

# 2100 CLEMENT AVENUE

ALAMEDA, CALIFORNIA

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City Ventures

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DEVELOPMENT PLAN  
SUBMITTAL DATE: OCTOBER 10, 2014  
REVISED: JULY 02, 2015

# 2100 CLEMENT AVENUE

## ALAMEDA, CALIFORNIA



City Ventures

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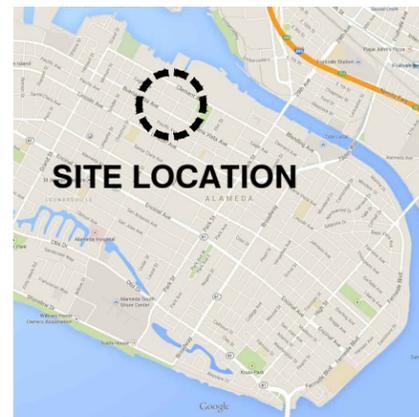
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### DEVELOPMENT PLAN

SUBMITTAL DATE: OCTOBER 10, 2014  
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LOCATION MAP



VICINITY MAP



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2100 CLEMENT AVENUE  
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LOCAL CONTEXT

CS-3

SCALE: N.T.S.  
 SUBMITTAL DATE: 10.10.2014  
 PROJECT: 317033  
 REV: 07.02.2015

## Clement, Willow, Eagle

### Project Description

2100 Clement Avenue is a 2.78 acre site in a residential area of Alameda four blocks west of Park Street. The site has been identified through the City's Housing Element as an underutilized opportunity site, and has been zoned for residential use with a maximum density range of 21-29 homes per acre and a realistic capacity of 53 new homes. It is currently zoned R2-PD. To the north of the site across Clement Avenue is the Navy Operational Support Center; to the east is Thompson Field, and to the west and south are single family homes with some multi-family and community commercial uses interspersed throughout. The site is currently occupied by three warehouses. City Ventures is proposing 52 new homes, which is just under 19 homes an acre and is one home fewer than the realistic capacity for the site identified in the Housing Element.

The project's main access point for vehicles will be along Clement Avenue. There is a secondary access to be shared by pedestrians and vehicles provided at Mulberry Street. Mulberry St is a one block street which runs from Eagle Ave to Buena Vista Ave.

City Ventures intends to create a pedestrian friendly community that connects with the existing neighborhood through thoughtful site design and integration of architectural details from surrounding homes. We are proposing to create a public access easement through the project to allow a future connection for bicycles and pedestrian traffic from Eagle Ave to Clement Ave along the current line of Mulberry St (the completion of the connection to Clement Ave will require the Alameda Unified School District to also provide access through their property). In addition, the project is designed with multiple pedestrian paths connecting Eagle Avenue to Clement Avenue. The site features approximately 23,622 square feet of common open space with direct access and visibility from Eagle Avenue. The shared open space will invite the surrounding neighbors to visit and meet their new neighbors, and enhance the connectivity of our project to the existing neighborhood.

#### Park Street, a walkable community

The most important part of pedestrian friendly design is the site's proximity to services and public transportation. When people live within walking distance of the shops and services they use every day, they will use their cars less often.

The Local Context Map (Sheet CS3) shows many of the services within walking distance of the project. Locally owned businesses near and along Park Street provide grocery services, pharmacies, coffee shops, bars and restaurants, bookstores, clothing and kids stores, and countless other necessary services. McKinley Park, a 1 acre public park is just one block away. The Alameda Free Library, City Hall, the Police Station, and Haight Elementary are within walking distance less than ½ mile away. Several churches, the Alameda Theatre, and Alameda High are also walkable from this neighborhood. With services this close, the homeowners will naturally use their cars less often and frequent these locally owned establishments. Creating housing opportunities within walking distance of locally owned stores reduces traffic and parking issues in commercial centers, and keeps tax revenue in the City of Alameda.

#### Encouraging the use of Public Transportation

When homes are located next to transit centers that provide access to regional job centers, the residents are more likely to use these public transportation options. New housing has the lowest impact on traffic when it is centered around public transportation and services. 2100 Clement Avenue is 4 blocks from AC Transit stops that provide service directly to downtown San Francisco and to the Fruitvale BART station to allow people to get to regional job centers. Every weekday there are 48 express bus trips (35-45 minute ride) to downtown San Francisco and 170 bus trips to the Fruitvale BART station (15-25 minutes).

To further incentivize homeowners to use public transportation, 2100 Clement Avenue will participate in the Northern Waterfront TMA. The HOA will contribute annually to the TMA and establish stops for shuttle service to and from the Alameda Ferry. Additionally, through the homeowners association, AC Transit passes will be provided to all households.

### A Commitment to Building for the Future - Green Building Design Features

Throughout California, City Ventures has been a leader in building communities that lower energy usage by including Green Key features in all of our homes that other homebuilders typically charge extra for. Our innovative Green Key design elements tie traditional energy saving ideas together with new design concepts. The concept of smart design starts with location, and the centrally located walkable neighborhood surrounding 2100 Clement Ave is an ideal location.

By designing our communities to be all-electric, we can pull the most amount of value from the solar panels installed on all our homes. Energy efficient appliances, advanced heating and cooling systems, and Smart Home Technology allow homeowners to understand and be in control of their energy usage. All garages are pre-wired for electric car charging stations.

### Providing a Diversity of Home Styles

The architecture of the new community is inspired by the varied home styles of the neighborhood around 2100 Clement Ave. Traditional siding materials, frieze trim, decorative corbels and trim pieces complement the existing neighborhoods. Front yards will have low picketed fences reflecting the character of neighborhood, and providing some privacy, while still encouraging neighbors to meet and interact with each other. The streetscapes at Willow, Eagle and Clement all project elegant classic edges with front yards and landscaping to help define a vibrant community character. Overall, the architecture of 2100 Clement Avenue is intended to strengthen the neighborhood character and promote a pedestrian-friendly environment for everyone. Specific details from the architecture of the surrounding neighborhood have inspired materials, window styles, gable ends, and column and rail styles throughout the community.



Townhome design showing elements from the existing neighborhood

Along Willow St, we are planning 4 two-story buildings that will include 12 homes. From Willow St, the homes will look like two-story duplexes, with two separate entry porches. Both of the duplex homes have 3 bedrooms upstairs, in addition to a ground floor den that can be converted into a bedroom. The duplex homes range from 2,100-2,300 square feet, and each have a private courtyard. Each pair of duplexes has a 1,400 square foot carriage home with a private balcony and a separate entry on the side of the building. Each home has an attached 2-car garage with solar panels installed on the roofs.



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ALAMEDA, CALIFORNIA



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PROJECT SUMMARY

CS-4

SCALE: N.T.S.  
SUBMITTAL DATE: 10.10.2014  
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REV: 07.02.2015

**Project Description (continued)**

On the remainder of the site, we are proposing 8 buildings of 3-story townhomes for a total of 40 homes. The front doors and private yards of the townhomes face Eagle Avenue, Clement Ave, common open space and landscaped paseos. Facing front doors out to the neighboring community encourages new residents to interact with the existing neighborhood. The townhomes range from 1,500-1,900 square feet of living area, and they each have 3 bedrooms upstairs. 34 of the townhomes also have a full bathroom and den (which can be converted to a bedroom) on the ground floor. Mechanical wells on the roofs of the townhomes will allow us to have both solar panels and air conditioning installed out of site on the roof. Every home will have an attached 2-car garage.



4-plex townhome elevation facing Eagle Ave

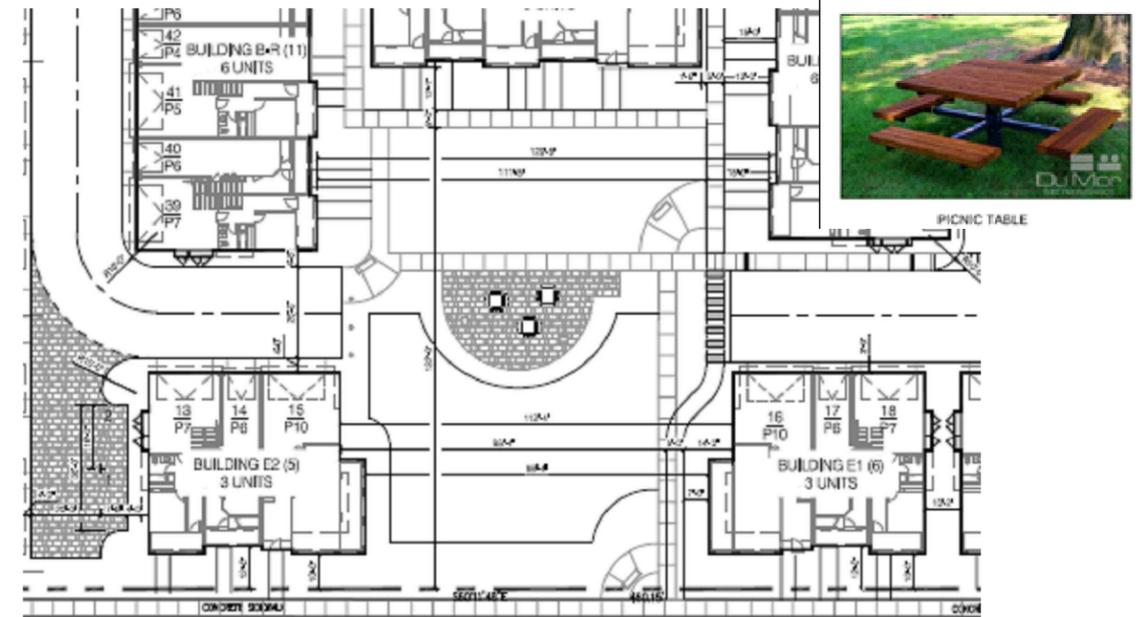
**Universal Design**

Universal Design is the idea that homes should be designed to be accessible and usable for all people. We have incorporated several universal design concepts into the homes at 2100 Clement Ave. Eight homes facing Willow Street have a ground floor bedroom, full bathroom and kitchen. Four of those homes will be designed with no steps from the public sidewalk along Willow into the home. In addition, 34 of the townhomes have a ground floor den (convertible to a bedroom) and a full bathroom. All of the ground floor bathrooms include the following design features: Wall mounted sinks, shower stalls (instead of tubs), lever-style door handles, ADA faucets, framed backing for the future installation of grab bars, ADA height toilets, and non-slip floor coverings in wet areas.

**Open Space and Parking**

We believe that private outdoor open spaces are important for all homeowners. Every townhome and all of the duplex homes have private yards at the ground floor level that are designed to be large enough for a barbeque, table and chairs and some friends. Front doors facing Eagle Ave, Clement Ave, and Willow St will help to activate these streets and bring neighbors out to meet their neighbors. Low picket fences provide some privacy, but also encourage interaction between new residents and the existing neighborhood. In addition to an average of 240 square feet of private ground floor yard space, the carriage homes have 80 square feet of private balcony.

Community open space is also critical to creating a sense of place. The new central park area is designed to be visible and inviting from Eagle Ave and has over 23,600 square feet of common space (maintained by the homeowners association).



Along Eagle Ave, we have increased the setback of the townhomes and created a 16,500 square foot park that invites the neighborhood into the new community. The HOA will maintain all of the common open space improvements.

Every home has a 2-car attached garage. In addition, the community has 7 off-street parking spaces for guests and visitors. There are a total of 111 parking spaces for a ratio of 2.13 parking spaces per home.

**Land Use**

The site is currently zoned for residential use (R2-PD), and is identified in the City's Housing Element as an underutilized site that should be redeveloped for housing. The project is exempt from CEQA Review because it meets the criteria of the In-Fill Exemption (CEQA Guideline 15332).

The project contributes to the identified "Major Housing Initiatives for 2015-2023" from the Housing Element:

*"Transit-Oriented Housing and Sustainable Development.* The focus of the next eight years will be to provide a variety of housing types for a diversity of household needs in transit- and pedestrian-oriented and mixed-used use locations, consistent with the City of Alameda General Plan, Local Action Plan for Climate Protection, and the regional Sustainable Communities Strategy, Plan Bay Area.

*Northern Waterfront Priority Development Area.* These former industrial sites along the Oakland/Alameda Estuary provide important opportunities to reconnect Alameda neighborhoods to the waterfront and provide housing for a wide variety of household types."

2100 Clement is a pedestrian-friendly transit-oriented project that provides a diversity of housing types with green technology integrated into every home. The design of the site and the architecture respect the existing neighborhood and connect the new community through pedestrian access points. In addition, the new community will provide housing for the City of Alameda and new consumers for local businesses on Park Street that will keep sales tax in the City's coffers.

The project will also contribute a total of 7 affordable homes to meet Alameda's RHNA requirements in the following breakdown: 2 homes for Very Low income residents, 2 homes for Low income residents, and 3 homes for Moderate income residents. More information regarding the affordable homes is included in the Density Bonus Application Package.

The proposed project at 2100 Clement Avenue helps to advance the Goals and Policies of the City of Alameda's General Plan and Housing Element. It will eliminate incompatible and undesirable uses and will connect with the existing neighborhood around it.



2100 CLEMENT AVENUE  
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ALAMEDA, CALIFORNIA



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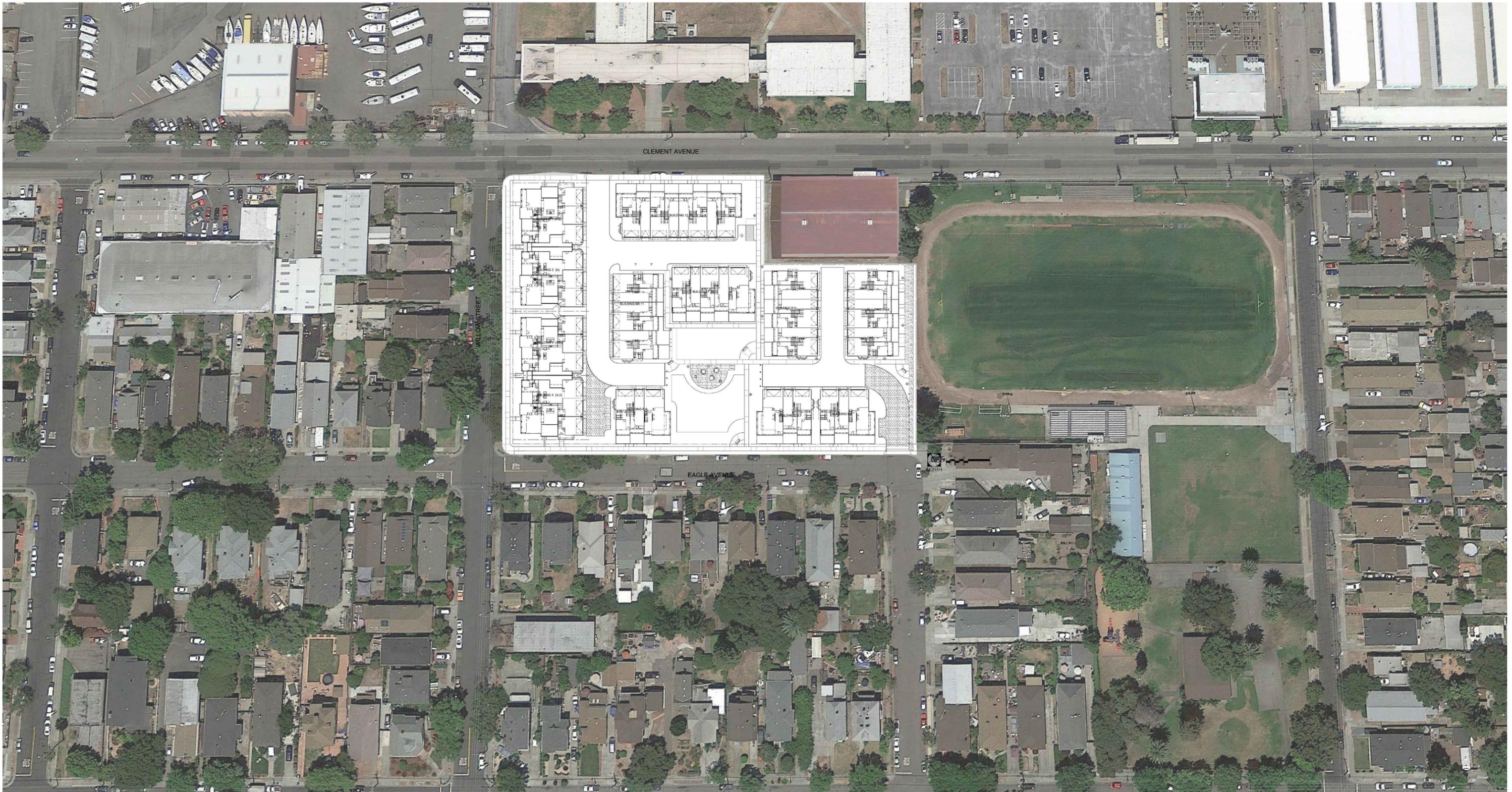
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PROJECT SUMMARY - CONTINUED

