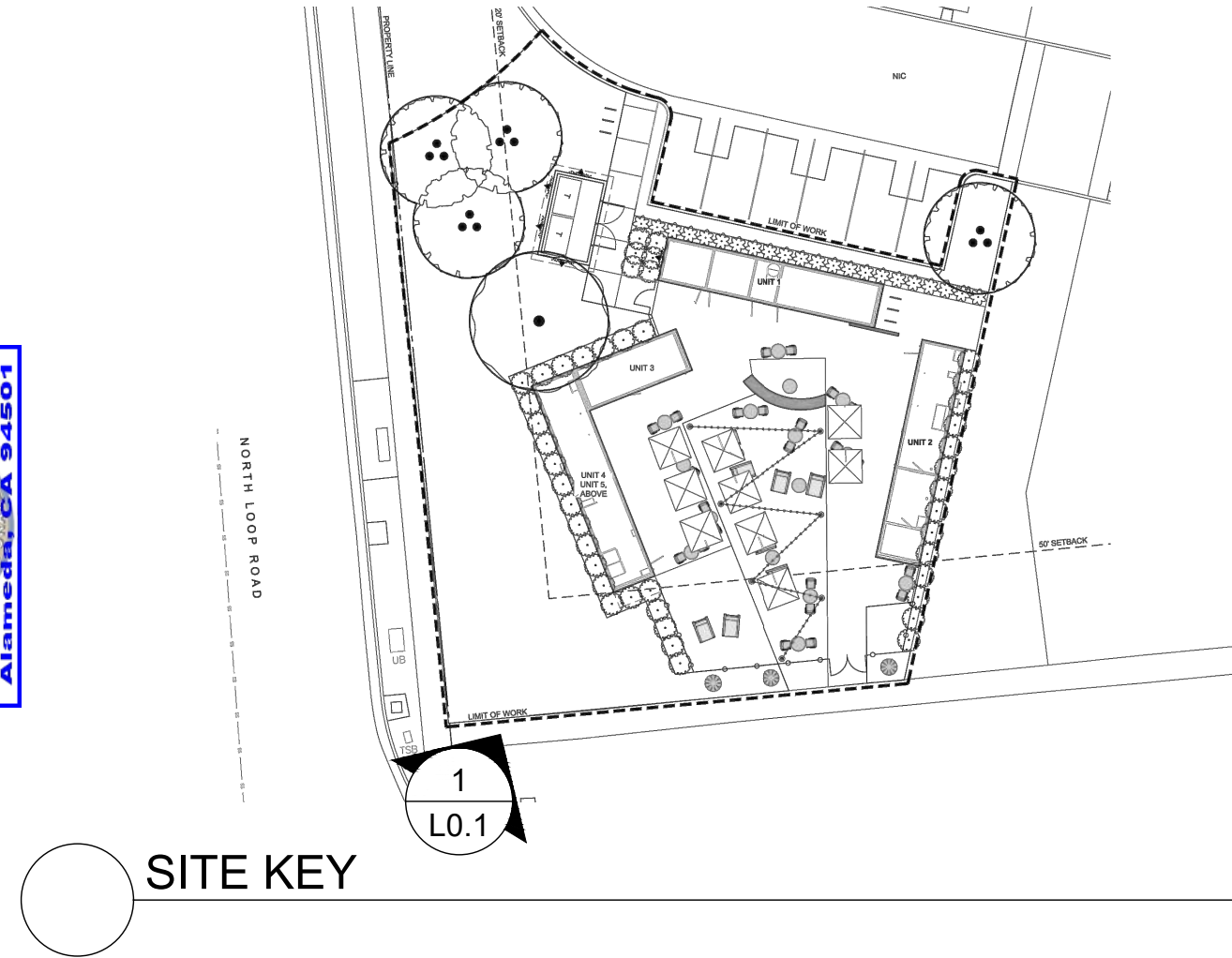
L0.0

LEGEND	
	(E) 1-1/2" LANDSCAPE WATER METER AND BACKFLOW LOCATION
	COMPACT PARKING SPACE
	ACCESSIBLE PARKING SPACE
	PROPERTY LINE
	EASMENT, S.C.D.
	TRANSFORMER
	COVERED TRASH ENCLOSURE
	TREE TO REMAIN
	TREE TO REMOVE





1 RADIUS PLAZA BIRD'S EYE VIEW



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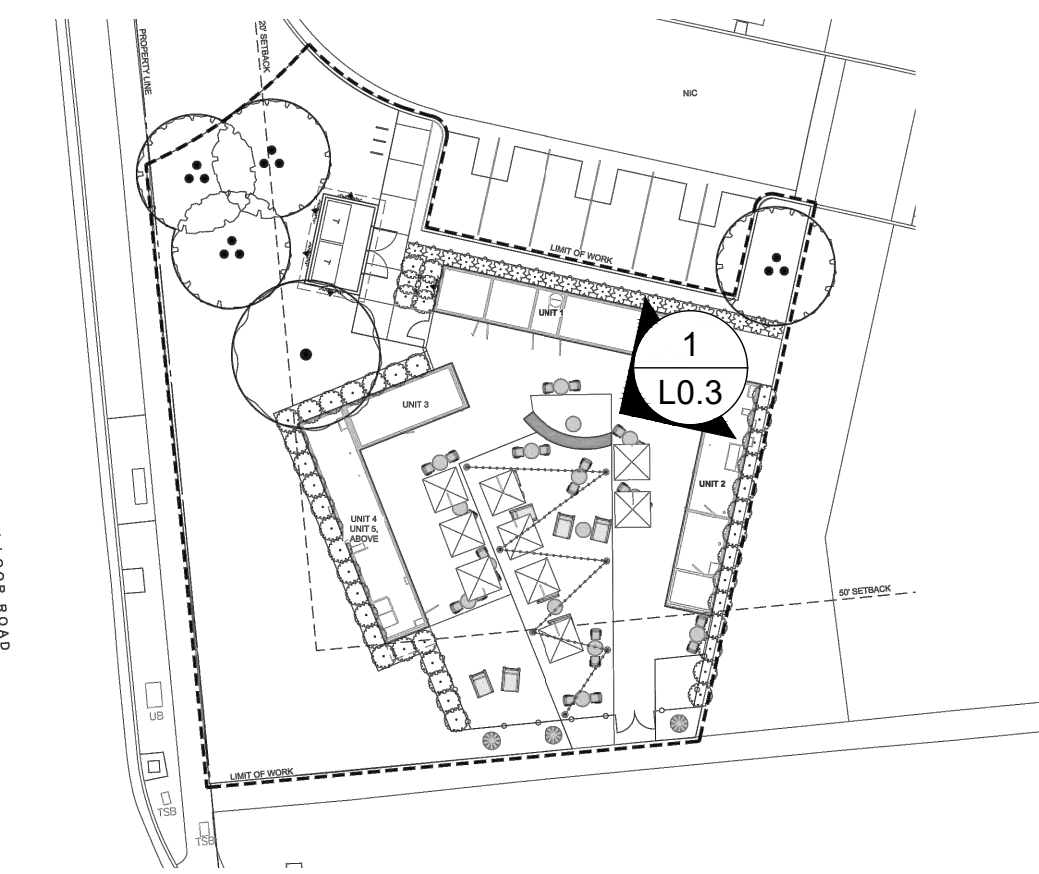
**1501 HARBOR BAY -
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**SITE
RENDERINGS**

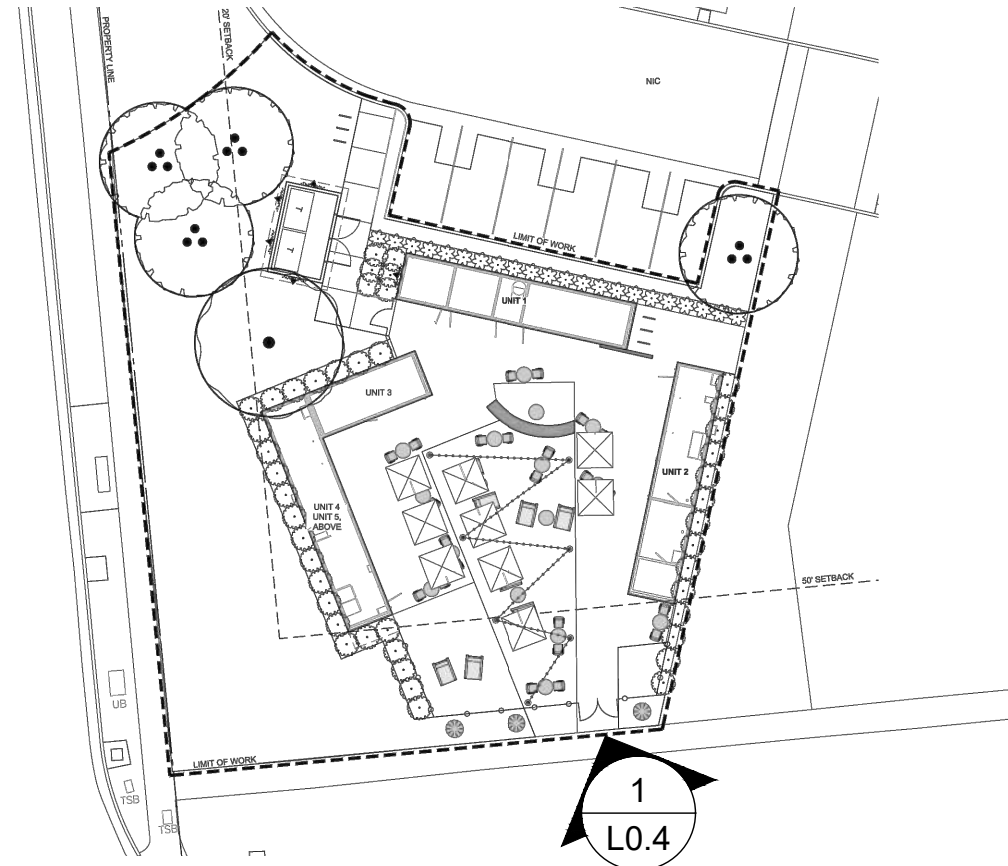
L0.1



 SITE KEY



1 RADIUS PLAZA PERSPECTIVE



SITE KEY



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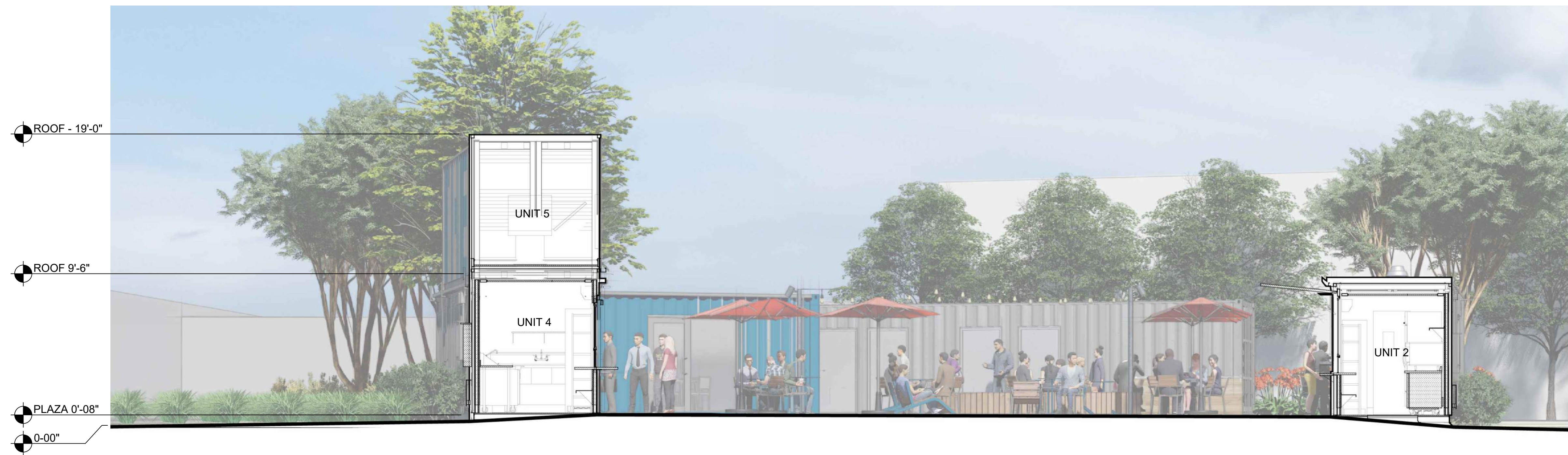
MAY 6, 2022 PLANNING REVIEW

SITE
RENDERING

L0.4

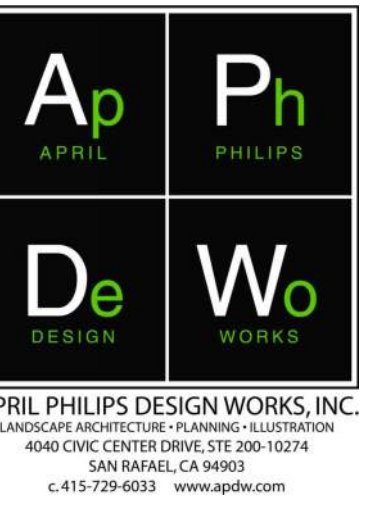


1 SECTION/ELEVATION: WEST
1/4" = 1'-0"



2 SECTION/ELEVATION: NORTH
1/4" = 1'-0"

SCALE: 1/4" = 1'-0"
0 2' 4' 8'



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**SITE
SECTIONS**

L0.5

1 VIEW FROM ROAD A AT HARBOR BAY PKWY



2 VIEW FROM HARBOR BAY PKWY TOWARD NORTH LOOP ROAD



3 VIEW FROM HARBOR PAY PARKWAY LOOKING TOWARD NORTH LOOP ROAD



4 VIEW FROM HARBOR PAY PARKWAY AT NORTH LOOP ROAD



5 VIEW FROM THE NORTH OF EXISTING BUILDING



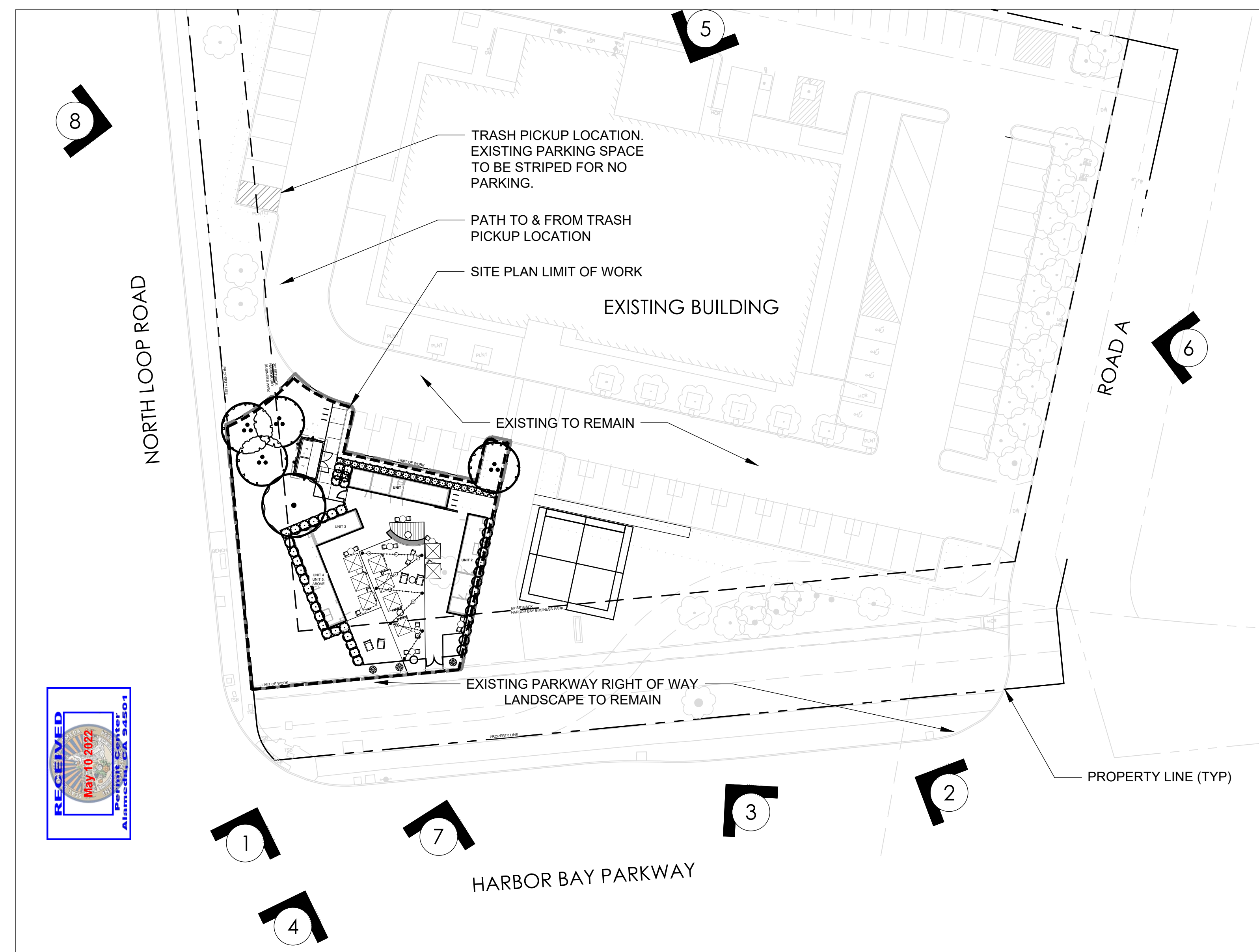
6 EAST ELEVATION OF EXISTING BUILDING



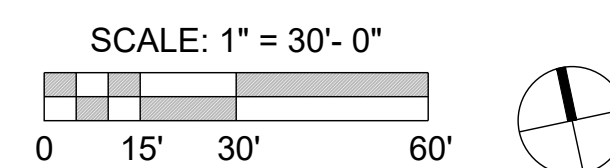
7 SOUTH ELEVATION OF EXISTING BUILDING



8 WEST ELEVATION OF EXISTING BUILDING



SITE PHOTO KEY MAP AND TRASH PICKUP PLAN



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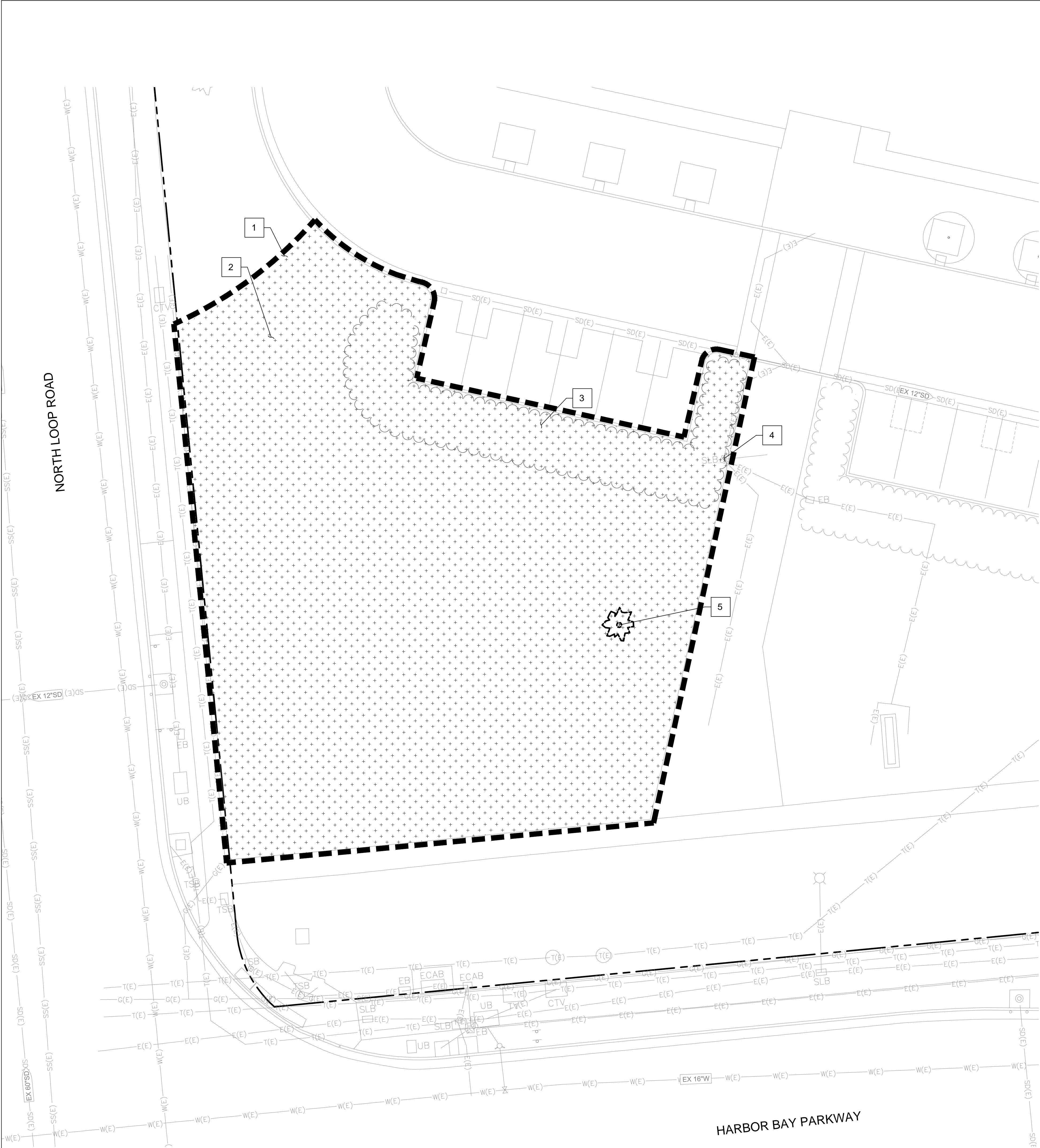
Issue:

FEB 10, 2022 PRE-APP SUBMITTAL

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SITE PHOTOS

L0.6



DEMOLITION LEGEND:

- CLEAR AND GRUB LANDSCAPE
- LIMIT OF WORK
- TREE TO BE REMOVED
- TREE TO BE PROTECTED AND REMAIN IN PLACE.

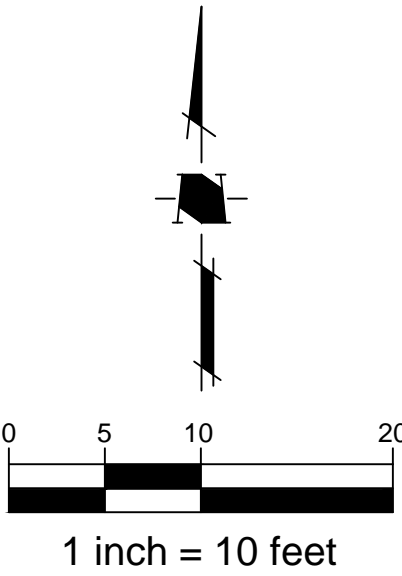
DEMOLITION NOTES

- 1 LIMITS OF WORK
- 2 CONTRACTOR TO REMOVE ALL EXISTING LANDSCAPE AND IRRIGATION EQUIPMENT IN THE LIMITS OF WORK
- 3 EXISTING VEGETATION TO BE REMOVED
- 4 EXISTING UTILITY BOX TO REMAIN, PROTECT IN PLACE
- 5 EXISTING TREE SEE LANDSCAPE PLANS FOR DISPOSITION

PROTECT ALL UTILITIES IN PLACE
UNLESS OTHERWISE NOTED

ADDITIONAL DEMOLITION MAY BE
REQUIRED BY ARCHITECTURE OR
LANDSCAPE PLANS. SEE OTHERS
FOR DEMOLITION LIMITS

DEMOLITION PLAN NOT APPROVED
BY PUBLIC WORKS



UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.



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1501 HARBOR BAY PARKWAY
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DEMOLITION PLAN

C1



Date:	Issue:
EB 10, 2022	PRE-APP SUBMITTAL
MAY 6, 2022	PLANNING REVIEW

C2

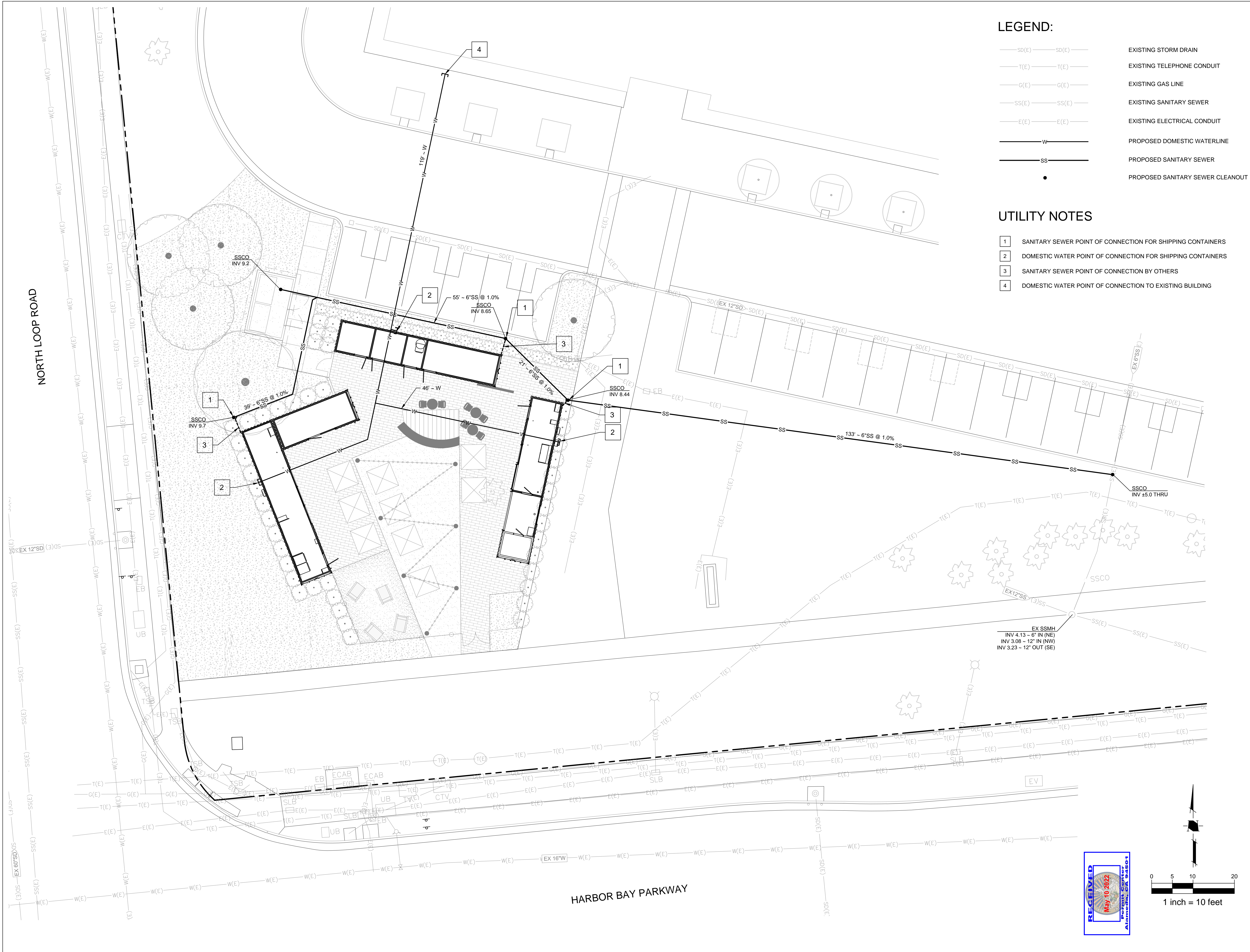


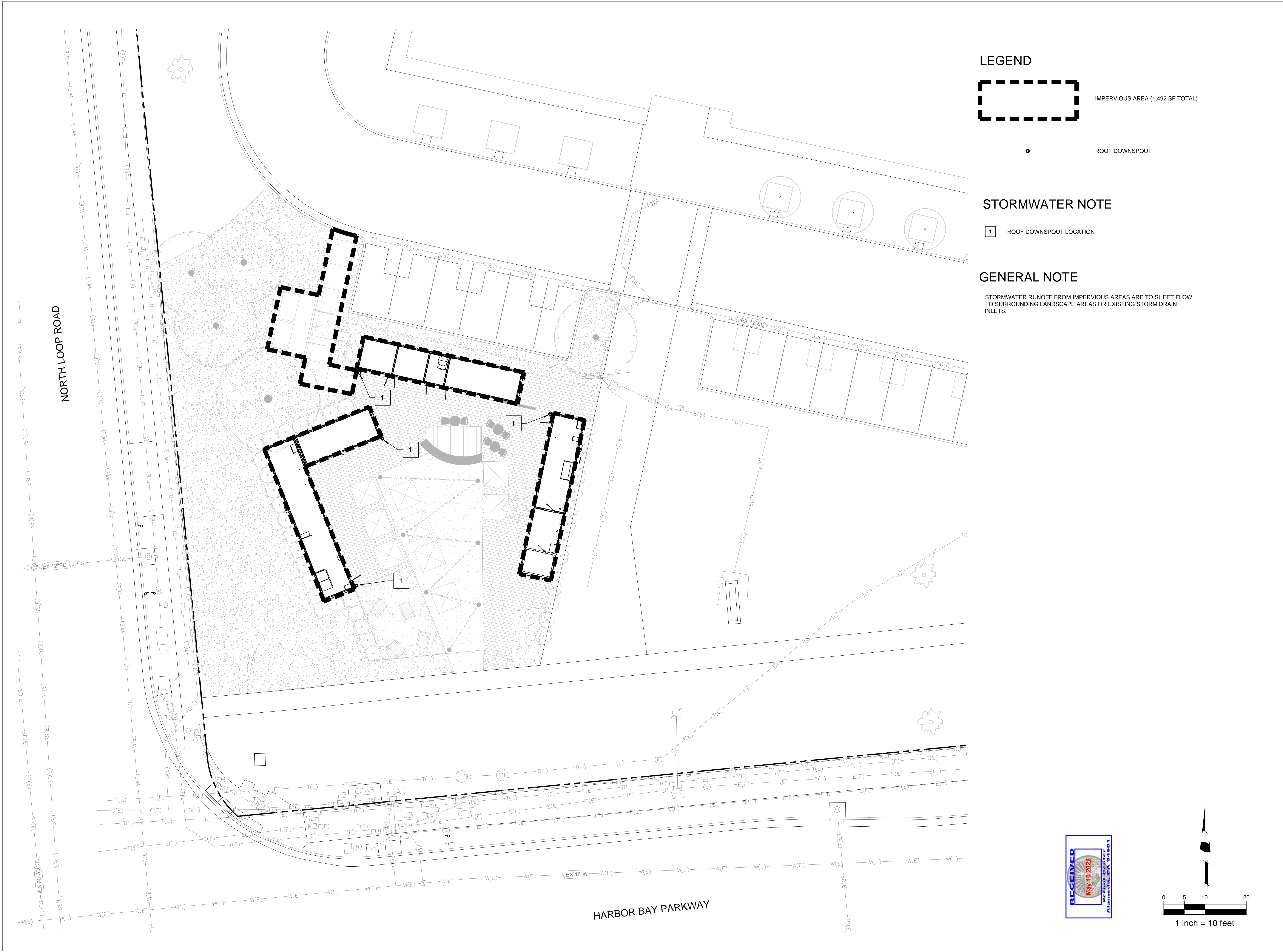


ate:	Issue:
EB 10, 2022	PRE-APP SUBMITTAL
AY 6, 2022	PLANNING REVIEW

C3









Land Use Entitlements
Land Planning
Landscape Architecture
Civil Engineering
Utility Design
Land Surveying
Stormwater Compliance

1570 Oakland Road
San Jose, CA 95131

(408) 487-2200
HMHca.com

CLIENT:
PACELINE INVESTORS

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1501 HARBOR BAY PARKWAY
ALAMEDA, CA 94502



Date:	05/6/2022
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Drawn by:	DO/JLC
Checked by:	JLC
Scale:	As Noted

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MAY 6, 2022	PLANNING REVIEW

RECEIVED
May 10 2022
Permit Center
Alameda, CA 94501


0 5 10 20
1 inch = 10 feet

STORMWATER MANAGEMENT PLAN

C5

Bay-Friendly Basics Landscape Checklist



This Bay-Friendly Basics Checklist is for all new construction and renovation of landscapes that are 2,500 square feet of irrigated area or greater and require a permit. The Bay-Friendly Basics represents the 9 required practices from the Bay-Friendly Landscape Scorecard. It is considered a minimum set of practices to improve the environmental performance of the landscape. Projects are recommended to meet all applicable measures on the checklist. For measures that are not applicable or are not in the project's scope of work, check "N/A" and make a note of why the measure does not apply to the project (attach additional sheets if necessary). For electronic copies of this checklist, and other Bay-Friendly Landscaping resources, visit: www.BayFriendly.org

Project: 1501 Harbor Bay - The Radius

Address: 1501 Harbor Bay Parkway, Alameda, CA 94603

Date: May 6, 2022

Earthwork & Soil Health

Yes No N/A	Measure & Requirement	Documentation	Notes
<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	1. Mulch Requirement All soil on site is protected with a minimum of 3 inches of mulch after construction. Recommendation Use recycled or greenwaste mulch instead of landscape fabric. Trees identified for removal are chipped and used on site as mulch, on-site storage space permitting. Reference <i>Bay-Friendly Landscape Guidelines, Practice 4.1; Bay-Friendly Guide to Mulch</i> , available at www.BayFriendly.org . Provides sources of recycled mulch and proper application of mulch and information on sheet mulching.	<ul style="list-style-type: none">• Submit square footage of planting areas as well as cubic yards required to cover planting areas to a minimum three-inch (3") depth.• Submit a delivery ticket or receipt of purchased mulch and/or,• Submit receipts for sheet mulching materials and/or,• (Optional) Submit photos of trees being chipped for mulch (if applicable).	

<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	2. Amend the Soil with Compost Before Planting Requirement Compost is specified as the soil amendment, at the rates indicated by a soil analysis to bring the soil organic matter content to a minimum of 3.5% by dry weight or 1 inch of compost. If the imported or site soil meets the organic content of 3.5% or more, then the requirement is waived. Recommendation Purchase compost from a producer who participates in the U.S. Composting Council's Standard Testing Assurance (STA) program to ensure quality. Reference <i>Bay-Friendly Landscape Guidelines, Practice 4.1; Model Bay-Friendly Soil specifications</i> , at www.BayFriendly.org ; U.S. Composting Council Standard Testing Assurance program explanation and list of participating producers can be found at: www.compostingcouncil.org	<ul style="list-style-type: none">• Submit the site soil or imported topsoil analysis. No soils analysis is required if 1" of compost is used.• Submit HGS compost details from construction documents.• Submit the receipt or delivery ticket for the compost, indicating the amount of the compost delivered/purchased. <i>If a waiver is requested based on soil organic matter content or the needs of plant palette,</i> <ul style="list-style-type: none">• Submit a completed plant palette with species that need little/no organic matter identified, and include the source of information on their soil needs OR• Submit a soils report that indicates the soil has an organic matter content of 3.5% or greater.	
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Materials

<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	3. Reduce and Recycle Landscape Construction Waste Requirement Divert 50% of landscape construction and demolition waste by weight. Verify the local jurisdiction's minimum requirement and reporting procedures for construction and demolition (C&D) recycling. Reference: <i>StopWaste.Org, Builders' Guide to Reuse & Recycling; A Directory for Construction and Demolition Materials</i> and sample Waste Management Plan for recycling C&D materials at www.BuildGreenNow.Org .	<ul style="list-style-type: none">• State the percent diversion goal in the design documents.• List specific goals and recycling and reuse requirements in plans and specifications.• Require contractors to review the waste management plan with subcontractors and to include contract language requiring subcontractors comply with the plan.• Prior to construction, complete a construction waste management plan. The City should provide a sample template, or one can be downloaded at www.BuildGreenNow.org.• After construction, provide final waste management plan with backup documentation. If materials were sent to a C&D Recycling facility, apply a facility average diversion rate because not all materials can be recycled. Most large C&D facilities have a calculated diversion rate and can provide you with documentation stating the percentage of materials recycled at that facility (typically 50% to 90%).	
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Planting

<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	4. Choose & Locate Plants to Grow to Natural Size Requirement Species will be selected and plants spaced to allow them to grow to their natural size and shape. Pruning for structural integrity and health of plant is permitted. In addition, plants located in a row or adjacent to buildings, sidewalks or roads will be spaced between their minimum and maximum mature plant spread according to a published reference plant book and will fit into their planting area without significant overhang. Trees must meet the spacing requirements only when adjacent to buildings, in a row or other adjacent to other vertical obstructions. Vines are not subject to spacing requirements. Reference <i>Bay-Friendly Landscape Guidelines, Practices 2.1; Don't Plant A Pest</i> brochures for trees and plants available at www.BayFriendly.org ; Bronstein, Carol, David Fross and Bart O'Brien, <i>California Native Plants for the Garden</i> ; East Bay Municipal Utility District, <i>Plants and Landscapes for Summer Dry Climates</i> ; Sunset, <i>Western Garden Book</i> .	<ul style="list-style-type: none">• Submit plant legend indicating plant species, spacing and mature spread of plant. Indicate the source of information on spacing and spread.• Submit a statement signed by the Landscape Architect, Designer or Contractor verifying that installed plants meet this requirement.	
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<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	5. Do Not Plant Invasive Plant Species Requirement None of the plant species listed by CAL-IPC's Don't Plant A Pest as invasive in the San Francisco Bay Area are included in the planting plan. Definition An invasive species is defined as a species that is non-native (or alien) to the ecosystem under consideration and whose introduction causes or is likely to cause economic or environmental harm or harm to human health. Federal Executive Order 13111. Reference <i>Bay-Friendly Landscape Guidelines, Practice 2.1d; Don't Plant A Pest</i> brochures for trees and plants available at www.cal-ipc.org ; www.cal-ipc.org/ip/inventory/weedlist.php .	<ul style="list-style-type: none">• Compare the complete list of plants in the plant palette to the Cal-IPC list of plants that are invasive to the San Francisco Bay Area.• Submit the complete plant palette.• Submit a statement signed by the Landscape Architect, Designer or Contractor confirming that no invasive species were substituted for specified species.	
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<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	6. Grow drought tolerant CA native, Mediterranean or climate adapted plants Requirement A minimum of 75% of the total number of plants in non-turf areas must be species that require no or little summer watering once established. Species should be adapted to the climate in which they will be planted, as referenced by a published plant reference. If plants are given a range of water needs from "occasional to moderate" for example, the landscape designer must determine if the plant will require either occasional or moderate watering based on site, soil, and climate conditions and categorize the plant appropriately. Recommendation California native or Mediterranean species are strongly recommended. Reference <i>Bay-Friendly Landscape Guidelines Practice 4.2; www.water.ca.gov/docs/wucols00.pdf</i> .	<ul style="list-style-type: none">• Submit a plant legend that identifies species, number of plants, irrigation requirements (and reference source of the water requirement), total number of drought tolerant plants and total number of non-turf plants. (download a Bay-Friendly plant legend template to facilitate this process at www.BayFriendly.org.)• Submit a statement signed by the Landscape Architect, Designer or Contractor verifying that installed plants meet this requirement.	
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<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	7. Minimize the lawn Requirement A maximum of 25% of total irrigated area is specified as turf, with sports or multiple use fields exempted. Reference <i>Bay-Friendly Landscape Guidelines, Practice 4.3; Bay-Friendly Lawn Alternatives</i> plant list at www.BayFriendly.org ; Brooklyn Botanic Garden Publications, <i>Easy Lawns, Low Maintenance Native Grasses for Gardeners</i> Everywhere.	<ul style="list-style-type: none">• Submit calculations of square feet of turf, excluding sports and multiple use fields, and square feet of total irrigated area.• Submit planting plans with sports and multiple use fields identified. Include a statement about the purpose of multiple use fields.• Submit as statement signed by the Landscape Architect, Designer or Contractor that installed turf meets the requirements for this credit.	
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<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	8. Specify Weather-Based Irrigation Controllers (automatic, self-adjusting) that includes a Moisture &/or Rain Sensor Shutoff Requirement Weather-based irrigation controllers, soil moisture based controllers or other self-adjusting irrigation controllers, shall be required for all irrigation systems. Reference <i>Bay-Friendly Landscape Guidelines, Practice 4.6; EBMUD website</i> has a list of recommended self-adjusting controllers at www.ebmud.com .	<ul style="list-style-type: none">• Submit the make and model and product sheet of the irrigation controller.• Provide a statement signed by the Landscape Architect, Designer or Contractor that the installed controller is a self-adjusting model and includes shut off capacity.	
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<input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	9. Sprinkler & Spray Heads are Not Specified for Areas Less Than 8 Feet Wide Requirement Sprinkler and spray heads are not specified in areas less than or equal to 8 feet wide to prevent overspray and runoff. Acceptable alternatives include drip, subsurface drip, bubblers or no irrigation. Bubblers shall not exceed 1.5 gallons per minute per bubbler.	<ul style="list-style-type: none">• Submit statement signed by the Landscape Architect, Designer or Contractor verifying that irrigation as installed does not have sprinkler or spray heads in planted areas less than 8 feet wide.	
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Bay-Friendly Basics: Bay-Friendly Basics represents the 9 required practices in the Bay-Friendly Landscape Scorecard. Landscapes that achieve the Bay-Friendly Basics will achieve significant environmental benefits for the project and community as well as taking the first step toward becoming a Bay-Friendly Rated Landscape. If a project is interested in seeking to qualify as a Bay-Friendly Rated Landscape, it must also earn a minimum of 60 points on the Bay-Friendly Landscape Scorecard and be evaluated by a qualified Bay-Friendly Rater. Please visit www.BayFriendlyCoalition.org to learn more about taking this next step in sustainability. The Bay-Friendly Basics is not a substitute for exercising sound judgment in particular circumstances. Rather, the Bay-Friendly Basics is designed to help local governments raise the minimum environmental requirements for landscape projects that require a permit.