CS-5

SCALE: N.T.S.  
SUBMITTAL DATE: 10.10.2014  
PROJECT: 317033  
REV: 07.02.2015



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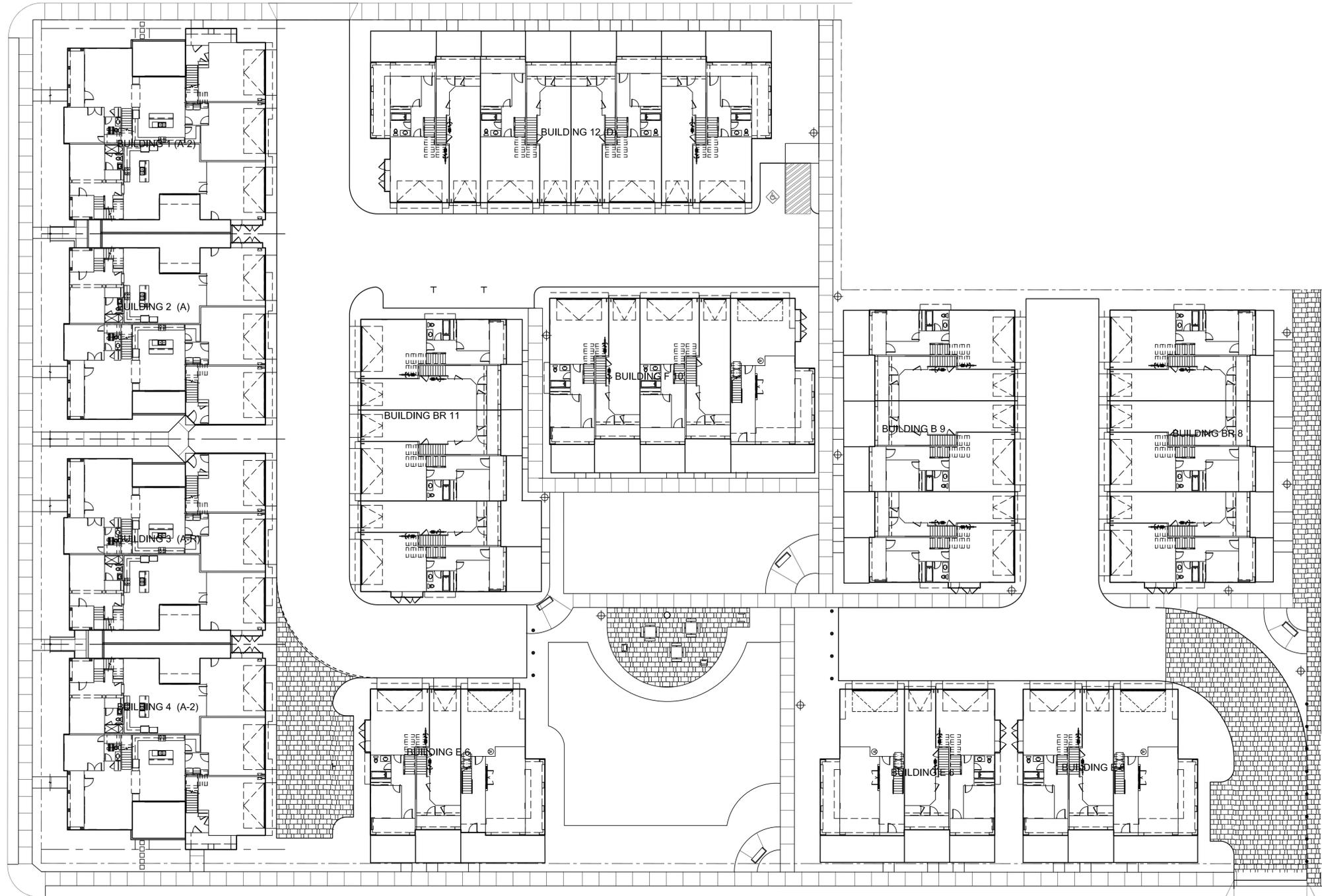
SITE OVERLAY

CS-6

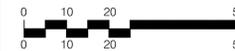
SCALE: N.T.S.  
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WILLOW STREET

CLEMENT AVENUE



EAGLE AVENUE



REVISIONS


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 Ph: 310.251.2883



CLEMENT STREET  
 ALAMEDA, CALIFORNIA  
 CITY VENTURES

DESIGNED:	DRAWN:
CHECKED:	JOB NO:
DATE	XX
SCALE	

SHEET  
**L-1**  
 OF 2 SHEETS

REVISIONS	

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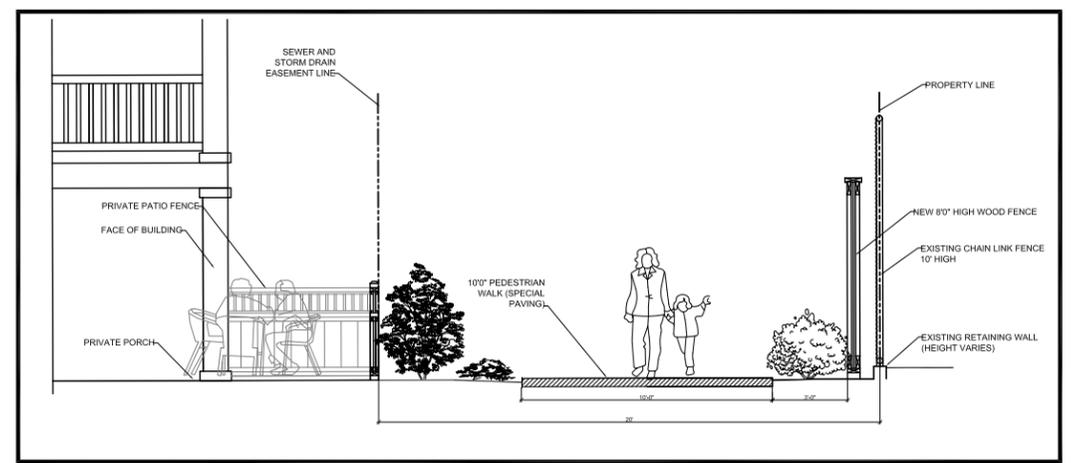


**CLEMENT STREET**  
**ALAMEDA, CALIFORNIA**  
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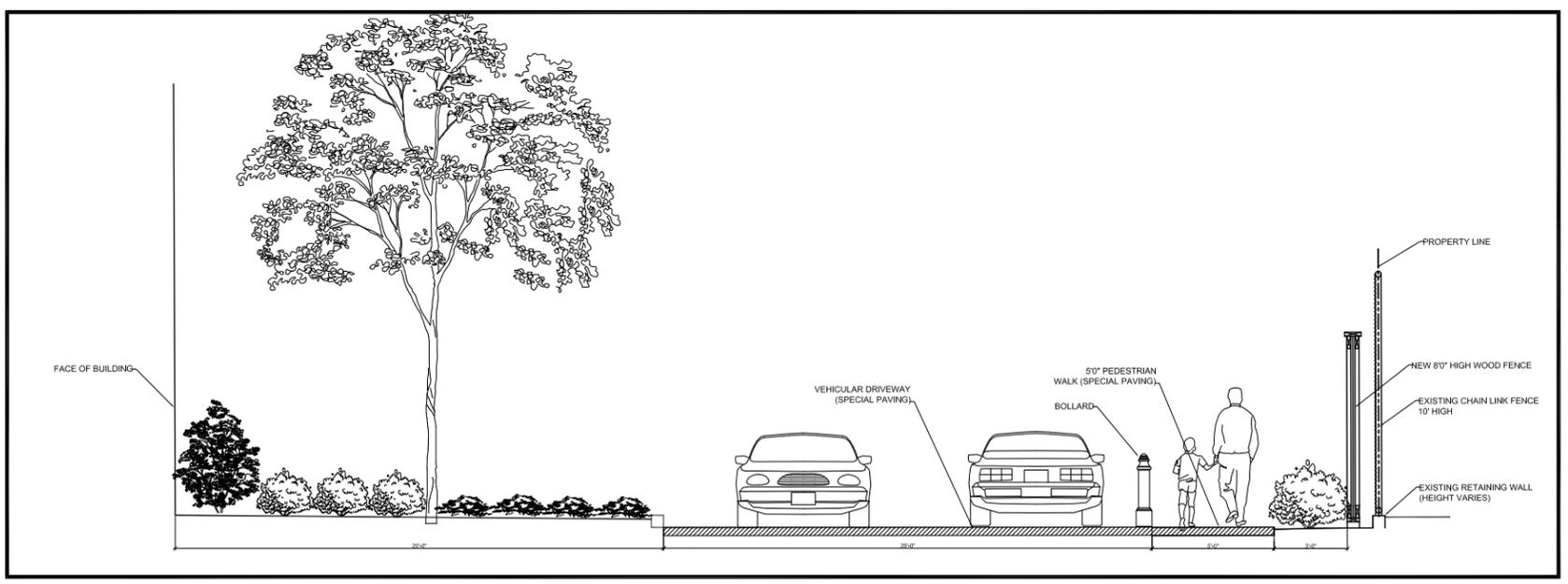
**ILLUSTRATIVE PLAN**

DESIGNED:	DRAWN:
CHECKED:	JOB NO.:
DATE	
06-03-15	
SCALE	

SHEET  
**L-2**  
 OF 2 SHEETS

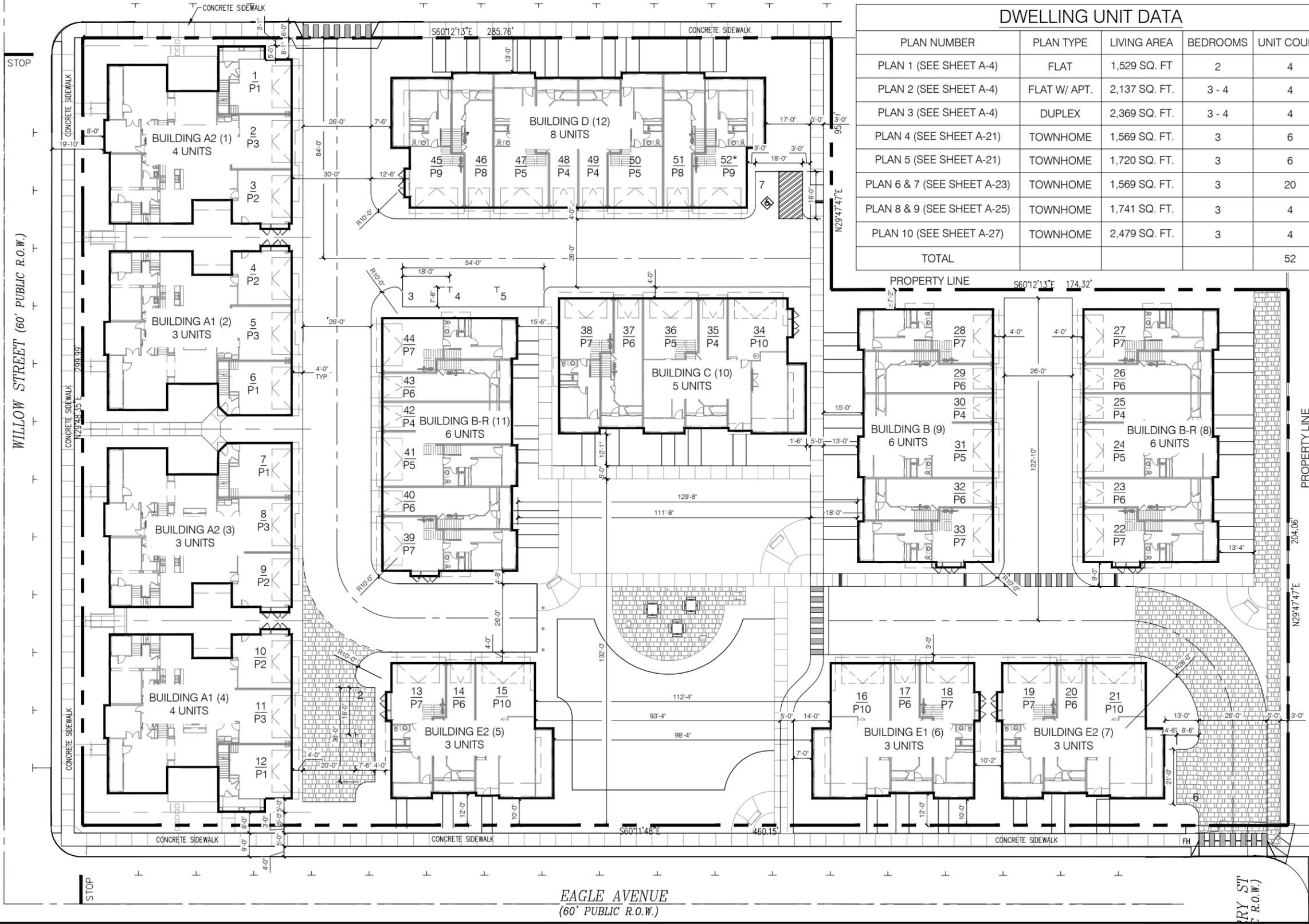


SECTION A-A: PEDESTRIAN WALK



SECTION B-B: PEDESTRIAN WALK AND VEHICULAR DRIVEWAY

CLEMENT AVENUE (60' PUBLIC R.O.W.)



DWELLING UNIT DATA

PLAN NUMBER	PLAN TYPE	LIVING AREA	BEDROOMS	UNIT COUNT
PLAN 1 (SEE SHEET A-4)	FLAT	1,529 SQ. FT.	2	4
PLAN 2 (SEE SHEET A-4)	FLAT W/ APT.	2,137 SQ. FT.	3 - 4	4
PLAN 3 (SEE SHEET A-4)	DUPLEX	2,369 SQ. FT.	3 - 4	4
PLAN 4 (SEE SHEET A-21)	TOWNHOME	1,569 SQ. FT.	3	6
PLAN 5 (SEE SHEET A-21)	TOWNHOME	1,720 SQ. FT.	3	6
PLAN 6 & 7 (SEE SHEET A-23)	TOWNHOME	1,569 SQ. FT.	3	20
PLAN 8 & 9 (SEE SHEET A-25)	TOWNHOME	1,741 SQ. FT.	3	4
PLAN 10 (SEE SHEET A-27)	TOWNHOME	2,479 SQ. FT.	3	4
TOTAL				52

PROJECT DATA

LOCATION: 2100 CLEMENT AVENUE
APN: 071-0228-001-02
ZONING: R2 WITH PLANNED DEVELOPMENT OVERLAY (R2-PD)

LOT DATA

TYPE	PROVIDED	% LOT AREA
TOTAL LOT AREA	2.78 AC. (121,097 SQ. FT.)	NA
DENSITY	19.78 UNITS PER ACRE	NA
BUILDING COVERAGE	52,408 SQ. FT.	43%

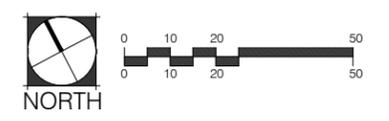
OPEN SPACE (SECT. 30-4.2-d-9)

TYPE	REQUIRED	PROVIDED
PRIVATE OPEN SPACE - GROUND LEVEL	120 SQ. FT. PER UNIT (MIN)	316 SQ. FT. PER UNIT
PRIVATE OPEN SPACE - NON GROUND LEVEL	60 SQ. FT. PER UNIT (MIN)	82 SQ. FT. MIN.
COMMON OPEN SPACE (SEE SHEET SP-2)	150 SQ. FT. PER UNIT (MIN)	454 SQ. FT. PER UNIT
USABLE OPEN SPACE (SEE SHEET SP-2)	600 SQ. FT. PER UNIT (MIN)	852 SQ. FT. PER UNIT

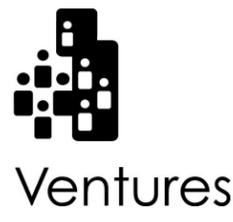
OFF-STREET PARKING DATA (SECT. 30-7)

TYPE	REQUIRED	PROVIDED	
		SPACES	DENSITY
RESIDENTIAL (COVERED)	2 SPACES PER UNIT (MIN.)	104	2 SPACES / UNIT
GUEST (UNENCLOSED)	NONE	15	0.3 SPACES / UNIT
HCP. (INCL. WITH GUEST PKG)		1	
BICYCLE PARKING SPACES (SHORT TERM)	0.05 SPACES PER BEDROOM	110	0.66 SPACES PER BEDROOM (MIN.)

52\* UNIT NUMBER  
P9 PLAN TYPE  
\*\*\* INDICATES ADA ACCESSIBLE UNITS  
"R" INDICATES REVERSED FLOOR PLAN



EAGLE AVENUE  
(60' PUBLIC R.O.W.)

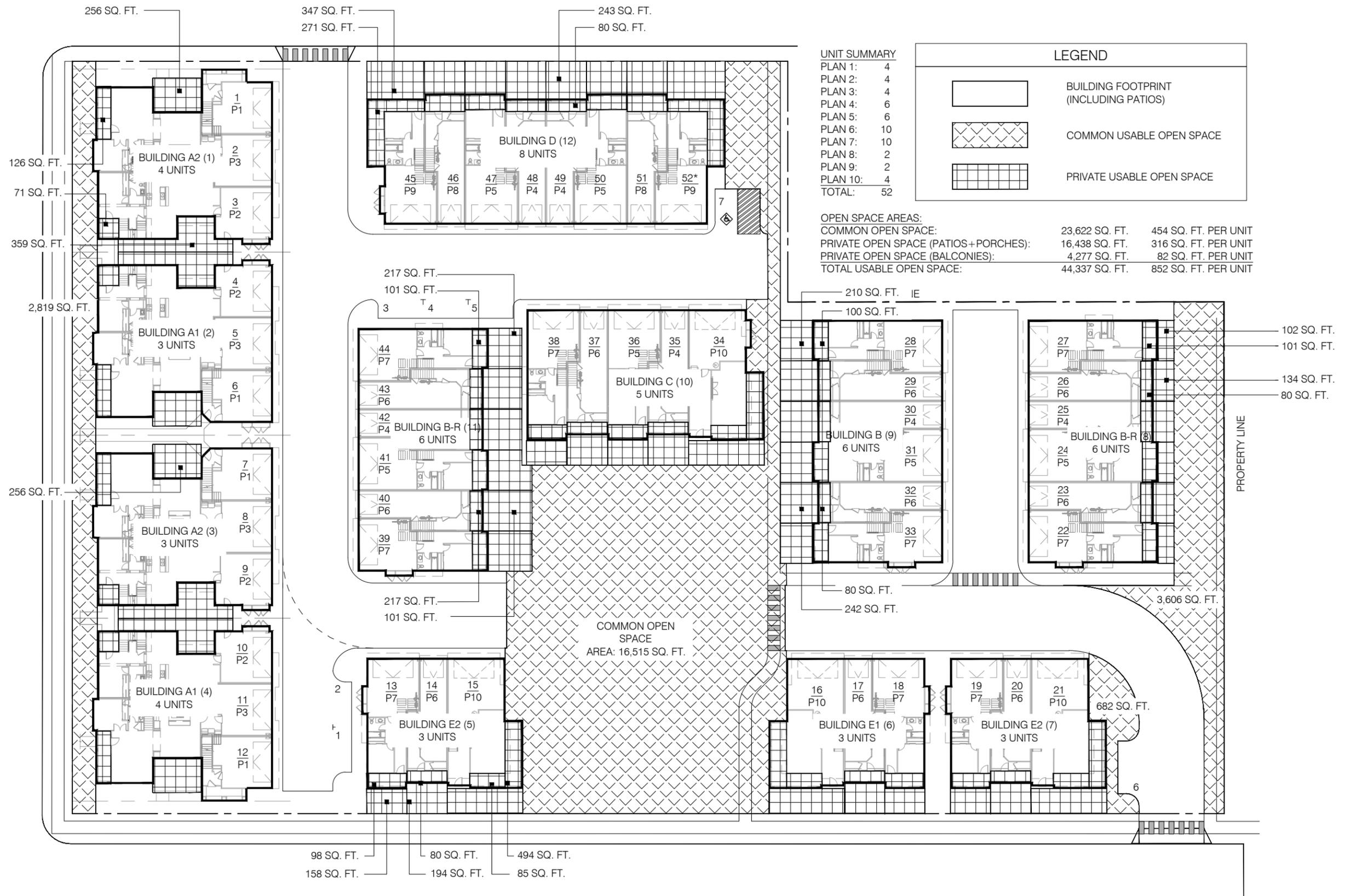


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SITE PLAN  
SP-1  
SCALE: 1:20  
SUBMITTAL DATE: 10.10.2014  
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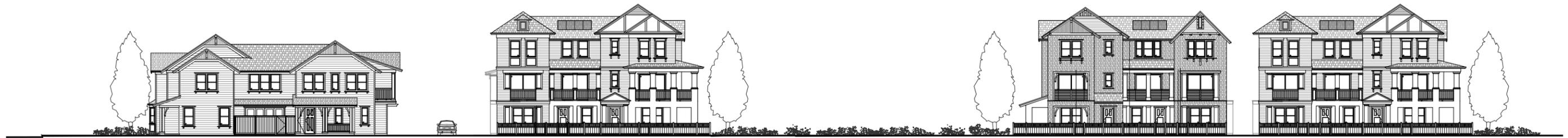
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SITE OPEN SPACE DIAGRAM

## SP-2

SCALE: 1:20  
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EAGLE AVENUE STREETSCAPE



WILLOW STREET STREETSCAPE



CLEMENT AVENUE STREETSCAPE



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STREETSCAPES

SC-1

SCALE: 1/16" = 1'-0"  
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EAGLE AVENUE STREETSCAPE



WILLOW STREET STREETSCAPE



CLEMENT AVENUE STREETSCAPE



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STREETSCAPES COLOR RENDERINGS  
**SC-2**  
 SCALE: 1/16" = 1'-0"  
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CONCEPTUAL DETAILS

SC-3

SCALE: N.T.S.  
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**ELEVATION NOTES**

**MATERIALS**

1. COMPOSITE SHINGLE ROOF
2. LAP SIDING W / 6" REVEAL
3. LAP SIDING W / 12" REVEAL
4. SHINGLE SIDING
5. BOARD AND BATTEN SIDING WITH 6" SPACING
6. BOARD AND BATTEN SIDING WITH 24" SPACING
7. GABLE VENT
8. PRIVACY FENCE OR DECORATIVE PICKET FENCE. SEE LANDSCAPE DRAWINGS.
9. DECORATIVE WOOD CORBEL AND KICKER
10. PAINTED WOOD (OR EQUAL) PANELS AND TRIM
11. 42" GUARDRAIL
12. 36" HANDRAIL
13. 12" SQUARE PORCH COLUMN
14. ENTRY DOOR
15. ROLL-UP GARAGE DOOR
16. PAINTED WOOD (OR EQUAL) FRIEZE TRIM
17. GUTTER AND DOWNSPOUT
18. SOLAR ARRAY. PRECISE LOCATION TO BE SPECIFIED BY SOLAR CONSULTANT.



**RIGHT ELEVATION**

BUILDING A1



**FRONT ELEVATION**

BUILDING A1



**LEFT ELEVATION**

BUILDING A1



**REAR ELEVATION**

BUILDING A1



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EXTERIOR ELEVATIONS - BUILDING A1

A-1

SCALE: 1/8" = 1'-0"  
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PROJECT: 317033  
REV: 06.11.2015

**ELEVATION NOTES**

**MATERIALS**

1. COMPOSITE SHINGLE ROOF
2. LAP SIDING W / 6" REVEAL
3. LAP SIDING W / 12" REVEAL
4. SHINGLE SIDING
5. BOARD AND BATTEN SIDING WITH 6" SPACING
6. BOARD AND BATTEN SIDING WITH 24" SPACING
7. GABLE VENT
8. PRIVACY FENCE OR DECORATIVE PICKET FENCE. SEE LANDSCAPE DRAWINGS.
9. DECORATIVE WOOD CORBEL AND KICKER
10. PAINTED WOOD (OR EQUAL) PANELS AND TRIM
11. 42" GUARDRAIL
12. 36" HANDRAIL
13. 12" SQUARE PORCH COLUMN
14. ENTRY DOOR
15. ROLL-UP GARAGE DOOR
16. PAINTED WOOD (OR EQUAL) FRIEZE TRIM
17. GUTTER AND DOWNSPOUT
18. SOLAR ARRAY. PRECISE LOCATION TO BE SPECIFIED BY SOLAR CONSULTANT.



**RIGHT ELEVATION**

BUILDING A2



**FRONT ELEVATION**

BUILDING A2



**BUILDING A2**

BUILDING A1



**REAR ELEVATION**

BUILDING A2



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EXTERIOR ELEVATIONS - BUILDING A2

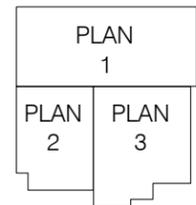
**A-2**

SCALE: 1/8" = 1'-0"  
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PROJECT: 317033  
REV: 06.11.2015

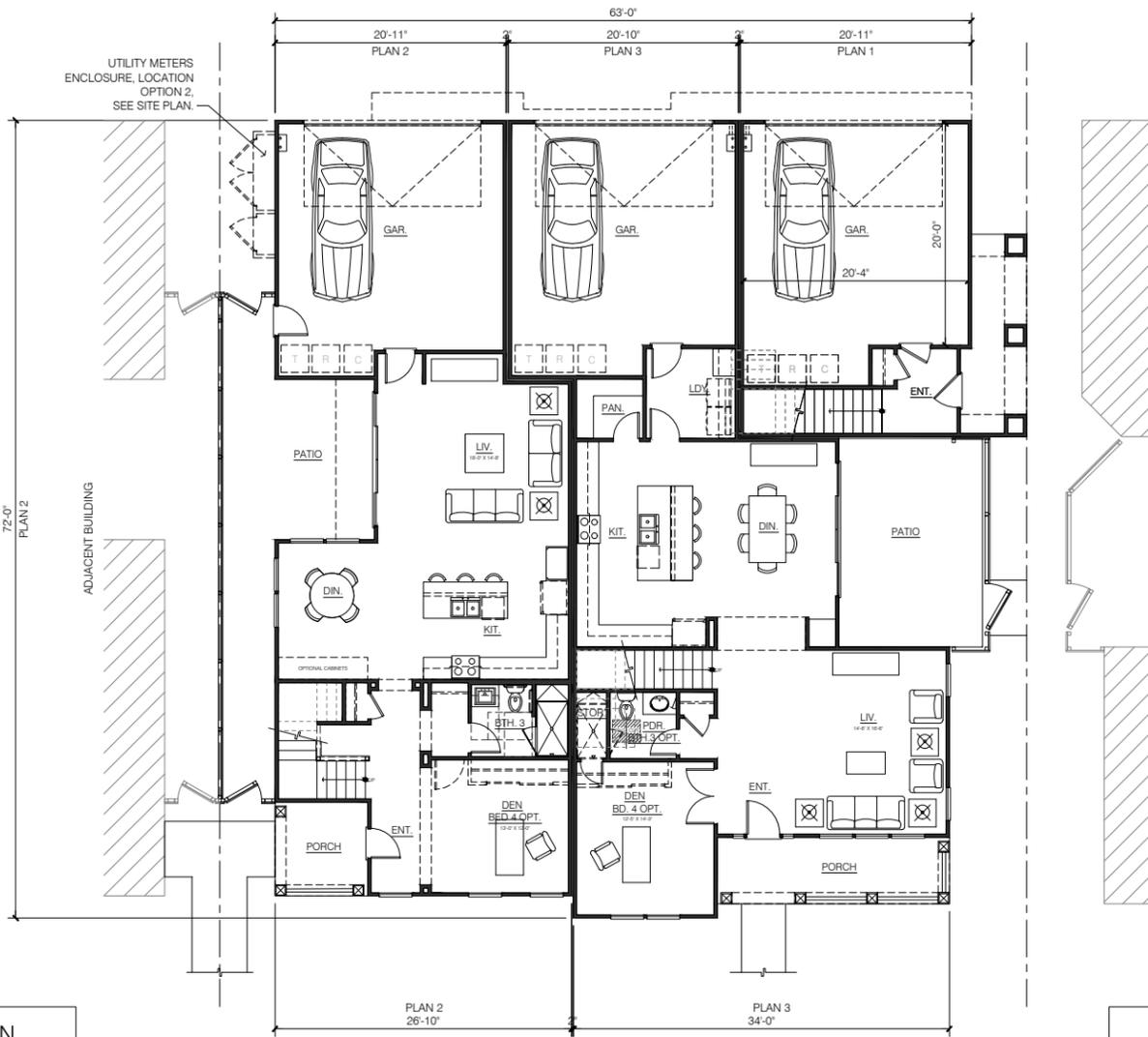


**UPPER LEVEL**

BUILDING A1 (TRIPLEX BLDG.)

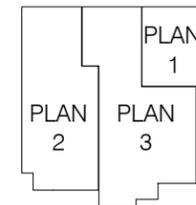


UPPER LEVEL KEY



**GROUND LEVEL**

BUILDING A1 (TRIPLEX BLDG.)



GROUND LEVEL KEY

FLOOR AREAS FOR BUILDING A1	
<b>PLAN 1</b>	
GROUND FLOOR LIVING	120 SQ. FT.
UPPER FLOOR LIVING	1,409 SQ. FT.
<b>TOTAL LIVING AREA</b>	<b>1,529 SQ. FT.</b>
GARAGE AREA	471 SQ. FT.
PRIVATE OPEN SPACES (PORCH AND BALCONY)	180 SQ. FT.
<b>PLAN 2</b>	
GROUND FLOOR LIVING	1,078 SQ. FT.
UPPER FLOOR LIVING	1,060 SQ. FT.
<b>TOTAL LIVING AREA</b>	<b>2,137 SQ. FT.</b>
GARAGE AREA	460 SQ. FT.
PRIVATE OPEN SPACES (PATIO AND PORCH)	274 SQ. FT.
<b>PLAN 3</b>	
GROUND FLOOR LIVING	1,236 SQ. FT.
UPPER FLOOR LIVING	1,133 SQ. FT.
<b>TOTAL LIVING AREA</b>	<b>2,369 SQ. FT.</b>
GARAGE AREA	461 SQ. FT.
PRIVATE OPEN SPACES (PATIO AND PORCH)	385 SQ. FT.

BUILDING FOOTPRINT AND PRIVATE OPEN SPACE			
	BUILDING	NO. OF BUILDINGS	TOTAL AREA
FOOTPRINT	3961 SQ. FT.	2	7,922 SQ. FT.
PORCH & PATIO AREA	759 SQ. FT.		1,518 SQ. FT.
BALCONY AREA	80 SQ. FT.		160 SQ. FT.
<b>TOTAL PRIVATE OPEN SPACE</b>	<b>839 SQ. FT.</b>		<b>1,678 SQ. FT.</b>



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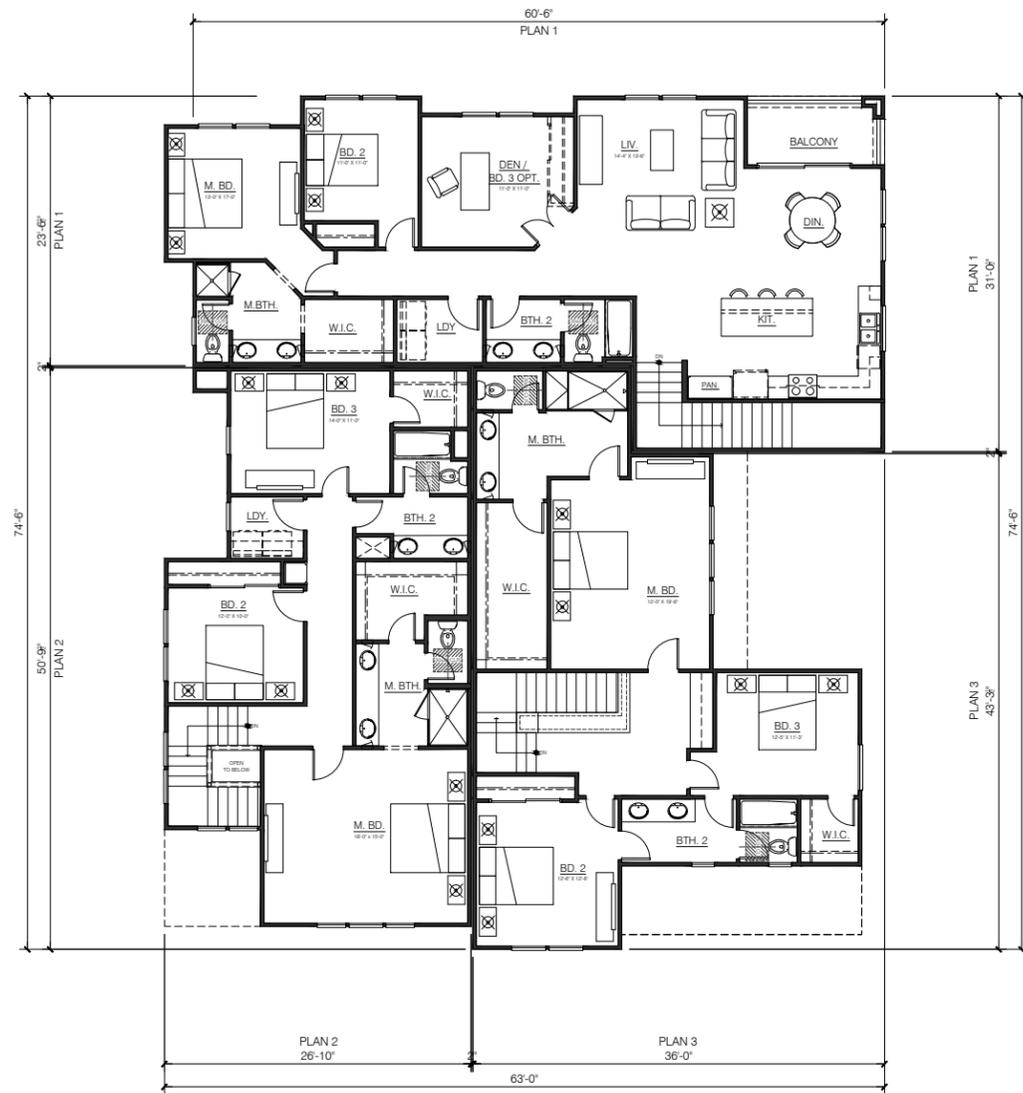
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FLOOR PLANS - BLDG. A1

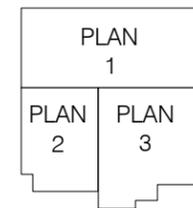
**A-3**

SCALE: 1/8" = 1'-0"  
SUBMITTAL DATE: 10.10.2014  
PROJECT: 317033  
REV: 06.11.2015

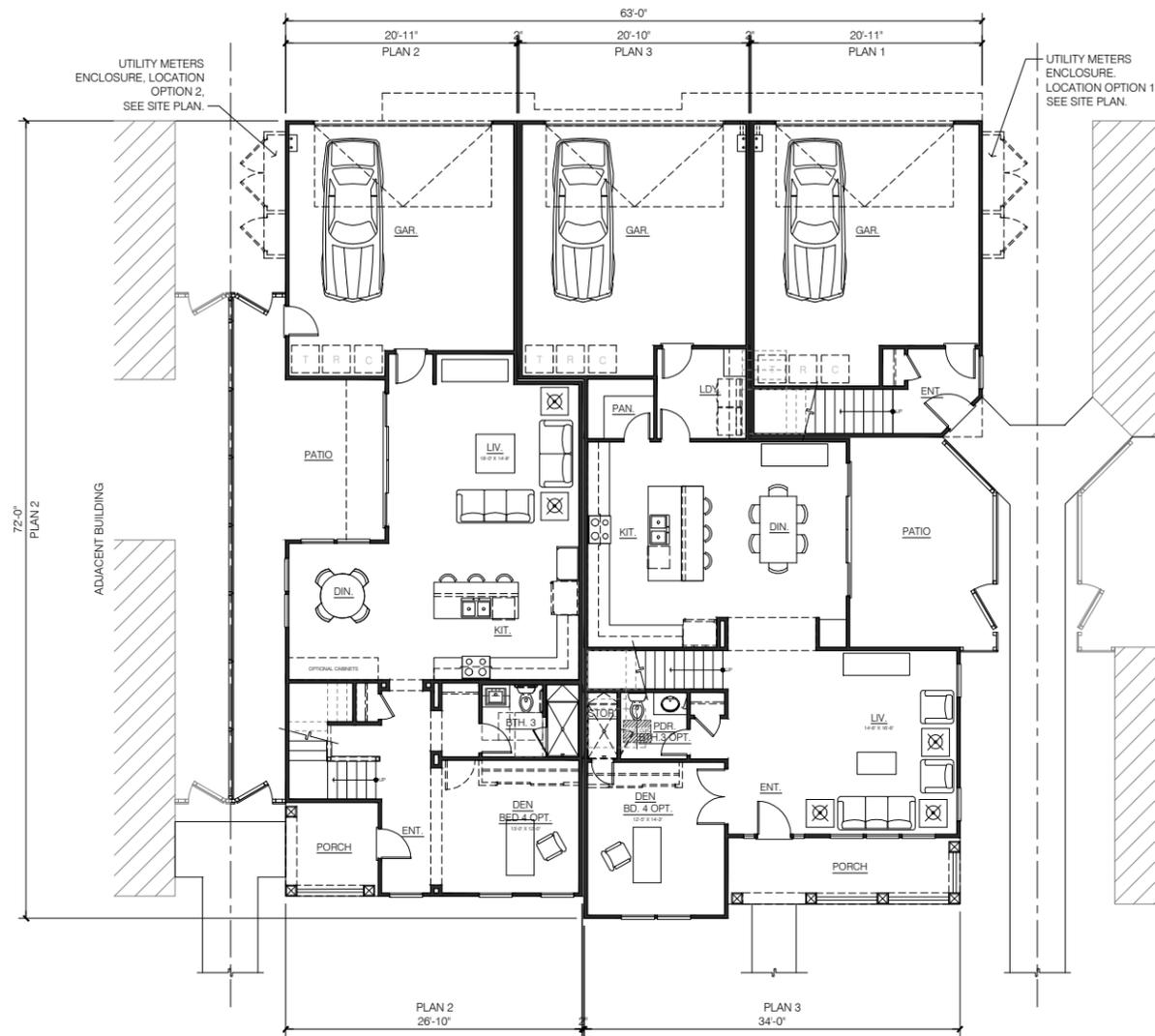


### UPPER LEVEL

BUILDING A2 (TRIPLEX BLDG.)

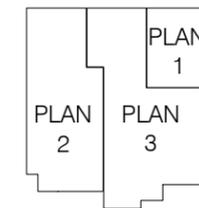


UPPER LEVEL KEY



### GROUND LEVEL

BUILDING A2 (TRIPLEX BLDG.)