This checklist works well with the Small Commercial Green Building Checklist available at www.stopwaste.org/smallcommercial.

Version 2.1 December 2011

Page 4 of 4

GENERAL NOTES:

1. DESIGN SHALL MEET ALL APPLICABLE STATE AND LOCAL CODES.
2. SEE CIVIL PLANS FOR GRADES, STORMWATER MANAGEMENT, AND ADA PATH OF TRAVEL.
3. LIGHTING TO BE LOW LEVEL AND DARK SKY COMPLIANT.
4. VERIFY EXISTING SITE INFORMATION, INCLUDING GRADES, UTILITIES, PROPERTY LINES, SETBACKS, EASEMENTS, LIMITS OF ROADWAYS, CURBS AND GUTTERS.
5. PROVIDE WRITTEN NOTIFICATION OF ALL DISCREPANCIES BETWEEN EXISTING AND PROPOSED SITE IMPROVEMENTS. CONTRACTOR SHALL REVIEW THESE PLANS THOROUGHLY, MAKE A DETAILED SITE VISIT, AND SHALL BRING ANY INCONSISTENCIES, SITE LAYOUT PROBLEMS, OR ANY OTHER REQUESTS FOR CLARIFICATION TO THE LANDSCAPE ARCHITECT FOR RESOLUTION PRIOR TO THE DELIVERY OF ANY BID. FAILURE TO DO SO SHALL CAUSE THE CONTRACTOR TO BE INELIGIBLE FOR EXTRAS RELATING TO SUCH MATTERS.
6. INFORMATION ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS APPROXIMATE ONLY. DRAWINGS ARE GENERALLY DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED, BEFORE PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL CHECK AND VERIFY ALL EXISTING CONDITIONS AND INFORM THE LANDSCAPE ARCHITECT OF ANY DISCREPANCY BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS. THE CONTRACTOR SHALL EXERCISE CARE IN EXCAVATING AND WORKING NEAR EXISTING UTILITIES AND STRUCTURES.
7. ALL MATERIALS, FINISHES, MANUFACTURED ITEMS AND EQUIPMENT SHALL BE INSTALLED IN FULL ACCORDANCE WITH THE SUPPLIER'S OR MANUFACTURER'S WRITTEN RECOMMENDATIONS OR THESE DOCUMENTS, WHICHEVER IS MOST STRINGENT.
8. LOCATE, IDENTIFY, AND CLEARLY MARK UNDERGROUND UTILITY LINES, PIPES, CABLES, AND CONDUITS. PROTECT EXISTING SEWER AND DRAIN LINES FROM DAMAGE. THE CONTRACTOR SHALL EXERCISE CARE IN EXCAVATING AND WORKING NEAR EXISTING UTILITIES AND STRUCTURES.
9. PROVIDE CONSTRUCTION BARRIERS AS REQUIRED. PROTECT ADJACENT PROPERTY.
10. SCALE APPLIES TO FULL-SIZED DRAWINGS ONLY. DO NOT SCALE FROM REDUCED DRAWINGS.
11. CONTRACTOR TO DIVERT 50% OF LANDSCAPE CONSTRUCTION AND DEMOLITION WASTE BY WEIGHT. VERIFY ALAMEDA MINIMUM REQUIREMENTS AND REPORTING PROCEDURES FOR CONSTRUCTION AND DEMOLITION (C&D) RECYCLING.

PLANTING & WATER USE NOTES:

1. ALL PLANT GROUPS ARE DESIGNED FOR LOW WATER USE, AND LAID OUT BY WATER ZONES DEPENDING ON WATER NEEDS. ALL PLANTING IS WATERED BY DRIP, BUBBLERS, OVERHEAD, OR SUB-SURFACE IRRIGATION.
2. ALL GROUND COVER PLANTING AREAS ARE EXPECTED TO UNIFORMLY COVER THE PLANTING AREA IN TWO (2) YEARS. ALL SHRUB PLANTING AREAS ARE EXPECTED TO UNIFORMLY COVER THE PLANTING AREA IN FIVE (5) YEARS.
3. PRIOR TO THE PLANTING OF ANY MATERIAL, COMPACTED SOILS SHALL BE TRANSFORMED TO A FRIABLE CONDITION.
4. ALL NEW PLANTING AREA SHALL HAVE A MINIMUM OF 3" DEPTH LAYER OF ORGANIC MULCH APPLIED. STABILIZING MULCH PRODUCTS SHALL BE APPLIED TO SLOPES OF 3:1 TO 1:1 OR GREATER.
5. A SOIL ANALYSIS SHOULD BE PERFORMED DETERMINING THE SOIL TEXTURE, ORGANIC MATTER AND ESSENTIAL NUTRIENTS. SOIL INFILTRATION RATE, MEASURE OF PH AND TOTAL SOLUBLE SALTS. ALL RECOMMENDATIONS SHALL BE ORGANIC AND NON-SYNTHETIC AND BASED ON RECYCLED WATER USE. TOP SOIL SHALL BE STOCKPILED ON SITE AS SPACE ALLOWS.
6. PROTECT EXISTING TREES PER ARBORISTS' RECOMMENDATIONS.
7. AMENDMENTS OF SOILS DESIGNED TO PROMOTE HEALTHY WATER AND AIR ACCESS TO THE ROOT ZONE OF TREES TO BE PLANTED WITHIN 5 FEET OF ANY PAVEMENT OR OTHER COMPACTED AREA AND THE AMOUNT OF COMPOST SHALL ACHIEVE A MINIMUM OF 3.5% ORGANIC MATTER CONTENT BY DRY WEIGHT UNLESS SOIL REPORT RECOMMENDS AN ALTERNATIVE PERCENT OF ORGANIC MATTER TAILORED TO THE PLANT MATERIALS SPECIFIED IN THE LANDSCAPE DESIGN PLAN.
8. SEE CIVIL DRAWINGS FOR STORMWATER AND GRADING INFORMATION.

IRRIGATION DESIGN NOTES:

1. THE PROPOSED IRRIGATION DESIGN IS TO BE SERVED BY THE EXISTING 1-1/2" WATER METER AND BACKFLOW, IN ACCORDANCE WITH THE CITY OF ALAMEDA'S REQUIREMENTS.
2. AN AUTOMATIC IRRIGATION CONTROLLER UTILIZING EITHER EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA UTILIZING NON-VOLATILE MEMORY SHALL BE USED FOR IRRIGATION SCHEDULING ON THE PROPOSED IRRIGATION SYSTEM. CONTROLLER TO BE HUNTER RAINBIRD, OR EQUAL.
3. A PRESSURE-REGULATING DEVICE IS REQUIRED TO ENSURE THAT THE DYNAMIC PRESSURE AT EACH EMISSION DEVICE IS WITHIN THE MANUFACTURER'S RECOMMENDED PRESSURE RANGE FOR OPTIMAL PERFORMANCE.
4. A WEATHER SENSOR IS TO BE INSTALLED TO PREVENT IRRIGATION DURING WINDY WEATHER, FREEZING WEATHER, OR RAIN.
5. MANUAL SHUT OFF VALVES SHALL BE INSTALLED AT THE POINT OF CONNECTION, VALVE CLUSTERS, AND EVERY LOCATION WHERE THE IRRIGATION MAINLINE PASSES UNDER 20' OF HARDSCAPE MATERIAL.
6. A BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED TO PROTECT THE LOCAL WATER SUPPLY FROM CONTAMINATION, PER CITY OF ALAMEDA REQUIREMENTS.
7. FLOW SENSORS SHALL BE INSTALLED AS NECESSARY TO DETECT, ALERT, AND PREVENT HIGH FLOW CONDITIONS OR MALFUNCTIONS.
8. IRRIGATION CONTROL VALVES, HUNTER, RAINBIRD, OR EQUAL, SHALL BE INSTALLED.
9. THE IRRIGATION SYSTEM IS DESIGNED TO PREVENT RUNOFF, LOW HEAD DRAINAGE, OVERSPRAY, OR OTHER SIMILAR CONDITIONS WHERE IRRIGATION WATER FLOWS ONTO NON-TARGET AREAS, ADJACENT PROPERTY, NON-IRRIGATED AREAS, HARDSCAPES, ROADWAYS, OR STRUCTURES.
10. INFORMATION GATHERED DURING THE SOIL ANALYSIS REPORT HAS BEEN USED TO DEVELOP THE INCLUDED IRRIGATION SYSTEM.
11. THE IRRIGATION DESIGN CONFORMS TO THE HYDROZONES OF THE LANDSCAPE DESIGN PLAN.
12. THE INCLUDED IRRIGATION SYSTEM DESIGN CONFORMS TO THE IRRIGATION EFFICIENCY CRITERIA AS DEMONSTRATED ON THE SUBMITTED WATER EFFICIENT LANDSCAPE WORKSHEET REGARDING THE MAXIMUM APPLIED WATER ALLOWANCE.
13. ALL IRRIGATION EMISSION DEVICES MEET THE REQUIREMENTS SET IN THE ANSI STANDARD, American Society of Agricultural and Biological Engineers/International Code Council's (ASABE/ICC) 802-2014 'Landscape Irrigation Sprinkler and Emitter Standard'. All sprinkler heads installed in the landscape must document a distribution uniformity low quarter of 0.65 or higher using the protocol defined in ASABE/ICC 802-2014.
14. PRIOR TO DESIGN, APOW CONTACTED TBD TO DETERMINE PEAK WATER OPERATING DEMANDS OR WATER RESTRICTIONS THAT MAY IMPACT THE EFFECTIVENESS OF THE IRRIGATION DESIGN ON TBD.
15. LOW-VOLUME IRRIGATION IS TO BE USED IN ALL MULCHED PLANTING AREAS.
16. ALL SPRINKLER HEADS AND OTHER EMISSION DEVICES HAVE MATCHED PRECIPITATION RATES.
17. THE INCLUDED IRRIGATION DESIGN ACHIEVES HEAD-TO-HEAD COVERAGE TO ACHIEVE MAXIMUM DISTRIBUTION CONFORMITY.
18. SWING JOINTS ARE TO BE USED ON ALL RISERS.
19. SPRINKLER HEADS TO BE LOW-VOLUME ROTATOR HEADS, HUNTER, RAINBIRD, OR EQ. CHECK VALVES ARE THE BE USED ON ALL SPRINKLER HEADS.
20. ALL TREES ARE TO BE PLACED ON A SEPARATE VALVE FROM SHRUBS, GROUNDCOVERS, AND TURF.
21. MAIN AND LATERAL LINES TO BE SCH 40 PVC, SIZED PER MFR RECOMMENDATIONS.
22. QUICK COUPLERS TO BE INSTALLED AT EACH TERMINUS OF MAIN LINE, VALVE CLUSTER, AND PER PLAN.

PLANT SCHEDULE		CODE		BOTANICAL NAME		COMMON NAME		SIZE	WUCOL	SPACING	QTY	REMARKS
TREES		MEL QUI		MELALEUCA QUINQUENERVIA		CAJEPUT TREE		36" BOX	L	PER PLAN	4	
		ROB PSE		ROBINIA PSEUDOACACIA		BLACK LOCUST		36" BOX	VL	PER PLAN	1	
SHRUBS		CODE		BOTANICAL NAME		COMMON NAME		SIZE	WUCOL	SPACING	QTY	REMARKS
		ANI BRD		ANIGOZANTHOS X 'BIG RED'		BIG RED KANGAROO PAW		1 GAL	L	36" o.c.	22	
		MYR CAL		MYRICA CALIFORNICA		PACIFIC WAX MYRTLE		5 GAL	L	48" o.c.	44	
MEADOW PLANTING		CODE		BOTANICAL NAME		COMMON NAME		SIZE	WUCOL	SPACING	QTY	
		LOM IRA		LOMANDRA LONGIFOLIA 'BREEZE' TM		BREEZE MAT RUSH		1 GAL	L	30" o.c.	671	
GROUND COVERS		CODE		BOTANICAL NAME		COMMON NAME		SIZE	WUCOL	SPACING	QTY	REMARKS
		FES MOL		PENN RK4 / REBEL XLR / FIRECRACKER SLS / RIDGELINE		DELTA BLUEGRASS 90-10 TALL FESCUE BLEND		SOD	M	SOD	304 SF	

MATERIALS LEGEND

SYMBOL	DESCRIPTION	AREA	QTY	NOTES
	DECOMPOSED GRANITE (DG)	824 SF		SUNSET GOLD STABILIZED PATH FINES, SUNSET GOLD, STABILIZED WITH BINDER OR EQUAL
	PERMEABLE PAVERS (ADA ACCESSIBLE)	1837 SF		BELGARD MODULINE SERIES CONCRETE PAVERS, CONC/GRAPHITE, FOUNDRY, LINEN BLEND (3X12) OR EQUAL
	CONCRETE PAVING	416 SF		SCORED NATURAL CONCRETE
	DECK	84 SF		ADA AT-GRADE, THERMORY OR EQUAL
	SEATING WITH UMBRELLA	9		AVONA MONTERREY 6.5' SQ UMBRELLA W/ STAND OR EQUAL
	TABLES & CHAIRS	12		STREET FURNITURE AUSTRALIA - CAFE + LINEA LINES OR EQUAL
	INFORMAL SITE FURNITURE	11		STREET FURNITURE AUSTRALIA - CAFE + LINEA LINES OR EQUAL
	BIKE RACKS	3		MATCH EXISTING
	SEATWALL	17.5 LF		18" HIGH SEATWALL, THERMORY OR EQUAL
	LIGHT POLE AND STRING LIGHTS	108 LF	7	INCLUDES DOWNLIGHTING @ EA POLE - TBD

WATER-USE RATING NOTE:

WUCOLS IN CATEGORIES OF WATER NEEDS: WATER USE CLASSIFICATION OF LANDSCAPE SPECIES BY UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION, CALIFORNIA DEPARTMENT OF RESOURCES, US BUREAU OF RECLAMATION, JANUARY 2014.			
WATER USE EVALUATION: MAXIMUM APPLIED WATER ALLOWANCE (MAWA): MAWA = (ETo) (0.62) [(ETAF X TLA) + ((1-ETAF) X SLA)] = (41.8)(0.62)[(0.45 X 5.010tt) + (0.60 X 0 ft)] = (25.92 in/year)(2,004 ft) = 52,428 gallons/year		SUMMARY: MAXIMUM APPLIED WATER ALLOWANCE (MAWA): 52,538 gallons/year ESTIMATED TOTAL WATER USE (ETWU): 35,428 gallons/year	
ESTIMATED TOTAL WATER USE (ETWU): ETWU HYDROZONE 1 = (ETo)(0.62)(ETAF)(AREA) = (41.8)(0.62)(.25)(4,705) = 30,107 ETWU HYDROZONE 2 = (41.8)(0.62)(.67)(305) = 5,270 TOTAL = 35,428 gallons/year		LANDSCAPE PERCENTAGE OVERALL SITE AREA 110,065.09 SF OVERALL LANDSCAPE AREA 36,396.01 SF OVERALL LA PERCENTAGE 33.07% THE RADIUS LIMIT OF WORK AREA AREA OF WORK 9,548.17 SF LANDSCAPE AREA 5,010.00 SF LANDSCAPE PERCENTAGE 52.47%	



APRIL PHILLIPS DESIGN WORKS, INC.
LANDSCAPE ARCHITECTURE - PLANNING - ILLUSTRATION
4040 CIVIC CENTER DRIVE, STE. 300 10274
SAN RAMON, CA 94583
c.415-729-0033 www.apdw.com

CLIENT:

PACELINE INVESTORS

1501 HARBOR BAY -
"THE RADIUS"
1501 HARBOR BAY PARKWAY
ALAMEDA, CA 94502

Date: 05/6/2022
Project Number: 21dw313
Drawn by: SB/CG
Checked by: SB/AP
Scale: As Noted

Date: Issue:
FEB 10, 2022 PRE-APP SUBMITTAL
MAY 6, 2022 PLANNING REVIEW

SCHEDULE +
NOTES

L0.7



PACELINE INVESTORS


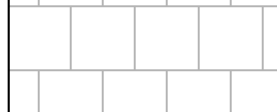





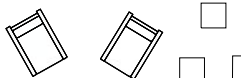



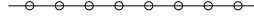

1501 HARBOR BAY PARKWAY


Date:	Issue:
FEB 10, 2022	PRE-APP SUBMITTAL
MAY 6, 2022	PLANNING REVIEW

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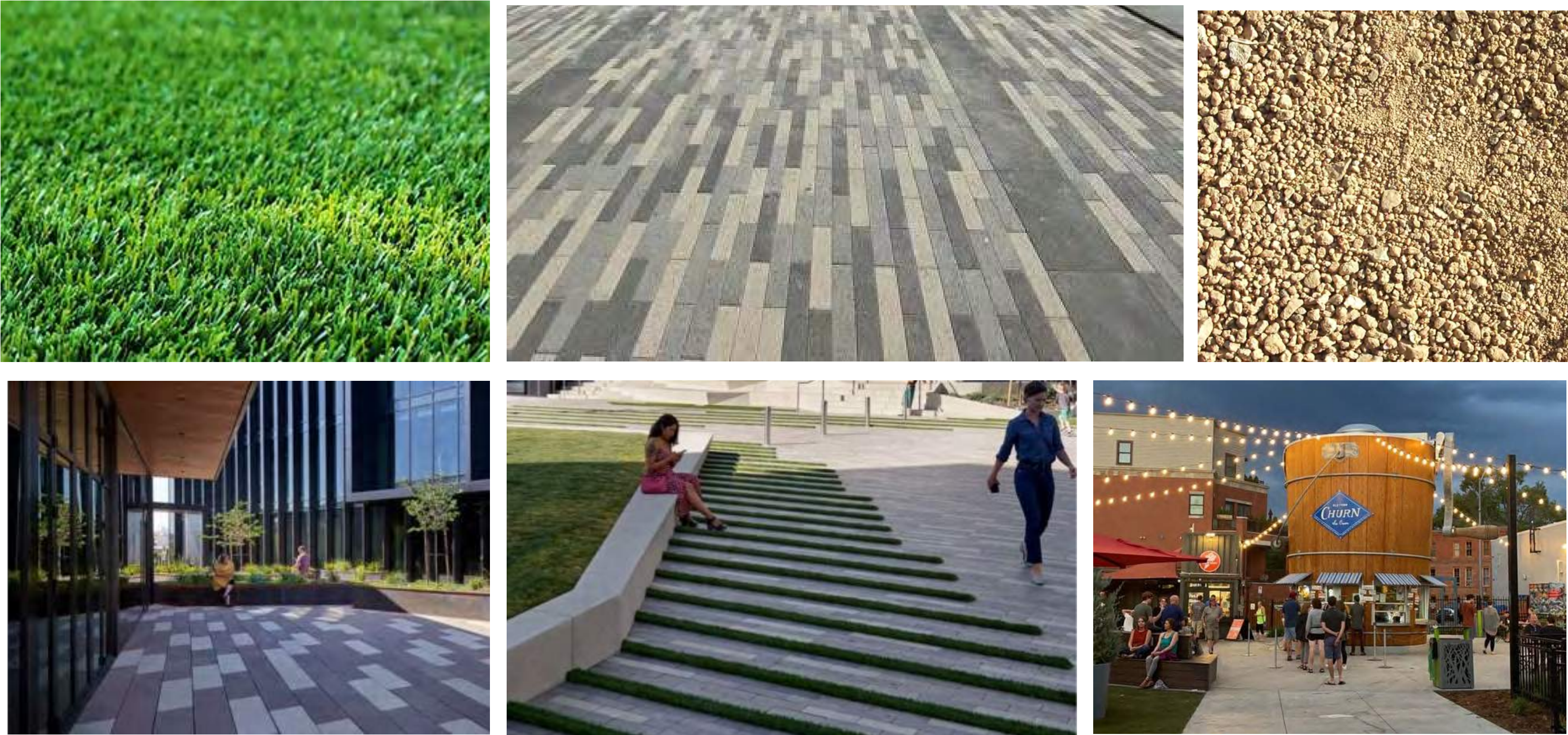
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MATERIALS LEGEND	
SYMBOL	DESCRIPTION
	DECOMPOSED GRANITE (DG)
	PERMEABLE PAVERS (ADA ACCESSIBLE)
	CONCRETE PAVING
	DECK
	BENCH
	SEATING WITH UMBRELLA
	TABLES & CHAIRS
	INFORMAL SITE FURNITURE
	BIKE RACKS
	SEATWALL
	LIGHT POLE
	STRING LIGHTS
	WIND SCULPTURE

 Sam Bickel May 6, 2019

PERMEABLE HARDSCAPE MATERIALS PALETTE & STRING LIGHTING VOCABULARY



PLANTING PALETTE DROUGHT TOLERANT COASTAL VOCABULARY



WIND SCULPTURE



MOVEABLE SITE FURNISHINGS AND PLAY EXPERIENCE VOCABULARY



CENTRAL GATHERING COURTYARD INSPIRATION



CLIENT:

PACELINE
INVESTORS

1501 HARBOR BAY -
"THE RADIUS"
1501 HARBOR BAY PARKWAY
ALAMEDA, CA 94502

Date: 02/10/2022
Project Number: 21dw313
Drawn by: EG/KB
Checked by: PVC/AP
Scale: As Noted

Date: FEB 10, 2022
Issue: PRE-APP SUBMITTAL
MAY 6, 2022 PLANNING REVIEW

LANDSCAPE
IMAGERY

L2.0

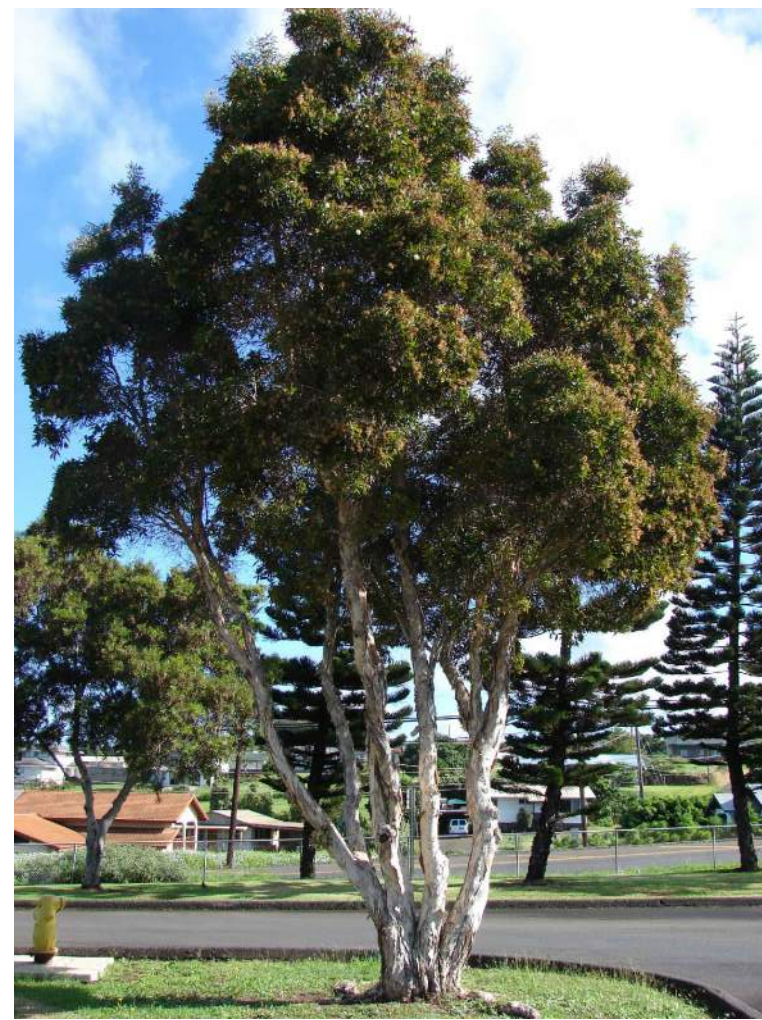




12 SUN LOUNGER
nts



9 PEDESTRIAN BARRIER
nts



MELALUCA QUINQUENERVIA



ARBUTUS UNEDO - ALTERNATIVE



ROBINIA AMBIGUA

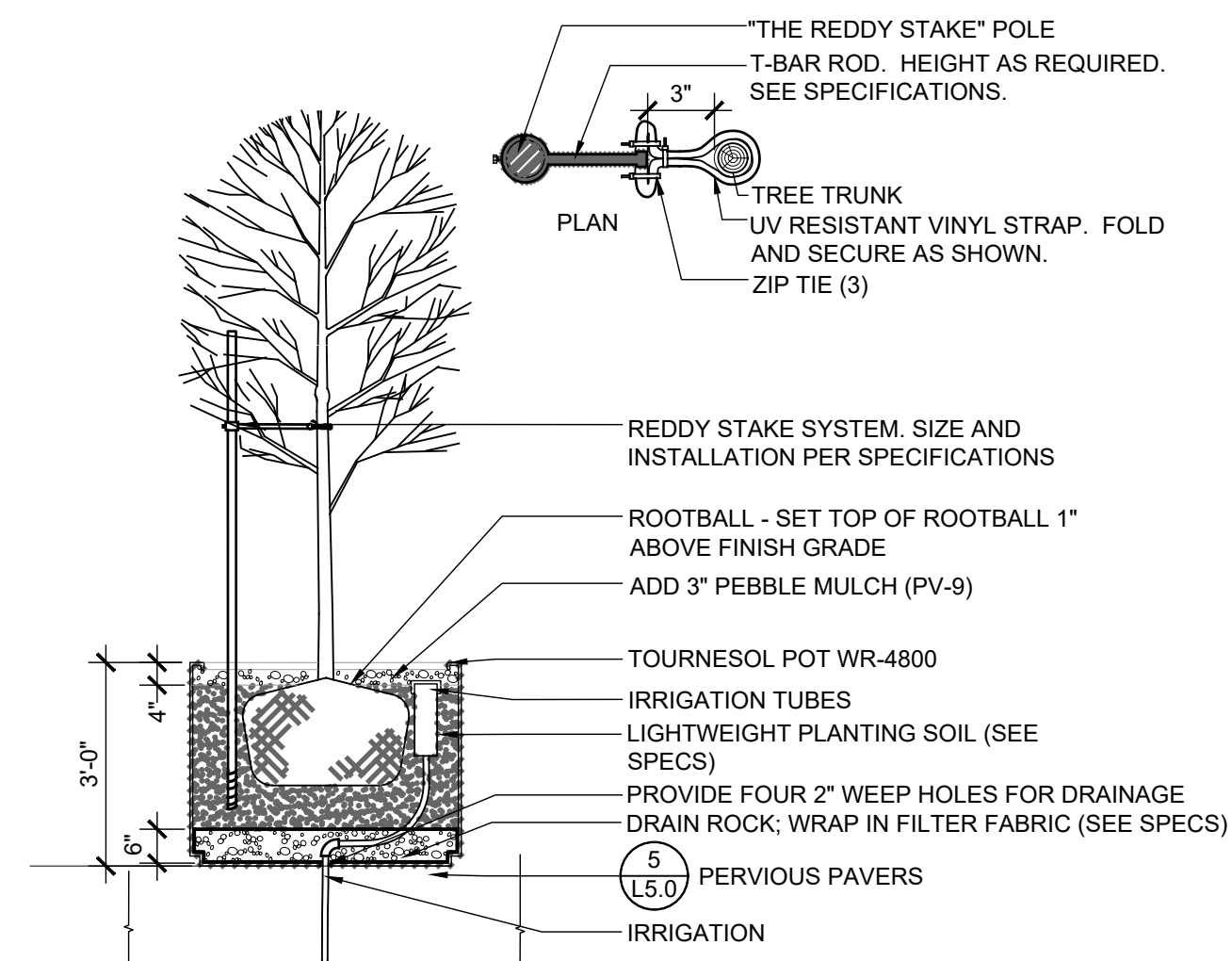
6 TREE IMAGERY
N.T.S.



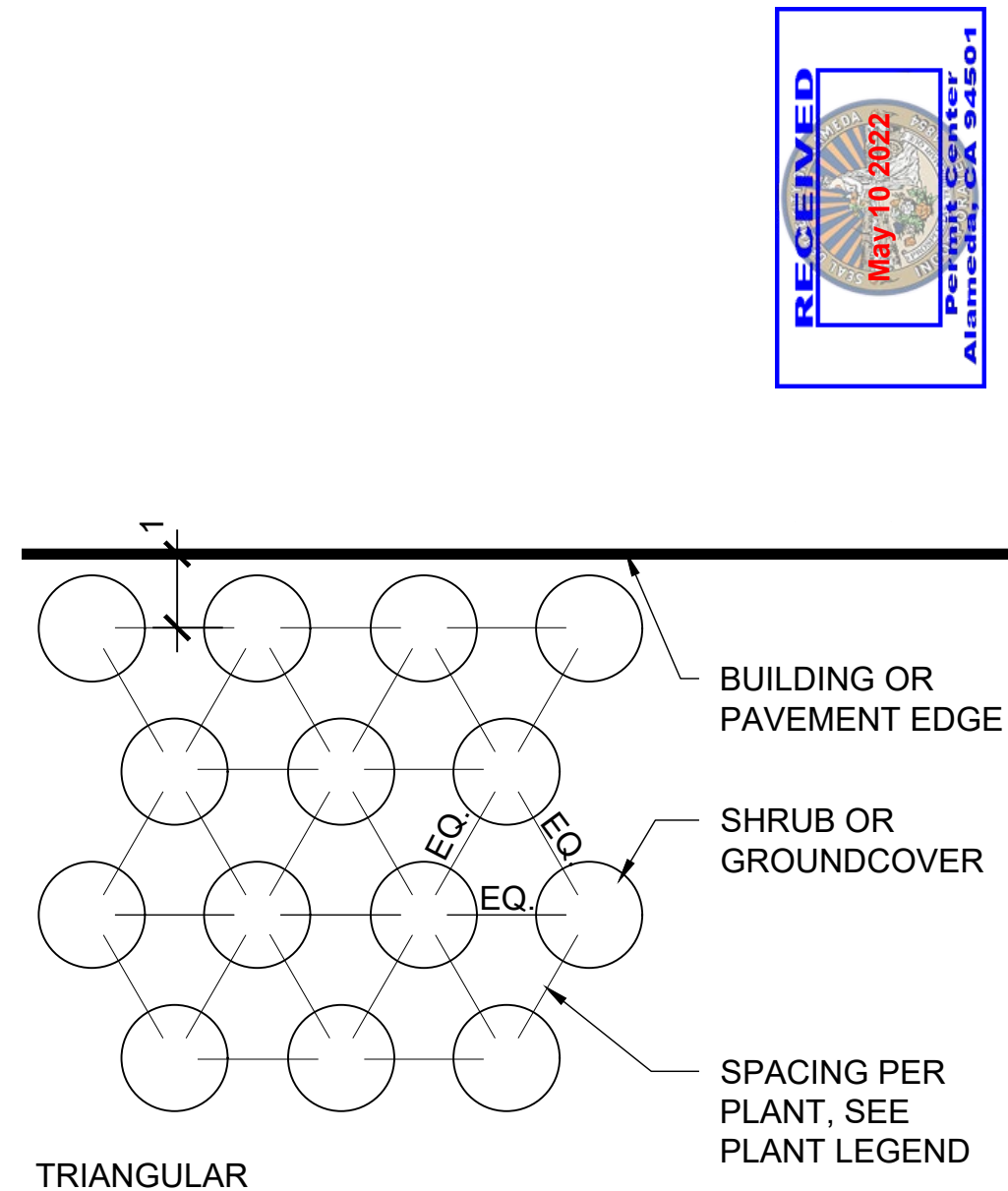
11 CAFE SEATING
nts



8 PEDESTRIAN PAVERS
nts



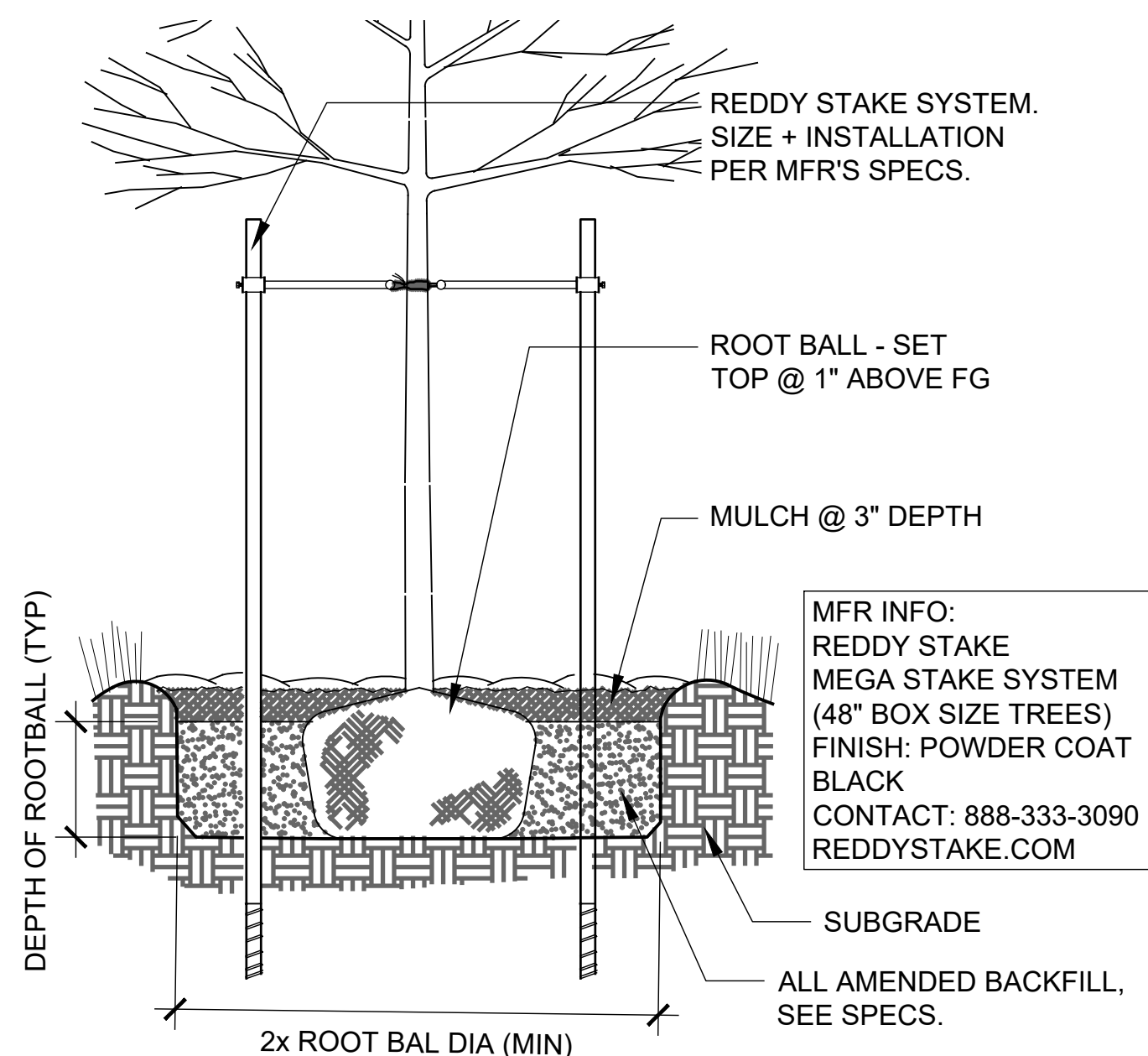
5 PLANTER POT
3/8" - 1'-0"



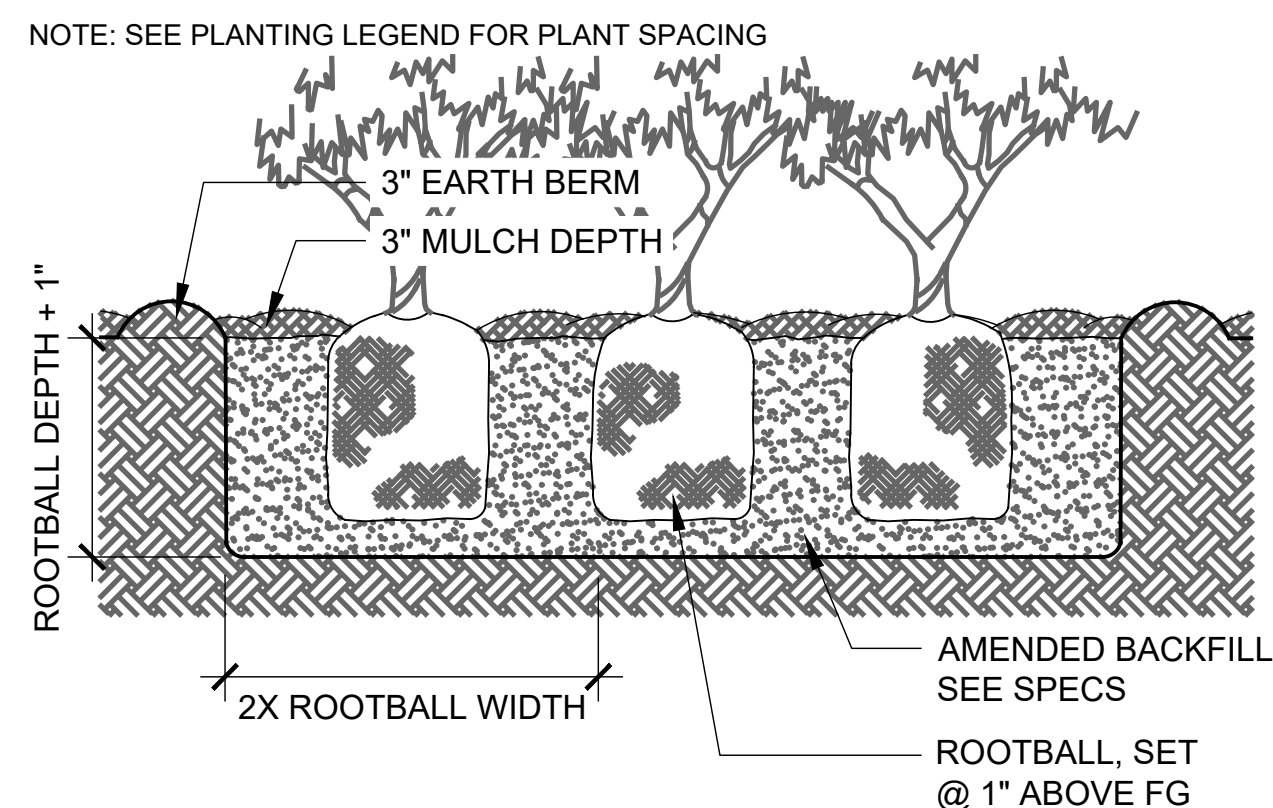
2 TRIANGULAR SHRUB + GROUNDCOVER SPACING
1/2" = 1'-0"



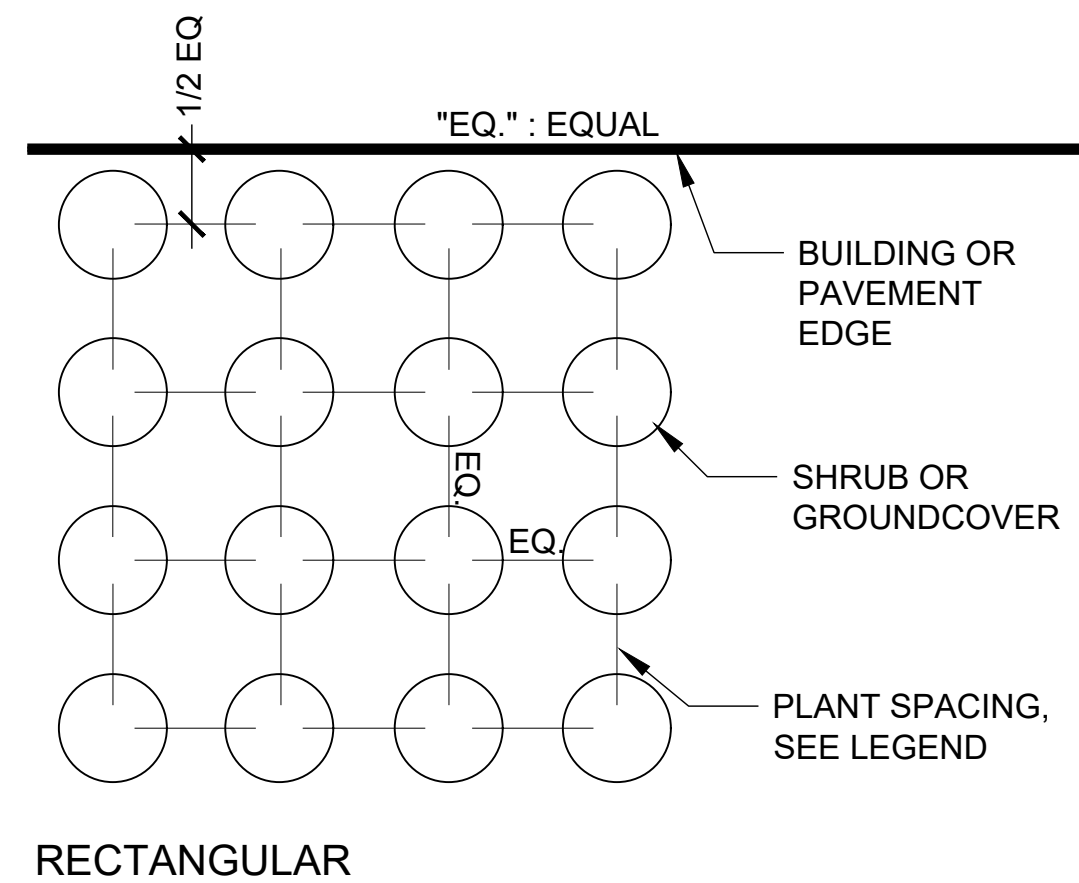
10 DECK AND SEATWALL
nts



7 TREE PLANTING AND STAKING
3/4" = 1'-0"



4 SHRUB + GROUNDCOVER PLANTING
3/4" - 1'-0"



1 RECTANGULAR SHRUB + GROUNDCOVER SPACING
1/2" = 1'-0"

Commercial Modular Units For

UNIT 1, RESTROOM & STORAGE - THE RADIUS @ ALAMEDA. CA

COMMERCIAL MODULAR UNIT

AS DEFINED UNDER CALIFORNIA CODE OF REGULATIONS TITLE 25, DIV. 1 HOUSING AND COMMUNITY DEVELOPMENT

MANUFACTURED BY URBAN BLOC INC. CA. #MF1265006

NOTE: THIS UNIT IS REFERENCED TO CONSTRUCTION DRAWING SET I-581-1007 APPROVED BY HCD.04.12.2022

DESIGNED AS A FREESTANDING MODULE

Building environment, Utilities and systems Under separte Local permit, (Where noted for reference only.)

FOUNDATIONS BY OTHERS.

CONSTRUCTION TYPE (As per 2019 CBC. CH 6. Table 601)									
TYPE IIb.	NO FIRE RATED WALLS, FLOORS OR CEILINGS REQUIRED NO SPRINKLERS REQUIRED (CFC. 903.2.1.2) <5000SF, < 100 OCC.								
OCCUPANCY SEPERATION (As per 2019 CBC. CH 3. Table 508.4) Note: Per Cbc 303.1.1 Small Assembly Spaces. A-2 Occupant Load < 50 is regarded as a B Occupancy.									
UNIT#	MODEL / SERIAL	USE	ADJACENT	SF./ OCC.	FIRE.	NOTES			
1	BATHROOM & UTILITY UB40-AF 181215AL_XXXX	B	Module	320sq		ADA Bathroom, Utility, Storage			

N
SITE LOCATION

LOCATION

ALL CONSTRUCTION, REGARDLESS OF DETAILS ON PLANS, SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF:

Title 24, DIV. 1. California Code of Regulations (CCR) 2019.

PART 1 - CALIFORNIA BUILDING STNDRDS. ADMINISTRATIVE CODE
PART 2 - CALIFORNIA BUILDING CODE
PART 3 - CALIFORNIA ELECTRICAL CODE
PART 4 - CALIFORNIA MECHANICAL CODE
PART 5 - CALIFORNIA PLUMBING CODE
PART 6 - CALIFORNIA ENERGY CODE (2008)
PART 9 - CALIFORNIA FIRE CODE
PART 10 - CALIFORNIA EXISTING BUILDING CODE
PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE
PART 12 - CALIFORNIA REFERENCE STANDARDS CODE

THE FOLLOWING SCOPE OF WORK TO BE SUBMITTED TO LOCAL JURISDICTIONS AS DESIGN-BUILD BY CONTRACTOR OR AS A DEFERRED SUBMITTAL:

1. ELECTRICAL SUPPLY TO UNIT
2. LATERAL CONNECTIONS TO (E) SEWER.
3. STRUCTURAL FOUNDATIONS.
4. ENVIRONMENTAL HEALTH REVIEW (IF REQD)
5. SPRINKLER DESIGN AS DEFERRED SUBMITTAL

BATHROOM FIXTURE COUNTS.
"Minimum plumbing fixture calculations following 2019 California Plumbing Code are included in project's building permit application submitted to the City of Victorville for approval."

JURISDICTION

ALL WORK AND MATERIAL SHALL BE EXECUTED IN FULL ACCORDANCE WITH ALL APPLICABLE CODES. MANUFACTURER SHALL PROVIDE AND BE RESPONSIBLE FOR ALL COSTS FOR PUBLIC PROTECTION AS REQUIRED BY THE CONTRACT DOCUMENTS AND LOCAL GOVERNMENT AGENCIES. FIRE EXTINGUISHERS AND CABINETS AS REQUIRED BY LOCAL GOVERNMENT AGENCY SHALL BE PROVIDED AND INCLUDED IN CONTRACT. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS ON THE SITE
ALL EXITS TO BE OPENABLE FROM INSIDE WITHOUT USE OF A KEY.

GENERAL NOTES

ARCHITECTURAL

A0.1 PROJECT DATA
A1.0 PLANS
A2.1 ELEVATIONS/ SECTIONS
E1 ELECTRICAL
P1 PLUMBING
A5.1 DETAILS

DRAWING LIST

DESIGN, PERMITTING, FACTORY MANUFACTURING. TEAM LEAD

URBAN BLOC INC.
1540 Morse Blvd.
San Carlos CA. 94070.

Project Manager,
Jerry Jameson, CIO Urban Bloc Inc.
510 798 8007. jjameson@urbanbloc.net.

ENGINEER OF RECORD
STRUCTURAL ENGINEER
R&S Tavares Associates, Inc
11777 Bernardo Plaza Court,
San Diego, CA 92128
ph: 858-444-3344 x 1801

MECHANICAL/ PLUMBING
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1540 Morse Blvd.
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jjameson@urbanbloc.net.8

ELECTRICAL
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San Carlos CA. 94070.
510 798 8007.
jjameson@urbanbloc.net.

T24 ENERGY COMPLIANCE
WADE ENERGY
1942 Linda Drive
Pleasant Hill CA 94523
510 383 5490

APPROVED THIRD PARTY AGENCY
RADCO
3220 E. 59th St.
Long Beach, CA 90805
T: (562) 272-7231 Ex. 127
F: (562) 529-7513

CONTROLLED INSPECTIONS
RADCO
3220 E. 59th St.
Long Beach, CA 90805
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F: (562) 529-7513

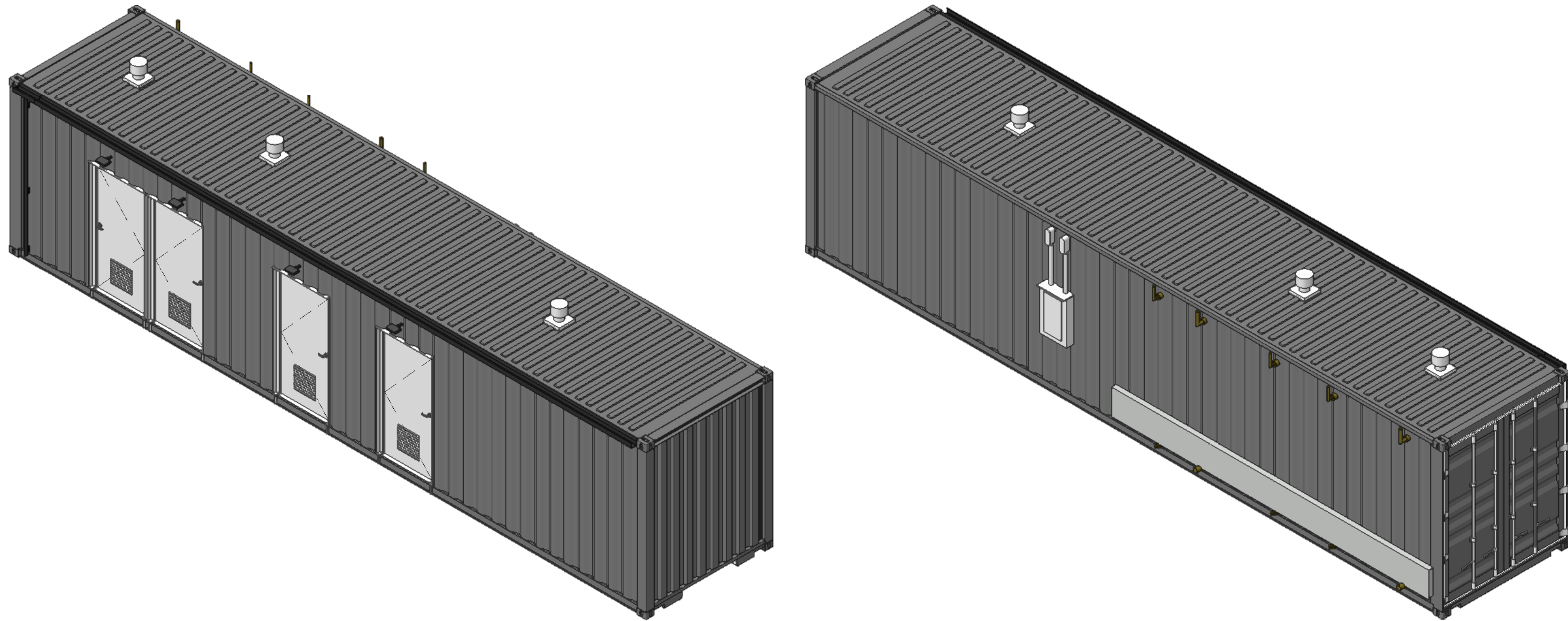
PROJECT TEAM

ENVIRONMENTAL HEALTH NOTE:
ELECTRICAL WATER HEATER SIZING
ASSUMING 62deg. Temp Rise

ITEM	QTY	DEFAULT FACTOR	GPH	
Hand Wash Sink (including restrooms)	2	5	10	
Mop Sink	1	15	15	
			25	TOTAL
SINGLE USE UTENSILS (X0.8)			20	TOTAL

POWER CONSUMPTION
 $\frac{20(62)(8.33)}{0.98(3412)} = \frac{10329.2}{3343.8} = 3 \text{ KW}$

AO SMITH COMMERCIAL DEL-20, 20 Gal. 3 KW.



SITE PLAN (SEE SITE ARCHITECTURE DRAWINGS)



ISSUED FOR REFERENCE ONLY
MANUFACTURED COMMERCIAL MODULAR UNITS
PRODUCED UNDER LICENSE & PERMIT BY CA. HCD.
AS DEFINED UNDER CALIFORNIA CODE OF REGULATIONS TITLE 25, DIV. 1 H.C.D.

URBAN BLOC

1540 Morse Blvd. San Carlos CA. 94070
P. 510 798 8007. F. 650 592 5494
e-mail. jjameson@urbanbloc.net

THE RADIUS - RESTROOM & STORAGE
1501 Harbor Bay Pkwy, Alameda, CA 94502

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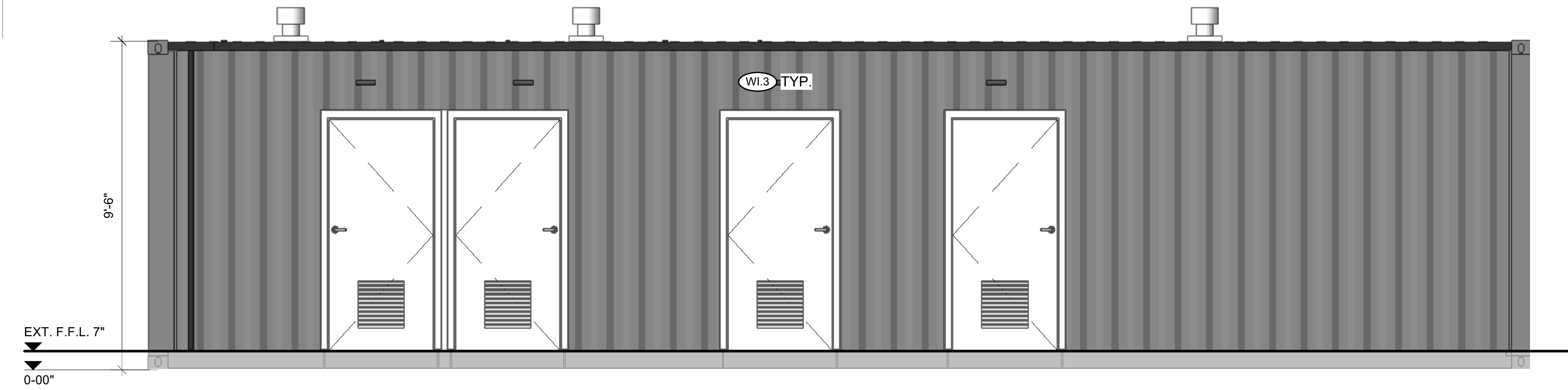
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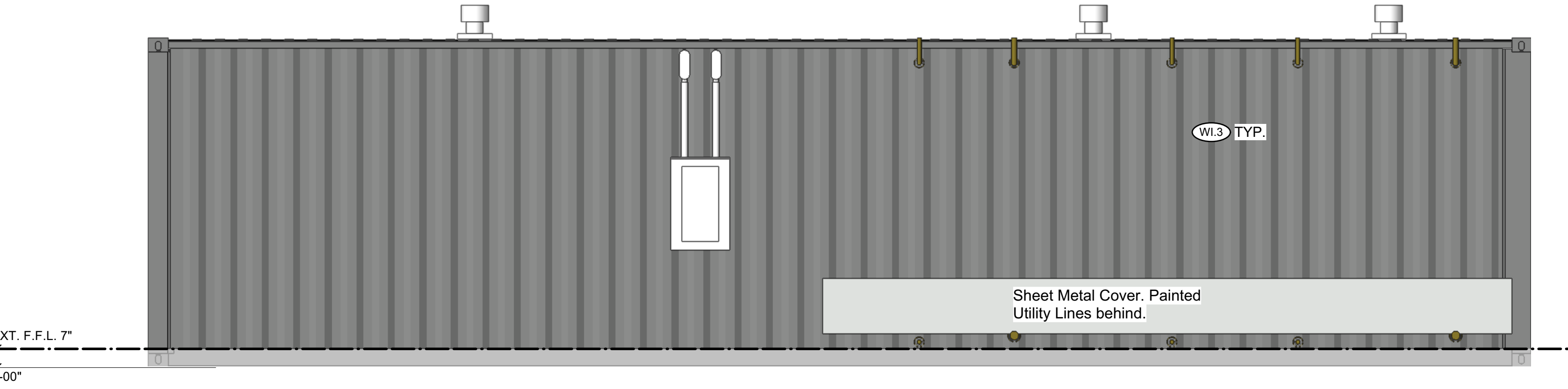
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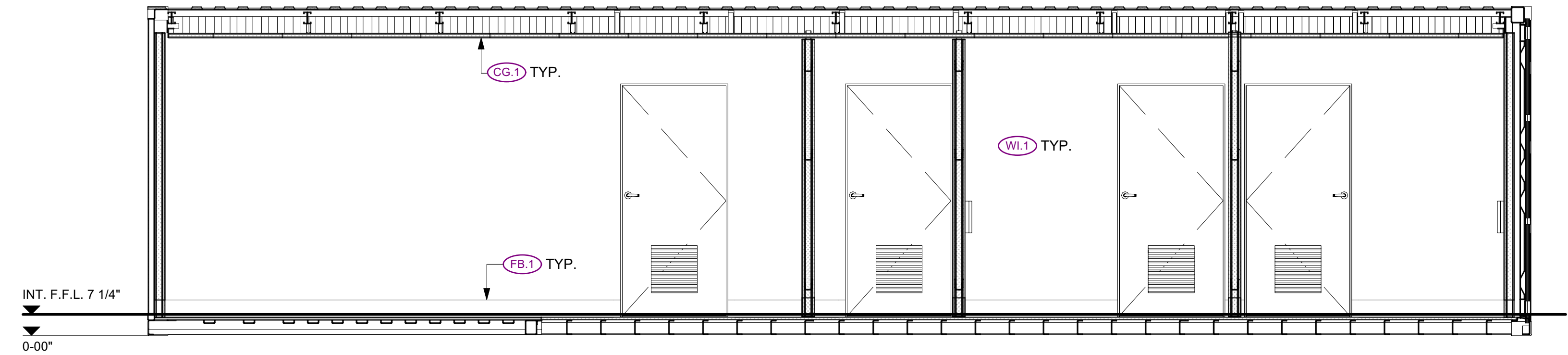
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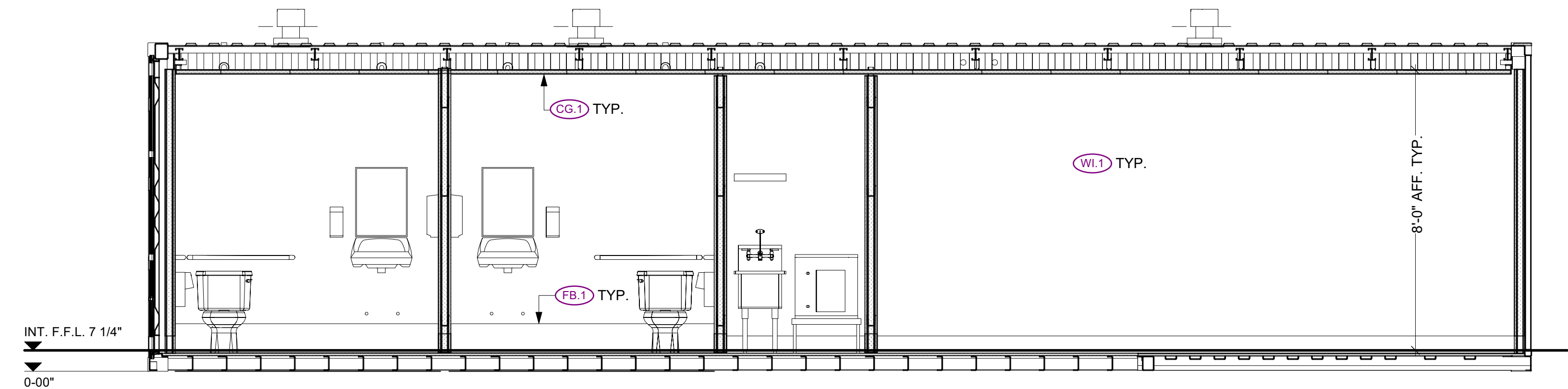
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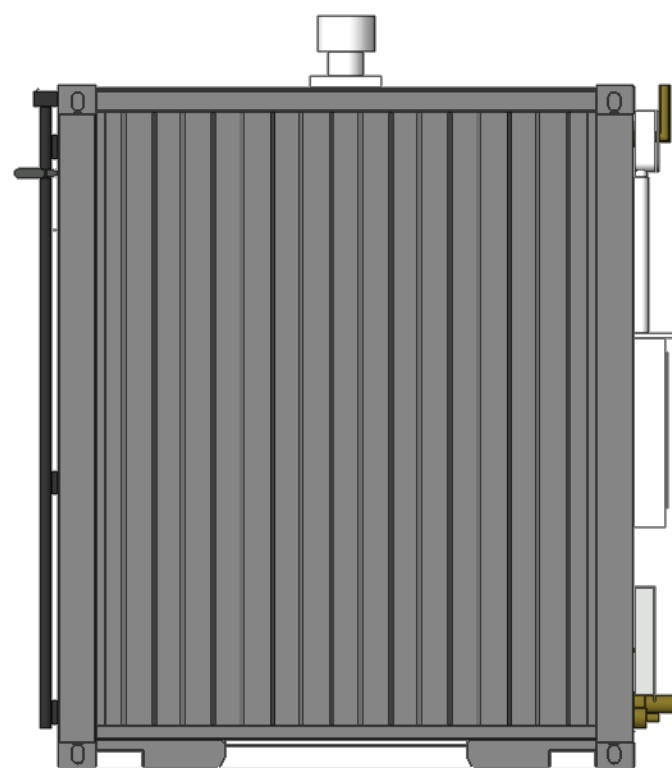
2 BACK ELEVATION
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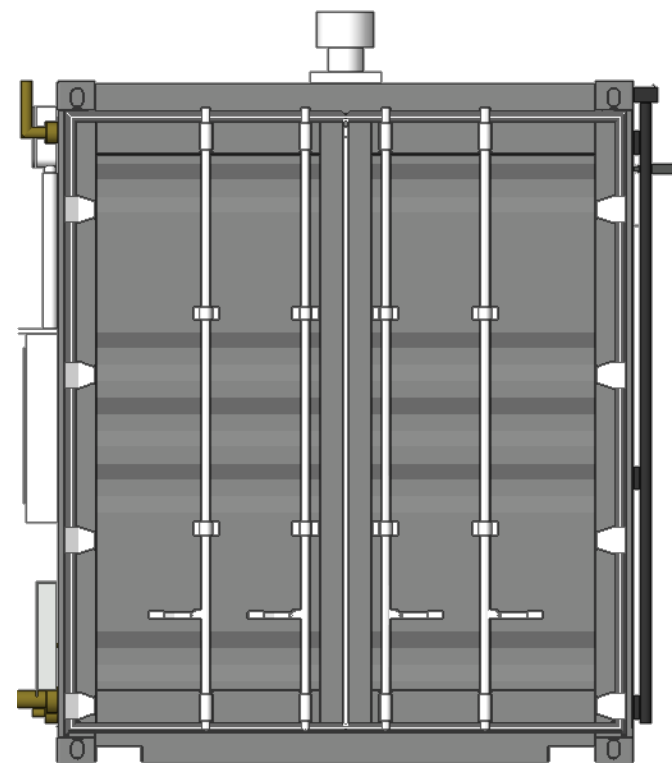
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Scale: 3/8" = 1'-0"



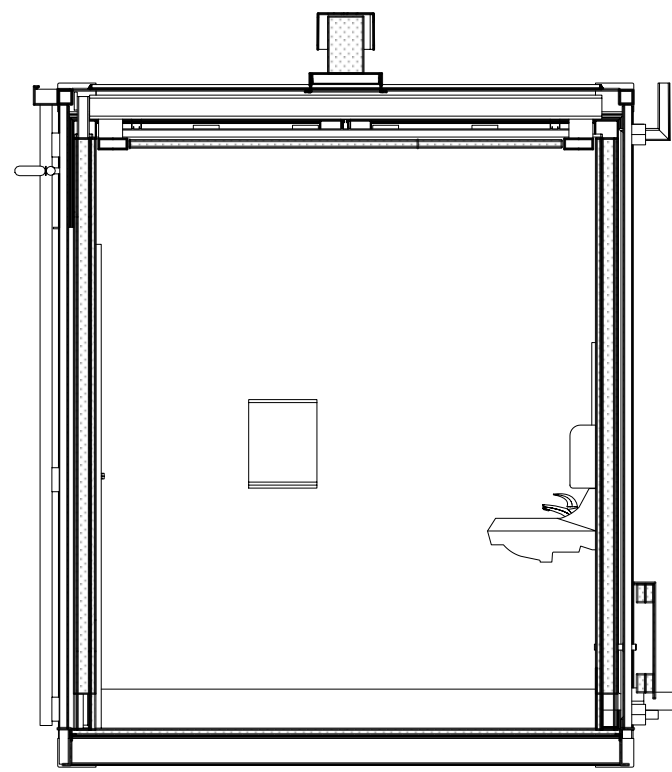
6 INTERIOR SECTION
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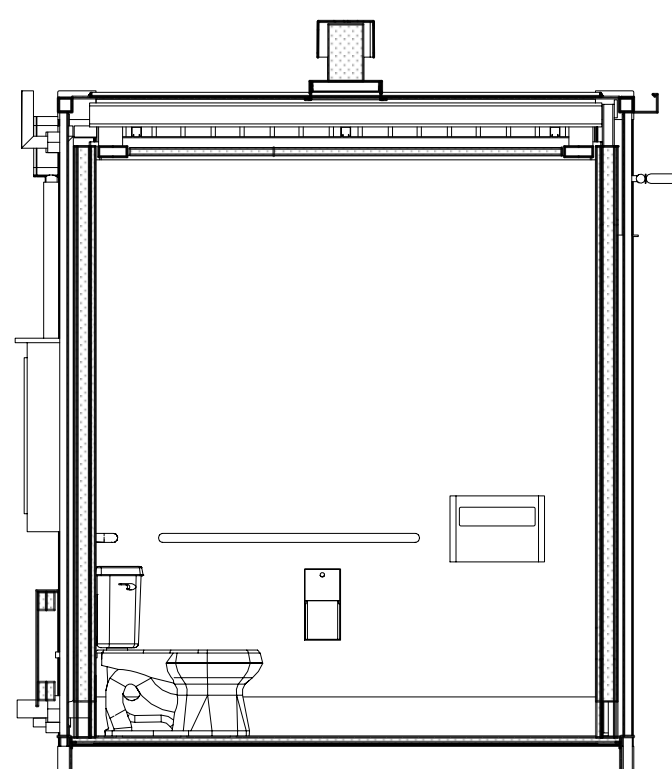
3 RIGHT ELEVATION
Scale: 3/8" = 1'-0"



4 LEFT ELEVATION
Scale: 3/8" = 1'-0"



7 INTERIOR SECTION
Scale: 3/8" = 1'-0"

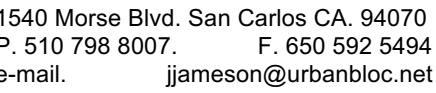


8 INTERIOR SECTION
Scale: 3/8" = 1'-0"



FINISH SCHEDULE			
#	QTY	ITEM	MFG. CAT. SPECIFICATION
WALL FINISHES			REMARKS
WL.1		FRP	White Frp (fiberglass Reinforced Panel) Sequencia Or Eq. With integral silicone seals or mouldings @ All Joint, Corner, And Edge Conditions. Aluminum "h" Moulding At Bottom. Class C Rated.
WL.3		EXTERIOR PAINT	Direct to metal Paint Color Sherwin-Williams SW7674 Peppercom
FLOOR FINISHES			
FF.1		EPOXY FLOOR COATING	General Polymer 3744 High Performance Cr Epoxy. Epoxy Applied As 10 Mil. Slurry. Light Grey. OR APPROVED EQUAL.
FB.1		COVE BASE BOARD	EPOXY TO MATCH
CEILING FINISHES			
CG.1		GYPSUM LAY IN	Gold Bond 2x4, 2x2 Gridstone(Laminated vinyl Food Grade) 9/16". White Smooth ALu. Trim & Hangers.
CG.2		ACOUSTIC LAY IN	Armstrong 2x4, 2x2 KITCHEN ZONE(Food Grade) 9/16". White Smooth ALu. Trim & Hangers.
EXTERIOR CLADDING			
EP-4		BLACKENED METAL PLATE	1/8" Mtl Plate. Sealed.

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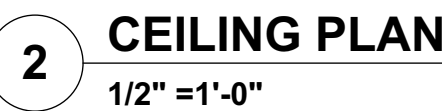
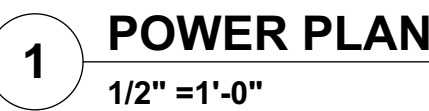


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ELECTRICAL /
POWER PLAN

E.1

PAGES @ 24"X36"



EQUIPMENT LIST

UID #	#	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (WxDxH)	COMMENTS	FURNISH	INSTALL	VOLTAGE	PHASE	AMPS	PLUG	HT.AFF	WIRE	DRN. (D/I)	HOT	COLD	GAS	COMMENTS
1	MF-9a	1	Roof Vent	Aura Attic Fan	AF-6-C4-CMF	12" x 12" x 12"	CFM 120	UB	UB	115	1	0.9	HW	Ceil	12/2					
2	MF-9a	1	Roof Vent	Aura Attic Fan	AF-6-C4-CMF	12" x 12" x 12"	CFM 120	UB	UB	115	1	0.9	HW	Ceil	12/2					
3	MF-9a	1	Roof Vent	Aura Attic Fan	AF-6-C4-CMF	12" x 12" x 12"	CFM 120	UB	UB	115	1	0.9	HW	Ceil	12/2					
7	UPE.3j	1	Water Heater	AO Smith	DEL-20, 20g. 3kw	21 3/4"Ø x 22 1/4"H	20g. 3000/3000	UB	UB	208	3	14.4	HW		12/3					
8	UE.20	1	Electrical Panel	SIEMENS	200A	TBD		UB	UB	208	3	200		Exterior						

EPANEL The Radius Restroom Unit		VOLTAGE: 208Y/120V				WIRE: 4				MOUNTING: SURFACE				NOTES:			
		BUS RATING: 20A				PHASE: 3				A/C RATING: 10K							
		MAIN REQUIREMENT: 20A MLO				TYPE: N-3R				CONDITION: NEW							

CK#	NOTES	LOAD	CB	LOAD DESCRIPTION		LOAD KVA	PHASE	KVA	LOAD DESCRIPTION	CB	LOAD		NOTES	CK#
				P	T						P	T		
1		D	1	20	AC	0.96	A	0.96			1	20	D	2
3		D	1	20		0.96	B	0.96	UPE 3)		1	20	D	4
5		G	1	20	CONV.30,31	0.36	C	0.06			1	20	D	6
7		G	1	20	CONV.32,33,34	0.54	A				1	20	D	8
9		C	1	20	LIGHTING - GENERAL	0.54	B							10
11							C							12

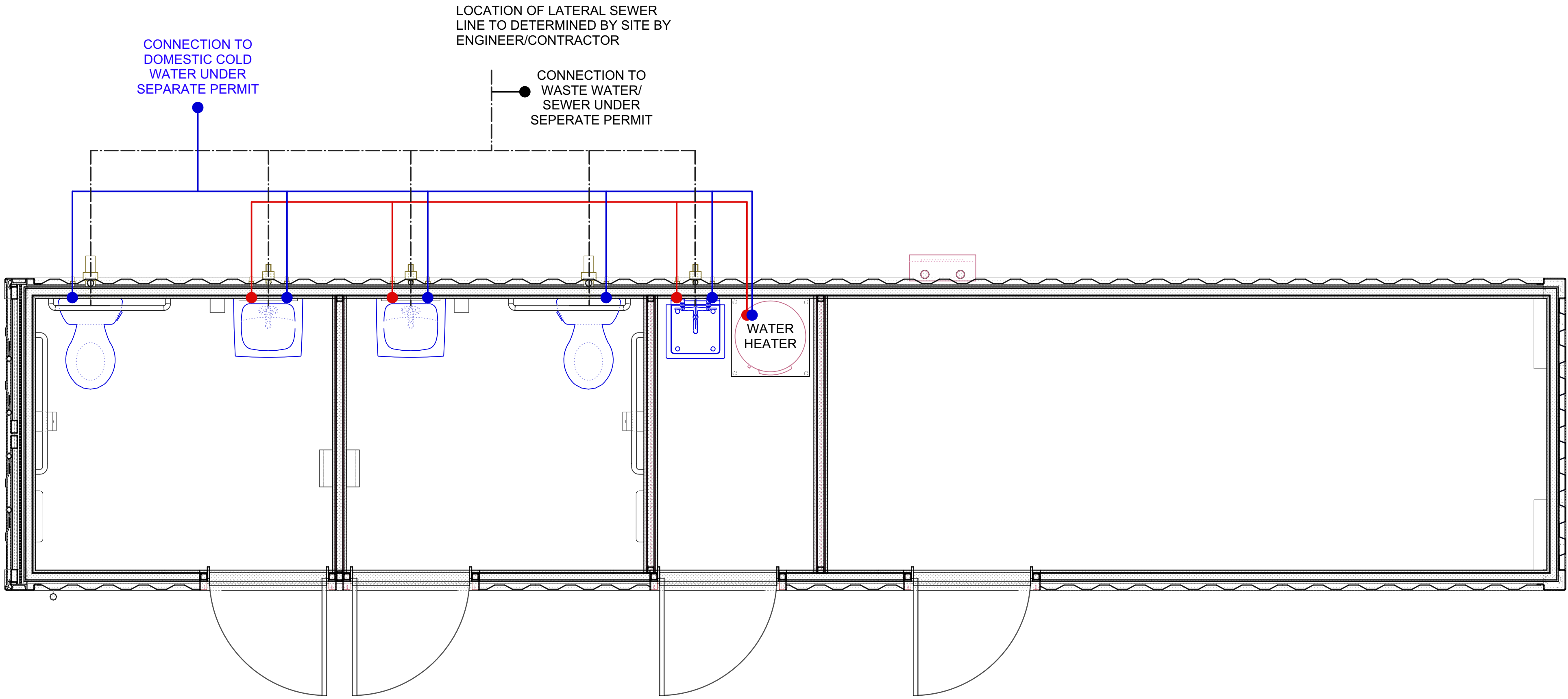
CONNECTED LOAD:				DEMAND LOAD CALCULATION			
PHASE A	2.46	KVA		DEMAND LOAD	SUBTOTAL	NEC DEMAND FACTOR	
PHASE B	2.46	KVA		CONTINUOUS LOAD (C)	0.54	125%	0.68
PHASE C	1.32	KVA		DEDICATED LOAD (D)	4.80	100%	4.80
TOTAL	6.24	KVA		GENERAL RECEPTACLE (G)	0.90	100% of 1st 10KVA & 50% of remaining	0.90
				INTERMITTENT EQUIPMENT (K)	0.00	65%	0.00
				MECHANICAL EQUIPMENT (M)	0.00	125% of largest motor & 100% of remaining	0.00
				TOTAL DEMAND KVA			
				6.38			

NOTES:
 HL=PADLOCKABLE HANDLE LOCK-OFF

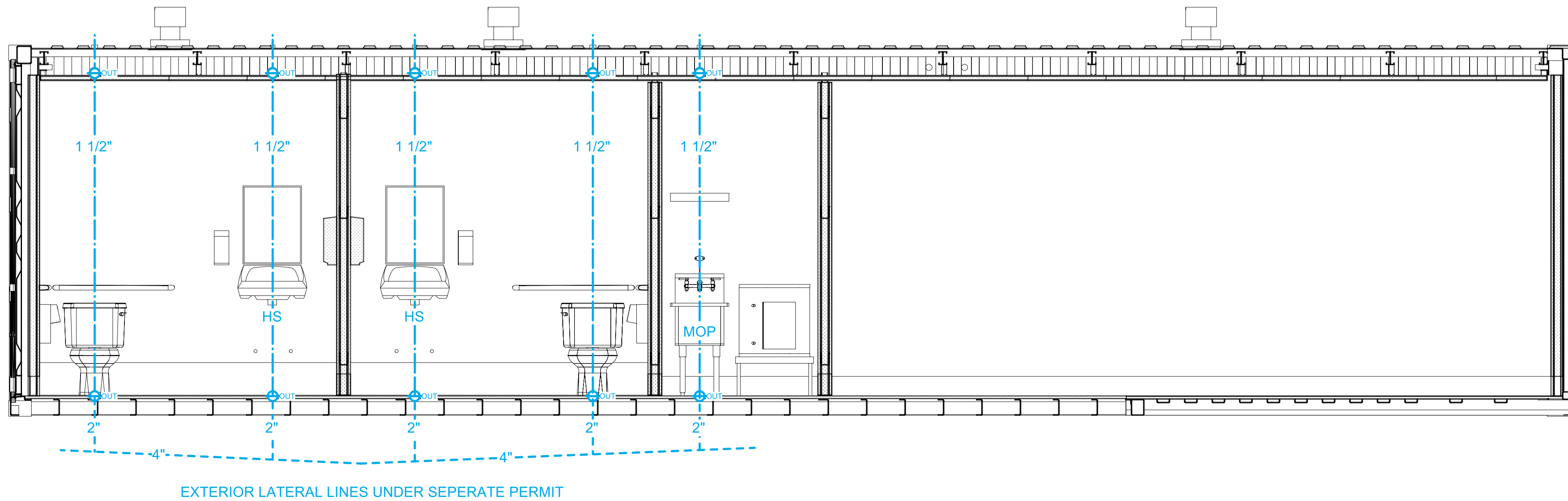
AMPS @ 208Y/120V, 3 PHASE, 4 WIRE: 17.70

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1 **PLUMBING & VENTILATION PLAN**
1/2" = 1'-0"



2 **PLUMBING RISE DIAGRAM**
1/2" = 1'-0"

PLUMBING, STAINLESS & FIXTURES												
#	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (W X D x h)	PLUMBING						
						COMMENTS	FURNISH	INSTALL	COLD	HOT	DRN. (D/I)	MTG. HT.
FX.2	1	Mop Holder	CARLISLE	Model: 4073100	18" x 1 1/2" x 2 1/2"		UB	UB				
FX.3	2	Soap Dispenser	SAN JAMAR	Model: SH900TBK	5.5" x 4" x 12"		UB	UB				
FX.4	2	Paper Towel Dispenser	SAN JAMAR	Model: T1900XC	11 3/8" x 4" x 14 3/4"		UB	UB				
FX.6	2	Toilet Paper Dispenser	SAN JAMAR	R3500TBK	7 1/4" x 7" x 12 3/4"		UB	UB				
FX.8	2	Toilet Seat Cover Dispenser	ASI	Model: 20477-SM	15 3/4" x 2 3/8" x 11"		UB	UB				
FX.9b	2	Bathroom Mirror	BRADLEY	781-1824	18" x 24"		Client	Client				
FX.12	2	ADA Grab Bars (Set)	ASI	3801-36P, 3801-42P			UB	UB				
P.13a	1	Mop Sink	GSW	SE15151P	15" x 15"		UB	UB				
P.13a1	1	Mop Sink Faucet	FISHER	8253		Mop Sink	UB	UB				
P.30a	2	Toilet	GERBER	20-022			UB	UB				
P.31a1	2	Lavatory Faucet	DELTA	Model: 523LF-HDF	4 13/16" x 6 17/32" x 6 7/8"		UB	UB				
P.32b	2	Lavatory	American Standard	0355.012, wall mount	20 1/2" x 18 1/4"		UB	UB				

WATER SUPPLY						
#	QTY	ITEM	WSFU			
			COLD	HOT	WATER DEMAND	LINE SIZE
						LATERAL BRANCH
P.32b	2	Lavatory	2	2	3	3/4"(H&C) 1/2"
P.13a	1	Mop	3	3	4.5	3/4"(H&C) 1/2"
P.30a	2	Toilet	5	-	7.5	3/4"(C) 1/2"
			10	5	15	3/4" 1/2"
MINIMUM PRESSURE DEMAND FOR ALL FIXTURES=15PSI.						
HOT & COLD COMBINED DEMAND .75 OF TOTAL VALUE						
STATIC PRESSURE LOSS = -(0.43x5)= -2.15 (Highest fixture below supply)						
FRICTION LOSS / 100ft (A4.1(1) =12, Per 50'=6PSI.						
TOTAL PRESSURE LOSS= 6-2.15=3.85PSI.						
MAX. PIPE LENGTH TO FARTHEST FIXTURE= 30'-0						
ALLOWANCE FOR FITTINGS= 1.5						
DEVELOPED LENGTH = 45'-0", say 60'-0"						
PER CPC 2019 Table 610.4 46-60PSI Range 31 WSFU Allowed.						

DRAINAGE TABLE								
#	QTY	ITEM	FIX. UNITS (DFU)	LINE SIZE			TOT	REMARKS/ CALCULATIONS
				Horiz.	Vert.	Vent		
P.13a	1	Mop	3	2	2	1 1/2"	3	
P.32b	2	Lavatory	2	2	2	1 1/2"	2	
P.30a	2	Toilet	6	3	3	2'0"	6	
				TOTAL DFU's				Per CPC Table 703.2, 3" Horiz/ Vert Piping required/ Provided.
								Per CPC Table 703.2, 1 1/2" vent Piping required/ Provided. 2" for toilet

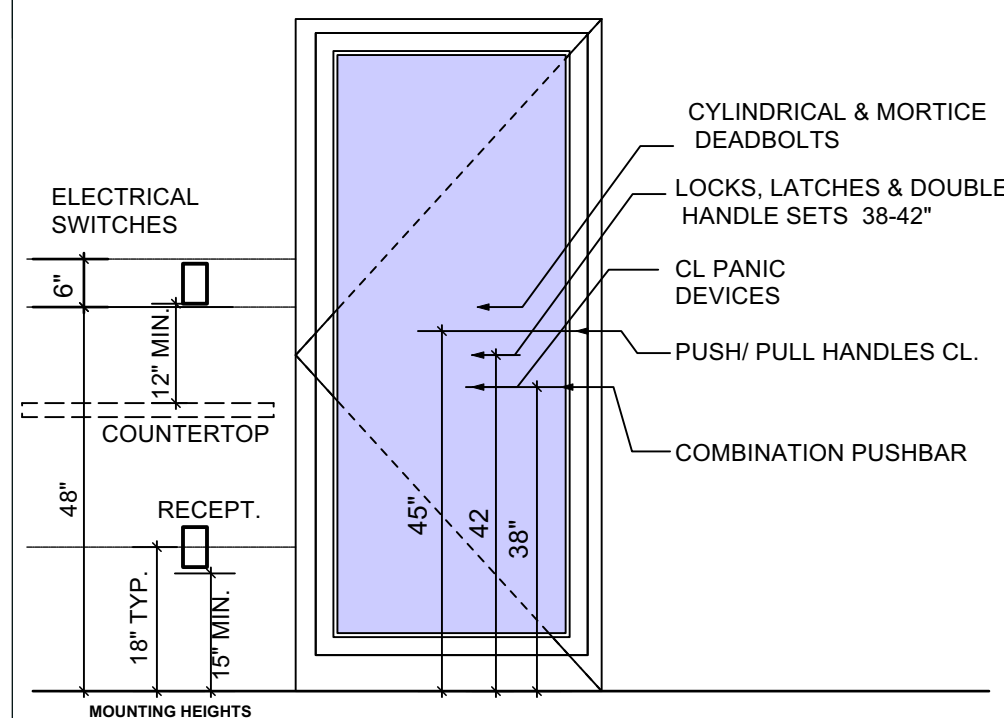
Note: As Defined By CPC 2019 905.3 Structural Conditions Do Not Allow For Vent Fittings Less Than 6" Above The Flood-level Rim Of Certain Assemblies To Be Drainage Type.