GROUND LEVEL KEY

FLOOR AREAS FOR BUILDING A2	
<b>PLAN 1</b>	
GROUND FLOOR LIVING	120 SQ. FT.
UPPER FLOOR LIVING	1,409 SQ. FT.
<b>TOTAL LIVING AREA</b>	<b>1,529 SQ. FT.</b>
GARAGE AREA	471 SQ. FT.
PRIVATE OPEN SPACES (BALCONY)	80 SQ. FT.
<b>PLAN 2</b>	
GROUND FLOOR LIVING	1,078 SQ. FT.
UPPER FLOOR LIVING	1,060 SQ. FT.
<b>TOTAL LIVING AREA</b>	<b>2,137 SQ. FT.</b>
GARAGE AREA	460 SQ. FT.
PRIVATE OPEN SPACES (PATIO AND PORCH)	274 SQ. FT.
<b>PLAN 3</b>	
GROUND FLOOR LIVING	1,236 SQ. FT.
UPPER FLOOR LIVING	1,133 SQ. FT.
<b>TOTAL LIVING AREA</b>	<b>2,369 SQ. FT.</b>
GARAGE AREA	461 SQ. FT.
PRIVATE OPEN SPACES (PATIO AND PORCH)	368 SQ. FT.

BUILDING FOOTPRINT AND PRIVATE OPEN SPACE			
	BUILDING	NO. OF BUILDINGS	TOTAL AREA
FOOTPRINT	3,844 SQ. FT.	2	7,689 SQ. FT.
PORCH & PATIO AREA	642 SQ. FT.		1,284 SQ. FT.
BALCONY AREA	80 SQ. FT.		160 SQ. FT.
<b>TOTAL PRIVATE OPEN SPACE</b>	<b>722 SQ. FT.</b>		<b>1,444 SQ. FT.</b>



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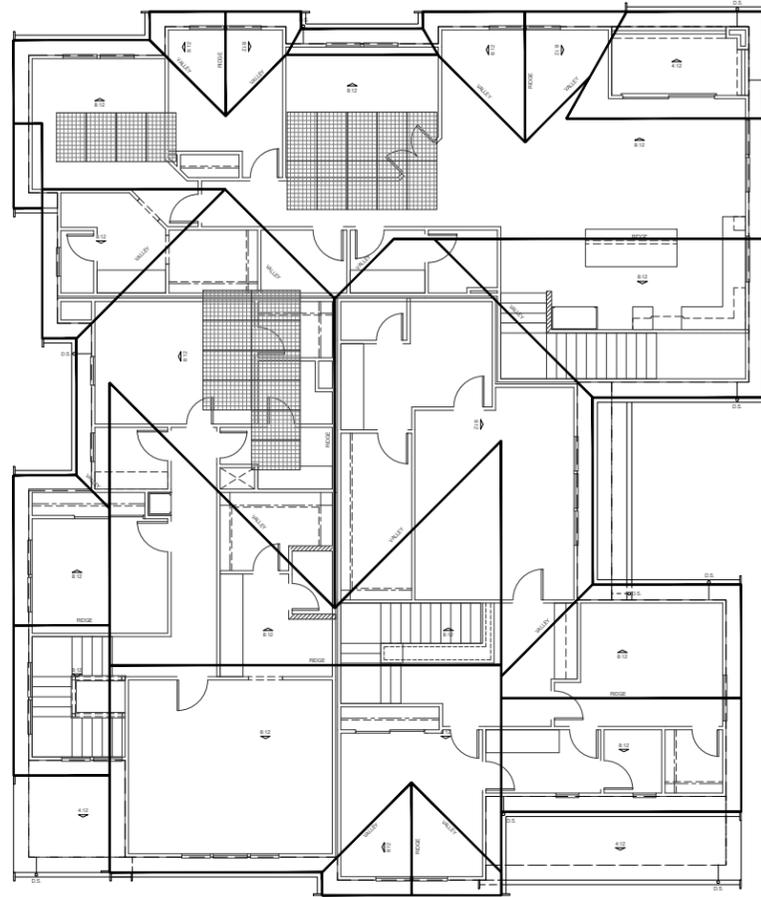
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FLOOR PLANS - BLDG. A2

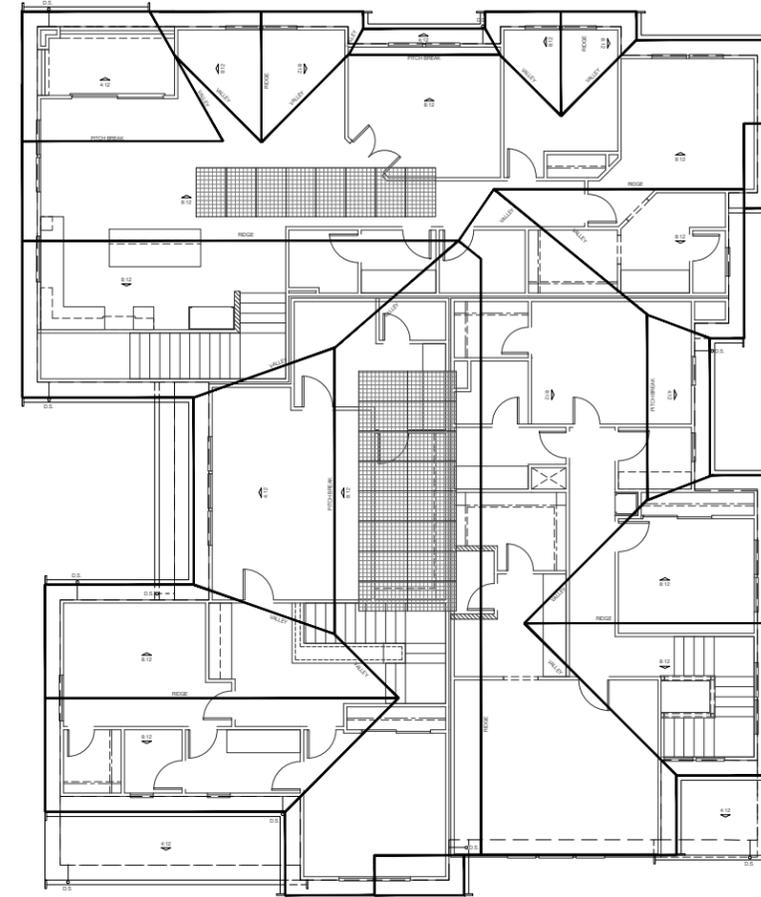
A-4

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ROOF PLAN

BUILDING A1



ROOF PLAN

BUILDING A2



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ROOF PLANS - BLDG. A1 & A2

A-5

SCALE: 1/8" = 1'-0"  
SUBMITTAL DATE: 10.10.2014  
PROJECT: 317033  
REV: 06.11.2015

**ELEVATION NOTES**

**MATERIALS**

1. COMPOSITE SHINGLE ROOF
2. LAP SIDING W / 6" REVEAL
3. LAP SIDING W / 12" REVEAL
4. SHINGLE SIDING
5. BOARD AND BATTEN SIDING WITH 6" SPACING
6. BOARD AND BATTEN SIDING WITH 24" SPACING
7. GABLE VENT
8. PRIVACY FENCE OR DECORATIVE PICKET FENCE. SEE LANDSCAPE DRAWINGS.
9. DECORATIVE WOOD CORBEL AND KICKER
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13. 12" SQUARE PORCH COLUMN
14. ENTRY DOOR
15. ROLL-UP GARAGE DOOR
16. PAINTED WOOD (OR EQUAL) FRIEZE TRIM
17. GUTTER AND DOWNSPOUT
18. SOLAR ARRAY. PRECISE LOCATION TO BE SPECIFIED BY SOLAR CONSULTANT.



**LEFT ELEVATION**

BUILDING B



**RIGHT ELEVATION**

BUILDING B



**FRONT ELEVATION**

BUILDING B (UNITS 22 - 44 SHOWN)



**REAR ELEVATION**

BUILDING B



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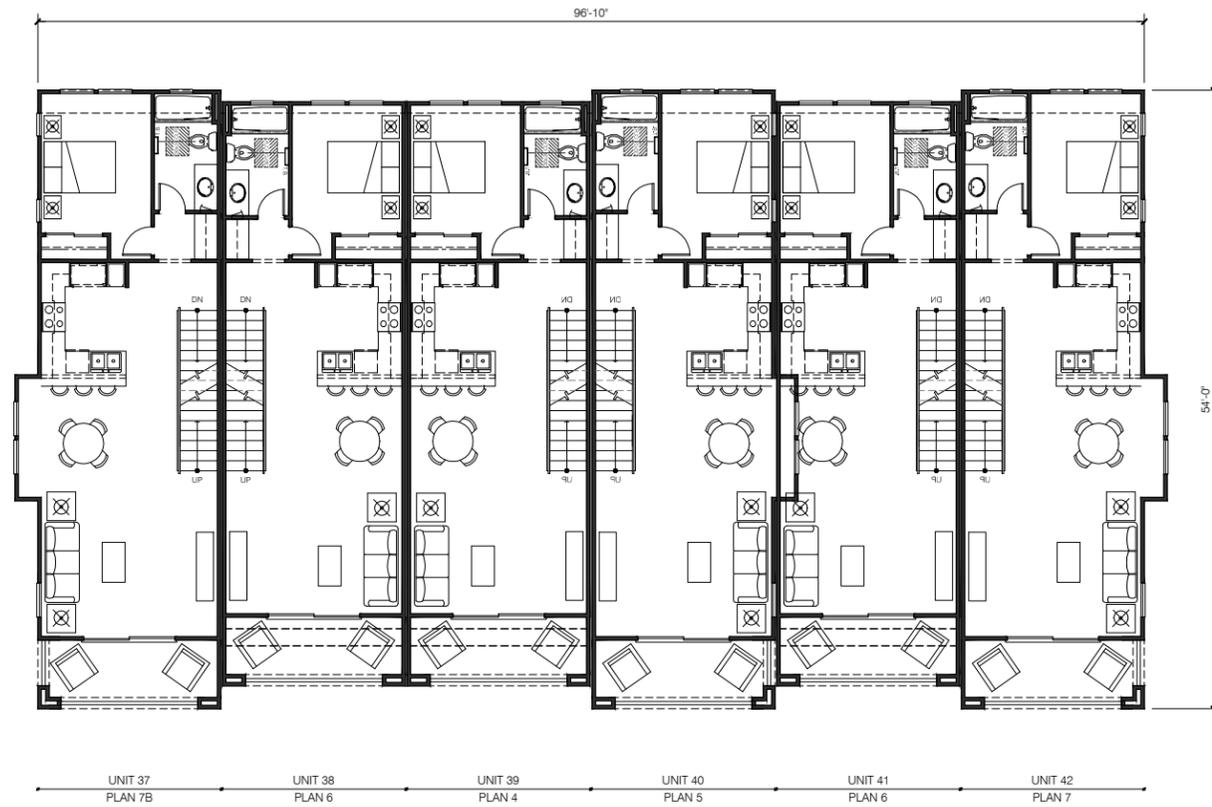
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EXTERIOR ELEVATIONS - BLDG. B

A-6

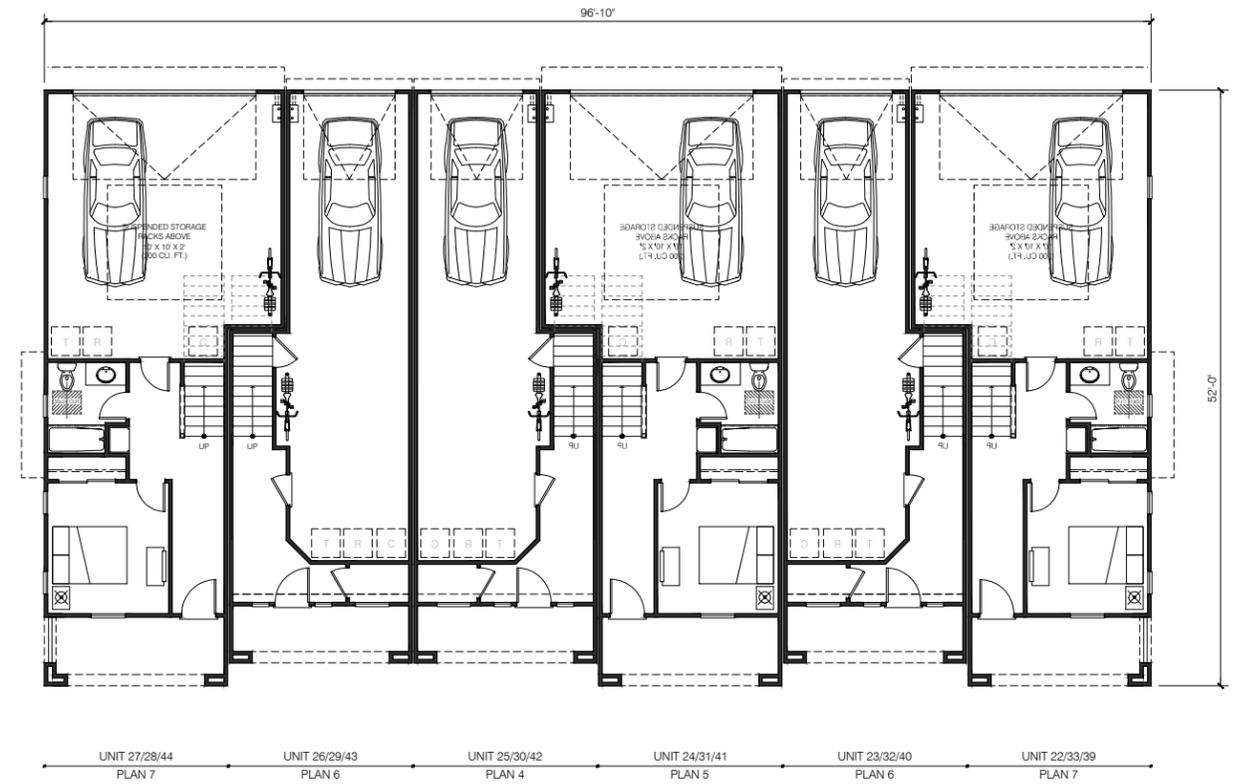
SCALE: 1/8" = 1'-0"  
SUBMITTAL DATE: 10.10.2014  
PROJECT: 317033  
REV: 06.11.2015

BUILDING FOOTPRINT AND PRIVATE OPEN SPACE			
	BUILDING	NO. OF BUILDINGS	TOTAL AREA
FOOTPRINT	4,938 SQ. FT.	3	14,815 SQ. FT.
PATIO AREA	531 SQ. FT.		1,592 SQ. FT.
BALCONY AREA	602 SQ. FT.		1,806 SQ. FT.
FRONT YARD AREA	871 SQ. FT.		2,613 SQ. FT.
TOTAL PRIVATE OPEN SPACE	1,133 SQ. FT.		3,398 SQ. FT.



### MAIN FLOOR PLAN

BUILDING B (UNITS 37 - 42 SHOWN)



### GROUND FLOOR PLAN

BUILDING B (UNITS 22 - 44 SHOWN)



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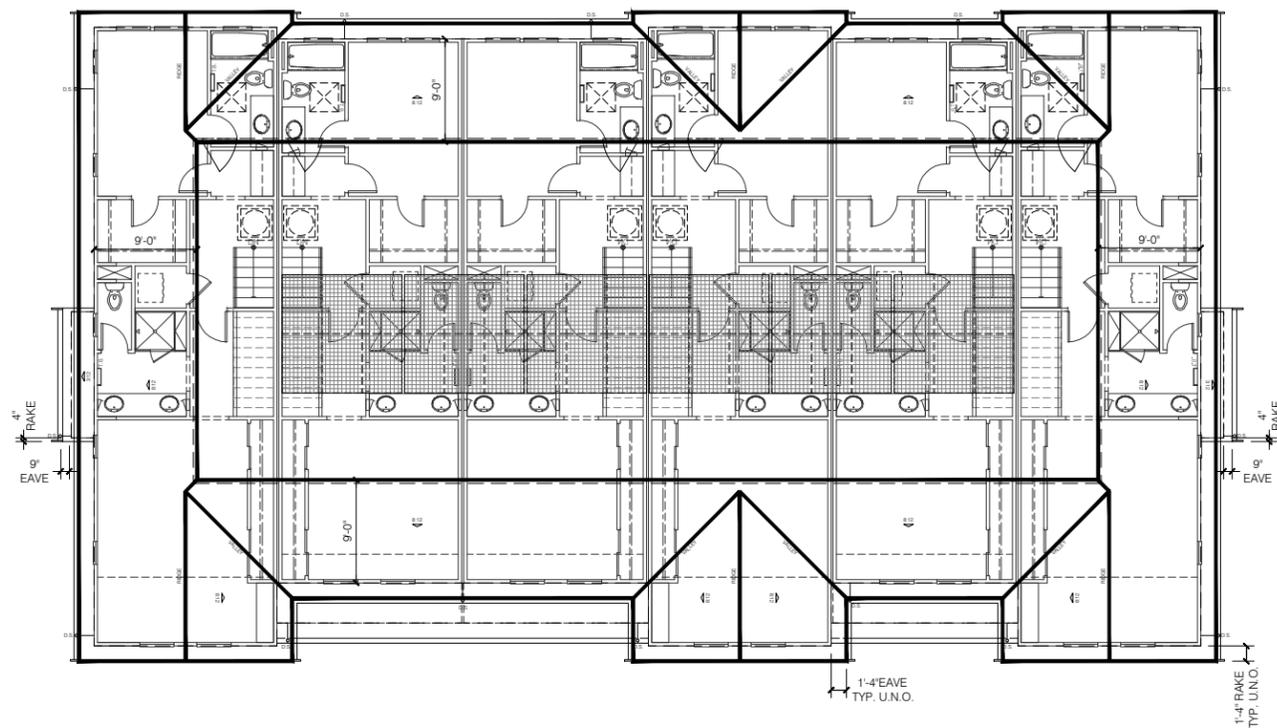
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FLOOR PLANS - BLDG. B