These Conditions Have Been Reviewed And Approved As Alternate Means And Methods As allowed by CPC 1.8.7 And Included In Approved Drawing Set I-581-1007 Approved By HCD.11.15.2020

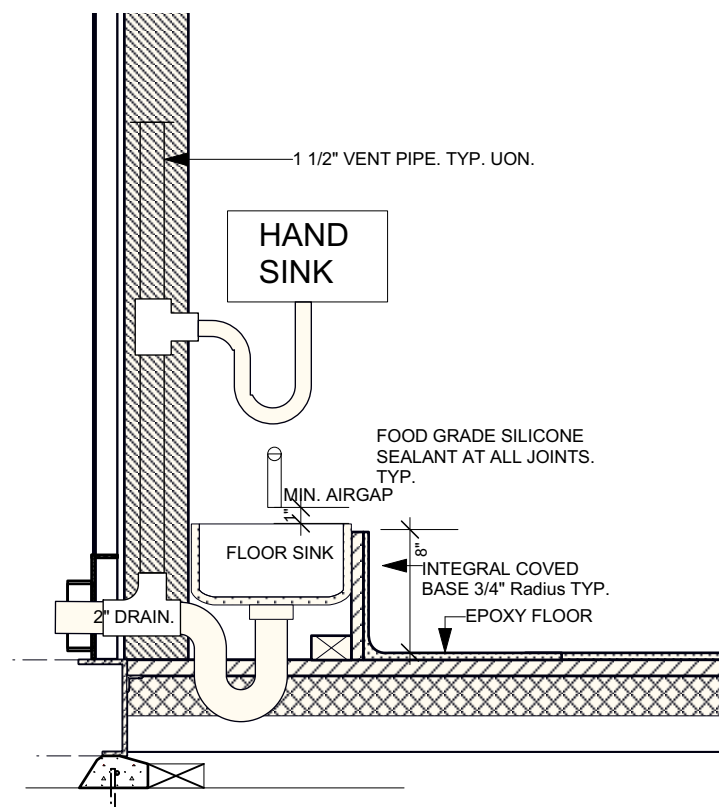
VENTILATION FAN SYSTEM									
UNIT #	MANUFACTURER	MODEL #	CFM	V	A	HP	So	Comments	
MF-9a	Aura Attic Fan	AF-6-C4-CMF	120		0.9				



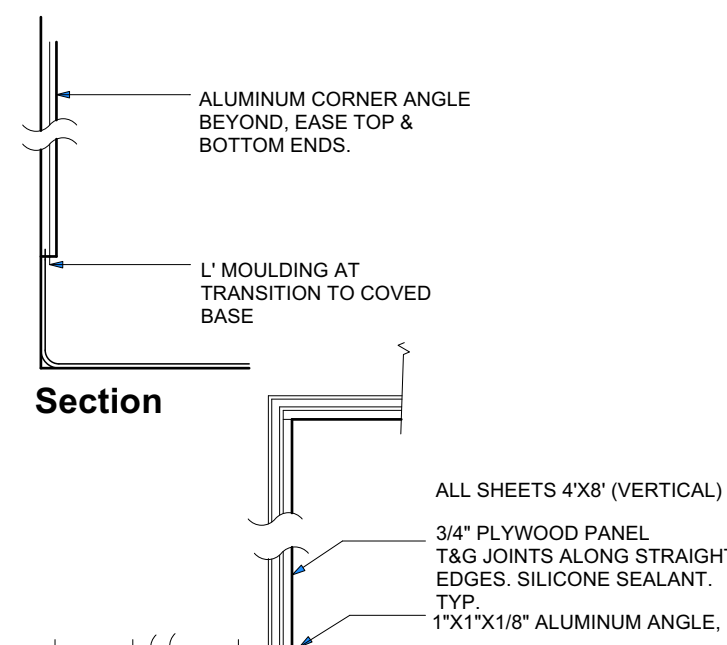
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1 MOUNTING HEIGHTS

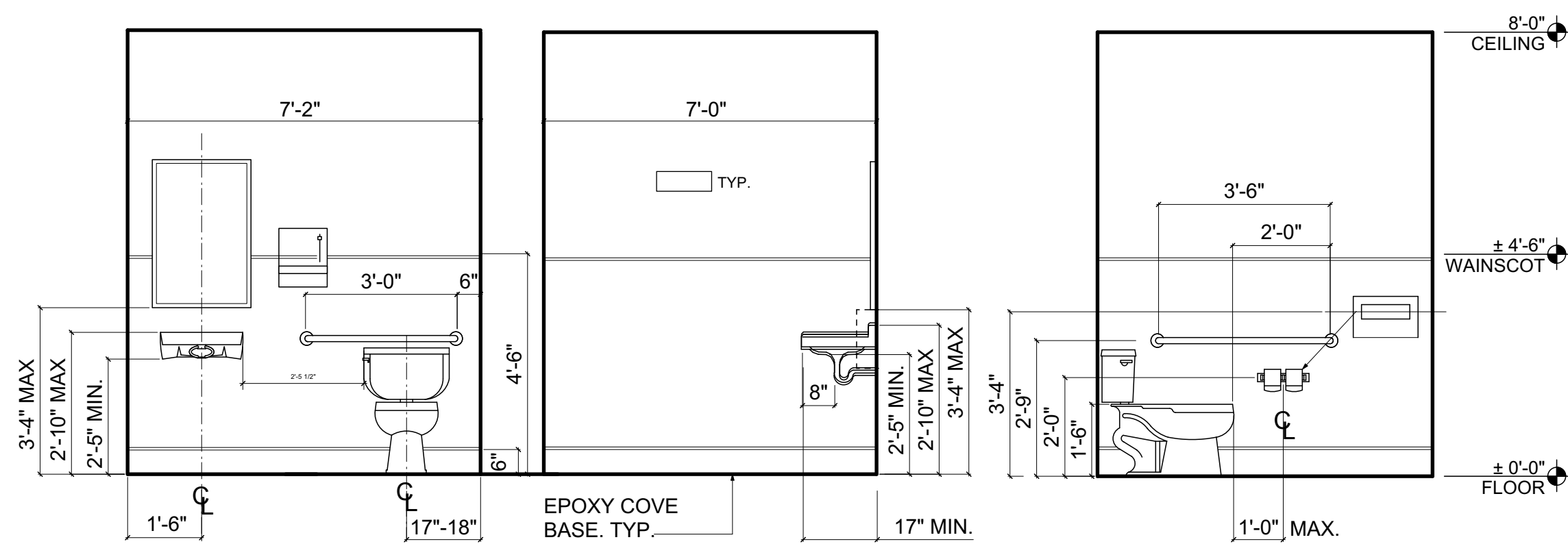


2 FLOOR SINK DETAILS



Plan View of Typical Panel Condition

3 COVE BASE COUNTERS



5 BATHROOM DETAILS

DOOR HARDWARE SCHEDULE			
GROUP	DESCRIPTION	FINISH	MFR.
1) SINGLE ENTRY DOOR (D1a)	TELSTAR PRO DOOR 30x68 INVISIBLE DEADBOLT, SOLID LIGHT GRAY, A40 GALVALUME STEEL	613	TELL MANUFACTURING
	LOCK CYLINDER CY-1-184, GRADE 2 ENTRY LEVER	613	TELL MANUFACTURING
	ENG 600 SERIES DOOR CLOSER	613	TELL MANUFACTURING
	ADA COMPLIANT THRESHOLD INTEGRATIVE	613	TELL MANUFACTURING

REMARKS

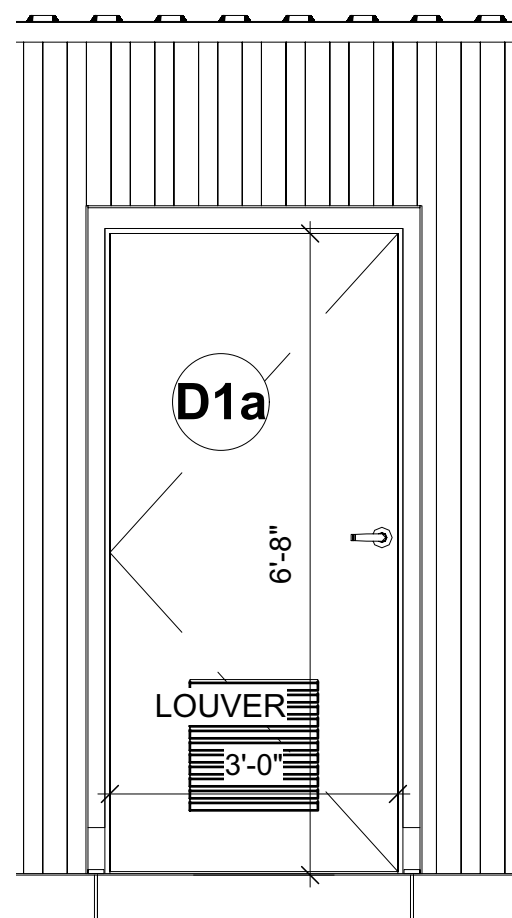
A - EXIT DOORS ARE TO BE OPENABLE FROM INSIDE WITHOUT USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. KEY LOCKING HARDWARE MAY BE USED ON THE MAIN EXIT WHEN THE MAIN EXIT DOOR HAS A DURABLE SIGN ON OR ADJACENT TO THE DOOR STATING: THIS DOOR MUST REMAIN UNLOCKED DURING BUSINESS HOURS. THE SIGN SHALL BE IN LETTERS NOT LESS THAN ONE INCH HIGH ON A CONTRASTING BACKGROUND.

B - UNLATCHING FORCE, OR OPENING FORCE NOT TO EXCEED 5 POUNDS. (CALIFORNIA)



6"X6" MIN. SIGN SIZE
INTERNATIONAL SYMBOL
OF ACCESSIBILITY. WHITE
FIGURE ON BLUE DECAL.
PER CBC 1117B.5.8.1

NOTE: PLACE NEAR
ACCESSIBLE BUILDING
ENTRY



SELF-CLOSING OUTSWING DOOR

Solid Core MTL. Self-closing door
Custom frame Assembly
Hardware as per Group 1

6 DOOR SCHEDULES



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UNIT 2, BEVERAGE - THE RADIUS @ ALAMEDA. CA

COMMERCIAL MODULAR UNIT

AS DEFINED UNDER CALIFORNIA CODE OF REGULATIONS TITLE 25, DIV. 1 HOUSING AND COMMUNITY DEVELOPMENT

MANUFACTURED BY URBAN BLOC INC. CA. #MF1265006


NOTE: THIS UNIT IS REFERENCED TO CONSTRUCTION DRAWING SET I-581-1007 APPROVED BY HCD.04.12.2022

DESIGNED AS A FREESTANDING MODULE

Building environment, Utilities and systems Under separte Local permit, (Where noted for reference only.)

FOUNDATIONS BY OTHERS.

CONSTRUCTION TYPE (As per 2019 CBC. CH 6. Table 601)									
TYPE IIb.	NO FIRE RATED WALLS, FLOORS OR CEILINGS REQUIRED NO SPRINKLERS REQUIRED (CFC. 903.2.1.2) <5000SF, < 100 OCC.								
OCCUPANCY SEPERATION (As per 2019 CBC. CH 3. Table 508.4) Note: Per Cbc 303.1.1 Small Assembly Spaces. A-2 Occupant Load < 50 is regarded as a B Occupancy.									
UNIT#	MODEL / SERIAL	USE	ADJACENT	SF./ OCC.	FIRE.	NOTES			
1	BAR AND COFFEE UB40-AF 181215AL_XXXX	B	Module	320sq		Bar and coffee service Prepackaged food			



N

SITE LOCATION

JURISDICTION

ALL CONSTRUCTION, REGARDLESS OF DETAILS ON PLANS, SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF:
Title 24, DIV. 1. California Code of Regulations (CCR) 2019.
PART 1 - CALIFORNIA BUILDING STNDRDS. ADMINISTRATIVE CODE
PART 2 - CALIFORNIA BUILDING CODE
PART 3 - CALIFORNIA ELECTRICAL CODE
PART 4 - CALIFORNIA MECHANICAL CODE
PART 5 - CALIFORNIA PLUMBING CODE
PART 6 - CALIFORNIA ENERGY CODE (2008)
PART 9 - CALIFORNIA FIRE CODE
PART 10 - CALIFORNIA EXISTING BUILDING CODE
PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE
PART 12 - CALIFORNIA REFERENCE STANDARDS CODE
THE FOLLOWING SCOPE OF WORK TO BE SUBMITTED TO LOCAL JURISDICTIONS AS DESIGN-BUILD BY CONTRACTOR OR AS A DEFERRED SUBMITTAL:
1. ELECTRICAL SUPPLY TO UNIT
2. LATERAL CONNECTIONS TO (E) SEWER.
3. STRUCTURAL FOUNDATIONS.
4. ENVIRONMENTAL HEALTH REVIEW (IF REQD)
5. SPRINKLER DESIGN AS DEFERRED SUBMITTAL

GENERAL NOTES

ALL WORK AND MATERIAL SHALL BE EXECUTED IN FULL ACCORDANCE WITH ALL APPLICABLE CODES. MANUFACTURER SHALL PROVIDE AND BE RESPONSIBLE FOR ALL COSTS FOR PUBLIC PROTECTION AS REQUIRED BY THE CONTRACT DOCUMENTS AND LOCAL GOVERNMENT AGENCIES. FIRE EXTINGUISHERS AND CABINETS AS REQUIRED BY LOCAL GOVERNMENT AGENCY SHALL BE PROVIDED AND INCLUDED IN CONTRACT. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS ON THE SITE
ALL EXITS TO BE OPENABLE FROM INSIDE WITHOUT USE OF A KEY.

DRAWING LIST

ARCHITECTURAL
A0.1 PROJECT DATA
A1.0 PLANS
A2.1 ELEVATIONS/ SECTIONS
E1 ELECTRICAL
P1 PLUMBING
A5.1 DETAILS

PROJECT TEAM

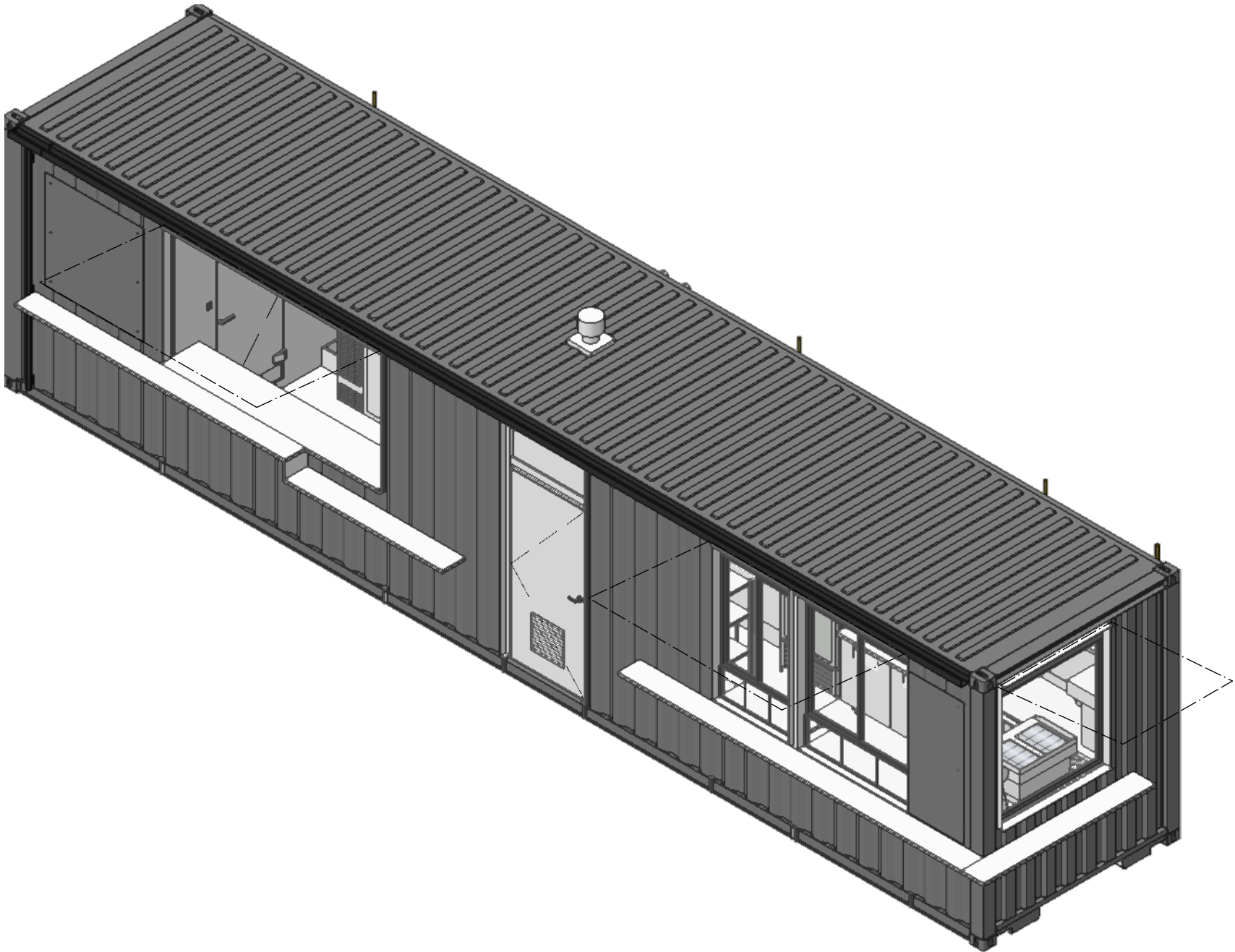
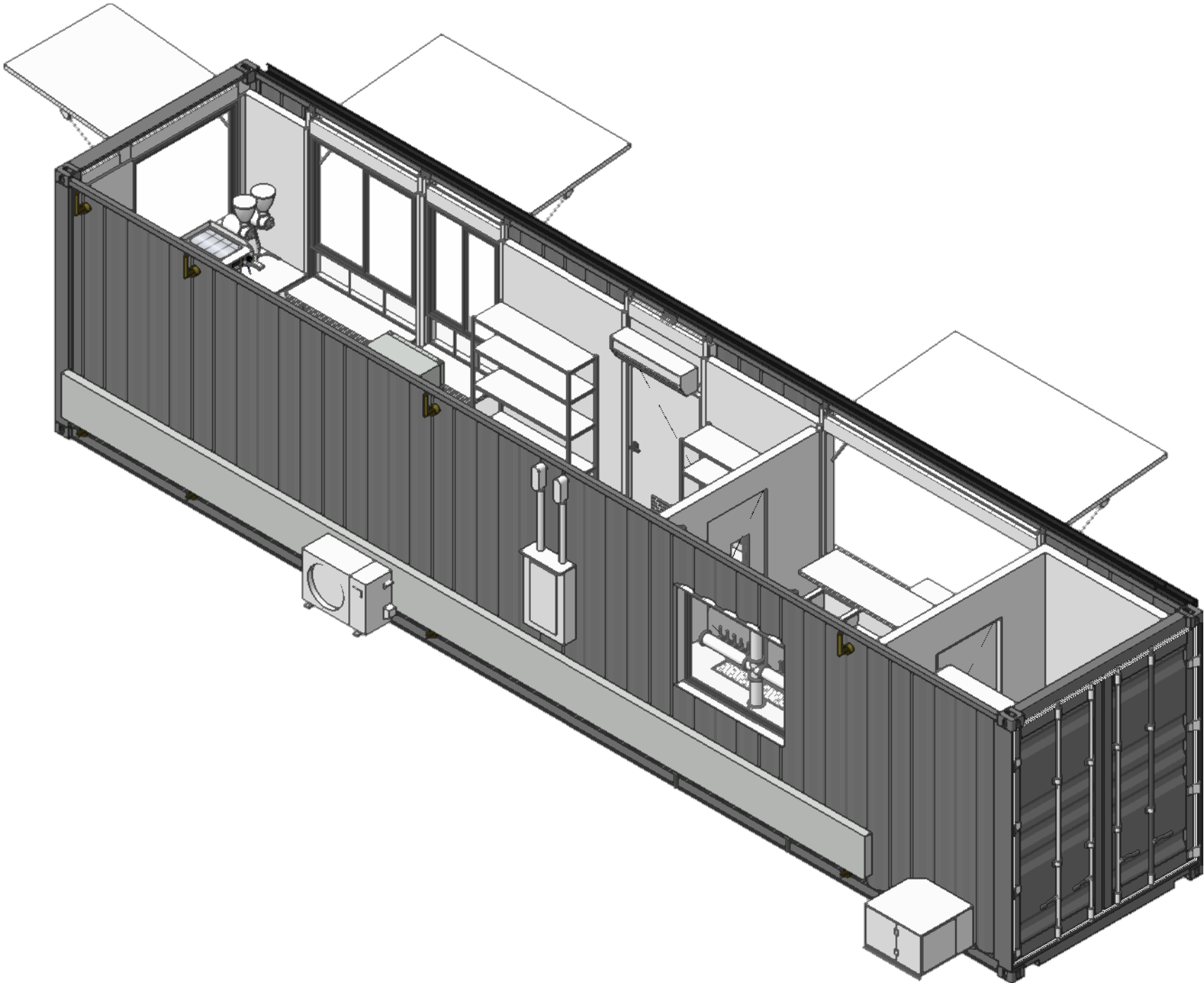
DESIGN, PERMITTING, FACTORY MANUFACTURING. TEAM LEAD
URBAN BLOC INC.
1540 Morse Blvd.
San Carlos CA. 94070.
Project Manager,
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ENGINEER OF RECORD
STRUCTURAL ENGINEER
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CONTROLLED INSPECTIONS
RADCO
3220 E. 59th St.
Long Beach, CA 90805
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PROJECT DATA


ENVIRONMENTAL HEALTH NOTES.
ALL FOOD ITEMS SHALL COME FROM AN APPROVED AND INSPECTED SOURCE
A COPY OF THE MENU IS INCLUDED WITH THE EQUIPMENT CUT SHEETS.NO POTENTIALLY HAZARDOUS FOOD WILL BE SERVED.
COMPLY WITH MANUFACTURERS RECOMMENDATIONS FOR A COMPLETE AND FULLY OPERATIONAL INSTALLATION.
FOR SHELIVING OVER 5'-0" TALL, LAG-BOLT WALL UNITS TO WALL FRAMING. AT ISLAND UNITS, BOLT TO FLOOR AT EACH OF FOUR CORNERS. SEE DETAIL 5/A7.1
ALL CRACKS AND CREVICES AT OR NEAR FOOD PREPARATION EQUIPMENT SHALL BE SEALED.
PROVIDE SPACE FOR NON-FOOD ITEMS, CLEANERS, TOWELS, AND APPAREL.
PROVIDE SEPARATE STORAGE CONTAINER FOR SOILED LINENS, TOWELS, AND APPAREL.
ALL SHELIVING OVER WET AREAS SHALL BE METAL.
A MINIMUM OF 50-FT CANDLES (538 LUX) OF LIGHT MEASURED 30" OFF THE FLOOR IS PROVIDED IN ALL FOOD PREPARATION AREAS DURING GENERAL CLEANUP ACTIVITIES.
THE FLOOR IS PROVIDED IN UTENSIL CLEANING AREA .
ALL FOOD-RELATED AND UTENSIL-RELATED EQUIPMENT SHALL MEET OR BE EQUIVALENT TO SANITATION STANDARDS ESTABLISHED BY AN AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) ACCREDITED PROGRAM.
ALL UTENSILS TO BE WASHED IN SCULLERY AND/OR IN DISHWASHER. HAND SINKS NOT TO BE USED FOR THIS PURPOSE.
THE UNDERSIDE OF ALL COUNTERTOPS SHALL BE WHITE. SURFACE SHALL BE SMOOTH AND EASILY CLEANABLE.
ALL COUNTERTOPS SHALL HAVE AN EASILY CLEANABLE SURFACE.
ALL FOOD SHALL BE STORED AT LEAST 6" OFF THE FLOOR.
ALL CONTAINERS STORED ON DOLLIES, RACKS, OR PALLETS SHALL BE EASILY MOVABLE.
SHELIVING TO BE CONSTRUCTED SO AS TO BE EASILY CLEANABLE.
ALL EQUIPMENT SHALL BE EITHER EASILY MOVABLE (IE., ON CASTERS), LIGHT ENOUGH SO AS TO BE EASILY MOVED BY ONE PERSON, INSTALLED ON RAISED MINIMUM 6" ROUNDED METAL LEGS, OR SEALED IN POSITION ON 4" MINIMUM HIGH CONTINUOUSLY AND INTEGRALLY COVED BASE OR COVED CONCRETE CURB TO FACILITATE EASE OF CLEANING.
GAPS AND SPACES BETWEEN EQUIPMENT BASE AND TOP OF ISLANDS SHALL BE SEALED WITH A NON-HARDENING SILICONE SEALANT.
ALL EQUIPMENT ON COUNTERS, TABLES, AND SHELVES THAT ARE NOT EASILY LIFTED ARE TO BE INSTALLED ON APPROVED 4" LEGS, OR SEALED TO TABLE, SHELVES, ETC.
ALL EQUIPMENT, FLASHING, AND BACKSPLASHES ARE TO BE ADEQUATELY SEALED TO THE WALL AND ABUTTING EQUIPMENT, OR MOVED AWAY FROM THE WALL 6" FOR EVERY 4 LINEAR FEET OF EQUIPMENT FRONTAL LENGTH, OR AWAY FROM EACH OTHER.
ALL UTENSIL WASHING SINKS, STEAM TABLES, ICE MACHINES AND BINS, DISPLAY CASES, AND OTHER SIMILAR EQUIPMENT WHICH DISCHARGE LIQUID WASTE, SHALL HAVE THIS WASTE CONVEYED BY A SEWER LINE AND DISPOSED THEREIN BY AN INDIRECT CONNECTION INTO A FLOOR SINK, FUNNEL DRAIN, OR EQUIVALENT DEVICE. INDIRECT WASTE RECEPTORS SHALL BE LOCATED SO AS TO BE READILY ACCESSIBLE FOR INSPECTION AND CLEANING. DRAIN LINES SHALL NOT CROSS ANY AISLE, TRAFFIC AREA, OR DOOR OPENING.

LOCATION

ENVIRONMENTAL HEALTH NOTES.
LIGHT BULBS SHALL BE SHIELDED, COATED, OR OTHERWISE SHATTER-RESISTANT IN AREAS WHERE THERE IS NONPREPACKED READY-TO-EAT FOOD, CLEAN EQUIPMENT, UTENSILS, AND LINENS, OR UNWRAPPED SINGLE-USE.
ALL ADJACENT/ SHARED FACILITIES UNDER SAME OWNERSHIP.
(See Site Plan for locations)
EMPLOYEE BATHROOMS
JANITORIAL SERVICES
TRASH AREAS
PROJECT IS PERMITTED AS A FOOD COURT UNDER SEPARATE PERMIT.
ENVIRONMENTAL HEALTH NOTE:
DRY GOODS STORAGE PER CFRC 2015
SQFT (Interior) 230 x .25 =58 Lin.ft required
Metro Shelf 3'-0" (5 tier) x 1 (qty) 15
Metro Shelf 4'-0" (5 tier) x 1 (qty) 20
Wall Shelving 3'-0" x 1 (qty) 3
Wall Shelving 4'-0" x 3 (qty) 12
Wall Shelving 5'-0" x 2 (qty) 10
Total provided =60 Lin.ft
ENVIRONMENTAL HEALTH NOTE:
ELECTRICAL WATER HEATER SIZING
ASSUMING 62deg. Temp Rise
POWER CONSUMPTION
46.8(62)(8.33) = 24170.35 = 7.25 KW
0.98(3412) = 3343.8
AO SMITH COMMERCIAL DEN-52, 50 Gal. 8KW.
WALL & CEILING FINISHES.
Smooth, Durable, Easily Cleanable Light Colored And Non-absorbent Finishes Are Required In The Following Areas:
Where Food Is Prepared Or Packaged.
Customer Self Service Locations Where Open Food Or Beverages Is Dispensed
Wait stations
Utensil Washing Or Storage
Janitorial Areas
Restrooms
Employee Locker Rooms
Walk In Refrigerators/ Freezers
Food Storage In Original Unopened Containers
Garbage And Refuse Storage.



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THE RADIUS - BEVERAGE

1501 Harbor Bay Pkwy. Alameda, CA 94502

SUBMITTALS

ISSUE 90% CLIENT 05.05.22

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May 5, 2022

DRAWING TITLE

PROJECT DATA

UB#

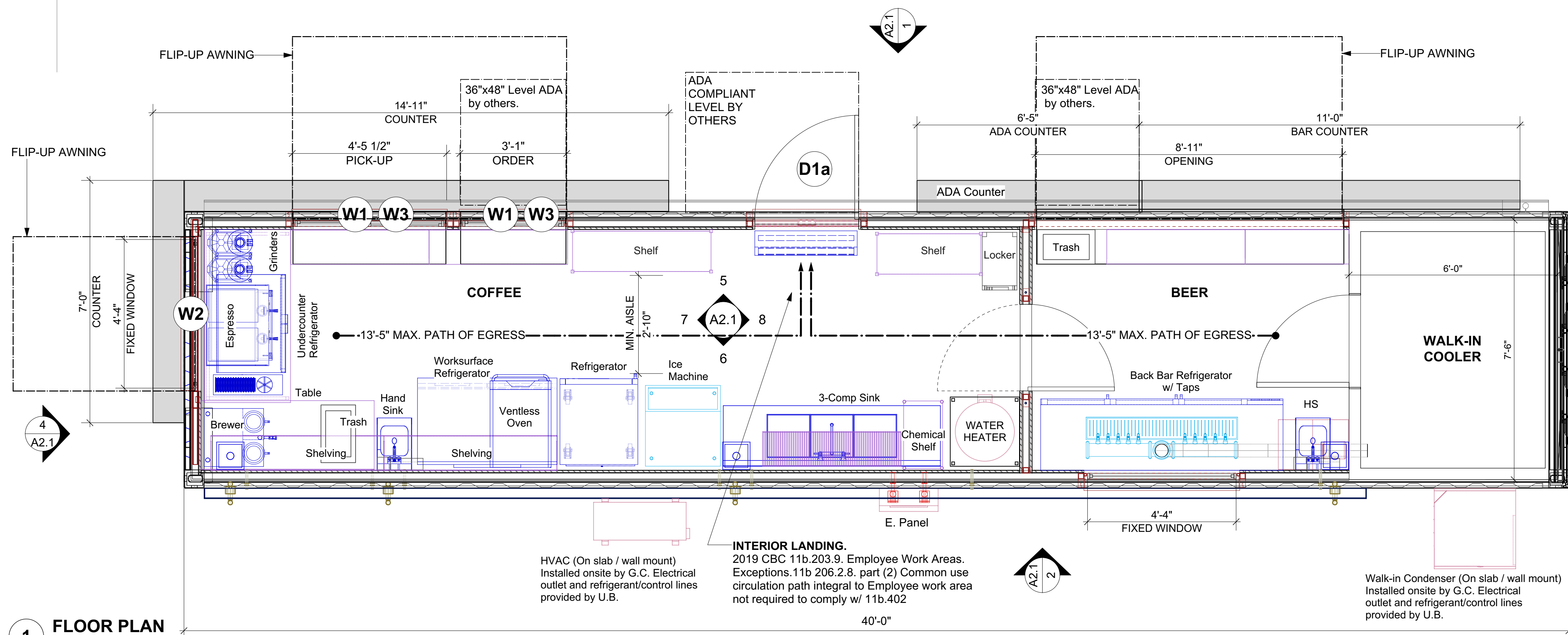
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A0.1

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FINISH SCHEDULE			
#	QTY	ITEM	MFG. CAT. SPECIFICATION
WALL FINISHES			
W1.1	FRP		White Frp (fiberglass Reinforced Panel) Sequencia Or Eq.. With integral silicone seals or mouldings @ All Joint, Corner, And Edge Conditions. Aluminum "T" Moulding At Bottom. Class C Rated.
W1.3	EXTERIOR PAINT		Direct to metal Paint Color
W1.4	GALV. WALLPANELS		WALK IN COOLER MANUFACTURER
FLOOR FINISHES			
FF.1	EPOXY FLOOR COATING		General Polymer 3744 High Performance Cr Epoxy. Epoxy Applied As 10 Mil. Slurry. Light Grey. OR APPROVED EQUAL.
FF.3	WALK IN COOLER		NSF Compliant W/ 3/8" Integral Radius at Floor/ Wall Junction 22GA. Stainless Floor Smooth.
FB.1	COVE BASE BOARD		EPOXY TO MATCH
CEILING FINISHES			
CG.1	GYPSUM LAY IN		Gold Bond 2x4, 2x2 Gridstone(Laminated vinyl Food Grade) 9/16". White Smooth ALU. Trim & Hangers.
CG.2	ACOUSTIC LAY IN		Armstrong 2x4, 2x2 KITCHEN ZONE(Food Grade) 9/16". White Smooth ALU. Trim & Hangers.
EXTERIOR CLADDING			
EP-2	Wood Panels		3/4" Wd. Boards
EP-4	BLACKENED METAL PLATE		1/8" Mtl Plate. Sealed.

EQUIPMENT LIST

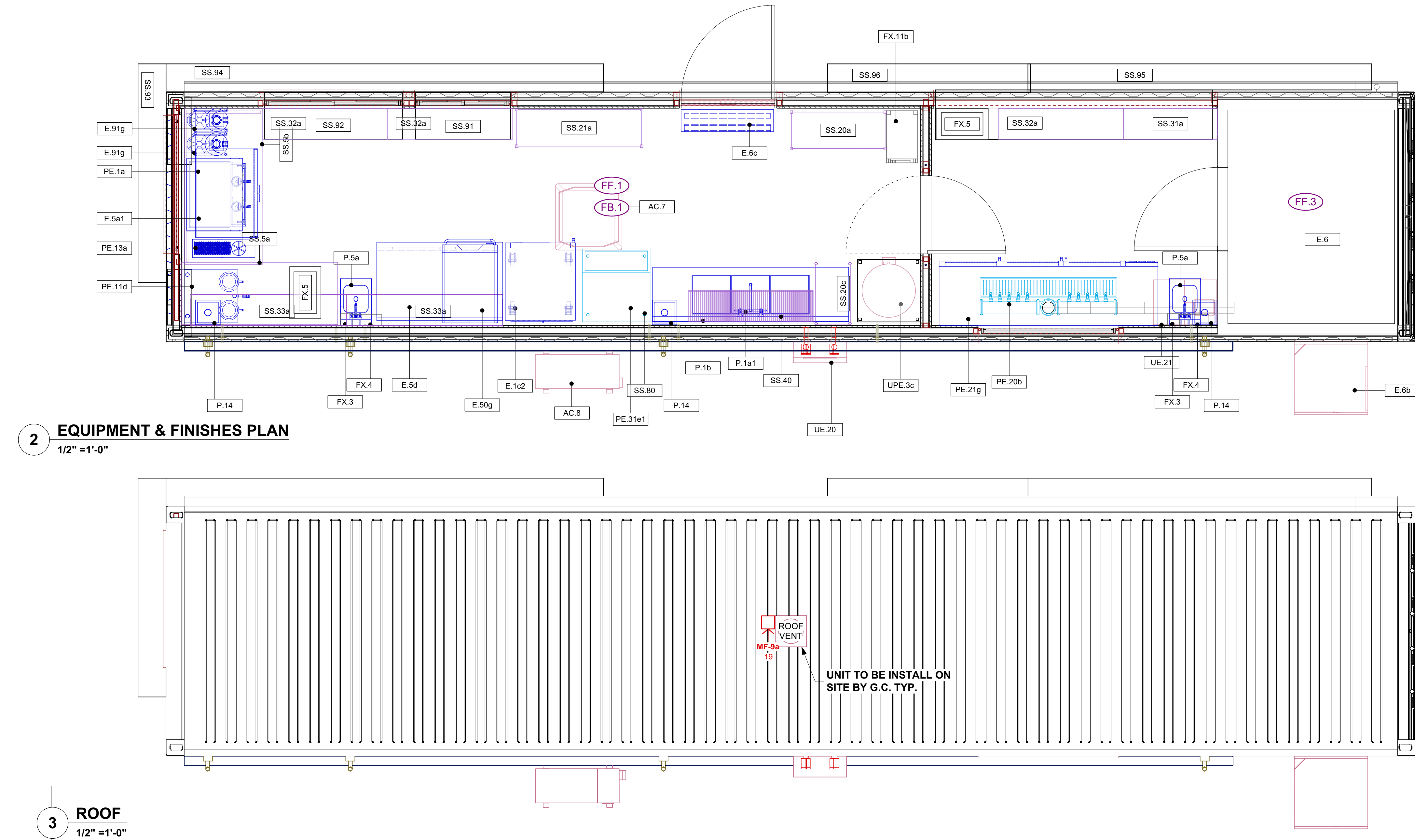
UID #	#	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (WxDxH)	COMMENTS	FURNISH	INSTALL
1	E.91g	1	Coffee Grinder	Cimballi	7/5A	10"W x 19"D x 25"H		Client	Client
2	E.91g	1	Coffee Grinder	Cimballi	7/5A	10"W x 19"D x 25"H		Client	Client
3	PE.1a	1	Espresso Machine	LA MARZOCCO	Linea Classic: 2 Group	28"W x 21"D x 22"H		Client	Client
4	E.5a1	1	Refrigerator: Worktop	BEVERAGE-AIR	WTR34HC	34" x 24 5/8" x 36 1/8"		Client	Client
5	PE.11d	1	Coffee Brewer	CURTIS	G4TP1T10A3100	20.13 x 20.63 x 24.75		Client	Client
6	E.5d	1	Refrigerator: Worktop	TRUE	TWT-48-HC	48-3/8" x 30-1/8" x 33-3/8"		Client	Client
7	E.50g	1	Ventless Oven	Turbo Chef	BULLET	21.17" x 29.98" x 23"		Client	Client
8	E.1c2	1	Single Door Refrigerators	TRUE	T-23G-HC	27"W x 29 7/8"D x 78 3/8"H		Client	Client
9	PE.31e1	1	Ice Machine	Manitowoc	UDF-0190A	26 x 28 x 38.5	substitute legs for 12" (SS.90)	Client	Client
10	PE.21g	1	Perlick Back Bar Refrigerator	Perlick	BBS84	84" x 24.75" x 24.565"		Client	Client
11	PE.20b	1	Beer Tower w/ drip tray	Perlick	CM1801924 / C18863	52.38" x 15.5"		Client	Client
13	E.6c	1	36" Air Curtain	Curtron	AP-2-36-SS	36" x 10" x 12"		UB	UB
14	E.6	1	Custom Walk-in Cooler	RUDY'S	8'-6" High Mtl Clad Wood Pnls	TBD	Custom Manufactured	UB	UB
15	E.6b	1	Walk-in Cooler Condering Unit	HEATCRAFT	MOH010X62CFM	17 1/4 x 28 1/4 x 23 3/4	Connections made on site	UB	UB
16	UE.21	1	Beer Chiller System	Perlick	4410	24.25 x 17.25 x 25.5		Client	Client
17	AC.7	1	Ductless System	Carrier	40MBCQ18---3	22.44" x 22.44" x 10.24"		UB	UB
18	AC.8	1	Outdoor Condenser	Carrier	38MAQB18R---3	35.04" x 13.46" x 29.13"		Client	Client
19	MF-9a	1	Roof Vent	Aura Attic Fan	AF-6-C4-CMF	12" x 12" x 12"	CFM 120	UB	UB
20	UPE.3c	1	Water Heater	AO Smith	DEN-52, 50g, 8KW 4000/4000	20 1/2"D x 54 7/8"H	Connections made on site	UB	UB
21	UE.20	1	Electrical Panel	SIEMENS	200A	TBD		UB	UB

PLUMBING, STAINLESS & FIXTURES

#	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (W X D x h)	PLUMBING	COMMENTS	FURNISH	INSTALL
FX.3	2	Soap Dispenser	SAN JAMAR	Model: SH900TBK	5.5" x 4" x 12"			UB	UB
FX.4	2	Paper Towel Dispenser	SAN JAMAR	Model: T1900XC	11 3/8" x 4" x 14 3/4"			UB	UB
FX.5	2	Trash Can	SLIM JIM	23 gallon	15.8" x 22" x 30"			Client	Client
FX.11b	1	Locker	GSW	ELS-5DR	12" x 16" x 77"			TBD	TBD
P.1a1	1	3-Comp Sink Faucet	T&S	5F-8WLX10				UB	UB
P.1b	1	3-Comp Sink w/ splash guards	GSW	SE15153D	75 1/4" x 21" x 45"			UB	UB
P.5a	2	Drop-in Hand Sink w/ splash guards	KROWNE	HS-1225	12" x 18" x 15 1/2"			UB	UB
P.14	3	Floor Sink	WATTS	FS-710 Sanitary Floor Sink	8 1/8"W x 8 1/8"D x 6 1/4"H			UB	UB
PE.13a	1	Pitcher Rinser	Espresso Parts	EPPT724	24 x 7 x 7/8			UB	UB
SS.5a	1	5' Stainless Table	GSW	16 Gauge SS top and back splashes 4" sealed. Optional undershelf	60"W x 24"D x 35 1/2"H			TBD	TBD
SS.5b	1	5' Stainless Table	GSW	16 Gauge SS top and back splashes 4" sealed. Optional undershelf	60"W x 30"D x 35 1/2"H			TBD	TBD
SS.20a	1	3' Metro Shelf 5 Tier	METRO	5-Tier	36" x 14" x 73 1/2"			TBD	TBD
SS.20c	1	2' Metro Shelving	METRO	2-Tier	24" x 14"		chrome finish	UB	UB
SS.21a	1	4' Metro Shelf 5 Tier	METRO	5-Tier	48" x 14" x 73 1/2"			TBD	TBD
SS.31a	1	3' SS Shelving Solid	GSW	SS Shelving	12" x 36"			TBD	TBD
SS.32a	3	4' SS Shelving Solid	GSW	SS Shelving	12 x 48			TBD	TBD
SS.33a	2	5' SS Shelving Solid	GSW	SS Shelving	12" x 60"			TBD	TBD
SS.40	1	Wire Wall Shelf	EAGLE	SNSW1248V-X, Gray Epoxy	48" x 12"			UB	UB
SS.80	1	Stainless Steel Legs 12"	Manitowoc	K00144	12"		substitute legs for ice machine	Client	Client
SS.91	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD			UB	UB
SS.92	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD			UB	UB
SS.93	1	Custom Counter	SEAPORT	SS Counter	TBD			UB	UB
SS.94	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD			UB	UB
SS.95	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD			UB	UB
SS.96	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD			UB	UB



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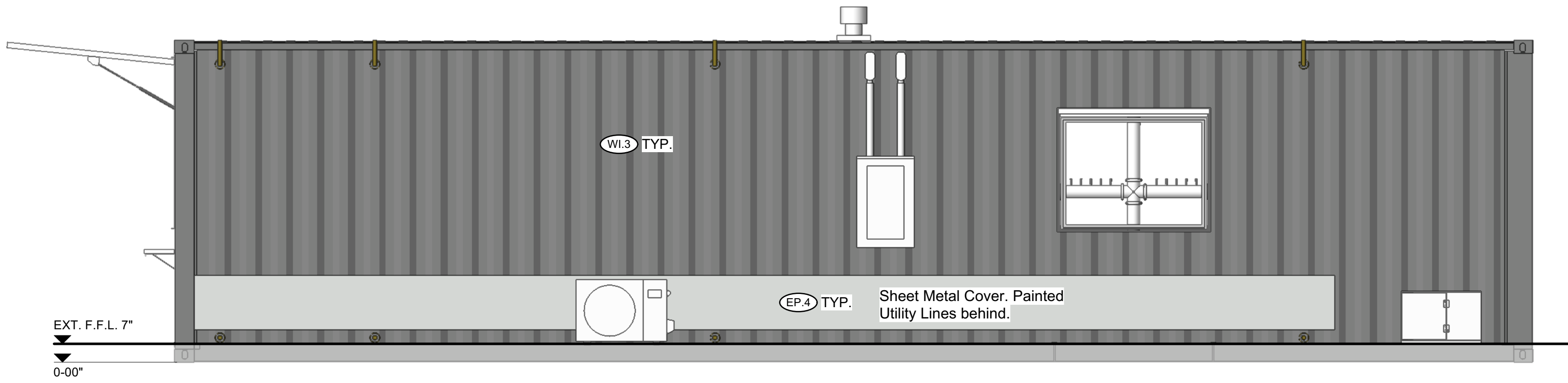


3 ROOF

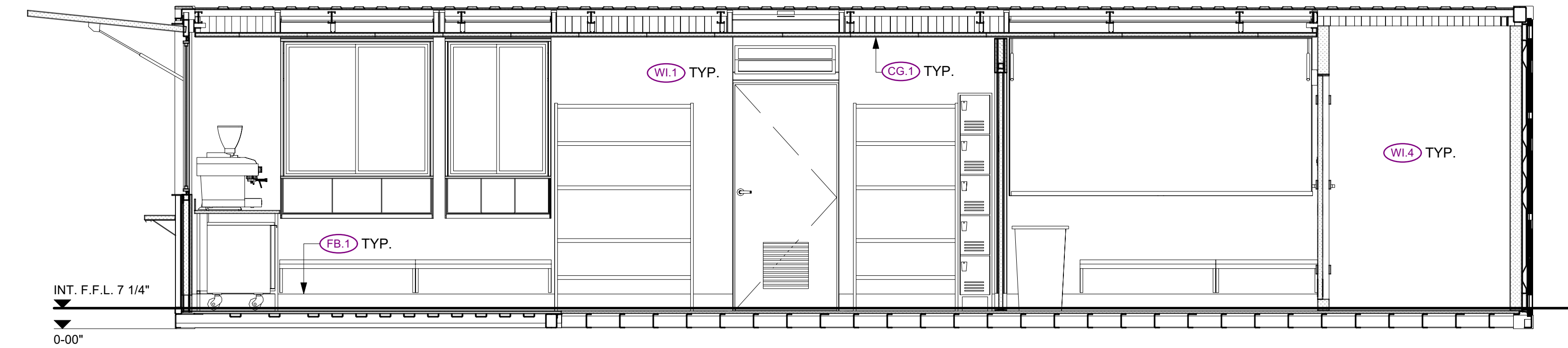
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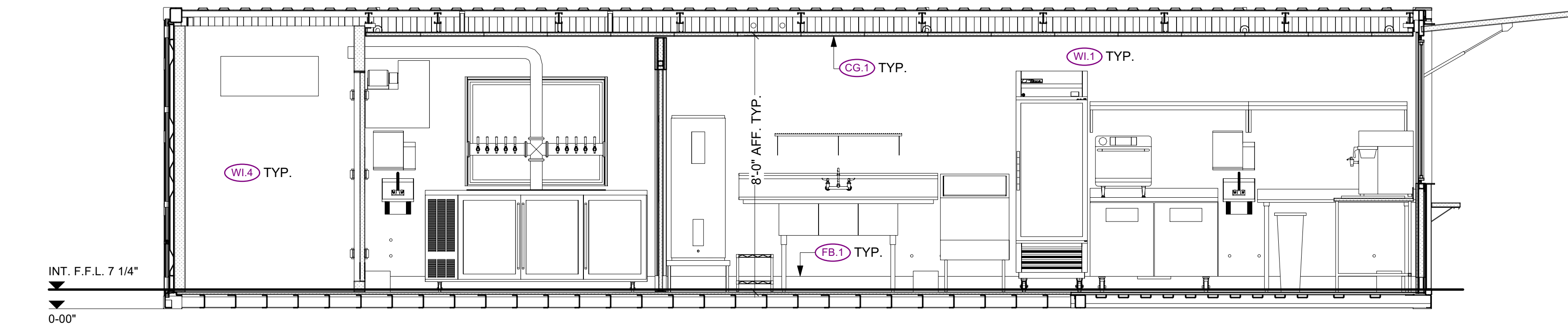
1 FRONT ELEVATION
Scale: 3/8" = 1'-0"



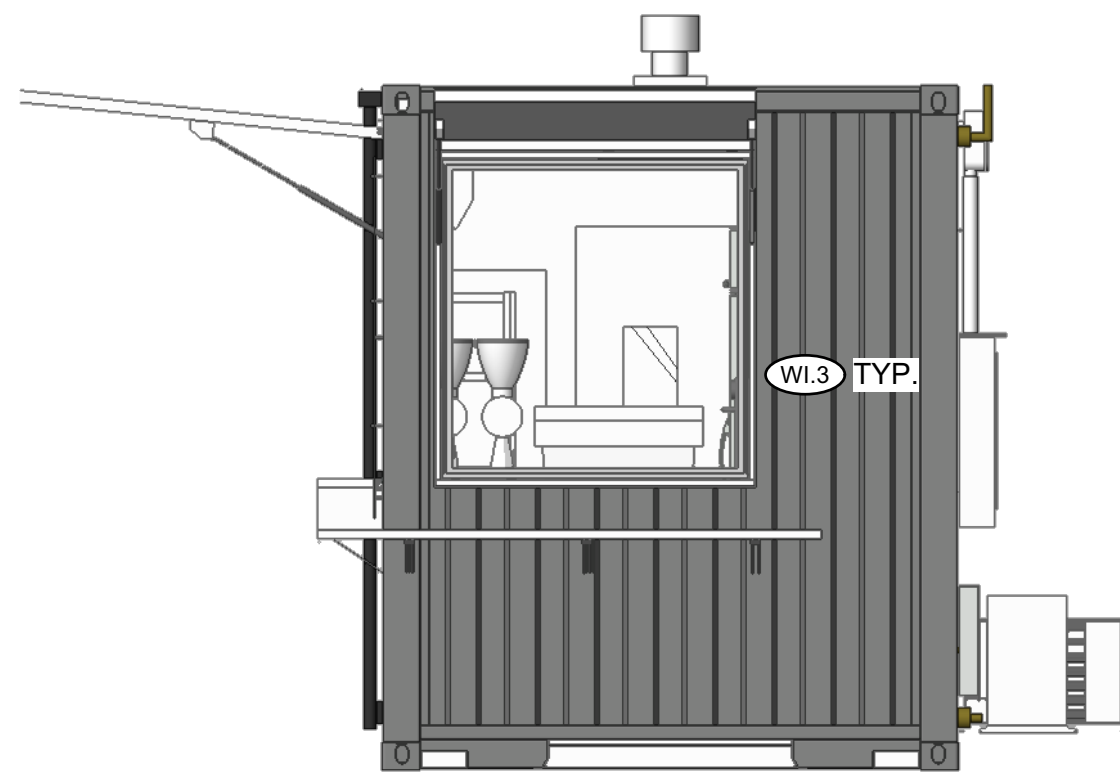
2 FRONT ELEVATION
Scale: 3/8" = 1'-0"



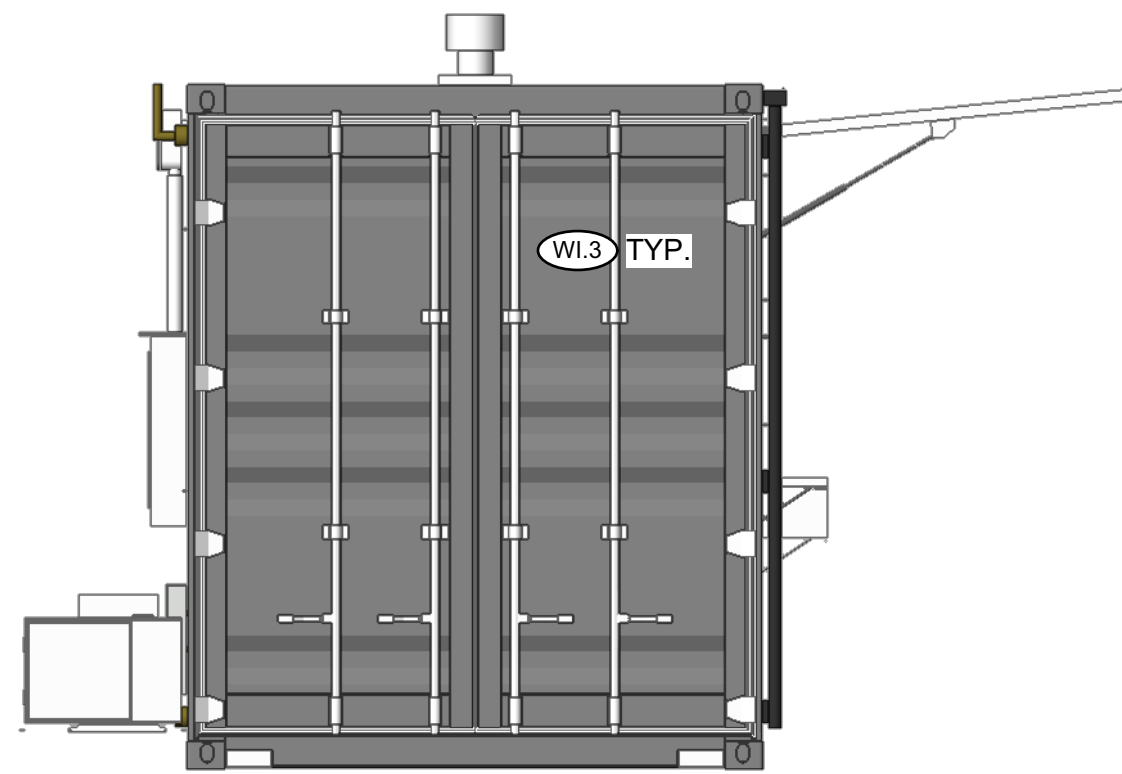
5 SECTION VIEW
Scale: 3/8" = 1'-0"



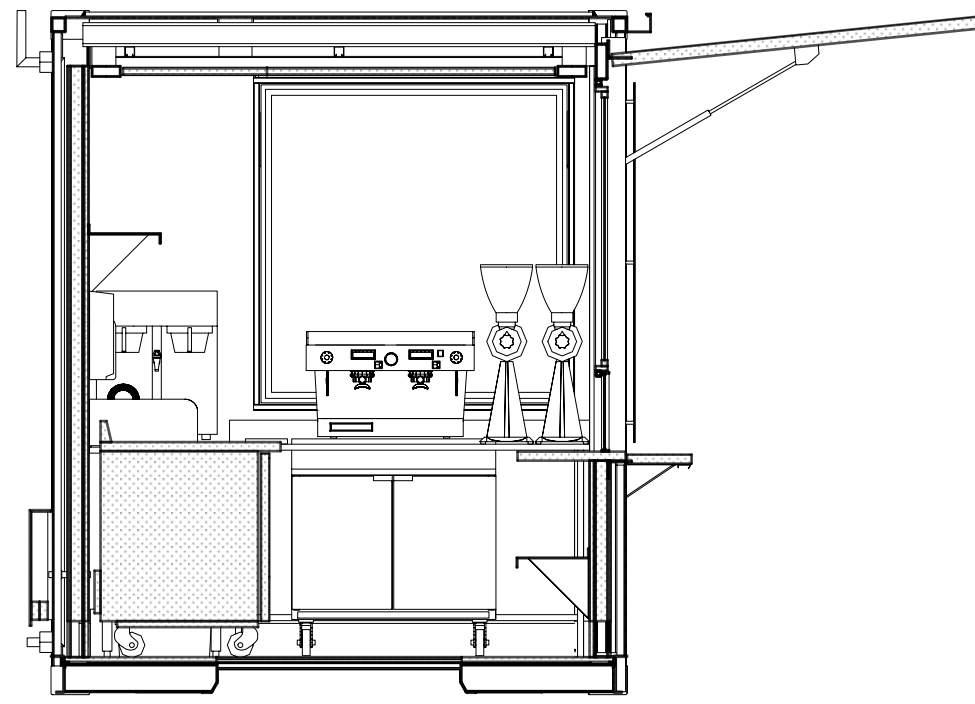
6 SECTION VIEW
Scale: 3/8" = 1'-0"



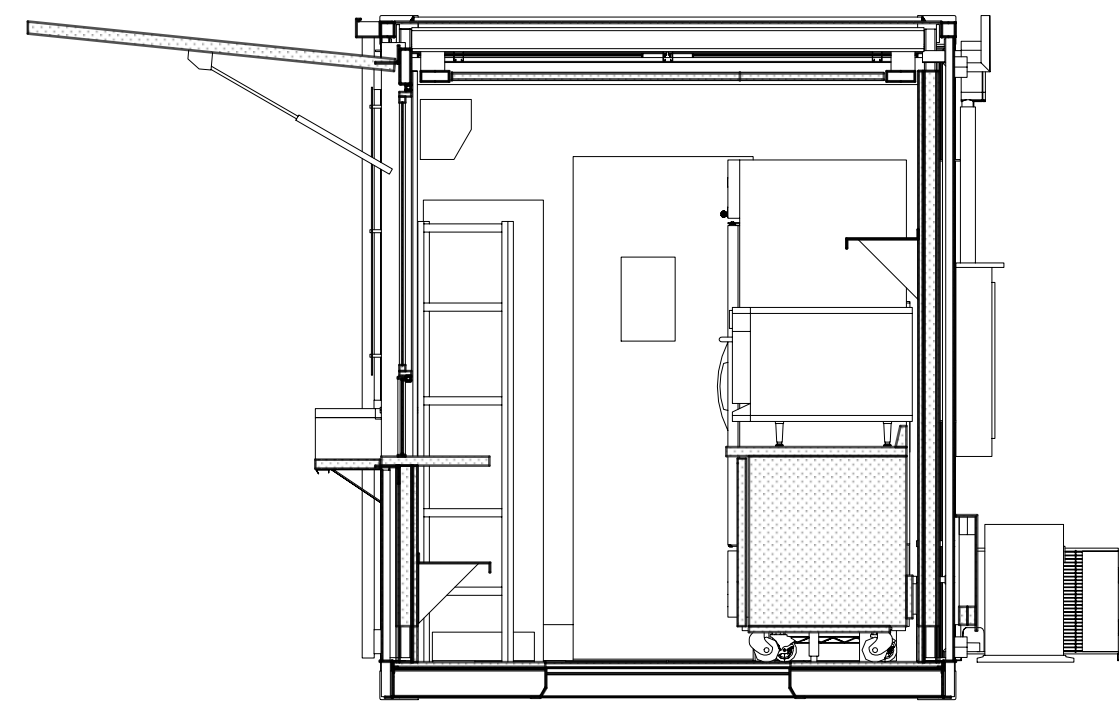
3 LEFT ELEVATION
Scale: 3/8" = 1'-0"



4 RIGHT ELEVATION
Scale: 3/8" = 1'-0"



7 SECTION VIEW
Scale: 3/8" = 1'-0"

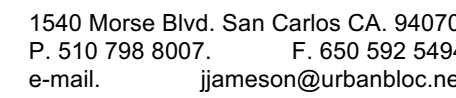


8 SECTION VIEW
Scale: 3/8" = 1'-0"

FINISH SCHEDULE			
#	QTY/ITEM	MFG. CAT. SPECIFICATION	REMARKS
WALL FINISHES			
WI.1	FRP	White Frp (fiberglass Reinforced Panel) Sequencia Or Eq. With integral silicone seals or mouldings @ All Joint, Corner, And Edge Conditions. Aluminum 1/2" Moulding At Bottom. Class C Rated.	
WI.3	EXTERIOR PAINT	Direct to metal Paint Color	Sherwin-Williams SW7674 Peppercorn
WI.4	GALV. WALLPANELS	WALK IN COOLER MANUFACTURER	26GA. Stucco Galv. Steel Panels NSF Approved W/ Cam Lock Fasteners & Silicone sealant @ all joints. TYP.
FLOOR FINISHES			
FF.1	EPOXY FLOOR COATING	General Polymer 3744 High Performance Cr Epoxy. Epoxy Applied As 10 Mil. Slurry. Light Grey. OR APPROVED EQUAL.	Comply W/ Env. CA. Retail food Code. Flooring to be smooth finish under sinks, counters and racks.
FF.3	WALK IN COOLER	STAINLESS STEEL FLOOR	NSF Compliant W/ 3/8" Integral Radius at Floor/ Wall Junction 22GA. Stainless Floor Smooth.
FB.1	COVE BASE BOARD	EPOXY TO MATCH	Provide 6" integral base W/ 1/2" min radiused cove.
CEILING FINISHES			
CG.1	GYPSUM LAY IN	Gold Bond 2x4, 2x2 Gridstone(Laminated vinyl Food Grade) 9/16". White Smooth ALU. Trim & Hangers.	All trim pieces, factory painted. cleanable.
CG.2	ACOUSTIC LAY IN	Armstrong 2x4, 2x2 KITCHEN ZONE(Food Grade) 9/16". White Smooth ALU. Trim & Hangers.	All trim pieces, factory painted. cleanable.
EXTERIOR CLADDING			
EP-2	Wood Panels	3/4" Wd. Boards	
EP-4	BLACKENED METAL PLATE	1/8" Mil Plate. Sealed.	Include all support frames, Trim Etc.



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IUS - BERVERAGE
kwy, Alameda, CA 94502

SUBMITTALS	
ISSUE 90% CLIENT	05.05.20

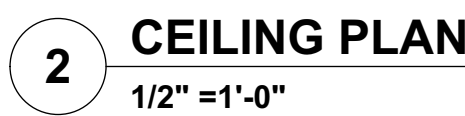
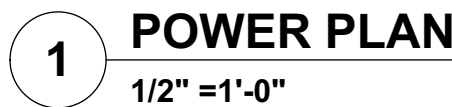
DRAWING TITLE

UB#

SHEET NUMBER

E.1

PAGES @ 24"X36"



EQUIPMENT LIST																				
										ELECTRICAL					PLUMBING					
UID	#	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (WxDxH)	COMMENTS	FURNISH	INSTALL	VOLTAGE	PHASE	AMPS	PLUG	HT.AFF	WIRE	DRN. (D/I)	HOT	COLD	GAS	COMMENTS
1	E.91g	1	Coffee Grinder	Cimballi	7/SA	10"W x 19"D x 25"H		Client	Client	208-240	1	1.36	5-15	18"	12/2					
2	E.91g	1	Coffee Grinder	Cimballi	7/SA	10"W x 19"D x 25"H		Client	Client	208-240	1	1.36	5-15	18"	12/2					
3	PE.1a	1	Espresso Machine	LA MARZOCCO	Linea Classic: 2 Group	28"W x 21"D x 22"H		Client	Client	208-240	3	22	6-20	18"	10/3	Indirect		3/4"		
4	E.5a1	1	Refrigerator: Worktop	BEVERAGE-AIR	WTR34HC	34" x 24 5/8" x 36 1/8"		Client	Client	115	1	2	5-15	18"	12/2					
5	PE.11d	1	Coffee Brewer	CURTIS	G4PT1T10A3100	20 1/3 x 20 6/3 x 24 7/5		Client	Client	220	3	23-34.5	HW	44"	8/3			3/4"		
6	E.5d	1	Refrigerator: Worktop	TRUE	TWT-48-HC	48-3/8" x 30-1/8" x 33-3/8"		Client	Client	115	1	3	5-15	18"	12/2					
7	E.50g	1	Ventless Oven	Turbo Chef	BULLET	21.17" x 29.98" x 23"		Client	Client	208/240	1	30	6-30	44"	10/3					
8	E.1c2	1	Single Door Refrigerators	TRUE	T-2/3G-HC	27"W x 29 7/8"D x 78 3/8"H		Client	Client	115	1	2.2	5-15	18"	12/2					
9	PE.31e1	1	Ice Machine	Manitowoc	UDF-0190A	26 x 28 x 38.5	substitute legs for 12" (SS.80)	Client	Client	115	1	6	5-15	18"	12/2	Indirect		3/8"		
10	PE.21g	1	Perlick Back Bar Refrigerator	Perlick	BBS84	84" x 24.75" x 24.565"		Client	Client	120	1	6.3	5-15	18"	12/2	Indirect				
11	PE.20b	1	Beer Tower w/ drip tray	Perlick	CM1801924 / C18663	52.38" x 15.5"										Indirect				
13	E.6c	1	36" Air Curtain	Curtron	AP-2-36-SS	36" x 10" x 12"		UB	UB	120	1	4.17	5-15	RW	12/2					
14	E.6	1	Custom Walk-in Cooler	RUDY'S	8'-6" High Mtl Clad Wood Pnls	TBD	Custom Manufactured	UB	UB			TBD				Indirect				
15	E.6b	1	Walk-in Cooler Condering Unit	HEATCRAFT	MOH010X62CFM	17 1/4 x 28 1/4 x 23 3/4	Connections made on site	UB	UB	208-230	1	7	5-15	TBD	12/3					
16	UE.21	1	Beer Chiller System	Perlick	4410	24.25 x 17.25 x 25.5		Client	Client	120	1	17.5	HW		12/2					
17	AC.7	1	Ductless System	Carrier	40MBCQ18---3	22.44" x 22.44" x 10.24"		UB	UB	208/230	1	0.2	HW	Ceil	12/3	Indirect				
18	AC.8	1	Outdoor Condenser	Carrier	38MAQB18R--3	35.04" x 13.46" x 29.13"		Client	Client	208/230	1	16	HW		12/3	Indirect				
19	MF-9a	1	Roof Vent	Aura Attic Fan	AF-6-C4-CMF	12" x 12" x 12"	CFM 120	UB	UB	115	1	0.9	HW	Ceil	12/2					
20	UE.3c	1	Water Heater	AO Smith	DEN-52, 50g. 8KW 4000/4000	20 1/2"Ø x 54 7/8"H	Connections made on site	UB	UB	208	3	33.3	HW	18"	8/3	Indirect				
21	UE.20	1	Electrical Panel	SIEMENS	200A	TBD		UB	UB			200								

E-INFRASTRUCTURE						
UID#	ID.	FIXTURE TYPE	HT. FFL	REMARKS	WIRE	
20	D1	Data	24"	REGULAR	12/2	
21	D1	Data	24"	REGULAR	12/2	
22	D1	Data	24"	REGULAR	12/2	
25	POS1	POS	24"	REGULAR	12/2	
26	POS1	POS	24"	REGULAR	12/2	
27	POS1	POS	24"	REGULAR	12/2	
29	ROUTER	Router	Cell	Above Raceway	12/2	
30	Conv	Convenience	44"	REGULAR	12/2	
31	Conv	Convenience	44"	REGULAR	12/2	
32	Conv	Convenience	44"	REGULAR	12/2	
33	Conv	Convenience	44"	REGULAR	12/2	
34	Conv	Convenience	44"	REGULAR	12/2	
35	Conv	Convenience	44"	REGULAR	12/2	
40	E. Conv	Ext. Convenience	18"	REGULAR	12/2	
41	E. Conv	Ext. Convenience	18"	REGULAR	12/2	
45	CL-1	2X2 Fixture	Ceil	Lay In Fixt.	12/2	
46	CL-1	2X2 Fixture	Ceil	Lay In Fixt.	12/2	
47	CL-1	2X2 Fixture	Ceil	Lay In Fixt.	12/2	
48	CL-1	2X2 Fixture	Ceil	Lay In Fixt.	12/2	
49	CL-1	2X2 Fixture	Ceil	Lay In Fixt.	12/2	
50	E	Exit/Emergency Lighting	Ceil		12/2	
51	SD	Smoke Detector	Ceil	Addressable	12/2	
52	SD	Smoke Detector	Ceil	Addressable	12/2	
55	L1	Exterior Sconce	84"		12/2	
60	Switch	Switch	44"	45,46,47,48,49	12/2	
61	Switch	Switch	44"	55	12/2	

(E)PANEL				VOLTAGE:		208Y/120V		WIRE:		3		COUNTING:		SURFACE		NOTES:	
The Radius				BUS RATING:		200A		PHASE:		3		A/C RATING:		10K			
Beverage Unit				MAIN REQUIREMENT:		200A MLO		TYPE:		N-3R		CONDITION:		NEW			
CKT#	NOTES	LOAD	CB	LOAD DESCRIPTION		LOAD KVA	PHASE	LOAD KVA	LOAD DESCRIPTION		CB	LOAD	NOTES	CKT#			
		P	T								P	T					
1		K	1	20	E.91g	0.48	A	1.47					K	2			
3		K	1	20	E.91g	0.48	B	1.47	PE 1a		3	30	K	4			
5		K	1	20	E.5a1	0.24	C	1.47					K	6			
7		K	1	20	E.5d	0.26	A	2.33					K	8			
9		K	1	20	E.1c2	0.36	B	2.33	PE.11d		3	40	K	10			
11		K	1	20	PE.31e1	0.72	C	2.33					K	12			
13		K	1	20	E.21g	0.76	A	2.00					K	14			
15		K	1	20	E.6c	0.50	B	2.00	E.50g		3	30	K	16			
17		D	1	20	E.6 walk-in cooler	1.68	C	2.00					K	18			
19		D	1	20	UE.21	1.88	A	2.22					D	20			
21		D	1	20	AC	1.92	B	2.22	UPE.3c		3	40	D	22			
23		D	1	20		1.92	C	2.22					D	24			
25		D	1	20	POSITION 20.21.22	0.54	A	0.14	MF-9a		1	20	D	26			
27		D	1	20	POSITION 25.26.27	0.54	B	0.36	CONV. 30.31		1	20	G	28			
29		G	1	20	CONV. 32.33	0.36	C	0.36	CONV. 34, 35		1	20	G	30			
31		C	1	20	LIGHTING - GENERAL	0.54	A	0.36	CONV. 30.31		1	20	G	32			
33							B							34			
35							C							36			
37							A							38			
39							B							40			
41							C							42			
CONNECTED LOAD:						DEMAND LOAD CALCULATION											
PHASE A						DEMAND LOAD		SUBTOTAL		NEC DEMAND FACTOR							
13.08 KVA						0.54		125%						0.68			
PHASE B						12.08 KVA		15.28		100%				15.28			
PHASE C						13.30 KVA		1.44		100% of 1st 10KVA & 50% of remaining				1.44			
TOTAL						38.46 KVA		21.20		65%				13.78			
						INTERMITTENT EQUIPMENT (K)		0.00		125% of largest motor & 100% of remaining				0.00			
						MECHANICAL EQUIPMENT (M)		0.00						0.00			
NOTES:						TOTAL DEMAND KVA						31.17					
HL=PADLOCKABLE HANDLE & LOCK-OFF						AMPS @ 208Y/120V, 3 PHASE, 4 WIRE:						86.53					

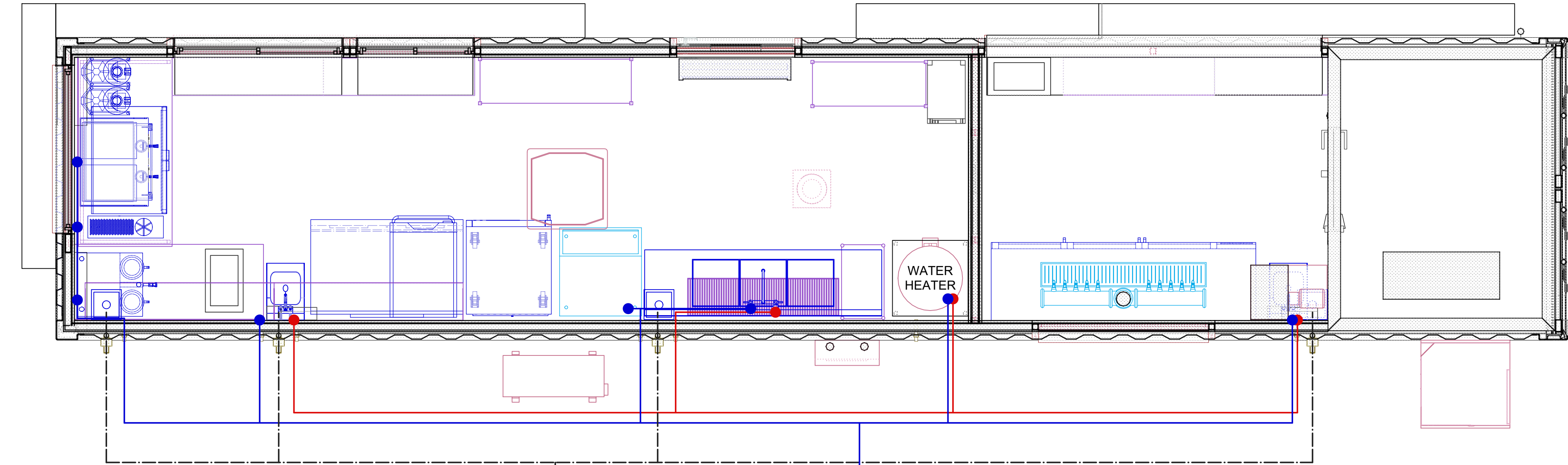


1

PLUMBING & VENTILATION PLAN

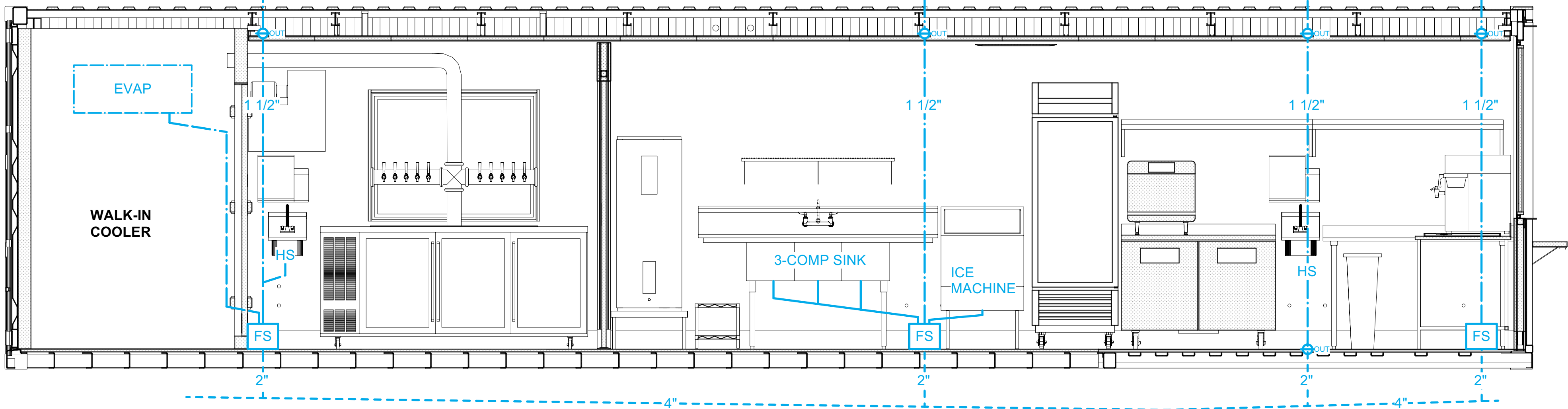
1/2" = 1'-0"

LOCATION OF LATERAL SEWER
LINE TO DETERMINED BY SITE BY
ENGINEER/CONTRACTOR



CONNECTION TO
WASTE WATER/
SEWER UNDER
SEPERATE PERMIT

CONNECTION TO
DOMESTIC COLD
WATER UNDER
SEPERATE PERMIT



EXTERIOR LATERAL LINES UNDER SEPERATE PERMIT

2

PLUMBING RISE DIAGRAM

1/2" = 1'-0"

PLUMBING, STAINLESS & FIXTURES										
#	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (W X D x h)	PLUMBING				
						COMMENTS	FURNISH	INSTALL	COLD	HOT
FX.3	2	Soap Dispenser	SAN JAMAR	Model: SH900TBK	5.5" x 4" x 12"		UB	UB		
FX.4	2	Paper Towel Dispenser	SAN JAMAR	Model: T1900XC	11 3/8" x 4" x 14 3/4"		UB	UB		
FX.5	2	Trash Can	SLIM JIM	23 gallon	15.8" x 22" x 30"		Client	Client		
FX.11b	1	Locker	GSW	ELS-SDR	12" x 16" x 77"		TBD	TBD		
P.1a1	1	3-Comp Sink Faucet	T&S	5F-9WLX10		3-Comp Sink	UB	UB		
P.1b	1	3-Comp Sink w/ splash guards	GSW	SE15153D	75 1/4" x 21" x 45"		UB	UB		
P.5a	2	Drop-in Hand Sink w/ splash guards	KROWNE	HS-1225	12" x 18" x 15 1/2"	5" bowl	UB	UB		
P.14	3	Floor Sink	WATTS	FS-710 Sanitary Floor Sink	8 1/8"W x 8 1/8"D x 6 1/4"H		UB	UB		
PE.13a	1	Pitcher Rinser	Espresso Parts	EPPR724	24 x 7 x 7/8		UB	UB		
SS.5a	1	5' Stainless Table	GSW	16 Gauge SS top and back splashes 4" sealed. Optional undershelf	60"W x 24"D x 35 1/2"H		TBD	TBD		
SS.5b	1	5' Stainless Table	GSW	16 Gauge SS top and back splashes 4" sealed. Optional undershelf	60"W x 30"D x 35 1/2"H		TBD	TBD		
SS.20a	1	3' Metro Shelf 5 Tier	METRO	5-Tier	36" x 14" x 73 1/2"		TBD	TBD		
SS.20c	1	2' Metro Shelving	METRO	2-Tier	24" x 14"	chrome finish	UB	UB		
SS.21a	1	4' Metro Shelf 5 Tier	METRO	5-Tier	48" x 14" x 73 1/2"		TBD	TBD		
SS.31a	1	3' SS Shelving Solid	GSW	SS Shelving	12" x 36"		TBD	TBD		
SS.32a	3	4' SS Shelving Solid	GSW	SS Shelving	12 x 48		TBD	TBD		
SS.33a	2	5' SS Shelving Solid	GSW	SS Shelving	12" x 60"		TBD	TBD		
SS.40	1	Wire Wall Shelf	EAGLE	SNSW1248V-X, Gray Epoxy	48" x 12"		UB	UB		
SS.80	1	Stainless Steel Legs 12"	Manitowoc	K00144	12"	substitute legs for ice machine	Client	Client		
SS.91	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD		UB	UB		
SS.92	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD		UB	UB		
SS.93	1	Custom Counter	SEAPORT	SS Counter	TBD		UB	UB		
SS.94	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD		UB	UB		
SS.95	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD		UB	UB		
SS.96	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD		UB	UB		

WATER SUPPLY						
#	QTY	ITEM	WSFU			
			COLD	HOT	WATER DEMAND	LINE SIZE
						LATERAL BRANCH
P.5a	2	Hand Sink	2	2	3	3/4"(H&C) 1/2"
P.1a1	1	3-Com Sink	2	2	3	3/4"(H&C) 1/2"
P.31e1	1	Ice Machine	0.5	-	0.75	1/4"(C) 1/2"
PE.11d	1	Coffee Brewer	0.5	-	0.75	1/4"(C) 1/2"
PE.1a	1	Espresso	0.5	-	0.75	1/4"(C) 1/2"
			5.5	5	8.25	3/4" 1/2"
MINIMUM PRESSURE DEMAND FOR ALL FIXTURES=15PSI.						
HOT & COLD COMBINED DEMAND .75 OF TOTAL VALUE						
STATIC PRESSURE LOSS = -10.43x5=-2.15 (Highest fixture below supply)						
FRICTION LOSS / 100ft (4.1/1)=12. Per 50'=6PSI.						
TOTAL PRESSURE LOSS= 6+2.15=3.85PSI.						
MAX. PIPE LENGTH TO FARTHEST FIXTURE= 30'-0						
ALLOWANCE FOR FITTINGS= 1.5						
DEVELOPED LENGTH = 45'-0", say 60'-0"						
PER CPC 2019 Table 610.4 46-60PSI Range 31 WSFU Allowed.						

DRAINAGE TABLE						
#	QTY	ITEM	FIX. UNITS (DFU)	LINE SIZE		
				Horiz.	Vert.	TOT
P.5a	2	Hand Sink	2	2	2	1 1/2"
P.1b	1	3-Com Sink	3	3	3	2'0"
P.14	3	Floor Sink	3	2	2	1 1/2"
				TOTAL DFU's		
						8
Per CPC Table 703.2, 3" Horiz/ Vert Piping required/ Provided.						
Per CPC Table 703.2, 1 1/2" vent Piping required/ Provided. 2" for toilet						

Note: As Defined By CPC 2019 905.3 Structural Conditions Do Not Allow For Vent Fittings Less Than 6" Above The Flood-level Rim Of Certain Assemblies To Be Drainage Type.

These Conditions Have Been Reviewed And Approved As Alternate Means And Methods As allowed by CPC 1.8.7 And Included In Approved Drawing Set I-581-1007 Approved By HCD.11.15.2020

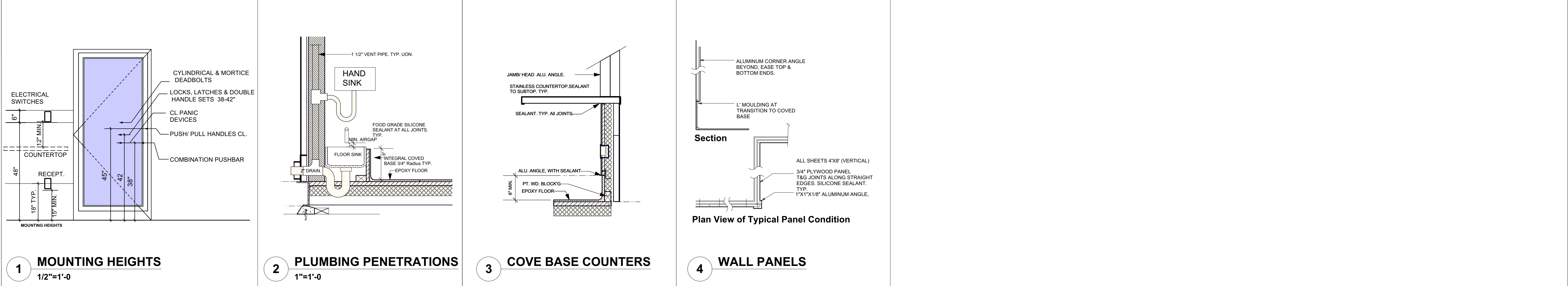
HEAT GAINS & COOLING LOADS					
ASHRAE Fundamentals Handbook 2017. (SI). CH. 29.					
HEAT GAIN FROM COMMERCIAL EQUIPMENT.					
#	QTY		Sensible (W)	Latent (W)	Total. (W)
E.5d	1	Worktop Refrigerator	390	0	390
PE.11d	1	Coffee Brewer	66	34	100
E.5a1	1	U/C Refrigerator	390	0	390
E.50g	1	Ventless Oven	1630	0	1630
E.1c	1	1-Door Refrigerator	690	0	690
PE.31e1	1	Ice Machine	1680	0	1680
HEAT GAIN FROM OCCUPANTS.					4880
	2	EMPLOYEES	800		1600
TOTALS		Assume 80% Efficiency factor			
		TOTAL (W)			5184
		Total BTU (3.409x W)			17672
INTERNAL COOLING PROVIDED					
Carrier Performance Series 40MBCQ Cassette					
Ductless Heating/Cooling Evaporator Ceiling Mounted. On Slab Condenser.					
As Per Manufacturers Specifications.					
AC.6	TOTAL. BTU COOLING		18,000 BTU.		
NATURAL VENTILATION (Unconditioned)					
Conditioned Floor (Area x 0.2) CFM		230x 0.2	46 CFM.	reqd.	
Door Louver. Supply.		(18x18")			
MF.9a	Mechanical Exhaust. Switched.		120CFM	prov.	