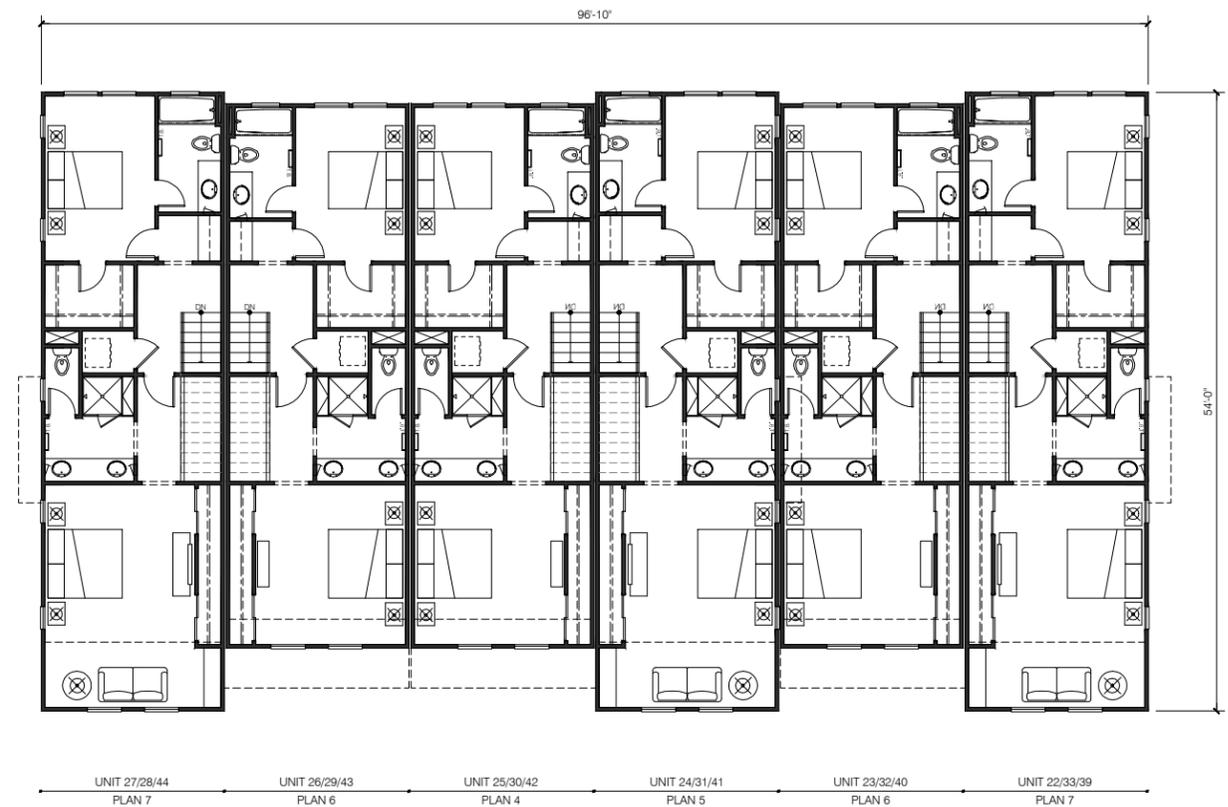
A-7

SCALE: 1/8" = 1'-0"  
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REV: 06.11.2015



## ROOF PLAN

BUILDING B



## UPPER FLOOR PLAN

BUILDING B



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FLOOR PLAN AND ROOF PLAN - BLDG. B

A-8

SCALE: 1/8" = 1'-0"  
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PROJECT: 317033  
REV: 06.11.2015

**ELEVATION NOTES**

**MATERIALS**

1. COMPOSITE SHINGLE ROOF
2. LAP SIDING W / 6" REVEAL
3. LAP SIDING W / 12" REVEAL
4. SHINGLE SIDING
5. BOARD AND BATTEN SIDING WITH 6" SPACING
6. BOARD AND BATTEN SIDING WITH 24" SPACING
7. GABLE VENT
8. PRIVACY FENCE OR DECORATIVE PICKET FENCE. SEE LANDSCAPE DRAWINGS.
9. DECORATIVE WOOD CORBEL AND KICKER
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13. 12" SQUARE PORCH COLUMN
14. ENTRY DOOR
15. ROLL-UP GARAGE DOOR
16. PAINTED WOOD (OR EQUAL) FRIEZE TRIM
17. GUTTER AND DOWNSPOUT
18. SOLAR ARRAY. PRECISE LOCATION TO BE SPECIFIED BY SOLAR CONSULTANT.



**LEFT ELEVATION**

BUILDING C



**FRONT ELEVATION**

BUILDING C (UNITS 34 - 38 SHOWN)



**RIGHT ELEVATION**

BUILDING C



**REAR ELEVATION**

BUILDING C



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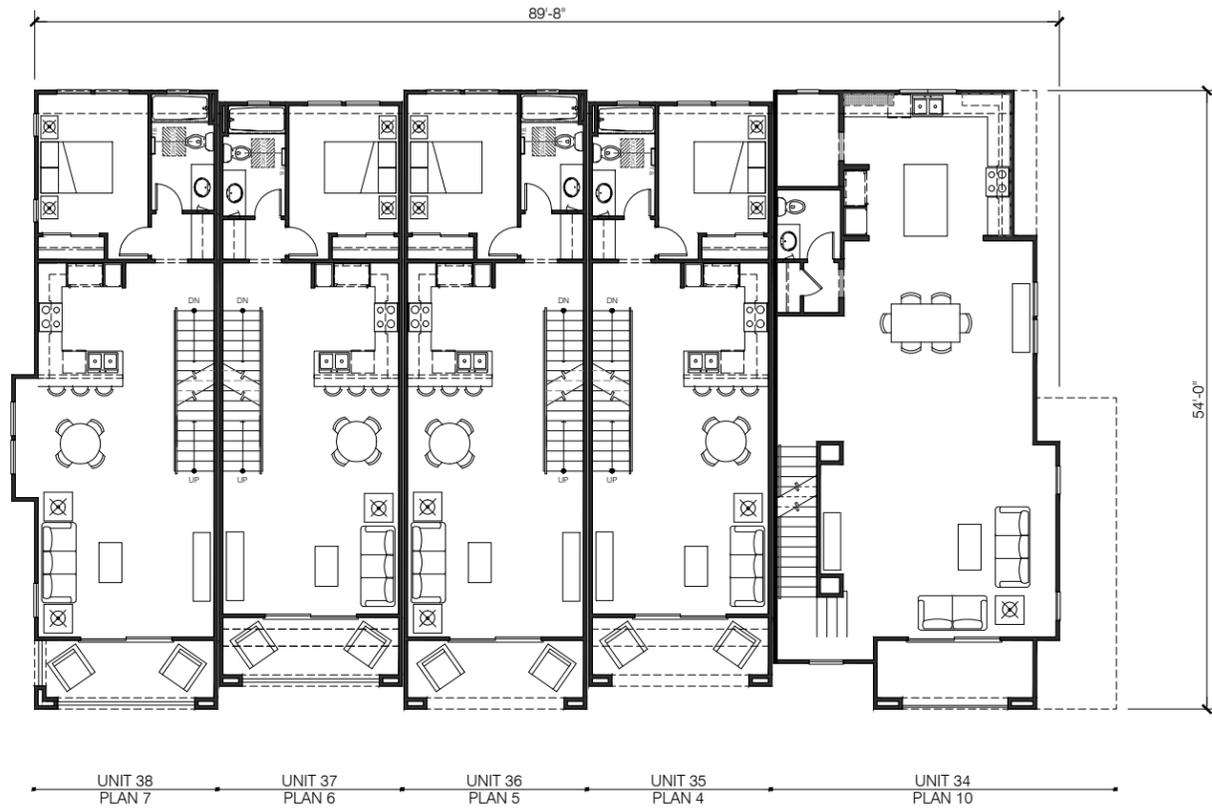
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EXTERIOR ELEVATIONS - BLDG. C

A-9

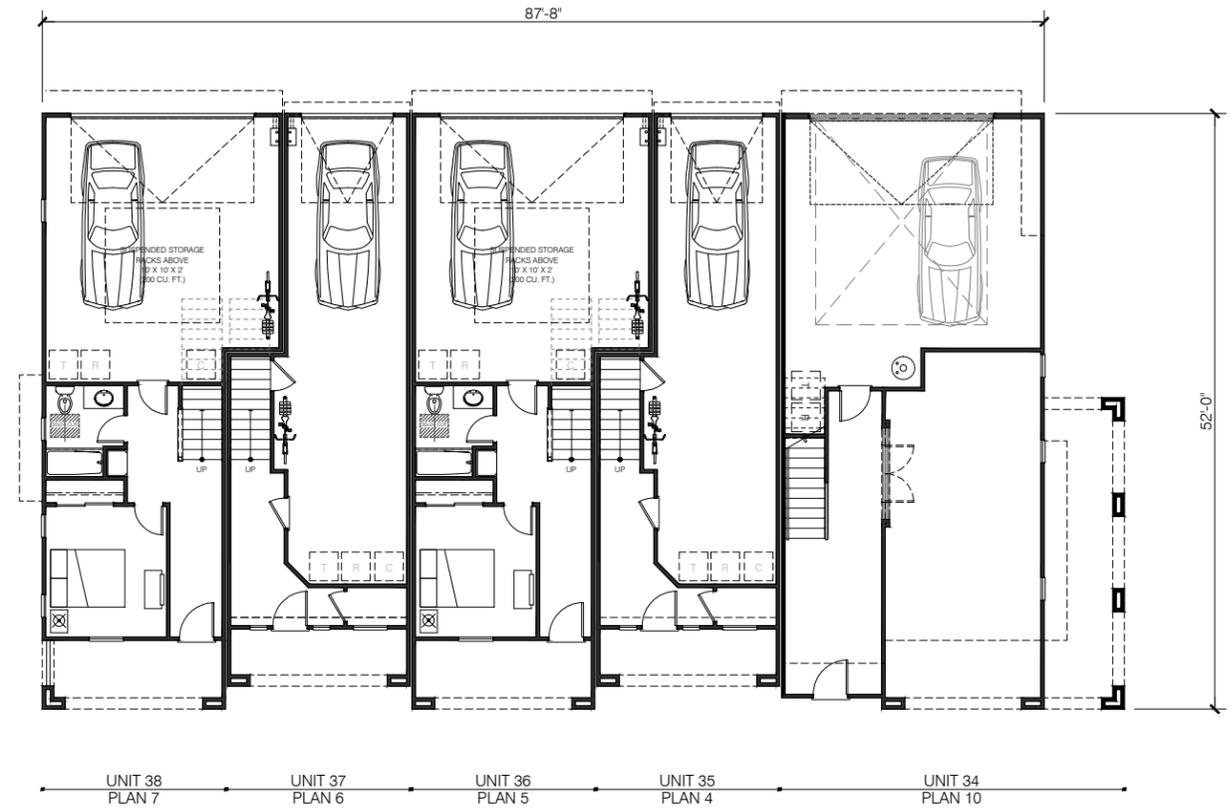
SCALE: 1/8" = 1'-0"  
SUBMITTAL DATE: 10.10.2014  
PROJECT: 317033  
REV: 06.11.2015

BUILDING FOOTPRINT AND PRIVATE OPEN SPACE			
	BUILDING	NO. OF BUILDINGS	TOTAL AREA
FOOTPRINT	4,682 SQ. FT.	1	4,682 SQ. FT.
PATIO AREA	642 SQ. FT.		642 SQ. FT.
BALCONY AREA	535 SQ. FT.		535 SQ. FT.
FRONT YARD AREA	852 SQ. FT.		852 SQ. FT.
TOTAL PRIVATE OPEN SPACE	1177 SQ. FT.		1,177 SQ. FT.



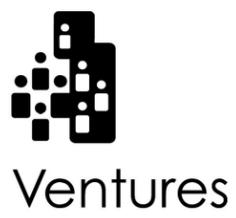
## MAIN FLOOR PLAN

BUILDING C



## GROUND FLOOR PLAN

BUILDING C (UNITS 34 - 38 SHOWN)



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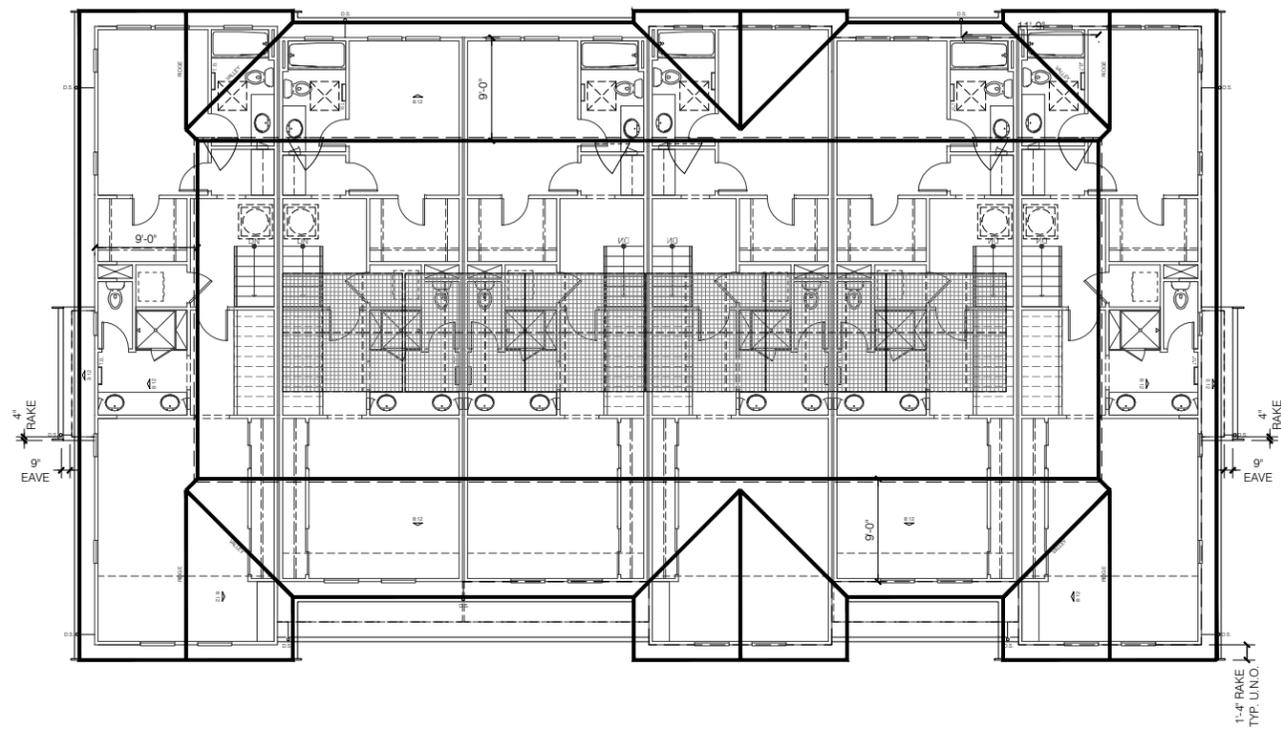
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FLOOR PLANS - BLDG. C

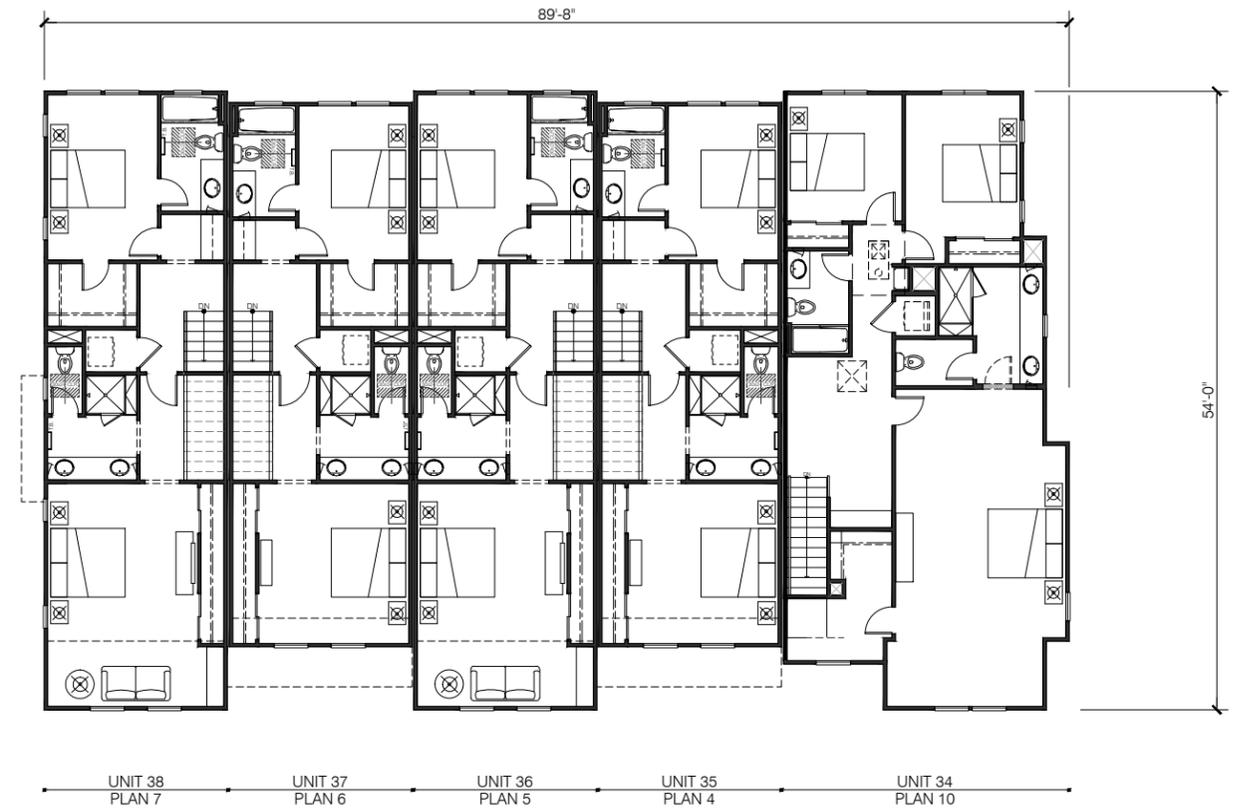
A-10

SCALE: 1/8" = 1'-0"  
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REV: 06.11.2015



## ROOF PLAN

BUILDING C



## UPPER FLOOR PLAN

BUILDING C



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FLOOR PLAN AND ROOF PLAN - BLDG. C

A-11

SCALE: 1/8" = 1'-0"  
SUBMITTAL DATE: 10.10.2014  
PROJECT: 317033  
REV: 06.11.2015



## LEFT ELEVATION

BUILDING D



## RIGHT ELEVATION

BUILDING D



## FRONT ELEVATION

BUILDING D

### ELEVATION NOTES

#### MATERIALS

1. COMPOSITE SHINGLE ROOF
2. LAP SIDING W / 6" REVEAL
3. LAP SIDING W / 12" REVEAL
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14. ENTRY DOOR
15. ROLL-UP GARAGE DOOR
16. PAINTED WOOD (OR EQUAL) FRIEZE TRIM
17. GUTTER AND DOWNSPOUT
18. SOLAR ARRAY. PRECISE LOCATION TO BE SPECIFIED BY SOLAR CONSULTANT.