VENTILATION FAN SYSTEM									
UNIT #	MANUFACTURER	MODEL #	CFM	V	A	HP	So	Comments	
MF-9a	Aura Attic Fan	AF-6-C4-CMF	120		0.9				

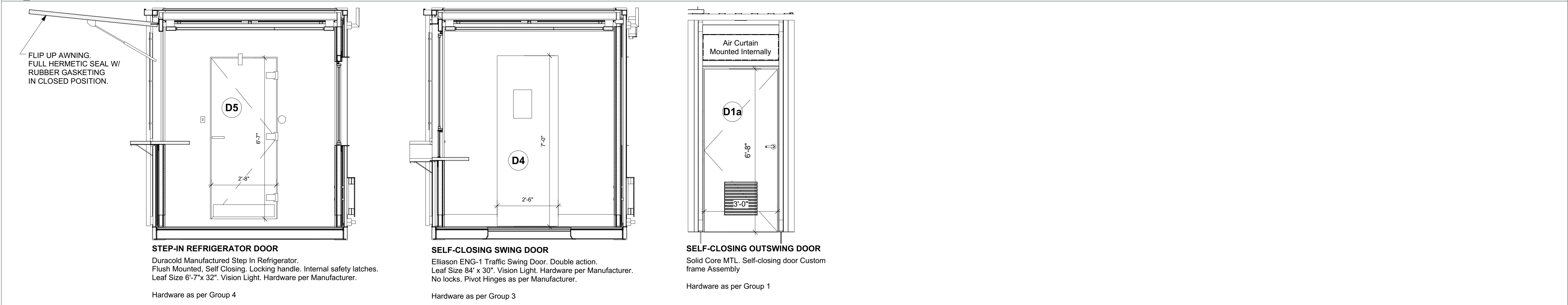
MINI SPLIT HEAT PUMP SYSTEM										
UID#	UNIT #	MANUFACTURER	MODEL #	SERVICE	RATED CAPACITY		EER	AIR CIRC.	AMPS	WEIGHT
					COOL	HEAT	(SEER)		V / PH / HZ	lb
17	AC.7	Carrier	40MBCQ18-3	18,000 BTU	5,600-17,000	8,700-21,000	12.5-19.6	290/350/420	208/230/1-60	39.68
18	AC.8	Carrier	38MAQB18R-3	18,000 BTU	5,600-17,000	8,700-21,000	25	1,765	208/230/1-60	100.97



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DOOR HARDWARE SCHEDULE				REMARKS A - EXIT DOORS ARE TO BE OPENABLE FROM INSIDE WITHOUT USE OF A KEY. SPECIAL KNOWLEDGE OR EFFORT. KEY LOCKING HARDWARE MAY BE USED ON THE MAIN EXIT WHEN THE MAIN EXIT DOOR HAS A DURABLE SIGN ON OR ADJACENT TO THE DOOR STATING: THIS DOOR MUST REMAIN UNLOCKED DURING BUSINESS HOURS. THE SIGN SHALL BE IN LETTERS NOT LESS THAN ONE INCH HIGH ON A CONTRASTING BACKGROUND. B - UNLATCHING FORCE, OR OPENING FORCE NOT TO EXCEED 5 POUNDS. (CALIFORNIA)  6"X8" MIN. SIGN SIZE INTERNATIONAL SYMBOL OF ACCESSIBILITY. WHITE FIGURE ON BLUE DECAL. PER CBC 1117B.5.8.1 NOTE: PLACE NEAR ACCESSIBLE BUILDING ENTRY
GROUP	DESCRIPTION	FINISH	MFR.	
1) SINGLE ENTRY DOOR (D1a)	TELSTAR PRO DOOR 30x68 INVISIBLE DEADBOLT, SOLID LIGHT GRAY, A40 GALVALUME STEEL	613	TELL MANUFACTURING	
	LOCK CYLINDER CY-1-184, GRADE 2 ENTRY LEVER	613	TELL MANUFACTURING	
	ENG 600 SERIES DOOR CLOSER	613	TELL MANUFACTURING	
	ADA COMPLIANT THRESHOLD INTEGRATIVE	613	TELL MANUFACTURING	
3) SWING DOOR (D4)	ELIASON BI-SWING DOOR W/ INTEGRAL PIVOT HINGES NO LOCKS OR LATCHES			
4) STEP-IN REFRIGERATOR (D5)	DURACOLD MANUFACTURED ENCLOSURE Flush Mounted, Self Closing. Locking handle. Internal safety latches. RUDY'S REFRIGERATION, NSF-APPROVED			
5) FOOD SVCE. WINDOW (W1)	ALUMINUM FRAME. 1/4" SLIDING ACRYLIC PANELS. SELF CLOSING SLIDING SERVICE WINDOW.ENV. HLTH COMPLIANT			
6) FIXED WINDOW (W2)	MILGUARD STANDARD ALUMINUM PICTURE WINDOW, 3/4" GLAZING, LOW E. ARGON			
7) OPERABLE WINDOW (W3)	MILGUARD STANDARD ALUMINUM. SLIDING WINDOW 3/4" INSULATED GLAZING, LOW E. ARGON			
DOOR SCHEDULES				



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DETAILS


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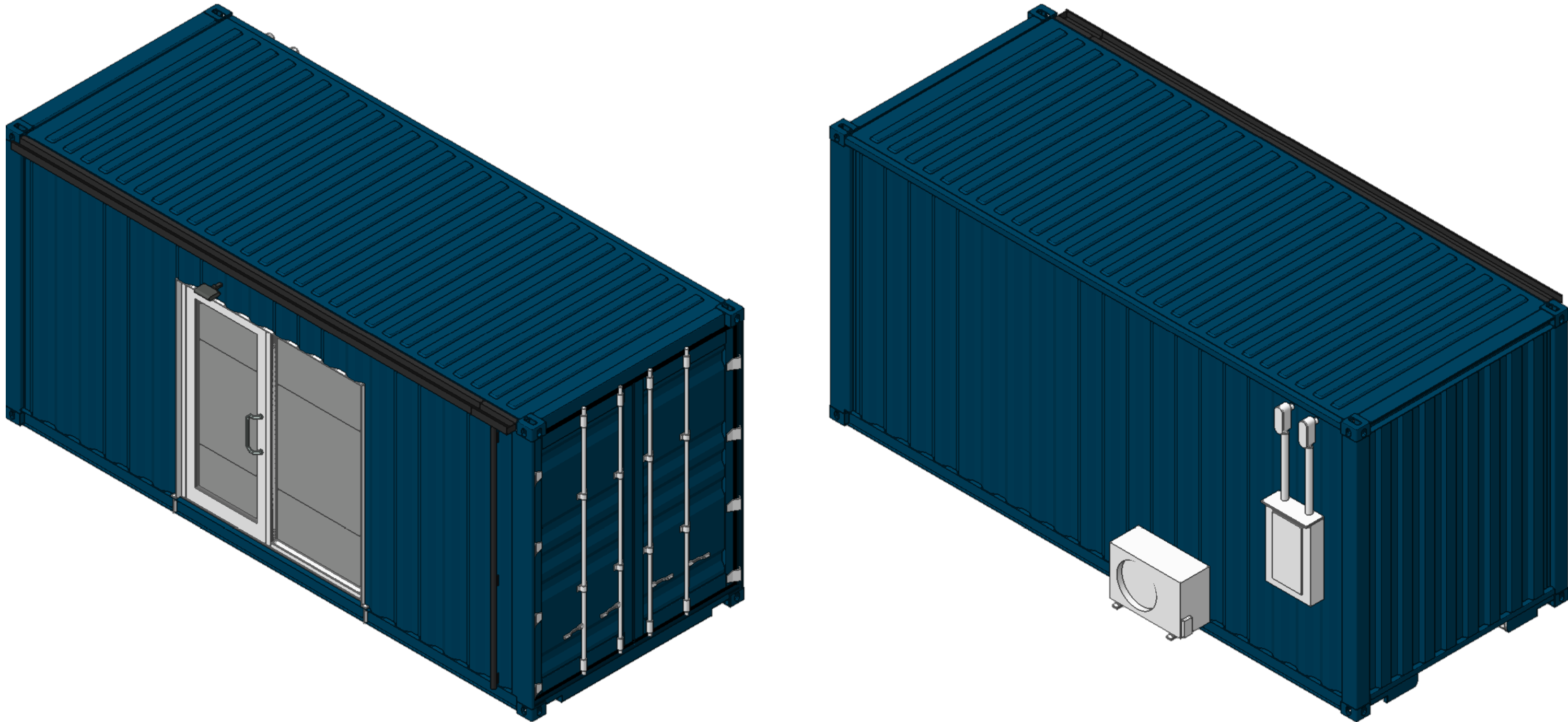


UNIT 3, OFFICE - THE RADIUS @ ALAMEDA. CA

<div>COMMERCIAL MODULAR UNIT</div> <div>AS DEFINED UNDER CALIFORNIA CODE OF REGULATIONS TITLE 25, DIV. 1 HOUSING AND COMMUNITY DEVELOPMENT</div> <div>MANUFACTURED BY URBAN BLOC INC. CA. #MF1265006</div> <div>NOTE: THIS UNIT IS REFERENCED TO CONSTRUCTION DRAWING SET I-581-1007 APPROVED BY HCD.04.12.2022</div>		 <div>N SITE LOCATION</div>	<div>ALL CONSTRUCTION, REGARDLESS OF DETAILS ON PLANS, SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF:</div> <div>Title 24, DIV. 1. California Code of Regulations (CCR) 2019.</div> <div>PART 1 - CALIFORNIA BUILDING STNDRDS. ADMINISTRATIVE CODE PART 2 - CALIFORNIA BUILDING CODE PART 3 - CALIFORNIA ELECTRICAL CODE PART 4 - CALIFORNIA MECHANICAL CODE PART 5 - CALIFORNIA PLUMBING CODE PART 6 - CALIFORNIA ENERGY CODE (2008) PART 9 - CALIFORNIA FIRE CODE PART 10 - CALIFORNIA EXISTING BUILDING CODE PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE PART 12 - CALIFORNIA REFERENCE STANDARDS CODE</div> <div>THE FOLLOWING SCOPE OF WORK TO BE SUBMITTED TO LOCAL JURISDICTIONS AS DESIGN-BUILD BY CONTRACTOR OR AS A DEFERRED SUBMITTAL:</div> <div>1. ELECTRICAL SUPPLY TO UNIT 2. LATERAL CONNECTIONS TO (E) SEWER. 3. STRUCTURAL FOUNDATIONS. 4. ENVIRONMENTAL HEALTH REVIEW (IF REQD) 5. SPRINKLER DESIGN AS DEFERRED SUBMITTAL</div> <div>BATHROOM FIXTURE COUNTS.</div> <div>"Minimum plumbing fixture calculations following 2019 California Plumbing Code are included in project's building permit application submitted to the City of Victorville for approval."</div>		<div>ARCHITECTURAL</div> <div>A0.1 PROJECT DATA A1.0 PLANS/ELECTRICAL A2.1 ELEVATIONS/ SECTIONS A5.1 DETAILS</div> <div>ALL WORK AND MATERIAL SHALL BE EXECUTED IN FULL ACCORDANCE WITH ALL APPLICABLE CODES. MANUFACTURER SHALL PROVIDE AND BE RESPONSIBLE FOR ALL COSTS FOR PUBLIC PROTECTION AS REQUIRED BY THE CONTRACT DOCUMENTS AND LOCAL GOVERNMENT AGENCIES. FIRE EXTINGUISHERS AND CABINETS AS REQUIRED BY LOCAL GOVERNMENT AGENCY SHALL BE PROVIDED AND INCLUDED IN CONTRACT. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS ON THE SITE ALL EXITS TO BE OPENABLE FROM INSIDE WITHOUT USE OF A KEY.</div>	<div>DESIGN. PERMITTING. FACTORY MANUFACTURING. TEAM LEAD</div> <div>URBAN BLOC INC. 1540 Morse Blvd. San Carlos CA. 94070.</div> <div>Project Manager, Jerry Jameson, CIO Urban Bloc Inc. 510 798 8007. jjameson@urbanbloc.net.</div> <div>ENGINEER OF RECORD STRUCTURAL ENGINEER R&S Tavares Associates, Inc 11777 Bernardo Plaza Court, San Diego, CA 92128 ph: 858-444-3344 x 1801</div> <div>MECHANICAL/ PLUMBING URBAN BLOC INC. 1540 Morse Blvd. San Carlos CA. 94070. 510 798 8007. jjameson@urbanbloc.net.</div> <div>MECHANICAL/ VENTILATION URBAN BLOC INC. 1540 Morse Blvd. San Carlos CA. 94070. 510 798 8007. jjameson@urbanbloc.net.8</div> <div>ELECTRICAL URBAN BLOC INC. 1540 Morse Blvd. San Carlos CA. 94070. 510 798 8007. jjameson@urbanbloc.net.</div> <div>T24 ENERGY COMPLIANCE WADE ENERGY 1942 Linda Drive Pleasant Hill CA 94523 510 383 5490</div> <div>APPROVED THIRD PARTY AGENCY RADCO 3220 E. 59th St. Long Beach, CA 90805 T: (562) 272-7231 Ex. 127 F: (562) 529-7513</div> <div>CONTROLLED INSPECTIONS RADCO 3220 E. 59th St. Long Beach, CA 90805 T: (562) 272-7231 Ex. 127 F: (562) 529-7513</div>
<div>DESIGNED AS A FREESTANDING MODULE</div> <div>Building environment, Utilities and systems Under seperate Local permit, (Where noted for reference only.)</div> <div>FOUNDATIONS BY OTHERS.</div> <div>CONSTRUCTION TYPE (As per 2019 CBC. CH 6. Table 601)</div> <div>TYPE IIb. NO FIRE RATED WALLS, FLOORS OR CEILINGS REQUIRED NO SPRINKLERS REQUIRED (CFC. 903.2.1.2) <5000SF, < 100 OCC.</div> <div>OCCUPANCY SEPERATION (As per 2019 CBC. CH 3. Table 508.4) Note: Per Cbc 303.1.1 Small Assembly Spaces. A-2 Occupant Load < 50 is regarded as a B Occupancy.</div> <div>UNIT# MODEL / SERIAL USE ADJACENT SF./ OCC. FIRE. NOTES</div> <div>1 OFFICE MOD. UB40-AF 181215AL_XXXX B Module 129sq Office / Retail</div>			<div>GENERAL NOTES</div>			
PROJECT DATA		LOCATION	JURISDICTION	GENERAL NOTES	DRAWING LIST	
					PROJECT TEAM	



SITE PLAN (SEE SITE ARCHITECTURE DRAWINGS)



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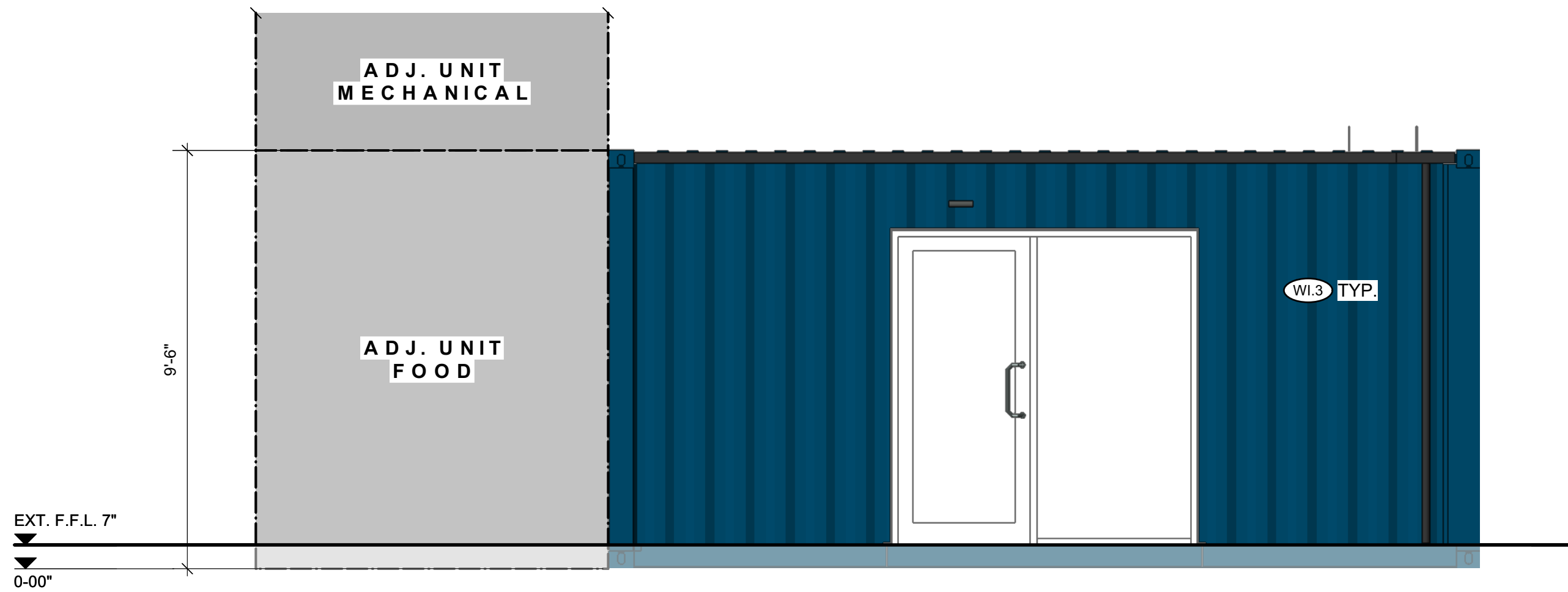
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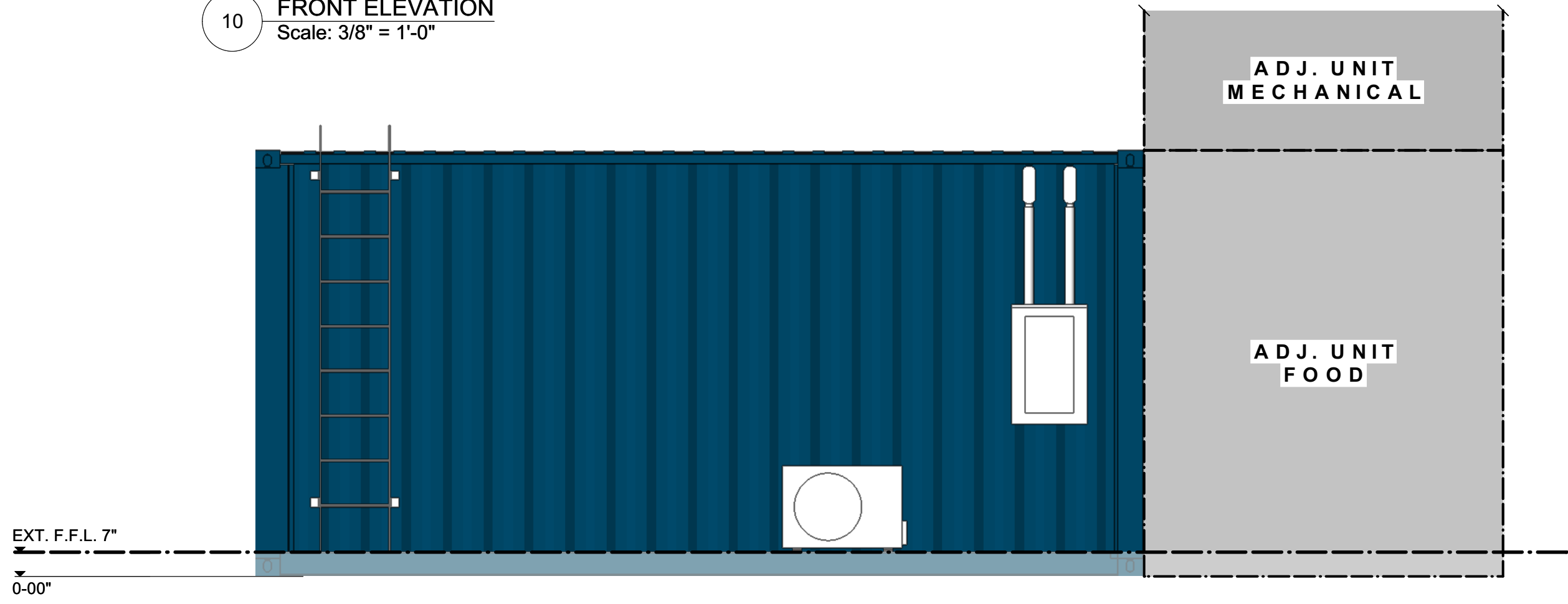
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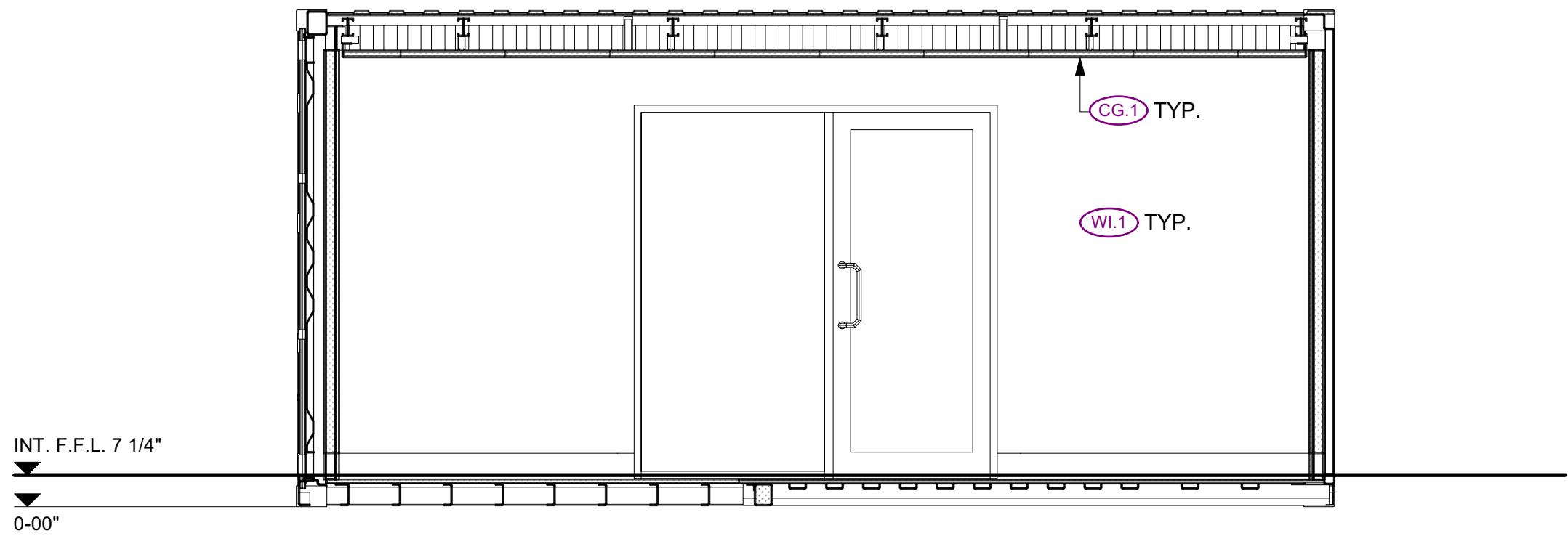
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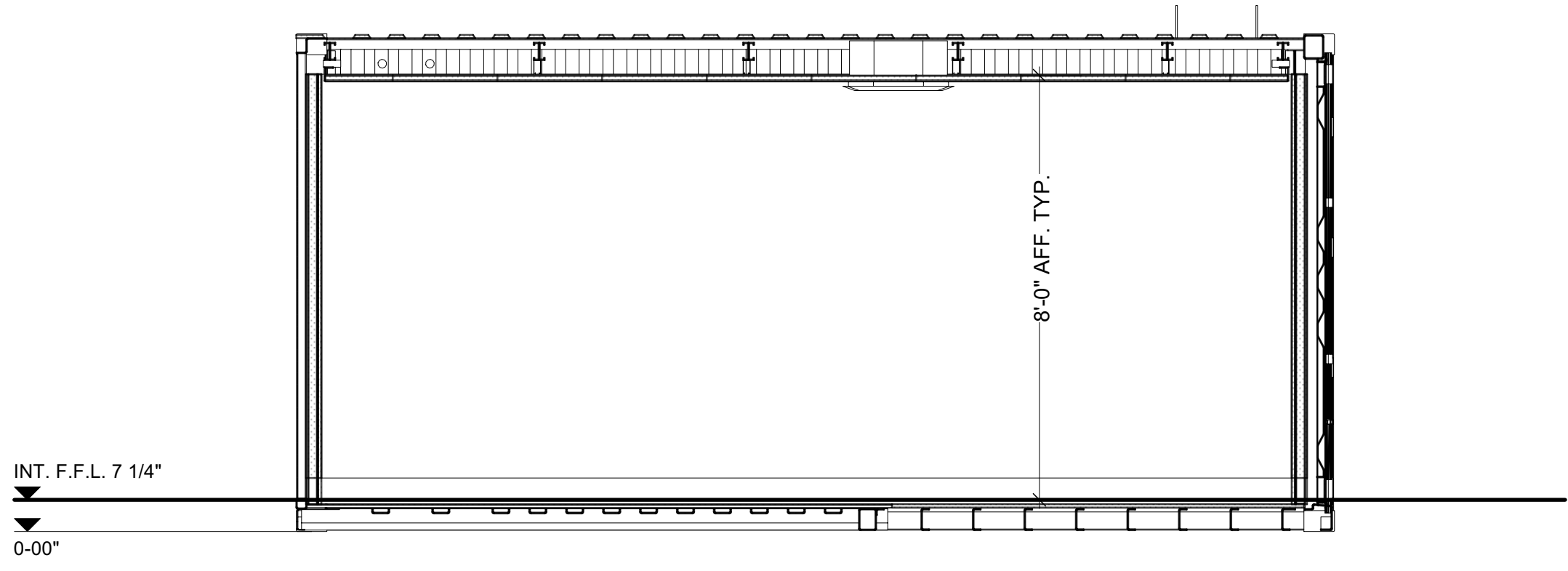
10 FRONT ELEVATION
Scale: 3/8" = 1'-0"



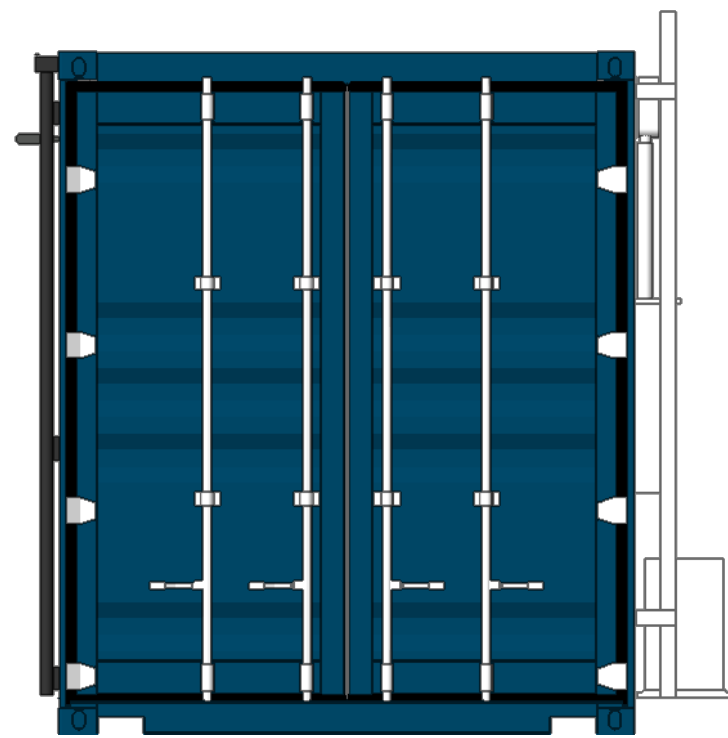
13 BACK ELEVATION
Scale: 3/8" = 1'-0"



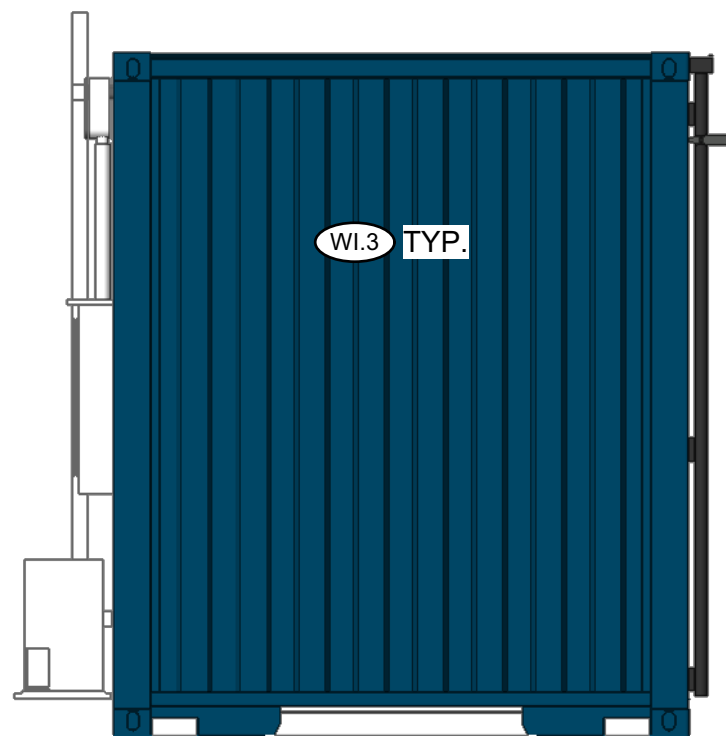
6 INTERIOR SECTION
Scale: 3/8" = 1'-0"



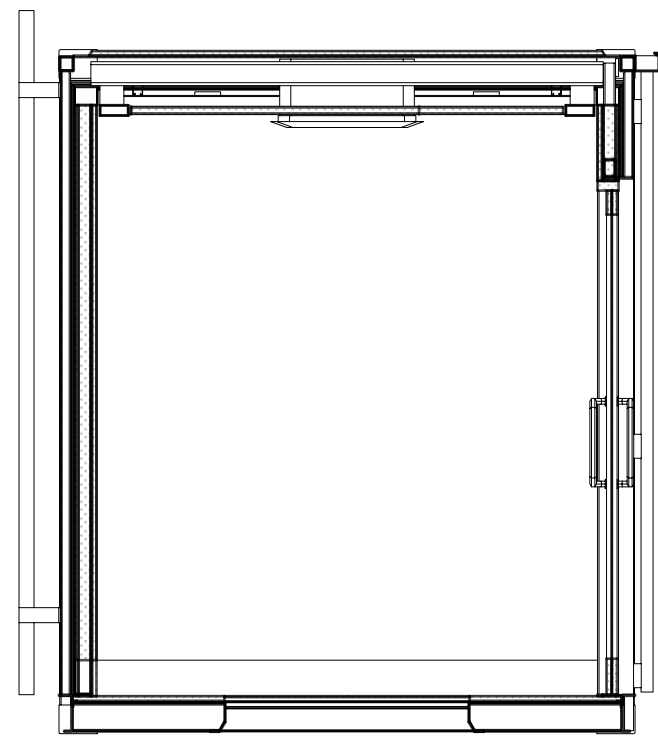
5 INTERIOR SECTION
Scale: 3/8" = 1'-0"



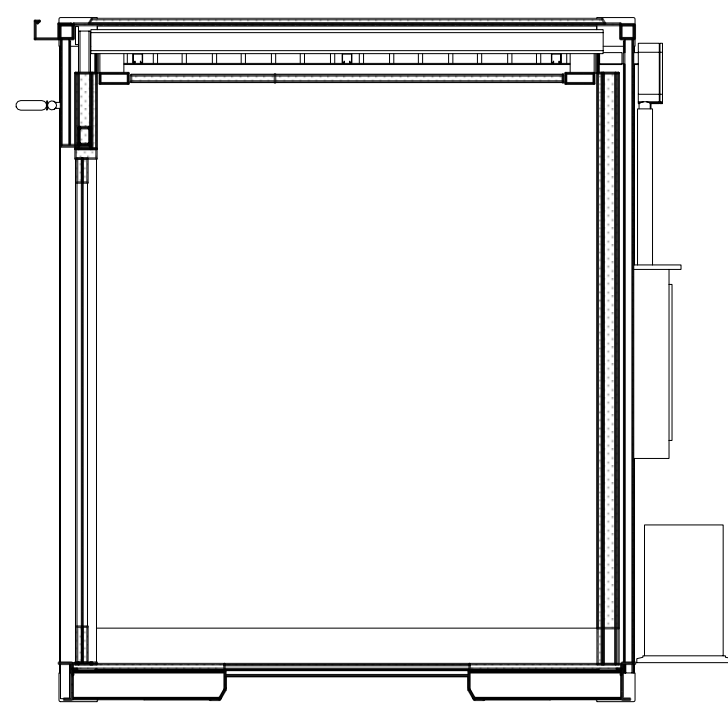
12 RIGHT ELEVATION
Scale: 3/8" = 1'-0"



11 LEFT ELEVATION
Scale: 3/8" = 1'-0"



7 INTERIOR SECTION
Scale: 3/8" = 1'-0"



8 INTERIOR SECTION
Scale: 3/8" = 1'-0"

FINISH SCHEDULE					
#	QTY ITEM	MFG. CAT. SPECIFICATION	REMARKS	COST	link
WALL FINISHES					
WL.1	FRP	White Frp (fiberglass Reinforced Panel) Sequencia Or Eq., With integral silicone seals or mouldings @ All Joint, Corner, And Edge Conditions. Aluminum "h" Moulding At Bottom. Class C Rated.			http://www.webstaurantstore.com
WL.3	EXTERIOR PAINT	Direct to metal Paint Color	Sherwin-Williams SW6804 Dignity Blue		
FLOOR FINISHES					
FB.2	LVT				
CEILING FINISHES					
CG.1	GYPSUM LAY IN	Gold Bond 2x4, 2x2 Gridstone(Laminated vinyl Food Grade) 9/16". White Smooth ALU. Trim & Hangers.	All trim pieces, factory painted. cleanable.		

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AS DEFINED UNDER CALIFORNIA CODE OF REGULATIONS TITLE 25, DIV. 1 HOUSING AND COMMUNITY DEVELOPMENT
MANUFACTURED BY URBAN BLOC INC. CA. #MF1265006

DESIGNED AS A FREESTANDING MODULE

FOUNDATIONS BY OTHERS.

CONSTRUCTION TYPE (As per 2019 CBC. CH 6. Table 601)						
TYPE IIB.		NO FIRE RATED WALLS, FLOORS OR CEILINGS REQUIRED NO SPRINKLERS REQUIRED (CFC. 903.2.1.2) <5000SF < 100 OCC.				
OCCUPANCY SEPARATION (As per 2019 CBC. CH 3. Table 508.4) Note: Per Cbc 303.1.1 Small Assembly Spaces. A-2 Occupant Load < 50 is regarded as a B Occupancy.						
UNIT#	MODEL / SERIAL	USE	ADJACENT	SF/ OCC.	FIRE.	NOTES
1	FOOD VENDING MOD. UB40-AF 181215AL_XXXX	B	Module	320sq		Kitchen Unit/Food Service Type 2 Hood, Service Window Walk-In Cooler
2	MECHANICAL UB40-AF 181215AL_XXXX	B	Module	320sq		Ventilation Supply & Exhaust

LOCATION

JURISDICTION

GENERAL NOTES

DRAWING LIST

PROJECT TEAM

ENVIRONMENTAL HEALTH NOTES.

LIGHT BULBS SHALL BE SHIELDED, COATED, OR OTHERWISE SHATTER-RESISTANT IN AREAS WHERE THERE IS NONPREPACKED READY-TO-EAT FOOD, CLEAN EQUIPMENT, UTENSILS, AND LINENS, OR UNWRAPPED SINGLE-USE.

ALL ADJACENT/ SHARED FACILITIES UNDER SAME OWNERSHIP.
(See Site Plan for locations)
EMPLOYEE BATHROOMS
JANITORIAL SERVICES
TRASH AREAS

PROJECT IS PERMITTED AS A FOOD COURT
UNDER SEPARATE PERMIT.

ENVIRONMENTAL HEALTH NOTE: DRY GOODS STORAGE PER CFRC 2015

SQFT (Interior) $230 \times .25 = 58$ Lin.ft required

Metro Shelf 6'-0" (5 tier) x 1 (qty)	30
Metro Shelf 3'-0" (5 tier) x 1 (qty)	15
Wall Shelving 4'-0" x 1 (qty)	4
Wall Shelving 5'-0" x 2 (qty)	10

Total provided = 59 Lin.ft

ENVIRONMENTAL HEALTH NOTE: ELECTRICAL WATER HEATER SIZING

ASSUMING 62deg. Temp Rise

ITEM	DEFAULT		GPH	
	QTY	FACTOR		
Utensil Sink Small (18"x18" or smaller)	3	14	42	
Hand Wash Sink (including restrooms)	1	5	5	
Food Prep Sink	1	5	5	
			52	TOTAL
SINGLE USE UTENSILS (X0.9)			46.8	TOTAL

$$\frac{46.8(62)(8.33)}{0.98(3412)} = \frac{24170.35}{3343.8} = 7.25 \text{ KW}$$

AO SMITH COMMERCIAL DEN-52, 50 Gal. 8KW.

WALL & CEILING FINISHES.
Smooth, Durable, Easily Cleanable Light Colored And Non-absorbent Finishes Are Required In The Following Areas:

Where Food Is Prepared Or Packaged.
Customer Self Service Locations Where Open Food Or
Beverages Is Dispensed
Wait stations
Utensil Washing Or Storage
Janitorial Areas
Restrooms
Employee Locker Rooms
Walk In Refrigerators/ Freezers
Food Storage In Original Unopened Containers
Garbage And Refuse Storage.

Janitorial Areas
Restrooms
Employee Locker Rooms
Walk In Refrigerators/ Freezers
Food Storage In Original Unopened Containers
Garbage And Refuse Storage.

A detailed 3D cutaway rendering of a mobile office unit, likely a converted shipping container. The unit is shown from an isometric perspective, revealing its internal layout. The interior features a large open space on the left, a central area with a white countertop and a sink, and a right section with built-in shelving and a desk area. A small window is visible on the right side. The exterior is dark gray with visible locking mechanisms on the doors. The unit is mounted on a base with wheels.

A 3D perspective rendering of a modular building unit. The unit consists of a dark grey, corrugated metal container stacked on top of a white, rectangular base unit. The container has a white door with a handle and a window with a white frame. The base unit has a white door with a handle and a window with a white frame. A white ladder is attached to the side of the base unit. The unit is shown on a white background.



SITE PLAN (SEE SITE ARCHITECTURE DRAWINGS)

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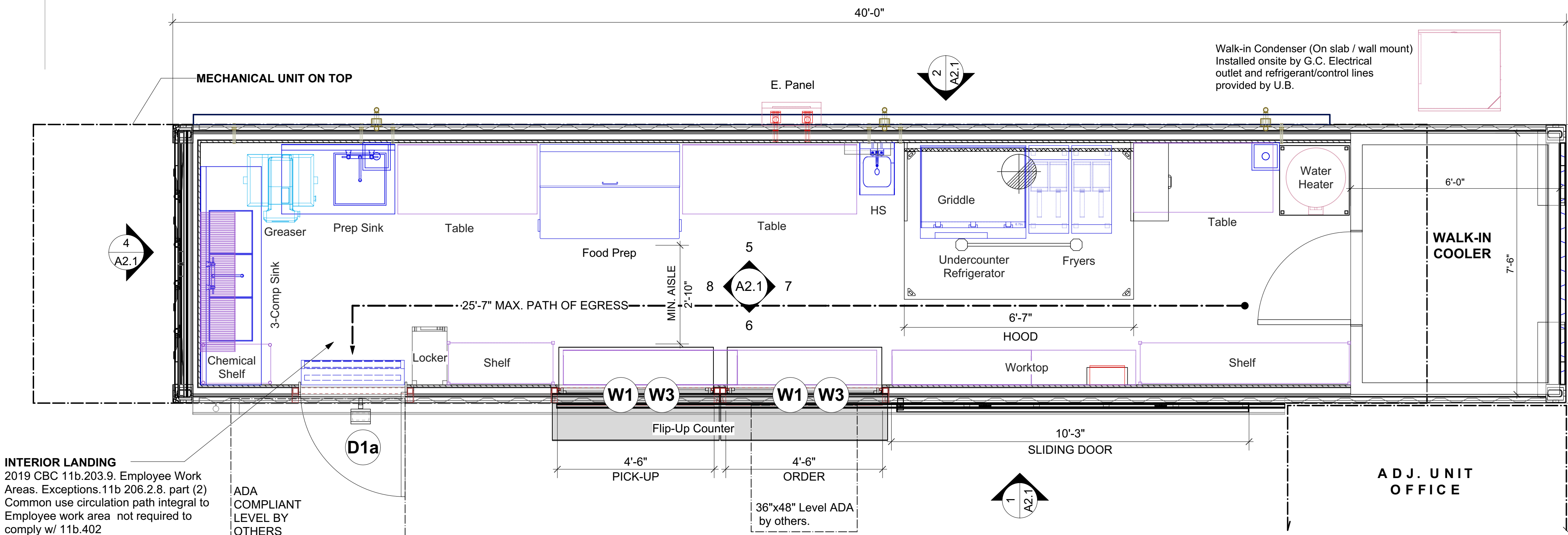
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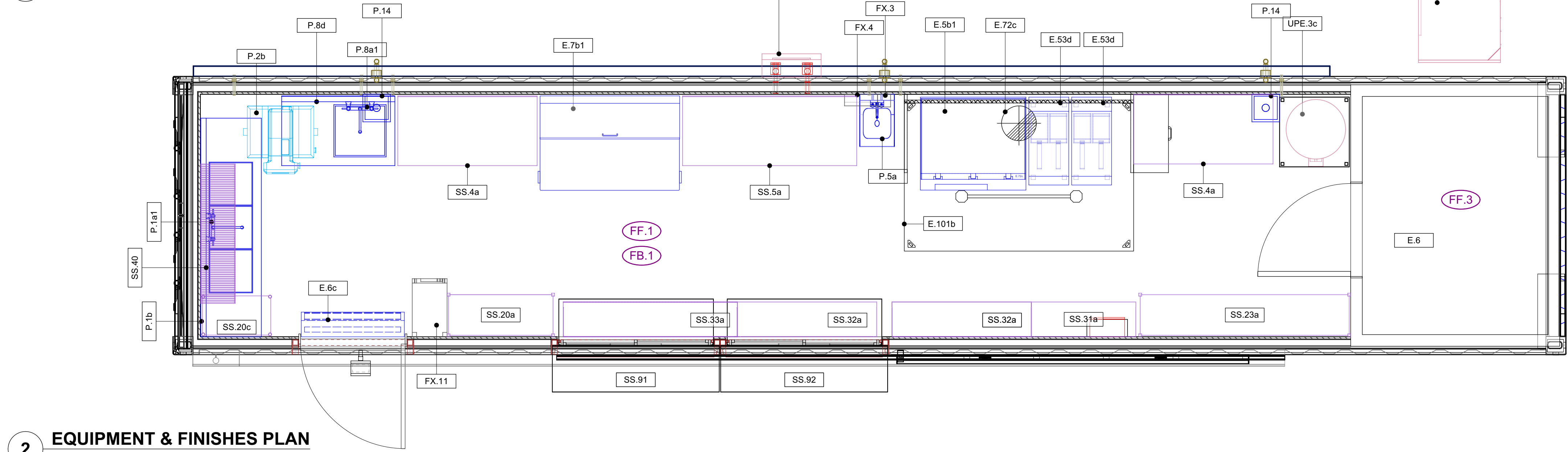
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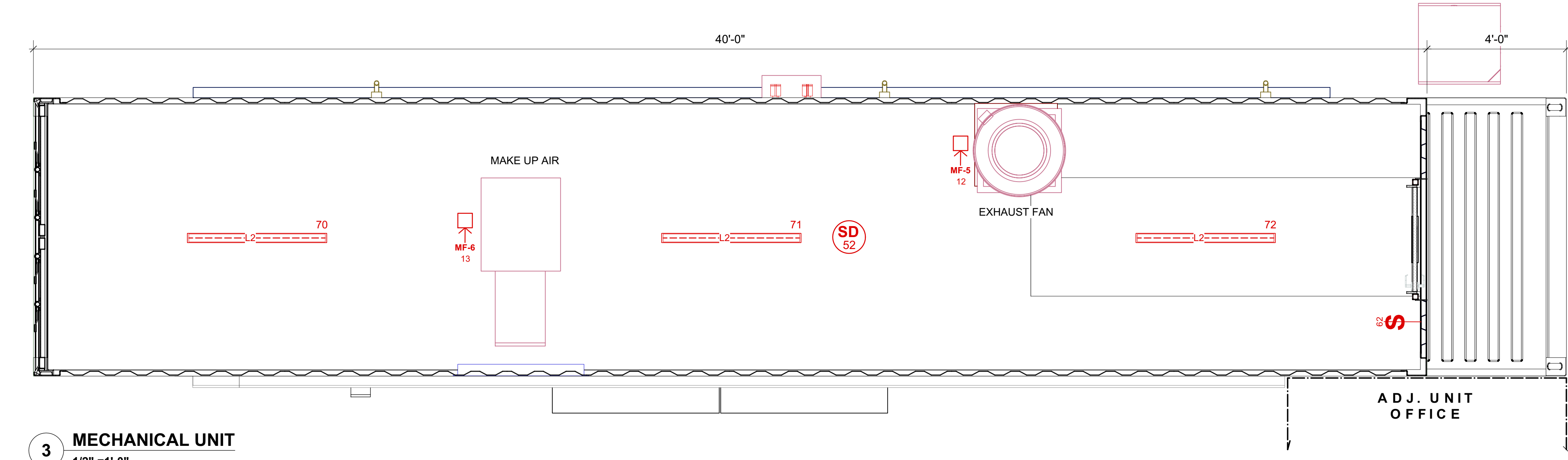


INTERIOR LANDING
2019 CBC 11b.203.9. Employee Work Areas. Exceptions.11b 206.2.8. part (2) Common use circulation path integral to Employee work area not required to comply w/ 11b.402

1 FLOOR PLAN
1/2" = 1'-0"



2 EQUIPMENT & FINISHES PLAN
1/2" = 1'-0"



3 MECHANICAL UNIT
1/2" = 1'-0"

LEGEND	
LIGHTING: 40 LUMENS/WATT OR GREATER FOR GENERAL LIGHTING IN WORK AREAS AND BATHROOMS PER 2007/14 STANDARD. IF MORE THAN ONE LIGHT IS PROVIDED IN BATHROOM, GENERAL LIGHTING TO BE FLUORESCENT.	
FOOD PREP: A MINIMUM OF 20 FT CANDLES (275 LUX) OF LIGHT MEASURED 30" OFF THE FLOOR IS PROVIDED IN ALL FOOD PREPARATION AREAS DURING GENERAL CLEANUP ACTIVITIES. A MINIMUM OF 10 FT CANDLES (116 LUX) OF LIGHT MEASURED 30" OFF THE FLOOR IS PROVIDED IN UTENSIL CLEANING AREA (BACK BAR AREA).	
MANDATORY MEASURES	
[X] Building Lighting Shut-off: EACH ROOM AND AREA IN THIS TENANT SPACE IS EQUIPPED WITH A SEPARATE SWITCH OR OCCUPANCY SENSOR DEVICE FOR EACH AREA WITH FLOOR-TO-CEILING WALLS.	
[X] Automatic Control Device: Certified: ALTERNATE EQUIPMENT SHALL BE CERTIFIED AND INSTALLED AS DIRECTED BY THE MANUFACTURER'S AND LISTING AGENCY CERTIFICATION.	
[X] Daylight Area Controls: NA	
[X] Control of Exterior Lights: By Owner.	
OUTLETS	
SWITCHING.	
ELECTRICAL PANELBOARD	
RACEWAY	
EXIT & EMERGENCY LIGHTING	
SMOKE DETECTOR	
DATA	
VENTILATION FAN	
HARD WIRE CONNECTION	
EXTERIOR PENETRATION	
JUNCTION BOX	
LIGHTING FIXTURES	
CL-1	
CL-2	
CL-3	
CD	
XL-1	
IL-2	
IL-3	
DL-1	
DL-2	

#	QTY	ITEM	MFG. CAT. SPECIFICATION	REMARKS
WL.1	FRP	White Frp (fiberglass Reinforced Panel) Sequencia Or Eq. With integral silicone seals or moldings @ All Joint, Corner, And Edge Conditions. Aluminum "H" Moulding At Bottom.		
WL.3	EXTERIOR PAINT	Class C. Rated. Direct to metal Paint Color		Shervin-Williams SW7674 Peppercorn
WL.4	GALV. WALLPANELS	WALK IN COOLER MANUFACTURER		26GA. Stucco Galv. Steel Panels NSF Approved W/ Cam Lock Fasteners & Silicone sealant @ all joints. TYP.
WL.5	ALUMINUM	Plywood with Aluminum Face		
FF.1	EPOXY FLOOR COATING	General Polymer 3744 High Performance Cr Epoxy. Epoxy Applied As 10 Mil. Slurry. Light Grey. OR APPROVED EQUAL.		Comply W/ Env. CA. Retail food Code. Flooring to be smooth finish under sinks, counters and racks.
FF.3	WALK IN COOLER	NSF COMPLIANT W/ 3/8" INTEGRAL RADIUS AT FLOOR/ WALL JUNCTION		22GA. Stainless Steel Floor Smooth.
FB.1	COVE BASE BOARD	EPOXY TO MATCH		Provide 6" integral base W/ 1/2" min radiused cove.
CG.1	GYPSUM LAY IN	Gold Bond 2x4, 2x2 Gridstone(Laminated vinyl Food Grade) 9/16". White Smooth ALU. Trim & Hangers		All trim pieces, factory painted. cleanable.
CG.2	ACOUSTIC LAY IN	Armstrong 2x4, 2x2 KITCHEN ZONE(Food Grade) 9/16". White Smooth ALU. Trim & Hangers.		All trim pieces, factory painted. cleanable.
EP-2	Wood Panels	3/4" Wd. Boards		
EP-4	BLACKENED METAL PLATE	1/8" Mtl Plate. Sealed.		Include all support frames. Trim Etc.

UID #	#	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (WxDxH)	COMMENTS	FURNISH	INSTALL
1	E.7b1	1	Refrigerator: Food Prep Table	TRUE	TSSU-48-12-HC	48 3/8" x 30 1/8" x 43"		Client	Client
2	E.5b1	1	Refrigerator: Worksurface	TURE	TRCB-36	36-3/8" x 32-1/8" x 20-3/8"		Client	Client
3	E.72c	1	Electric Griddle	STAR	536TGF	36" x 27.9" x 15.5"		Client	Client
4	E.53d	1	Floor Fryer	Dean	SR114E	15 3/4" x 27 1/4" x 44"		Client	Client
5	E.53d	1	Floor Fryer	Dean	SR114E	15 3/4" x 27 1/4" x 44"		Client	Client
6	P.2b	1	Grease	BIG DIPPER	W-200-IS	28.5" x 23.375" x 15.5"		UB	UB
7	E.6c	1	36" Air Curtain	Curtron	AP-2-36-SS	36" x 10" x 12"		UB	UB
10	E.101b	1	Hood	Captiveair	5412-SND2	6'-7" L.		UB	UB
11	E.101c	1	Hood Control Panel	Captiveair		14" x 18" x 6"		UB	UB
12	MF-5	1	EXHAUST FAN	CAPTIVEAIRE	TBD	TBD	Ductwork provided, site installed by client	UB	Client
13	MF-6	1	EVAPORATIVE COOLING/HEATING UNIT	CAPTIVEAIRE	TBD	TBD	Ductwork provided, site installed by client	UB	Client
14	E.6	1	Custom Walk-in Cooler	RUDY'S	8'-6" High Mtl Clad Wood Pnls	TBD	Custom Manufactured	UB	UB
15	E.6b	1	Walk-in Cooler Condering Unit	HEATCRAFT	MOH010X62CFM	17 1/4 x 28 1/4 x 23 3/4	Connections made on site	UB	UB
20	UPE.3c	1	Water Heater	AO Smith	DEN-52, 50g, 8KW 4000/4000	20 1/2"Ø x 54 7/8"H	Connections made on site	UB	UB
21	UE.20	1	Electrical Panel	SIEMENS	200A	TBD		UB	UB

#	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (W X D x h)	COMMENTS	FURNISH	INSTALL
FX.3	1	Soap Dispenser	SAN JAMAR	Model: SH900TBK	5.5" x 4" x 12"		UB	UB
FX.4	1	Paper Towel Dispenser	SAN JAMAR	Model: T1900XC	11 3/8" x 4" x 14 3/4"		UB	UB
FX.11	1	Locker	GSW	EL-5DR	12" x 20" x 77"		Client	Client
LDR.1	1	Ladder					UB	UB
P.1a1	1	3-Comp Sink Faucet	T&S	5F-8WLX10		3-Comp Sink	UB	UB
P.1b	1	3-Comp Sink w/ splash guards	GSW	SE15153D	75 1/4" x 21" x 45"		UB	UB
P.2b	1	Grease	Big Dipper	W-200-IS	28.5" x 23.375" x 15.5"		UB	UB
P.5a	1	Drop-in Hand Sink w/ splash guards	KROWNE	HS-1225	12" x 18" x 15 1/2"	5" bowl	UB	UB
P.8a1	1	Prep Sink Faucet	T&S	5F-8WLX08		Prep Sink	UB	UB
P.8d	1	Prep Sink	GSW	SE18181L	39" x 24" x 45"		UB	UB
P.14	2	Floor Sink	WATTS	FS-710 Sanitary Floor Sink	8 1/8" x 8 1/8" x 6 1/4"		UB	UB
SS.4a	2	4' Stainless Table	GSW	16 Gauge SS top, back splashes 4" sealed, Optional undershelf	48" x 24" x 35"		TBD	TBD
SS.5a	1	5' Stainless Table	GSW	16 Gauge SS top, back splashes 4" sealed, Optional undershelf	60" x 24" x 35"		TBD	TBD
SS.20a	1	3' Metro Shelf 5 Tier	METRO	5-Tier	36" x 14" x 73 1/2"		TBD	TBD
SS.20c	1	2' Metro Shelving	METRO	2-Tier	24" x 14"	chrome finish	UB	UB
SS.23a	1	6' Metro Shelf 5 Tier	METRO	5-Tier	72" x 14" x 73 1/2"		TBD	TBD
SS.31a	1	3' SS Shelving Solid	GSW	SS Shelving	12" x 36"		TBD	TBD
SS.32a	3	4' SS Shelving Solid	GSW	SS Shelving	12" x 48"		TBD	TBD
SS.33a	1	5' SS Shelving Solid	GSW	SS Shelving	12" x 60"		TBD	TBD
SS.40	1	Wire Wall Shelf	EAGLE	SNSW1248V-X, Gray Epoxy	48" x 12"		UB	UB
SS.91	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD		UB	UB
SS.92	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD		UB	UB



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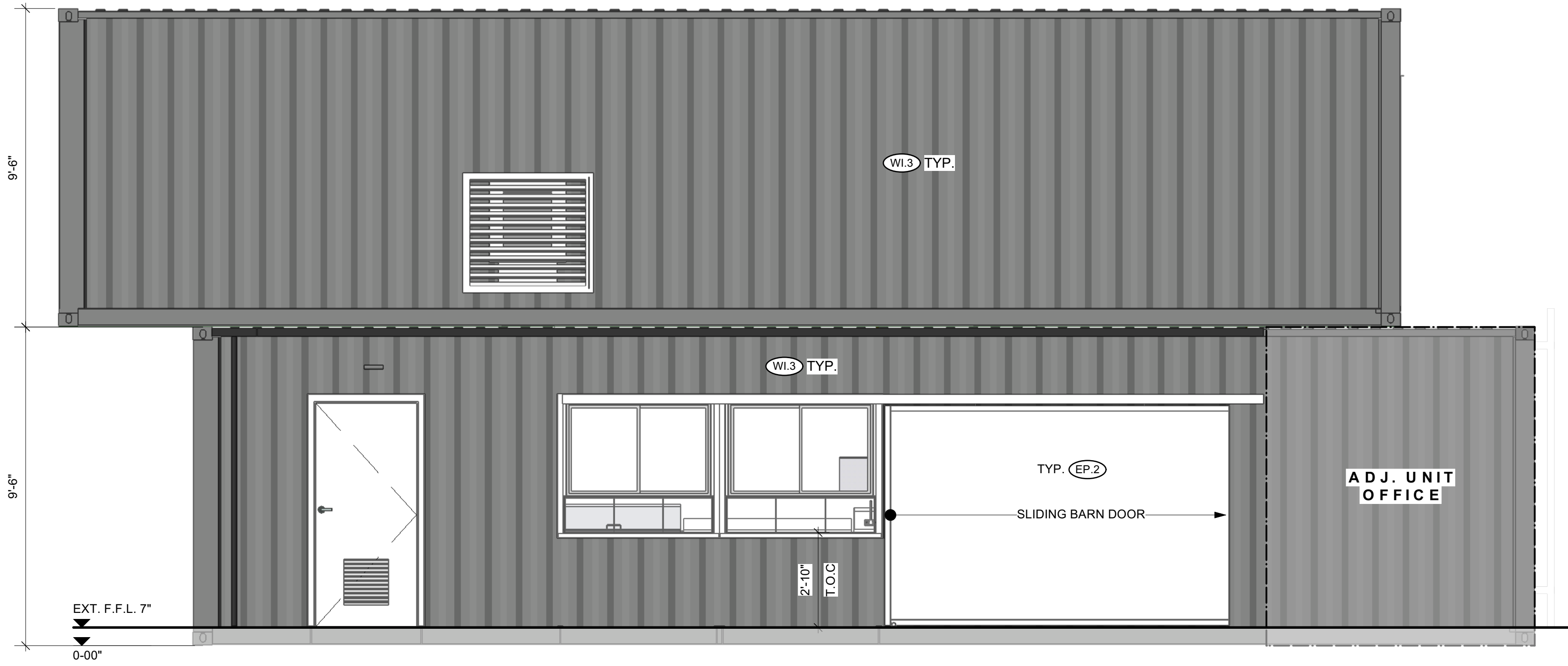
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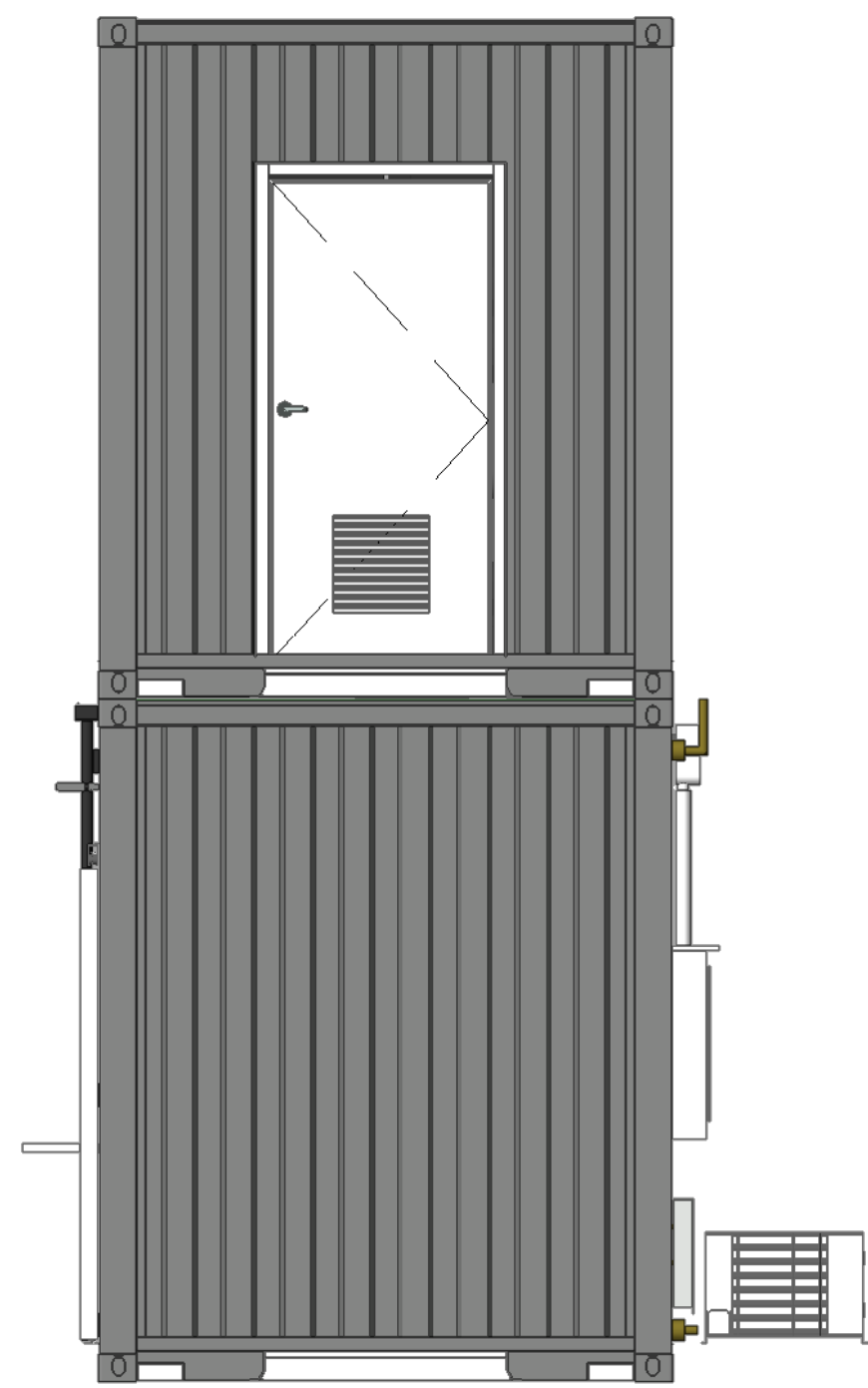
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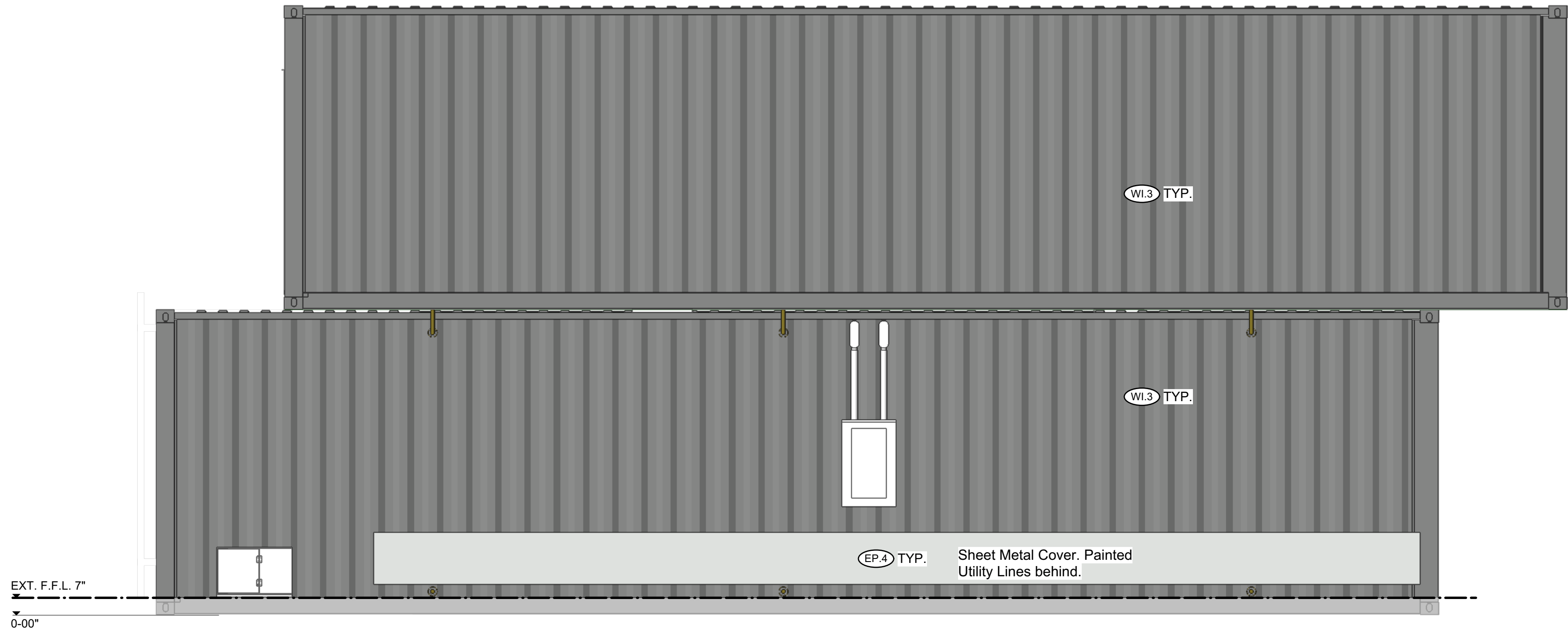
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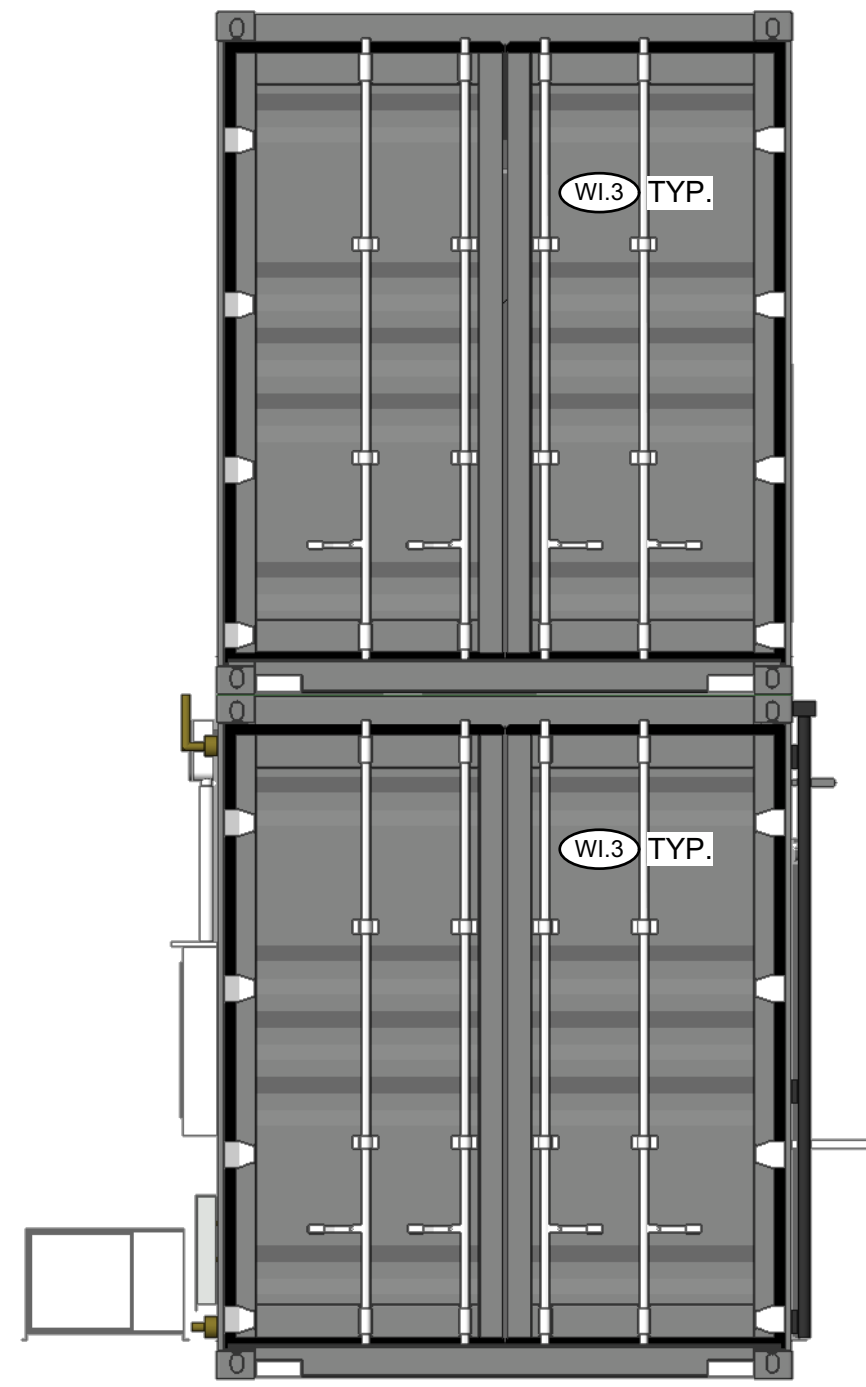
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3 RIGHT ELEVATION
Scale: 3/8" = 1'-0"



2 FRONT ELEVATION
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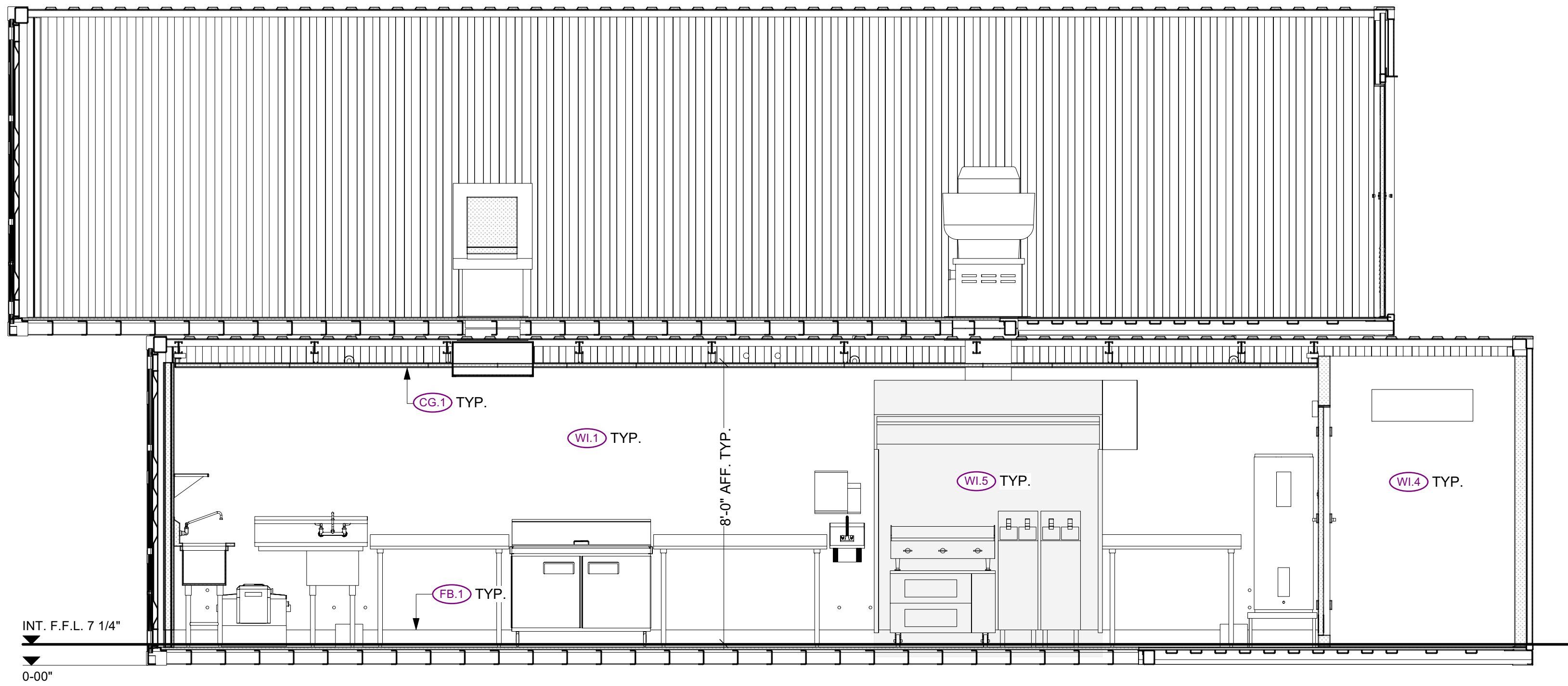


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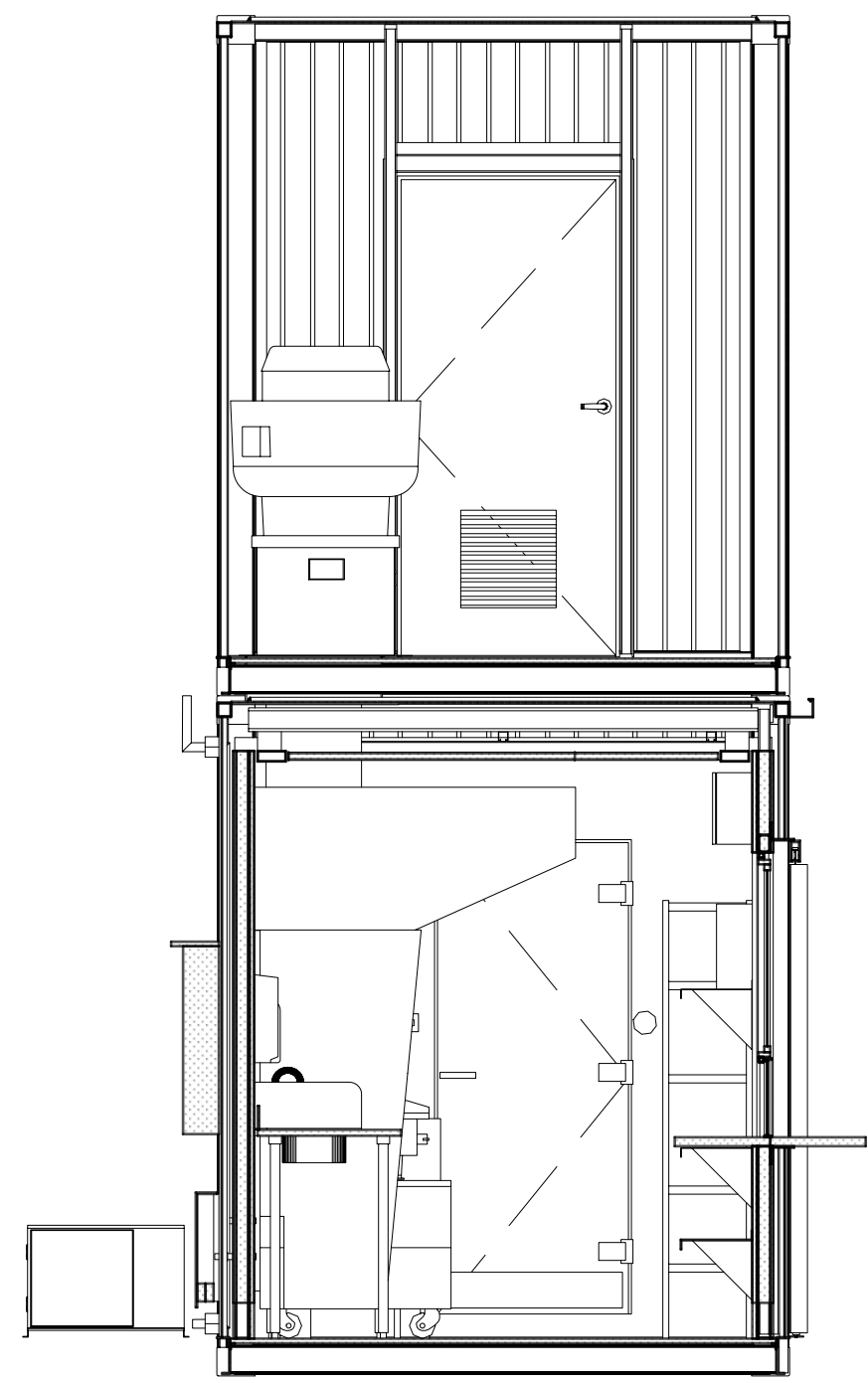
FINISH SCHEDULE			
#	QTY ITEM	MFG. CAT. SPECIFICATION	REMARKS
WALL FINISHES			
WI.1	FRP	White Frp (fiberglass Reinforced Panel) Sequencia Or Eq.. With integral silicone seals or mouldings @ All Joint, Corner, And Edge Conditions. Aluminum "h" Moulding At Bottom.	
WI.3	EXTERIOR PAINT	Direct to metal Paint Color	Sherwin-Williams SW7674 Peppercom
WI.4	GALV. WALLPANELS	WALK IN COOLER MANUFACTURER	26GA. Stucco Galv. Steel Panels NSF Approved W/ Cam Lock Fasteners & Silicone sealant @ all joints. TYP.
WI.5	ALUMINUM		Plywood with Aluminum Face
FLOOR FINISHES			
FF.1	EPOXY FLOOR COATING	General Polymer 3744 High Performance Cr Epoxy. Epoxy Applied As 10 Mil. Slurry. Light Grey. OR APPROVED EQUIV.	Comply W/ Env. CA. Retail food Code. Flooring to be smooth finish under sinks, counters and racks.
FF.3	WALK IN COOLER	STAINLESS STEEL FLOOR	NSF Compliant W/ 3/8" Integral Radius at Floor/ Wall Junction
FB.1	COVE BASE BOARD	EPOXY TO MATCH	22GA. Stainless Floor Smooth. Provide 6" integral base W/ 1/2" min radiused cove.
CEILING FINISHES			
CG.1	GYPSUM LAY IN	Gold Bond 2x4, 2x2 Gridstone(Laminated vinyl Food Grade) 9/16". White Smooth ALu. Trim & Hangers.	All trim pieces, factory painted. cleanable.
CG.2	ACOUSTIC LAY IN	Armstrong 2x4, 2x2 KITCHEN ZONE(Food Grade) 9/16". White Smooth ALu. Trim & Hangers.	All trim pieces, factory painted. cleanable.
EXTERIOR CLADDING			
EP-2	Wood Panels	3/4" Wd. Boards	
EP-4	BLACKENED METAL PLATE	1/8" Mil Plate. Sealed.	Include all support frames, Trim Etc.