## REAR ELEVATION

BUILDING D



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EXTERIOR ELEVATIONS - BLDG. D

A-12

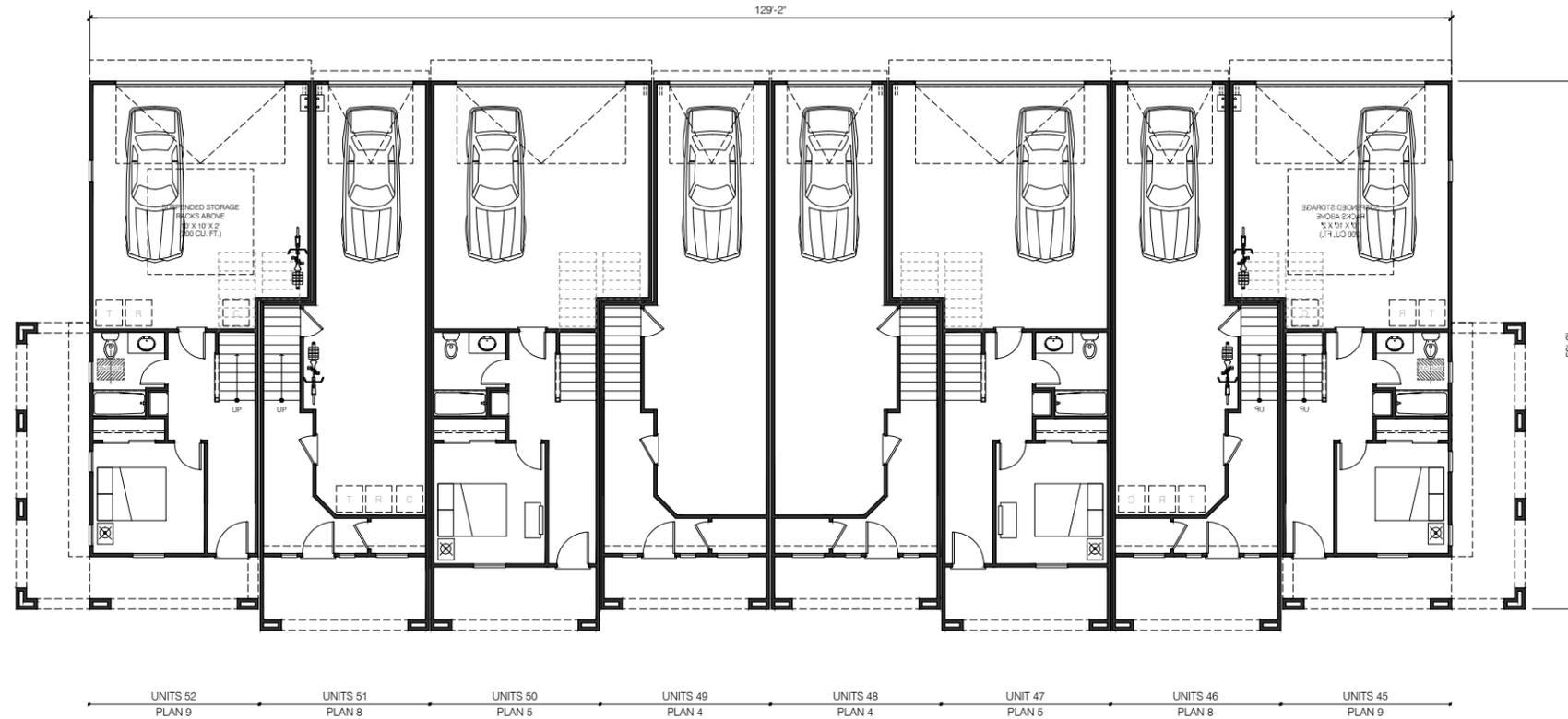
SCALE: 1/8" = 1'-0"

SUBMITTAL DATE: 10.10.2014

PROJECT: 317033

REV: 06.11.2015

BUILDING FOOTPRINT AND PRIVATE OPEN SPACE			
	BUILDING	NO. OF BUILDINGS	TOTAL AREA
FOOTPRINT	6777 SQ. FT.		6,777 SQ. FT.
PATIO AREA	915 SQ. FT.		915 SQ. FT.
BALCONY AREA	787 SQ. FT.	1	787 SQ. FT.
FRONT YARD AREA	1162 SQ. FT.		1,162 SQ. FT.
TOTAL PRIVATE OPEN SPACE	1,701 SQ. FT.		1,701 SQ. FT.



## GROUND FLOOR PLAN

BUILDING B (UNITS 45 - 52 SHOWN)



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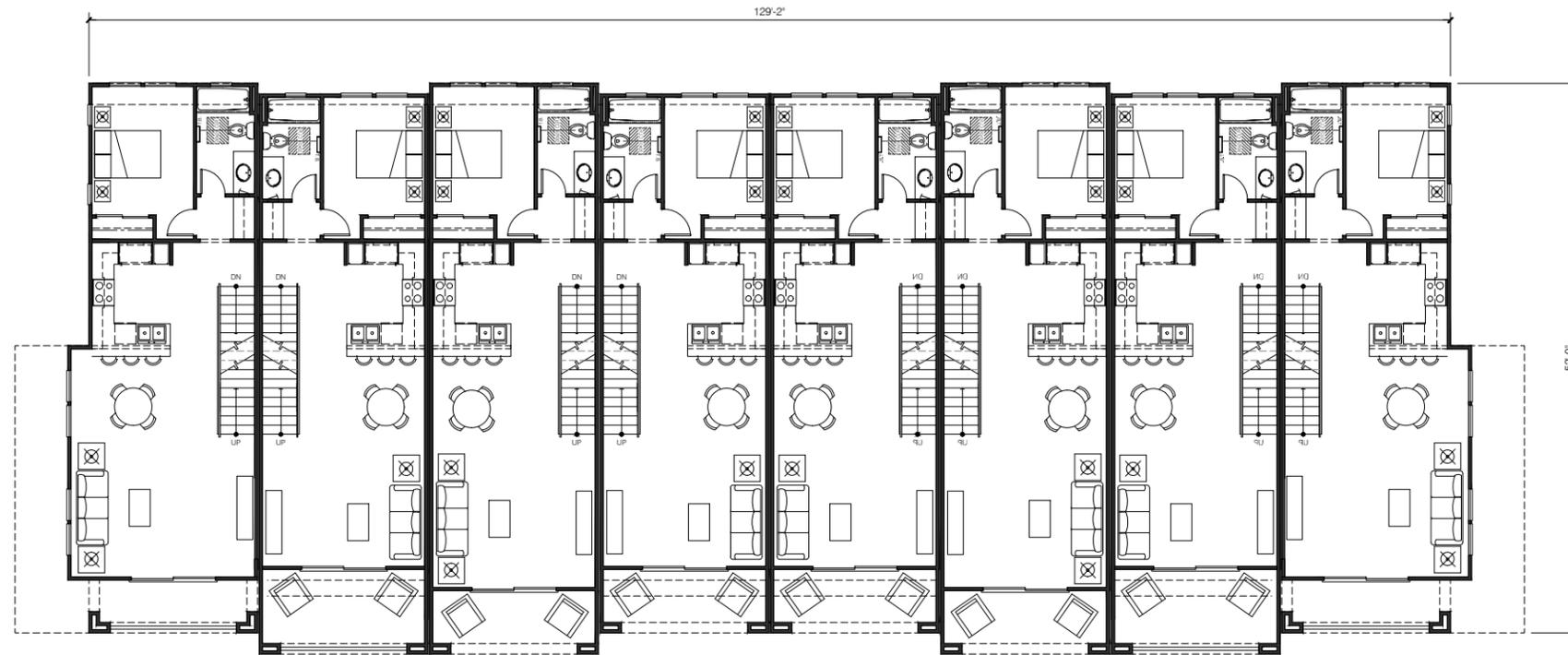
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FLOOR PLANS - BLDG. D

A-13

SCALE: 1/8" = 1'-0"  
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## MAIN FLOOR PLAN

BUILDING B



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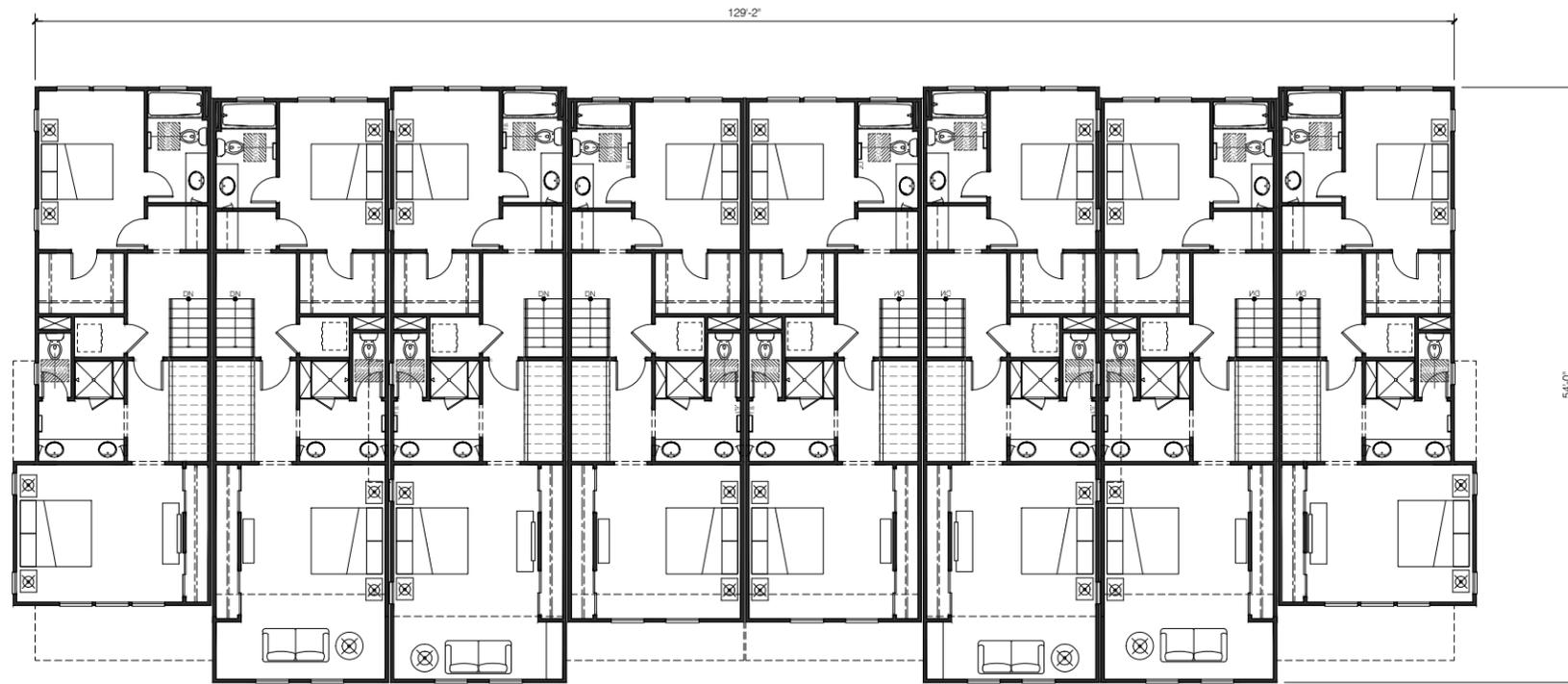
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FLOOR PLANS - BLDG. D

A-14

SCALE: 1/8" = 1'-0"  
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UPPER FLOOR PLAN  
BUILDING D



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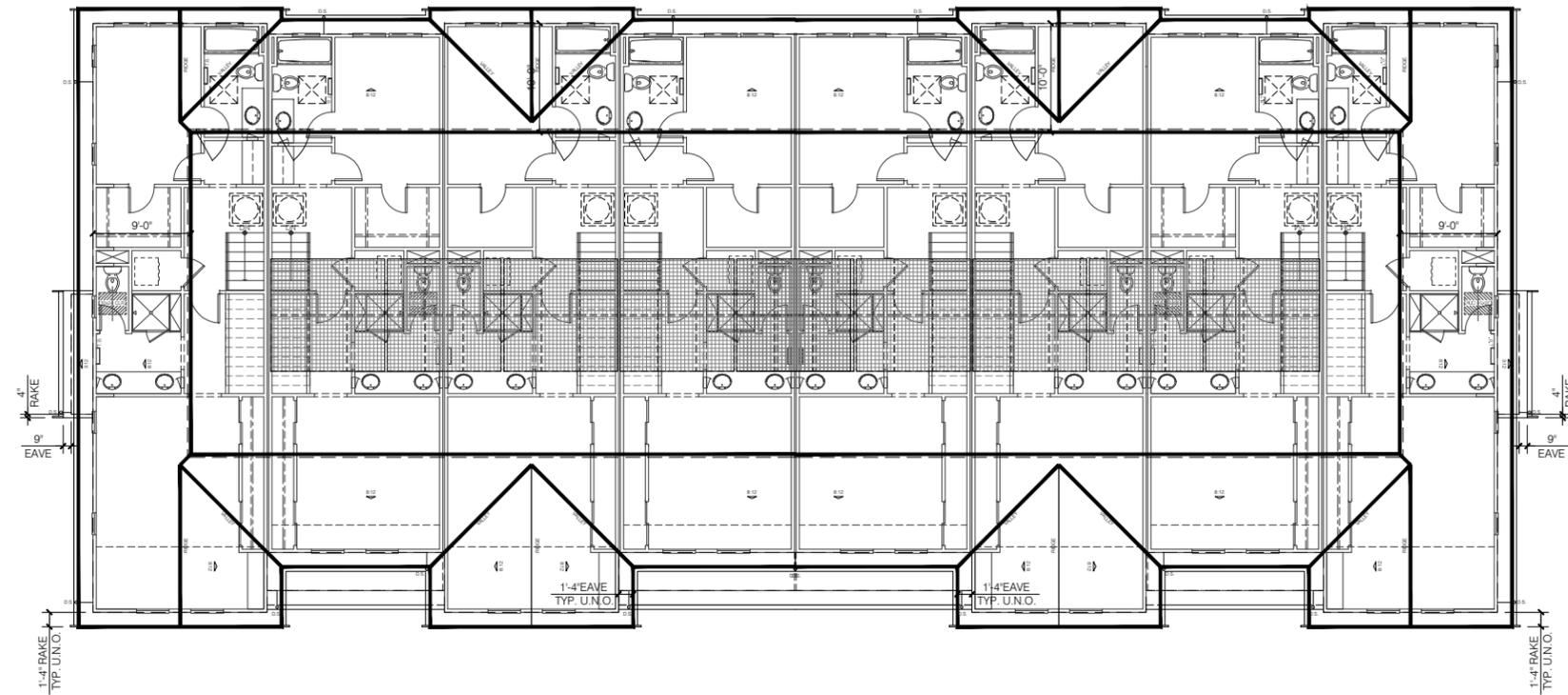
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FLOOR PLANS - BLDG. D

A-15

SCALE: 1/8" = 1'-0"  
SUBMITTAL DATE: 10.10.2014  
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# ROOF PLAN

BUILDING D



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ROOF PLAN - BLDG D

A-16

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PROJECT: 317033  
REV: 06.11.2015

**ELEVATION NOTES**

**MATERIALS**

1. COMPOSITE SHINGLE ROOF
2. LAP SIDING W / 6" REVEAL
3. LAP SIDING W / 12" REVEAL
4. SHINGLE SIDING
5. BOARD AND BATTEN SIDING WITH 6" SPACING
6. BOARD AND BATTEN SIDING WITH 24" SPACING
7. GABLE VENT
8. PRIVACY FENCE OR DECORATIVE PICKET FENCE. SEE LANDSCAPE DRAWINGS.
9. DECORATIVE WOOD CORBEL AND KICKER
10. PAINTED WOOD (OR EQUAL) PANELS AND TRIM
11. 42" GUARDRAIL
12. 36" HANDRAIL
13. 12" SQUARE PORCH COLUMN
14. ENTRY DOOR
15. ROLL-UP GARAGE DOOR
16. PAINTED WOOD (OR EQUAL) FRIEZE TRIM
17. GUTTER AND DOWNSPOUT
18. SOLAR ARRAY. PRECISE LOCATION TO BE SPECIFIED BY SOLAR CONSULTANT.



**LEFT ELEVATION**

BUILDING E1



**FRONT ELEVATION**

BUILDING E1 (UNITS 16 - 18 SHOWN)



**RIGHT ELEVATION**

BUILDING E1



**REAR ELEVATION**

BUILDING E1



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EXTERIOR ELEVATIONS - BLDG E1

**A-17**

SCALE: 1/8" = 1'-0"  
SUBMITTAL DATE: 10.10.2014  
PROJECT: 317033  
REV: 06.11.2015

**ELEVATION NOTES**

**MATERIALS**

1. COMPOSITE SHINGLE ROOF
2. LAP SIDING W / 6" REVEAL
3. LAP SIDING W / 12" REVEAL
4. SHINGLE SIDING
5. BOARD AND BATTEN SIDING WITH 6" SPACING
6. BOARD AND BATTEN SIDING WITH 24" SPACING
7. GABLE VENT
8. PRIVACY FENCE OR DECORATIVE PICKET FENCE. SEE LANDSCAPE DRAWINGS.
9. DECORATIVE WOOD CORBEL AND KICKER
10. PAINTED WOOD (OR EQUAL) PANELS AND TRIM
11. 42" GUARDRAIL
12. 36" HANDRAIL
13. 12" SQUARE PORCH COLUMN
14. ENTRY DOOR
15. ROLL-UP GARAGE DOOR
16. PAINTED WOOD (OR EQUAL) FRIEZE TRIM
17. GUTTER AND DOWNSPOUT
18. SOLAR ARRAY. PRECISE LOCATION TO BE SPECIFIED BY SOLAR CONSULTANT.



**LEFT ELEVATION**

BUILDING E2



**FRONT ELEVATION**

BUILDING E2 (UNITS 13 - 21 SHOWN)



**RIGHT ELEVATION**

BUILDING E2



**REAR ELEVATION**

BUILDING E2



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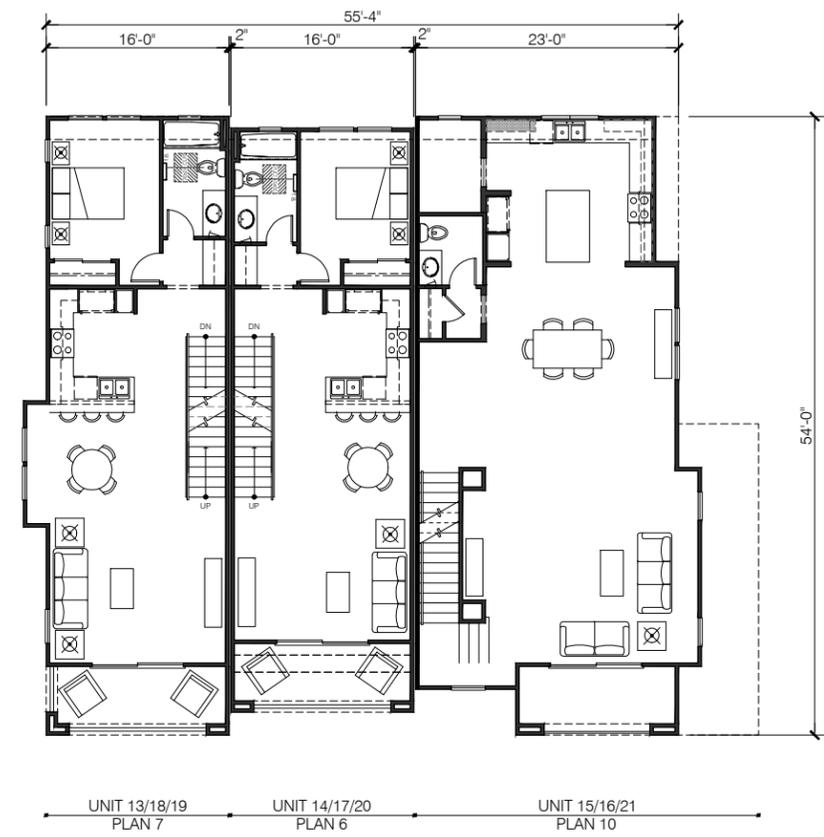
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f. 415-288-0288

EXTERIOR ELEVATIONS - BLDG E2

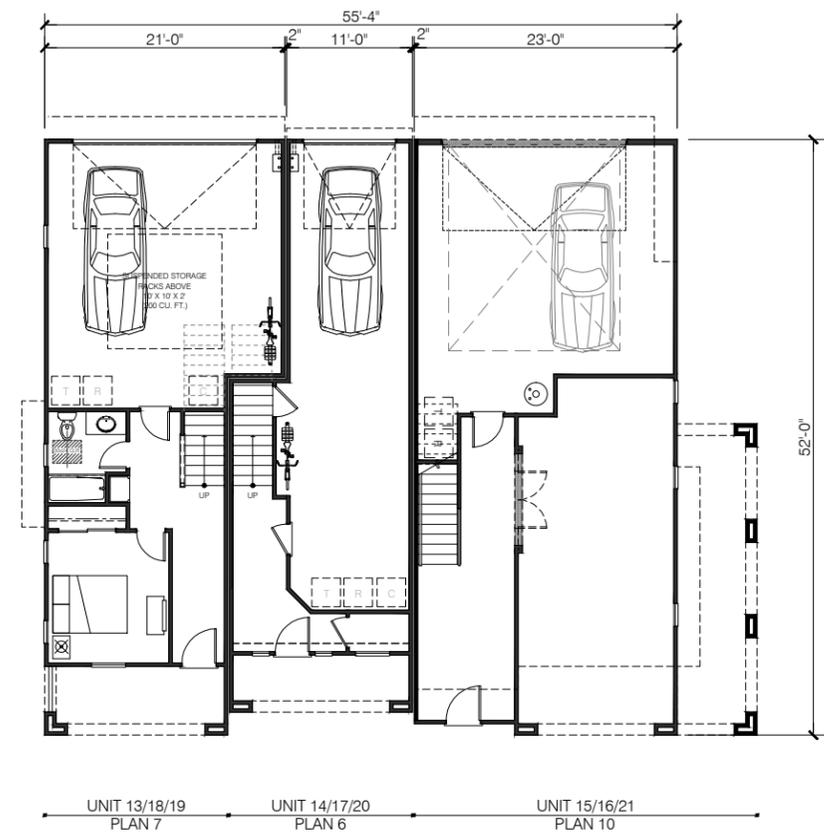
**A-18**

SCALE: 1/8" = 1'-0"  
SUBMITTAL DATE: 10.10.2014  
PROJECT: 317033  
REV: 06.11.2015

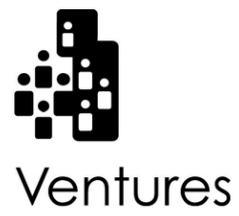
BUILDING FOOTPRINT AND PRIVATE OPEN SPACE			
	BUILDING	NO. OF BUILDINGS	TOTAL AREA
FOOTPRINT	3,035 SQ. FT.		9,105 SQ. FT.
PATIO AREA	466 SQ. FT.		1,397 SQ. FT.
BALCONY AREA	344 SQ. FT.	3	1,031 SQ. FT.
FRONT YARD AREA	561 SQ. FT.		1,684 SQ. FT.
TOTAL PRIVATE OPEN SPACE	809 SQ. FT.		2,428 SQ. FT.



**MAIN FLOOR PLAN**  
BUILDING E



**GROUND FLOOR PLAN**  
BUILDING E (UNITS 13 - 21 SHOWN)

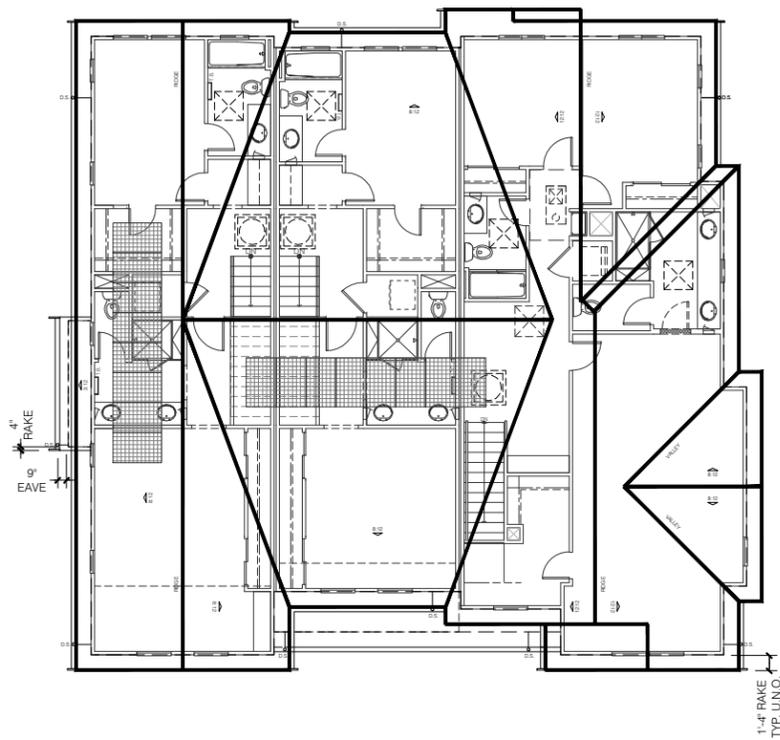


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FLOOR PLANS - BLDG E  
**A-19**  
SCALE: 1/8" = 1'-0"  
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## ROOF PLAN

BUILDING E



## UPPER FLOOR PLAN

BUILDING E



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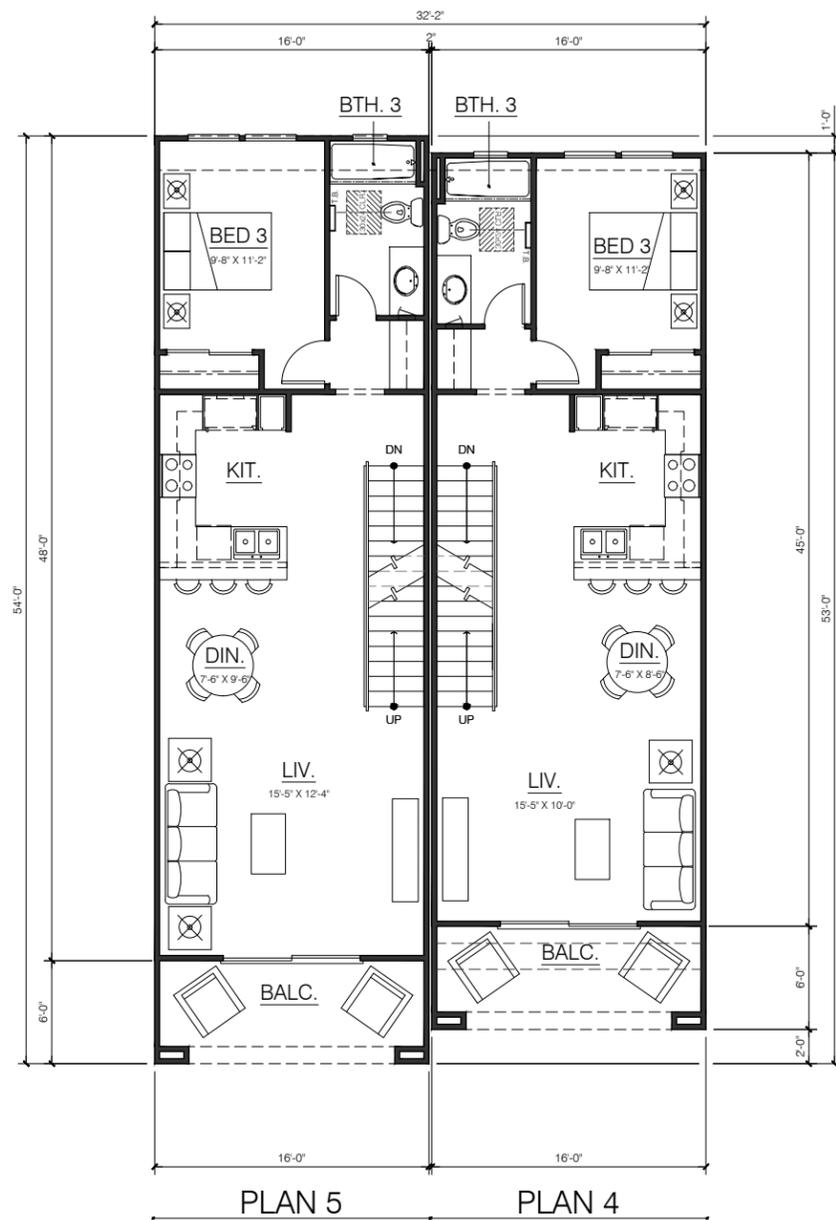
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FLOOR PLAN AND ROOF PLAN - BLDG E

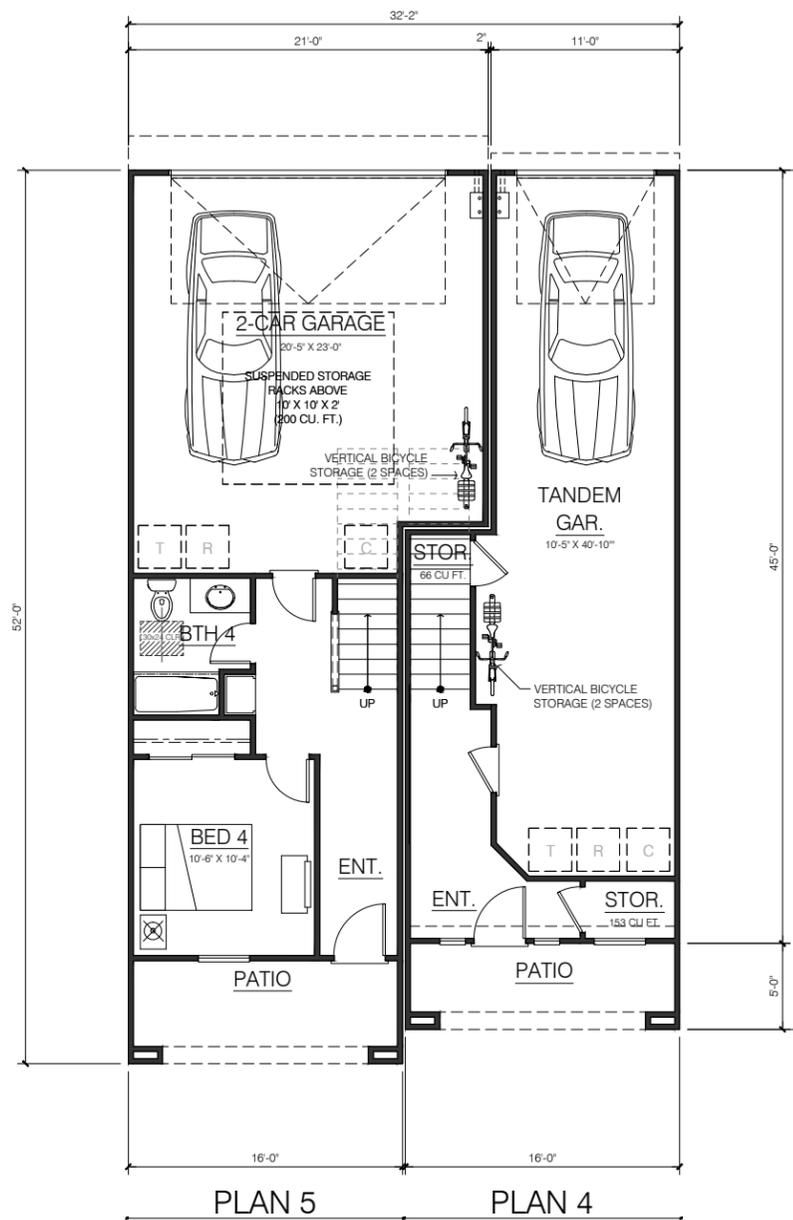
A-20

SCALE: 1/8" = 1'-0"  
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**MAIN LEVEL**

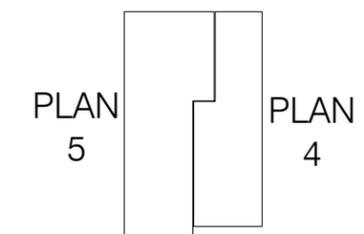
TOWNHOME UNITS (INTERIOR)



**GROUND LEVEL**

TOWNHOME UNITS (INTERIOR)

FLOOR AREAS FOR TANDEM UNITS	
<b>PLAN 4</b>	
GROUND FLOOR LIVING	152 SQ. FT.
MAIN FLOOR LIVING	679 SQ. FT.
UPPER FLOOR LIVING	739 SQ. FT.
<b>TOTAL LIVING AREA</b>	<b>1,569 SQ. FT.</b>
GARAGE AREA	464 SQ. FT.
STORAGE VOLUME (250 CU. FT. MIN. REQ'D)	347 CU. FT.
PRIVATE OPEN SPACES (PATIOS & BALCONIES)	176 SQ. FT.
<b>PLAN 5</b>	
GROUND FLOOR LIVING	152 SQ. FT.
MAIN FLOOR LIVING	727 SQ. FT.
UPPER FLOOR LIVING	842 SQ. FT.
<b>TOTAL LIVING AREA</b>	<b>1,720 SQ. FT.</b>
GARAGE AREA	481 SQ. FT.
STORAGE VOLUME (300 CU. FT. MIN. REQ'D)	328 CU. FT.
PRIVATE OPEN SPACES (PATIOS & BALCONIES)	192 SQ. FT.



GROUND LEVEL KEY



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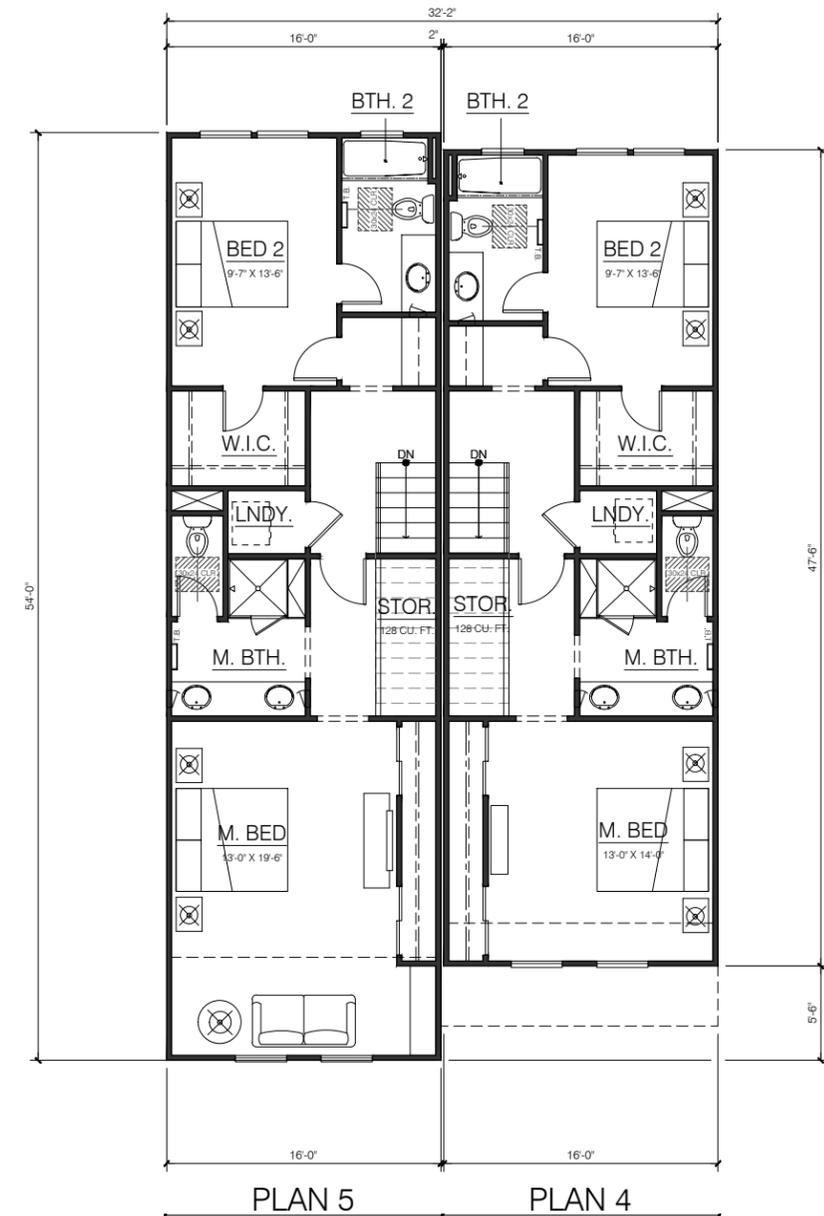
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UNIT PLANS - PLAN 4 & 5

A-21

SCALE: 3/16" = 1'-0"  
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REV: 06.11.2015



UPPER LEVEL

TOWNHOME UNITS (INTERIOR)