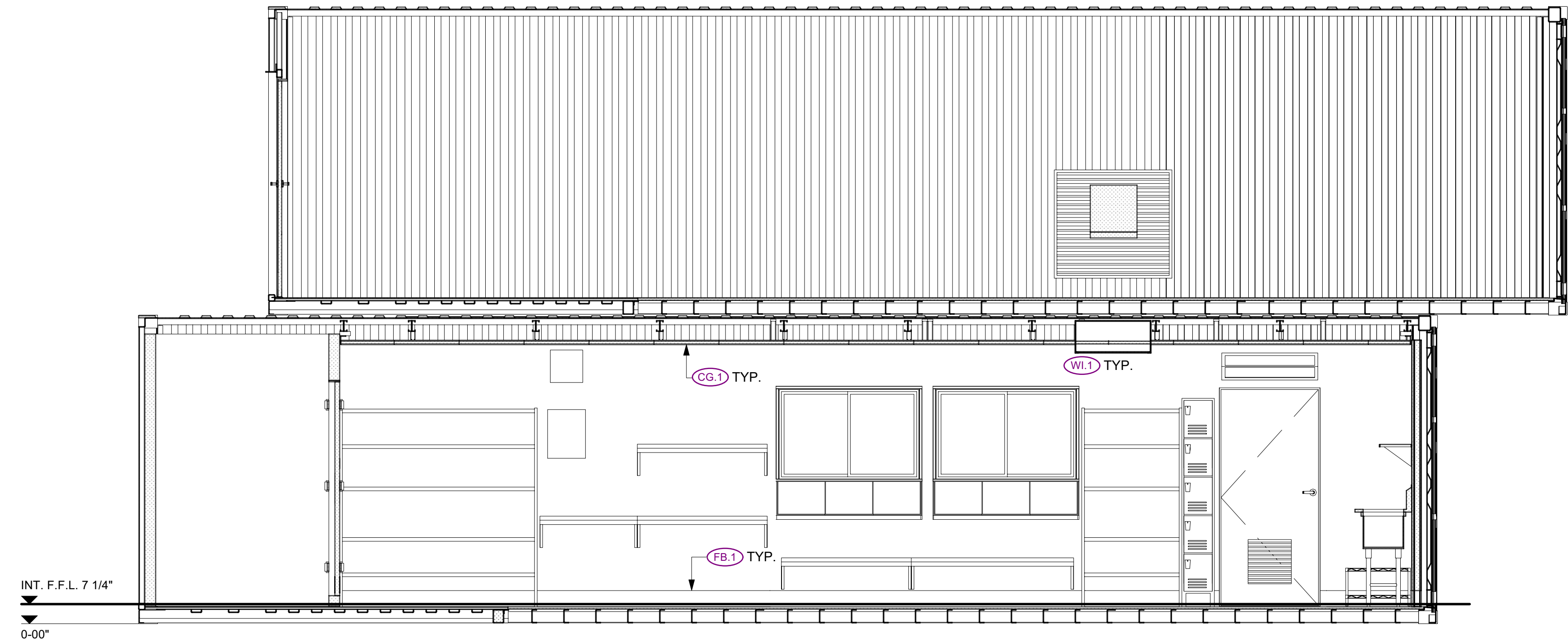
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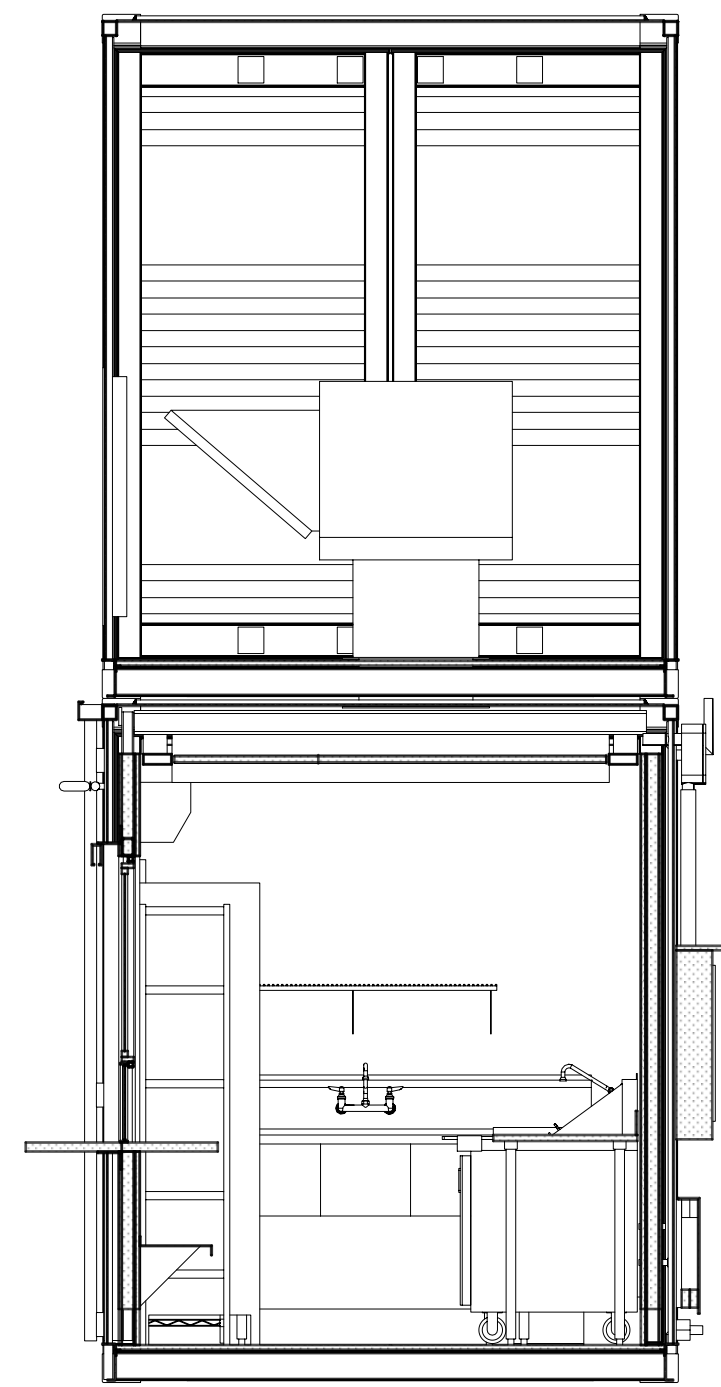
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7 INTERIOR SECTION
Scale: 3/8" = 1'-0"



6 INTERIOR SECTION
Scale: 3/8" = 1'-0"

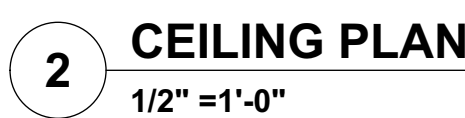
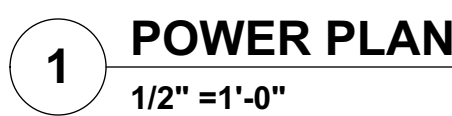


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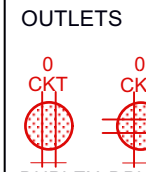

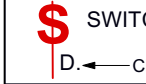








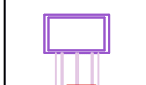









FINISH SCHEDULE			
#	QTY	ITEM	
WALL FINISHES			
WI.1		FRP	White Frp (fiberglass Reinforced Panel) Sequencia Or Eq.. With integral silicone seals or mouldings @ All Joint, Corner, And Edge Conditions. Aluminum "h" Moulding At Bottom.
WI.3		EXTERIOR PAINT	Direct to metal Paint Color
WI.4		GALV. WALLPANELS	WALK IN COOLER MANUFACTURER
WI.5		ALUMINUM	Class C Rated
FLOOR FINISHES			
FF.1		EPOXY FLOOR COATING	General Polymer 3744 High Performance Cr Epoxy. Epoxy Applied As 10 Mil. Slurry. Light Grey. OR APPROVED EQUIV.
FF.3		WALK IN COOLER	STAINLESS STEEL FLOOR
FB.1		COVE BASE BOARD	EPOXY TO MATCH
CEILING FINISHES			
CG.1		GYPSUM LAY IN	Gold Bond 2x4, 2x2 Gridstone(Laminated vinyl Food Grade) 9/16". White Smooth ALu. Trim & Hangers.
CG.2		ACOUSTIC LAY IN	Armstrong 2x4, 2x2 KITCHEN ZONE(Food Grade) 9/16". White Smooth ALu. Trim & Hangers.
EXTERIOR CLADDING			
EP-2		Wood Panels	3/4" Wd. Boards
EP-4		BLACKENED METAL PLATE	1/8" Mil Plate. Sealed.
			Include all support frames, Trim Etc.



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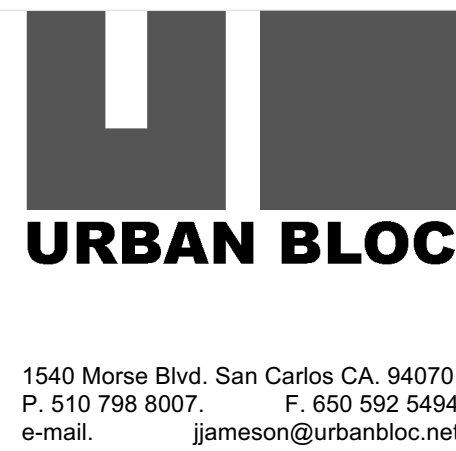
EQUIPMENT LIST																				
										ELECTRICAL					PLUMBING					
UID #	#	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (WxDxH)	COMMENTS	FURNISH	INSTALL	VOLTAGE	PHASE	AMPS	PLUG	HT.AFF	WIRE	DRN. (D/I)	HOT	COLD	GAS	COMMENTS
1	E.7b1	1	Refrigerator: Food Prep Table	TRUE	TSSU-48-12-HC	48 3/8" x 30 1/8" x 43"		Client	Client	115	1	5.8	5-15	18"	12/2					
2	E.5b1	1	Refrigerator: Worksurface	TURE	TRCB-36	36-3/8" x 32-1/8" x 20-3/8"		Client	Client	115	1	5.7	5-15	18"	12/2					
3	E.72c	1	Electric Griddle	STAR	536TGF	36" x 27.9" x 15.5"		Client	Client	208	3	25	HW	44"	10/3					
4	E.53d	1	Floor Fryer	Dean	SR114E	15 3/4" x 27 1/4" x 44"		Client	Client	208	3	39	HW	18"	8/3					
5	E.53d	1	Floor Fryer	Dean	SR114E	15 3/4" x 27 1/4" x 44"		Client	Client	208	3	39	HW	18"	8/3					
6	P.2b	1	Grease	BIG DIPPER	W-200-IS	28.5" x 23.375" x 15.5"		UB	UB	115	1	10.2	5-15	18"	12/2					
7	E.6c	1	36" Air Curtain	Curtron	AP-2-36-SS	36" x 10" x 12"		UB	UB	120	1	4.17	5-15	RW	12/2					
10	E.101b	1	Hood	Captiveair	5412-SND2	6'-7" L.		UB	UB	110/108	1		HW	Ceil						
11	E.101c	1	Hood Control Panel	Captiveair		14" x 18" x 6"		UB	UB	208	1	6.9	HW		12/3					
12	MF-5	1	EXHAUST FAN	CAPTIVEAIRE	TBD	TBD	Ductwork provided, site installed by client	UB	Client				HW	Mech. Unit	Indirect					
13	MF-6	1	EVAPORATIVE COOLING/HEATING UNIT	CAPTIVEAIRE	TBD	TBD	Ductwork provided, site installed by client	UB	Client				HW	Mech. Unit	Indirect					
14	E.6	1	Custom Walk-in Cooler	RUDY'S	8'-6" High Mtl Clad Wood Pnls	TBD	Custom Manufactured	UB	UB			TBD			Indirect					
15	E.6b	1	Walk-in Cooler Condering Unit	HEATCRAFT	MOH010X62CFM	17 1/4 x 28 1/4 x 23 3/4	Connections made on site	UB	UB	208-230	1	7	5-15	Exterior	12/3					
20	UPE.3c	1	Water Heater	AO Smith	DEN-52, 50g. 8KW 4000/4000	20 1/2"Ø x 54 7/8"H	Connections made on site	UB	UB	208	3	33.3	HW	18"	8/3	Indirect				
21	UE.20	1	Electrical Panel	SIEMENS	200A	TBD		UB	UB	208	3	200		Exterior						

ELECTRICAL LEGEND			
LIGHTING: 40 LUMENS (WATT OR GREATER) FOR GENERAL LIGHTING IN WORK AREAS AND BATHROOMS PER FOOT STANDARD. 1 FOOT CANDLE (WATT OR GREATER) FOR GENERAL LIGHTING IN HALLWAYS. GENERAL LIGHTING TO BE FLUORESCENT. IF MORE THAN ONE LIGHT IS PROVIDED IN BATHROOM, GENERAL LIGHTING TO BE FLUORESCENT. FLOOR USE: A MINIMUM OF 20 FT CANDLES (15 LUX) OF LIGHT MEASURED 3' OFF THE FLOOR IS PROVIDED IN ALL FOOD PREPARATION AREAS DURING GENERAL CLEANUP ACTIVITIES. A MINIMUM OF 10 FT CANDLES (8 LUX) OF LIGHT MEASURED 3' OFF THE FLOOR IS PROVIDED IN INTERNAL CLEANING AREA (BACK BAR) AREA.			
MANDATORY MEASURES			
<input type="checkbox"/> Bulb/ing Lighting Shutoff: This building lighting shall be controlled by automatic time switch with separate zones and override switches. <input type="checkbox"/> Automatic Control Devices Certified: All automatic control devices specified are certified by the manufacturer. Any alternative equipment shall be certified and not listed as directed by the authority having jurisdiction. <input type="checkbox"/> Fluorescent Ballast and Luminaires Certified: All fluorescent lighting fixtures subject to the certification and specified for this project are certified.		<input type="checkbox"/> Individual Room/Area Controls: Each room and area in this tenant space is equipped with a separate switch or occupancy sensor device for each area with floor-to-ceiling walls. <input type="checkbox"/> Room Reduction for Individual Rooms: All rooms and areas greater than 100 square feet and more than 8 watts per square foot of lighting loads are controlled with ballasts, switches for on/off and reduction of lighting within the room. <input type="checkbox"/> Daylight Area Controls: NA <input type="checkbox"/> Control of Exterior Lights: By Owner.	
OUTLETS		LIGHTING FIXTURES	
 <p>Decora Type UCN. Circuit 2 way, 3 way, Etc.</p> <p>DUPLEX DPLX-2 QUAD 2201 2203 2201 2203</p>		 <p>CL-1 2x2 LAY IN FIXTURE Low Voltage LED.</p>	
<p>SWITCHING.</p> <p> <p>D. — Circuit 2 way, 3 way, Etc.</p> </p>		 <p>CL-2 RECESSED DOWNLIGHT Low Voltage LED. (a) Downlight (b) Wall Washer</p>	
<p>ELECTRICAL PANELBOARD</p> <p> <p>RACEWAY</p> <p> <p>ALYX MTL CONDUIT, TYP</p> <p> </p></p></p>		 <p>CL-3 SURFACE MTL CEILING. Commercial Electric fluorescent. #CEV104-06 4x F328</p>	
<p>EXIT & EMERGENCY LIGHTING</p> <p> <p>SMOKE DETECTOR</p> <p> </p></p>		 <p>CD 2x2 LAY IN FIXTURE Ceiling Air Duct Square Diffuser</p>	
<p>DATA</p> <p> </p>		 <p>XL-1 EXTERIOR SCONCE Low Voltage LED. Exterior 3 way and conduit to interior raceway system. Exterior lighting on single 30A circuit</p>	
<p>VENTILATION FAN</p> <p> </p>		 <p>IL-2 PENDANT LIGHT</p>	
<p>HARD WIRE CONNECTION</p> <p> </p>		 <p>IL-3 INTERIOR SCONCE</p>	
<p>EXTERIOR PENETRATION</p> <p> </p>		 <p>DL-1 INTERIOR TRACK DISPLAY LIGHTING Circuit provided only. Circuit limiters may be installed.</p>	
<p>JUNCTION BOX</p> <p> </p>		 <p>DL-2 LOW LINEAR</p>	

E-INFRASTRUCTURE					
UID#	ID.	FIXTURE TYPE	HT. FFL	REMARKS	WIRE
20	D1	Data	24"	REGULAR	12/2
21	POS1	POS	24"	REGULAR	12/2
22	D1	Data	24"	REGULAR	12/2
23	POS1	POS	24"	REGULAR	12/2
25	ROUTER	Router	Ceil	Above Raceway	12/2
30	Conv	Convenience	44"	REGULAR	12/2
31	Conv	Convenience	44"	REGULAR	12/2
32	Conv	Convenience	44"	REGULAR	12/2
33	Conv	Convenience	44"	REGULAR	12/2
34	Conv	Convenience	44"	REGULAR	12/2
35	Conv	Convenience	44"	REGULAR	12/2
36	Conv	Convenience	44"	REGULAR	12/2
40	E. Conv	Ext. Convenience	18"	REGULAR	12/2
45	CL-1	2X2 Fixture	Ceil	Lay In Fixt.	12/2
46	CL-1	2X2 Fixture	Ceil	Lay In Fixt.	12/2
47	CL-1	2X2 Fixture	Ceil	Lay In Fixt.	12/2
48	CL-1	2X2 Fixture	Ceil	Lay In Fixt.	12/2
50	E	Exit/Emergency Lighting	Ceil		12/2
51	SD	Smoke Detector	Ceil	Addressable	12/2
52	SD	Smoke Detector	Ceil	Addressable	12/2
55	L1	Exterior Sconce	84"		12/2
60	Switch	Switch	44"	45,46,47,48	12/2
61	Switch	Switch	44"	55	12/2
62	Switch	Switch	44"	70,71,72	12/2
70	L2	Linear LED Utility	Ceil	Regular	See Spec.
71	L2	Linear LED Utility	Ceil	Regular	See Spec.
72	L2	Linear LED Utility	Ceil	Regular	See Spec.



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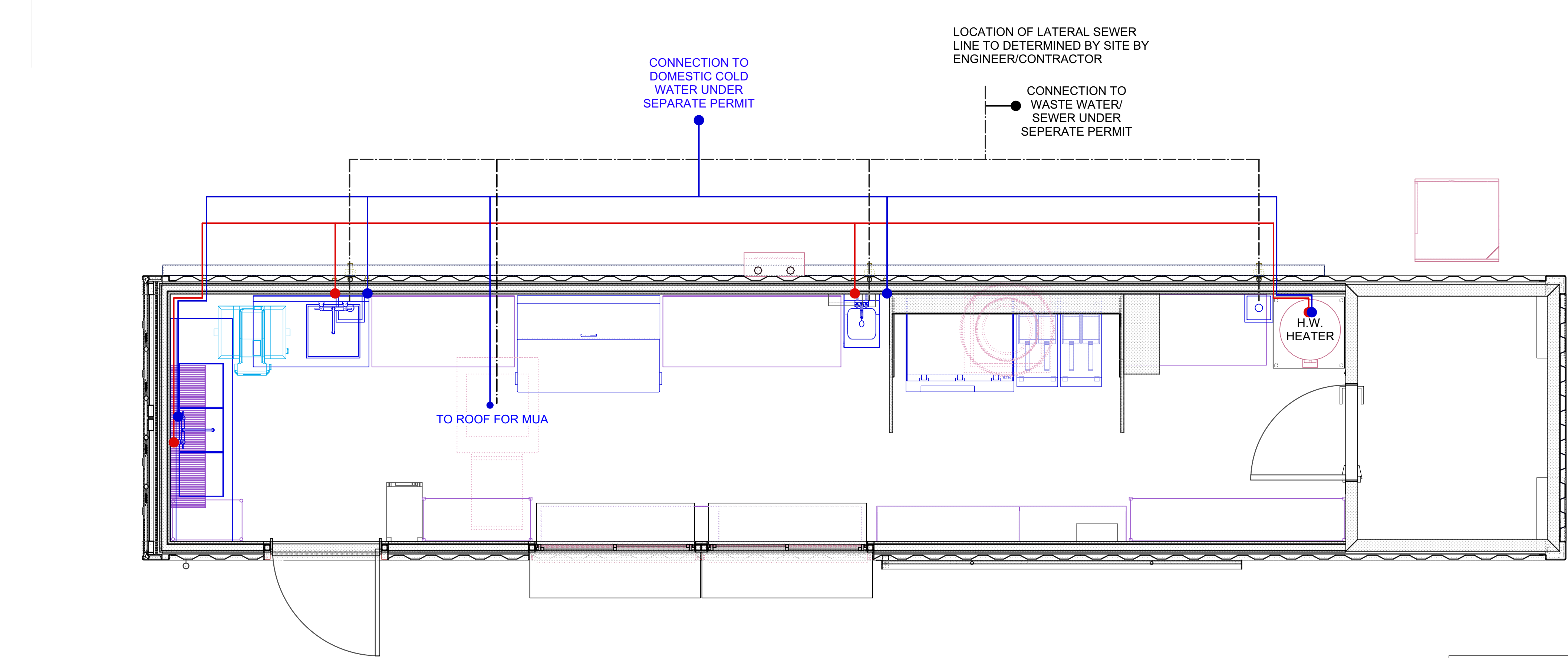
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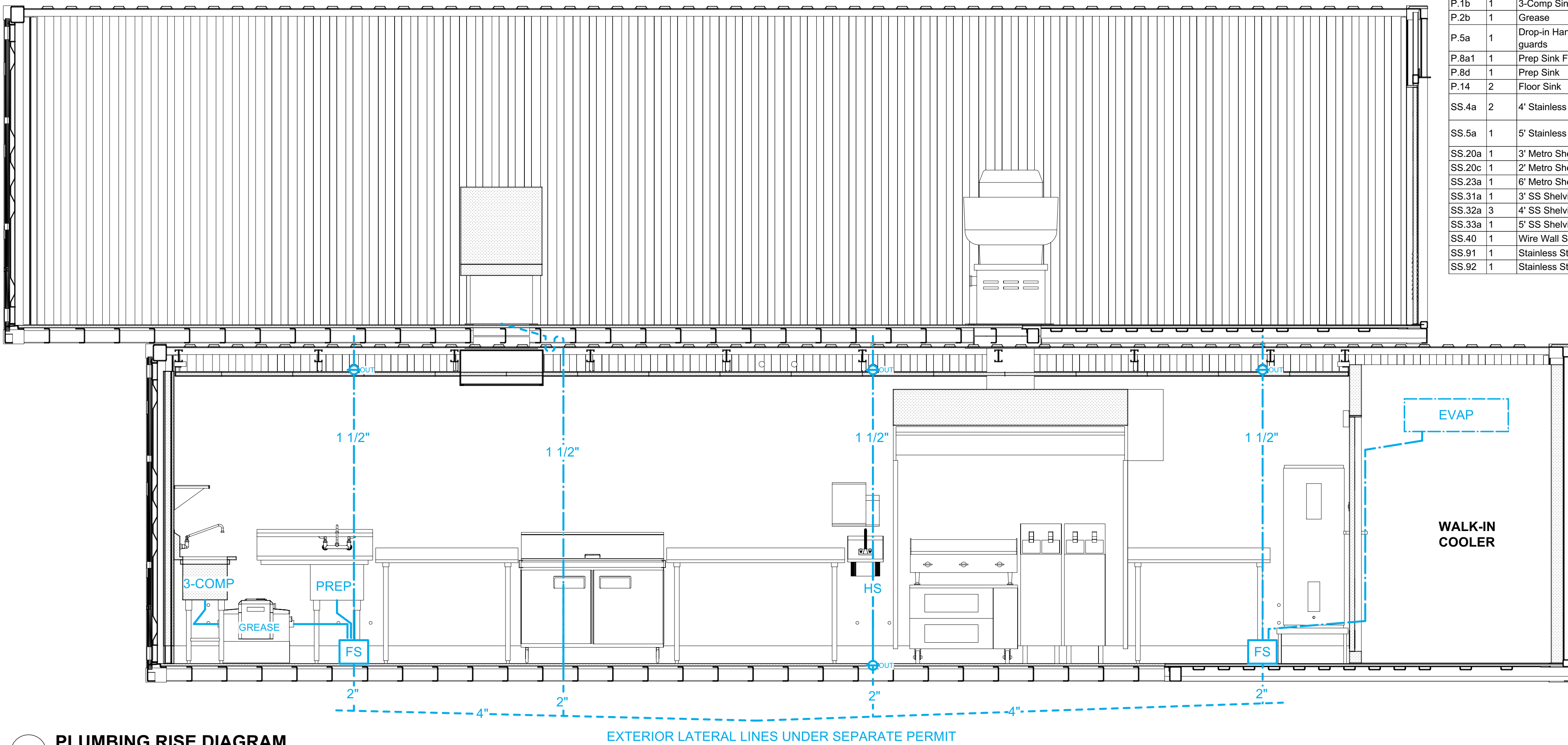
SHEET NUMBER

E.1

PAGES @ 24"X36"



1 PLUMBING & VENTILATION PLAN
1/2" = 1'-0"



2 PLUMBING RISE DIAGRAM
1/2" = 1'-0"

WATER SUPPLY							
#	QTY	ITEM	WSFU				
			COLD	HOT	WATER DEMAND	LINE SIZE	
						LATERAL	BRANCH
P.5a	1	Hand Sink	1	1	1.5	3/4"(H&C)	1/2"
P.8d	1	Prep Sink	2	2	3	3/4"(H&C)	1/2"
P.1b	1	3-Com Sink	2	2	3	3/4"(H&C)	1/2"
			5	5	7.5	3/4"	1/2"
MINIMUM PRESSURE DEMAND FOR ALL FIXTURES=15PSI.							
HOT & COLD COMBINED DEMAND .75 OF TOTAL VALUE							
STATIC PRESSURE LOSS = -(0.43x5) = -2.15 (Highest fixture below supply)							
FRICTION LOSS / 100ft (A4.1(1)) = 12, Per 50'=6PSI.							
TOTAL PRESSURE LOSS = 6.2.15=3.85PSI.							
MAX. PIPE LENGTH TO FARTHEST FIXTURE = 30'-0							
ALLOWANCE FOR FITTINGS= 1.5							
DEVELOPED LENGTH = 45'-0", say 60'-0"							
PER CPC 2019 Table 610.4 46-60PSI Range 31 WSFU Allowed.							

DRAINAGE TABLE											
#	QTY	ITEM	FIX. UNITS (DFU)	LINE SIZE					TOT	REMARKS/ CALCULATIONS	
				Horiz.	Vert.	Vent					
P.5a	1	Hand Sink	1	2	2	1 1/2"			1		
P.8d	1	Prep Sink	2	2	2	1 1/2"			2		
P.1b	1	3-Com Sink	3	3	3	2'0"			3		
P.14	1	Floor Sink	1	2	2	1 1/2"			1		
				TOTAL DFU's					7	Per CPC Table 703.2, 3" Horiz/ Vert Piping required/ Provided.	
										Per CPC Table 703.2, 1 1/2" vent Piping required/ Provided. 2" for toilet	

Note: As Defined By CPC 2019 905.3 Structural Conditions Do Not Allow For Vent Fittings Less Than 6" Above The Flood-level Rim Of Certain Assemblies To Be Drainage Type.

These Conditions Have Been Reviewed And Approved As Alternate Means And Methods As allowed by CPC 1.8.7 And Included In Approved Drawing Set I-581-1007 Approved By HCD.11.15.2020

PLUMBING, STAINLESS & FIXTURES											
#	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (W X D x h)	PLUMBING					
						COMMENTS	FURNISH	INSTALL	COLD	HOT	DRN. /VNT.
FX.3	1	Soap Dispenser	SAN JAMAR	Model: SH900TBK	5.5" x 4" x 12"		UB	UB			
FX.4	1	Paper Towel Dispenser	SAN JAMAR	Model: T1900XC	11 3/8" x 4" x 14 3/4"		UB	UB			
FX.11	1	Locker	GSW	EL-5DR	12" x 20" x 77"		Client	Client			
LDR.1	1	Ladder					UB	UB			
P.1a1	1	3-Comp Sink Faucet	T&S	5F-8WLX10		3-Comp Sink	UB	UB			
P.1b	1	3-Comp Sink w/ splash guards	GSW	SE15153D	75 1/4" x 21" x 45"		UB	UB			
P.2b	1	Grease	Big Dipper	W-200-IS	28.5" x 23.375" x 15.5"		UB	UB			
P.5a	1	Drop-in Hand Sink w/ splash guards	KROWNE	HS-1225	12" x 18" x 15 1/2"	5" bowl	UB	UB			
P.8a1	1	Prep Sink Faucet	T&S	5F-8WLX08		Prep Sink	UB	UB			
P.8d	1	Prep Sink	GSW	SE18181L	39" x 24" x 45"		UB	UB			
P.14	2	Floor Sink	WATTS	FS-710 Sanitary Floor Sink	8 1/8" x 8 1/8" x 6 1/4"		UB	UB			
SS.4a	2	4' Stainless Table	GSW	16 Gauge SS top, back splashes 4" sealed, Optional undershelf	48" x 24" x 35"		TBD	TBD			
SS.5a	1	5' Stainless Table	GSW	16 Gauge SS top, back splashes 4" sealed, Optional undershelf	60" x 24" x 35"		TBD	TBD			
SS.20a	1	3' Metro Shelf 5 Tier	METRO	5-Tier	36" x 14" x 73 1/2"		TBD	TBD			
SS.20c	1	2' Metro Shelving	METRO	2-Tier	24" x 14"	chrome finish	UB	UB			
SS.23a	1	6' Metro Shelf 5 Tier	METRO	5-Tier	72" x 14" x 73 1/2"		TBD	TBD			
SS.31a	1	3' SS Shelving Solid	GSW	SS Shelving	12" x 36"		TBD	TBD			
SS.32a	3	4' SS Shelving Solid	GSW	SS Shelving	12" x 48"		TBD	TBD			
SS.33a	1	5' SS Shelving Solid	GSW	SS Shelving	12" x 60"		TBD	TBD			
SS.40	1	Wire Wall Shelf	EAGLE	SNSW1248V-X, Gray Epoxy	48" x 12"		UB	UB			
SS.91	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD		UB	UB			
SS.92	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD		UB	UB			



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MANUFACTURED COMMERCIAL MODULAR UNITS
PRODUCED UNDER LICENSE & PERMIT BY CA. HCD.
AS DEFINED UNDER CALIFORNIA CODE OF REGULATIONS TITLE 25, DIV. 1 H.C.D.

URBAN BLOC

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THE RADIUS - FOOD
1501 Harbor Bay Pkwy. Alameda, CA 94502

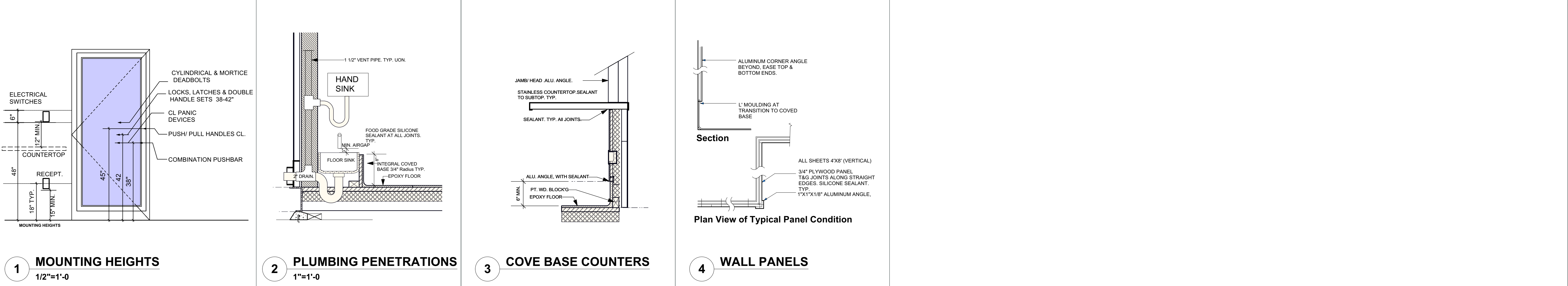
SUBMITTALS
ISSUE 90% CLIENT 05.05.22

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May 5, 2022

DRAWING TITLE
PLUMBING
VENTILATION

UB#

SHEET NUMBER
P.1
PAGES @ 24"X36"



DOOR HARDWARE SCHEDULE			
GROUP	DESCRIPTION	FINISH	MFR.
1) SINGLE ENTRY DOOR <div>D1a</div>	TELSTAR PRO DOOR 30x68	613	TELL MANUFACTURING
	INVISIBLE DEADBOLT, SOLID LIGHT GRAY, A40 GALVALUME STEEL	613	TELL MANUFACTURING
	LOCK CYLINDER CY-1-184, GRADE 2 ENTRY LEVER	613	TELL MANUFACTURING
	ENG 600 SERIES DOOR CLOSER	613	TELL MANUFACTURING
2) BARN DOOR <div>D3</div>	ADA COMPLIANT THRESHOLD INTEGRATIVE	613	TELL MANUFACTURING
4) STEP-IN REFRIGERATOR <div>D5</div>	DURACOLD MANUFACTURED ENCLOSURE	CUSTOM ASSEMBLY	CUSTOM
	Flush Mounted, Self Closing. Locking handle. Internal safety latches.	PAINTED	CUSTOM
5) FOOD SVCE. WINDOW <div>W1</div>	BARN TRACK & HANGER	PAINTED	CROWN INDUSTRIAL SUPPLY
7) OPERABLE WINDOW <div>W3</div>	ALUMINUM FRAME.		
	1/4" SLIDING ACRYLIC PANELS, SELF CLOSING SLIDING SERVICE WINDOW ENV. HLTH COMPLIANT		
	MILGUARD STANDARD ALUMINUM, SLIDING WINDOW		
	3/4" INSULATED GLAZING, LOW E, ARGON		

REMARKS

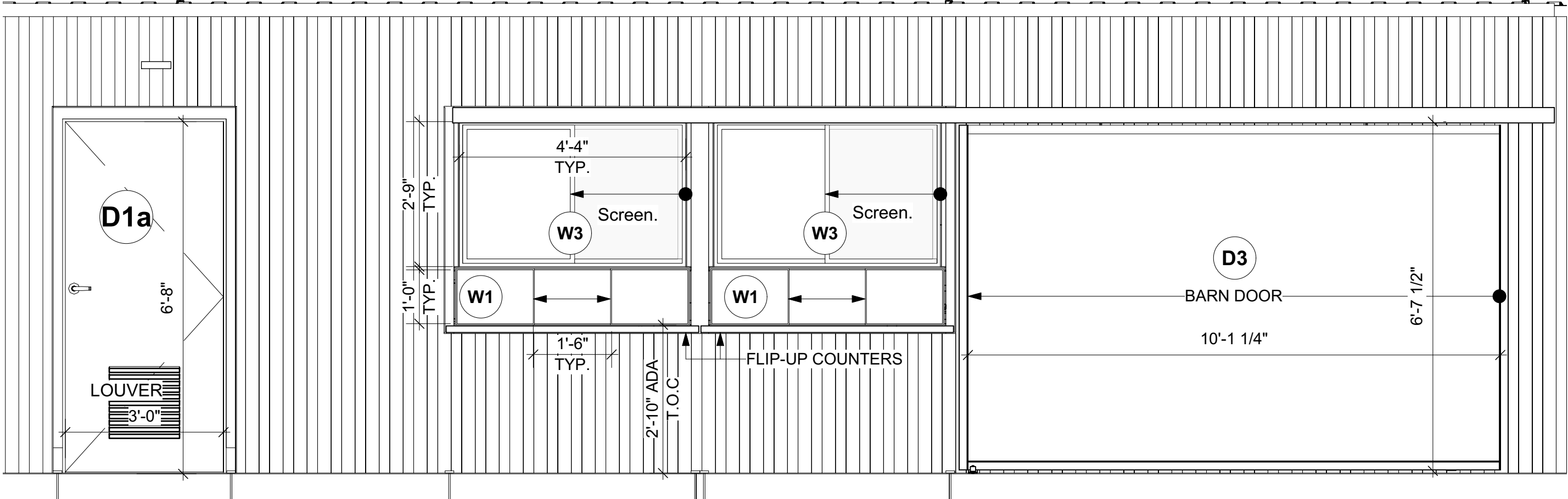
A - EXIT DOORS ARE TO BE OPENABLE FROM INSIDE WITHOUT USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. KEY LOCKING HARDWARE MAY BE USED ON THE MAIN EXIT WHEN THE MAIN EXIT DOOR HAS A DURABLE SIGN ON OR ADJACENT TO THE DOOR STATING: THIS DOOR MUST REMAIN UNLOCKED DURING BUSINESS HOURS. THE SIGN SHALL BE IN LETTERS NOT LESS THAN ONE INCH HIGH ON A CONTRASTING BACKGROUND.

B - UNLATCHING FORCE, OR OPENING FORCE NOT TO EXCEED 5 POUNDS. (CALIFORNIA)



6"X8" MIN. SIGN SIZE
INTERNATIONAL SYMBOL
OF ACCESSIBILITY. WHITE
FIGURE ON BLUE DECAL.
PER CBC 1117B.5.8.1

NOTE: PLACE NEAR
ACCESSIBLE BUILDING
ENTRY



SELF-CLOSING OUTSWING DOOR

D1a Solid Core MTL. Self-closing door Custom frame Assembly Air curtain required.

Hardware as per Group 1

SERVICE WINDOW

W1 Sliding self closing acrylic windows compliant with C.E.H.C. Requirements - max opening size 216 sq in. No air curtain required.

Hardware as per Group 5

SLIDING WINDOW

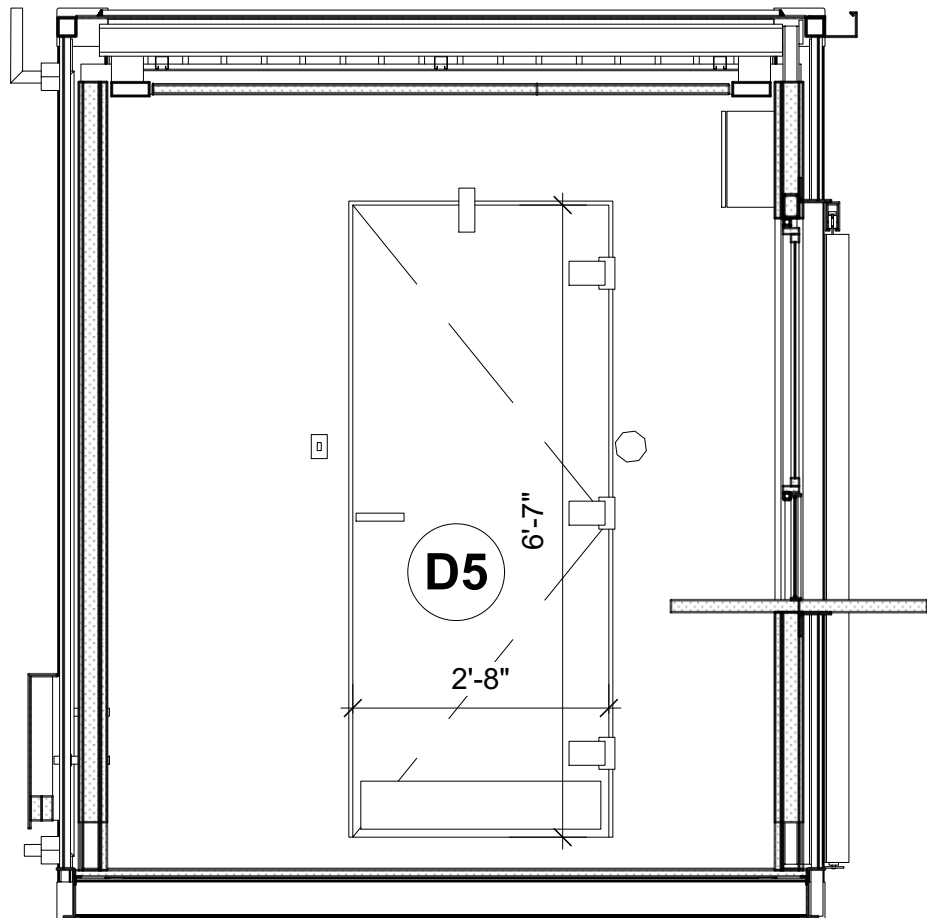
W3 Alum. frame horizontal sliding window 1/4" glass with integral insect screen.

Hardware as per Manufacture

BARN DOOR UNIT

D3 3/4" Wd. Boards over 3/4" exterior rated plywood substrate installed by client. Overhead track assembly w/ bottom guide wheel.

Hardware as per Group 2



STEP-IN REFRIGERATOR DOOR

Duracold Manufactured Step In Refrigerator. Flush Mounted, Self Closing. Locking handle. Internal safety latches. Leaf Size 6'-7"x 32". Vision Light. Hardware per Manufacturer.

Hardware as per Group 4

6 DOOR SCHEDULES



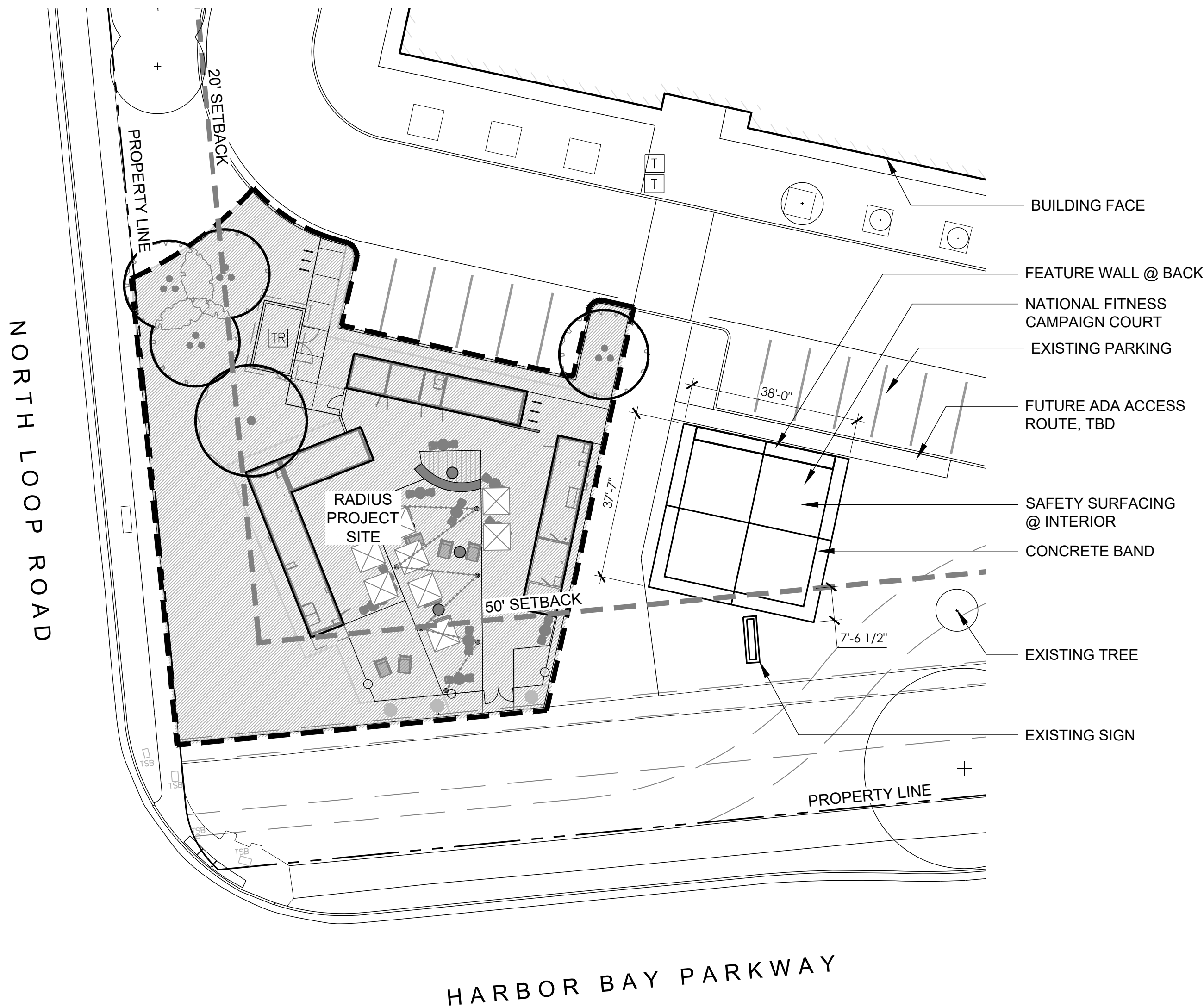
CLIENT:

PACELINE
INVESTORS

1501 HARBOR BAY -
"THE RADIUS"
1501 HARBOR BAY PARKWAY
ALAMEDA, CA 94502

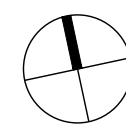


- NOTE:
1. PROPOSED NATIONAL FITNESS CAMPAIGN COURT HAS BEEN APPROVED BY HARBOR BAY BUSINESS ASSOCIATION.
 2. EXISTING NATIONAL FITNESS COURT INSTALLATION IS LOCATED ALONG THE MARINA GREEN TRAIL NETWORK. SEE <https://nationalfitnesscampaign.com/news/sanfrancisco> FOR MORE INFORMATION



1 FITNESS COURT EXHIBIT
1" = 20'-0"

SCALE: 1" = 20'-0"
0 10' 20' 40'



Date: 05/6/2022
Project Number: 21dw313
Drawn by: SB/CG
Checked by: SB/AP
Scale: As Noted

Date: Issue:
FEB 10, 2022 PRE-APP SUBMITTAL
MAY 6, 2022 PLANNING REVIEW

PROPOSED
FITNESS COURT
EXHIBIT

E1.0