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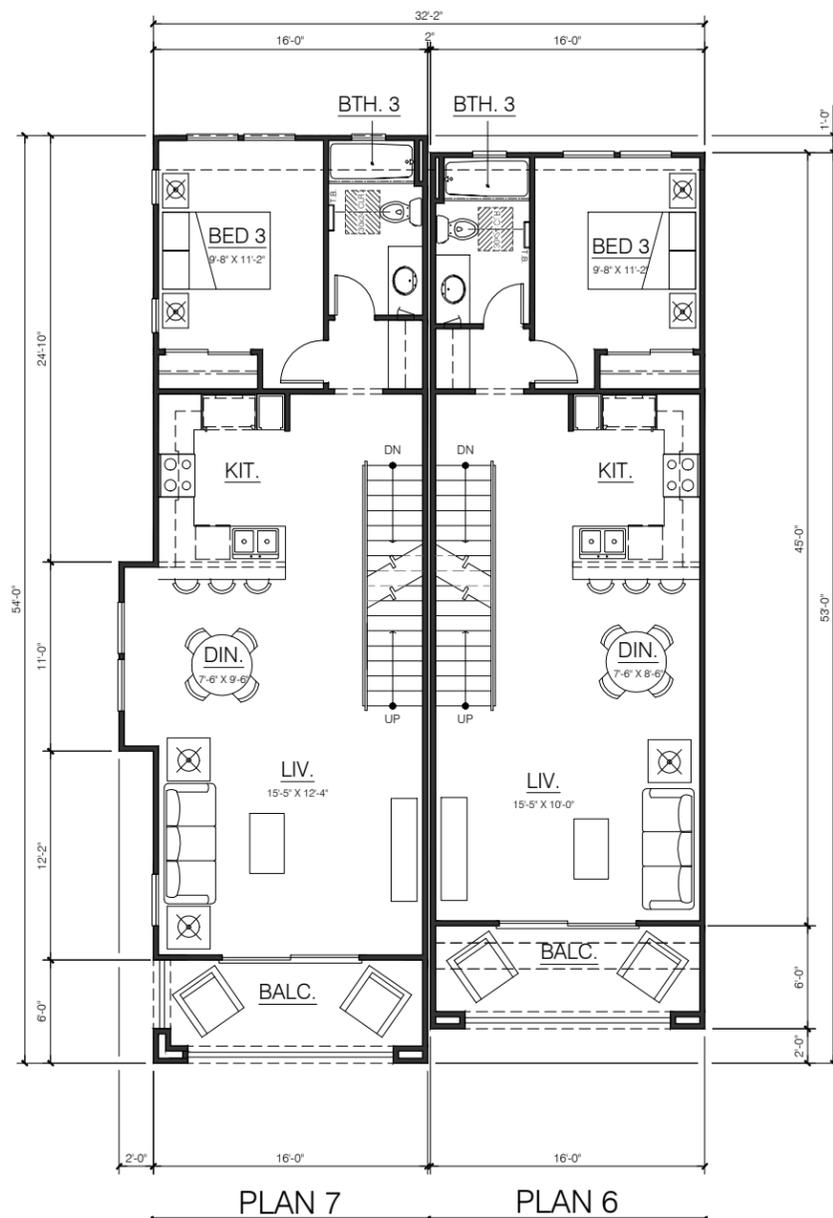
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UNIT PLANS - PLAN 4 & 5

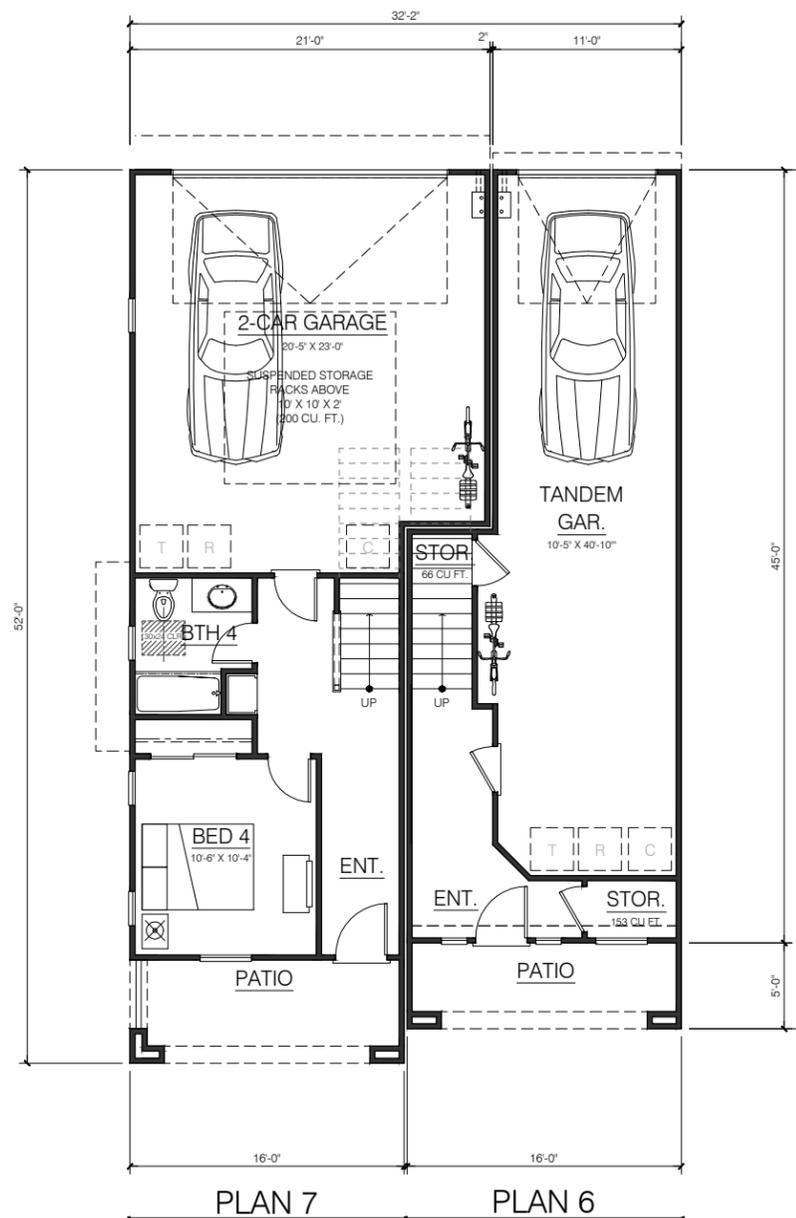
A-22

SCALE: 3/16" = 1'-0"  
SUBMITTAL DATE: 10.10.2014  
PROJECT: 317033  
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MAIN LEVEL

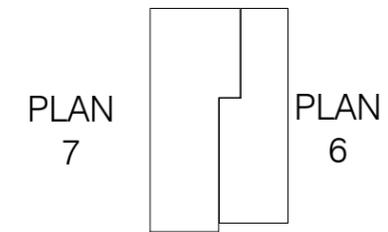
TOWNHOME UNITS (END UNIT)



GROUND LEVEL

TOWNHOME UNITS (END UNIT)

FLOOR AREAS FOR TANDEM UNITS	
<b>PLAN 6</b>	
GROUND FLOOR LIVING	152 SQ. FT.
MAIN FLOOR LIVING	679 SQ. FT.
UPPER FLOOR LIVING	739 SQ. FT.
<b>TOTAL LIVING AREA</b>	<b>1,569 SQ. FT.</b>
GARAGE AREA	464 SQ. FT.
STORAGE VOLUME (250 CU. FT. MIN. REQ'D)	347 CU. FT.
PRIVATE OPEN SPACES (PATIOS & BALCONIES)	176 SQ. FT.
<b>PLAN 7</b>	
GROUND FLOOR LIVING	152 SQ. FT.
MAIN FLOOR LIVING	747 SQ. FT.
UPPER FLOOR LIVING	843 SQ. FT.
<b>TOTAL LIVING AREA</b>	<b>1,741 SQ. FT.</b>
GARAGE AREA	481 SQ. FT.
STORAGE VOLUME (300 CU. FT. MIN. REQ'D)	328 CU. FT.
PRIVATE OPEN SPACES (PATIOS & BALCONIES)	192 SQ. FT.



GROUND LEVEL KEY



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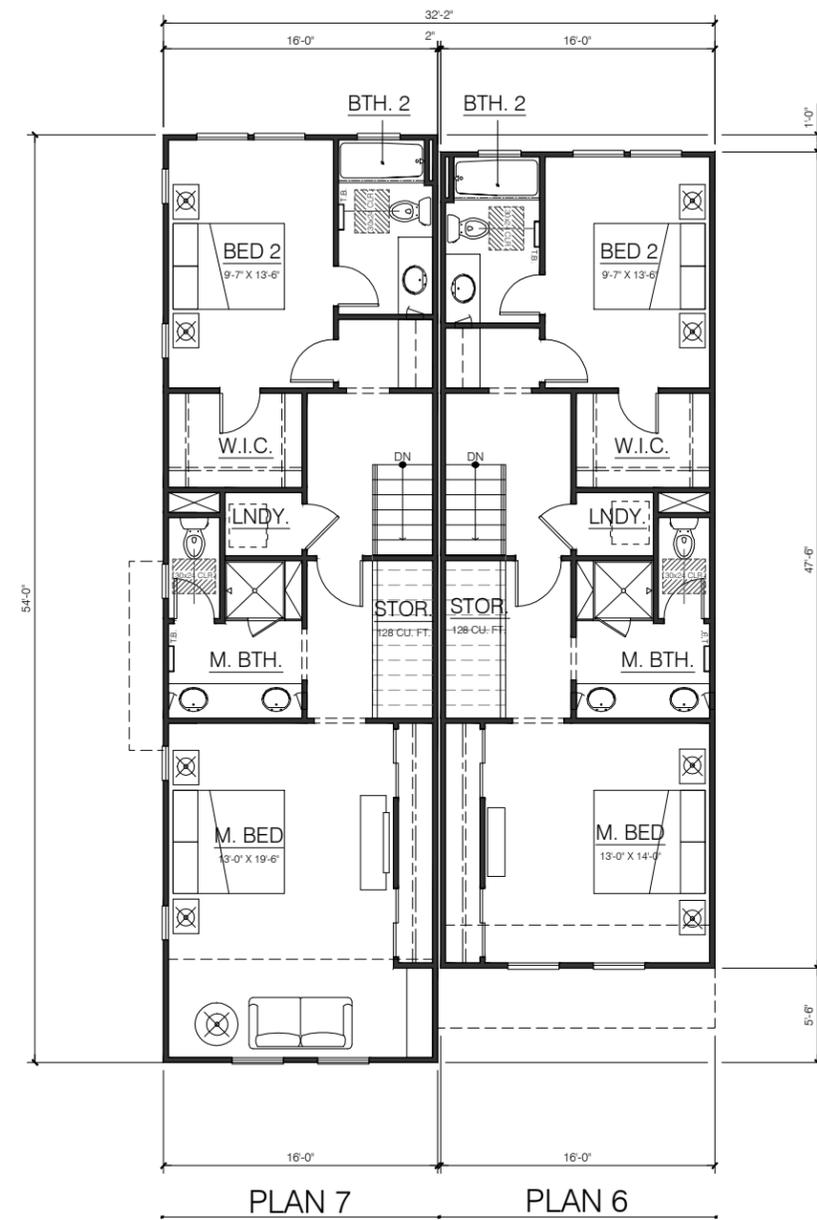
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UNIT PLANS - PLAN 6 & 7

A-23

SCALE: 3/16" = 1'-0"  
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UPPER LEVEL

TOWNHOME UNITS (END UNIT)



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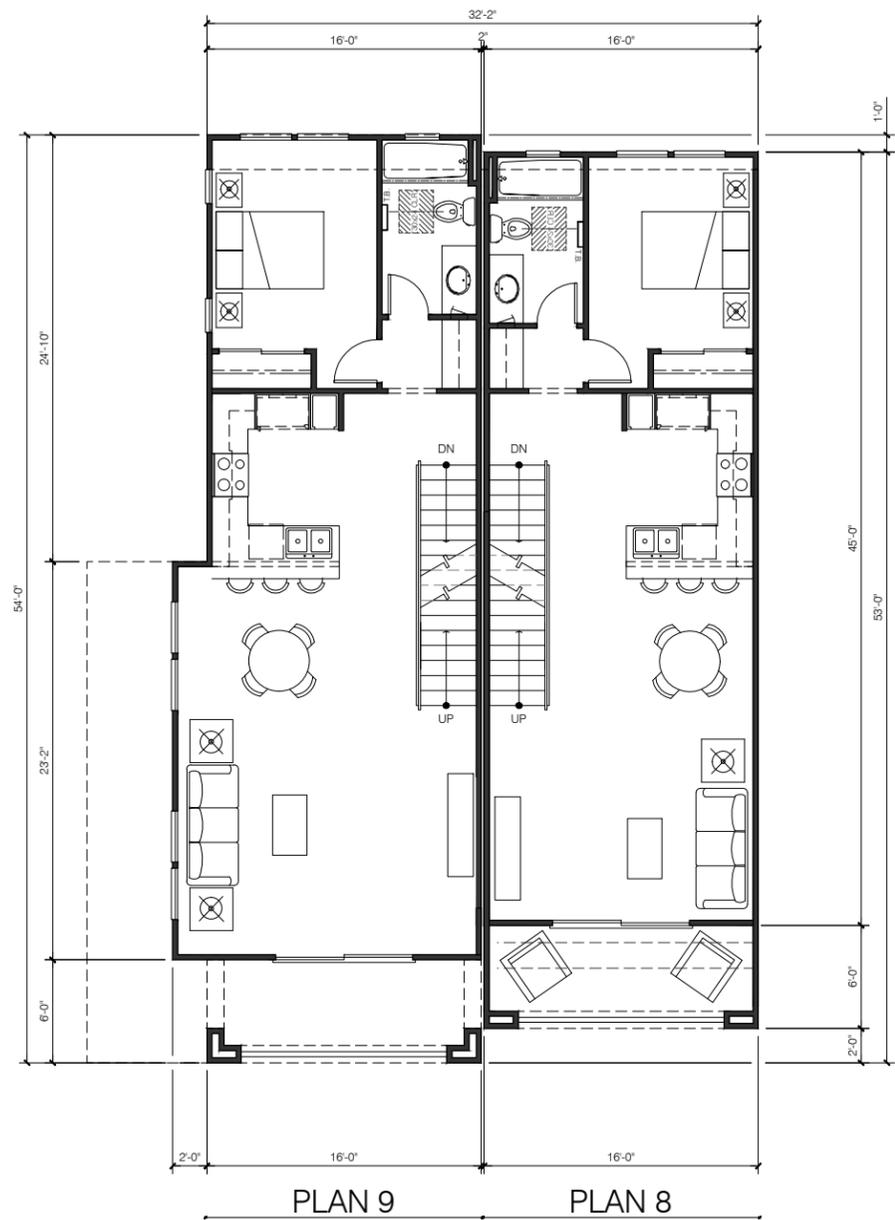
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UNIT PLANS - PLAN 6 & 7

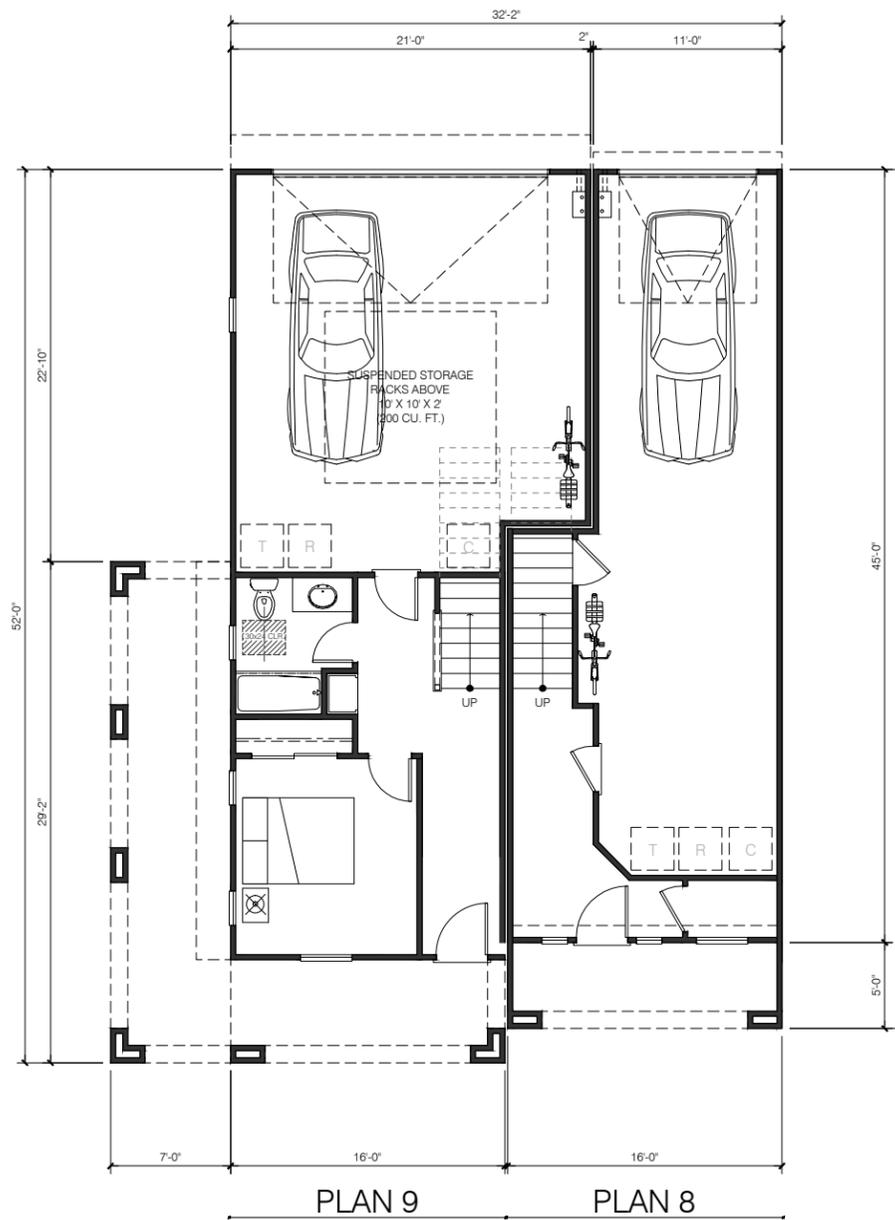
A-24

SCALE: 3/16" = 1'-0"  
SUBMITTAL DATE: 10.10.2014  
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**MAIN LEVEL**

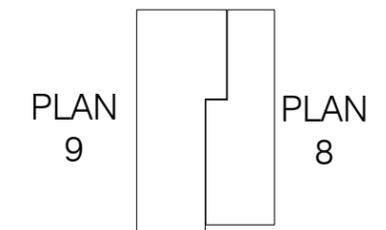
TOWNHOME UNITS (END UNIT W/ PORCH)



**GROUND LEVEL**

TOWNHOME UNITS (END UNIT W/ PORCH)

FLOOR AREAS FOR TANDEM UNITS	
<b>PLAN 6</b>	
GROUND FLOOR LIVING	152 SQ. FT.
MAIN FLOOR LIVING	679 SQ. FT.
UPPER FLOOR LIVING	739 SQ. FT.
<b>TOTAL LIVING AREA</b>	<b>1,569 SQ. FT.</b>
GARAGE AREA	464 SQ. FT.
STORAGE VOLUME (250 CU. FT. MIN. REQ'D)	347 CU. FT.
PRIVATE OPEN SPACES (PATIOS & BALCONIES)	176 SQ. FT.
<b>PLAN 7</b>	
GROUND FLOOR LIVING	152 SQ. FT.
MAIN FLOOR LIVING	747 SQ. FT.
UPPER FLOOR LIVING	843 SQ. FT.
<b>TOTAL LIVING AREA</b>	<b>1,741 SQ. FT.</b>
GARAGE AREA	481 SQ. FT.
STORAGE VOLUME (300 CU. FT. MIN. REQ'D)	328 CU. FT.
PRIVATE OPEN SPACES (PATIOS & BALCONIES)	192 SQ. FT.



GROUND LEVEL KEY



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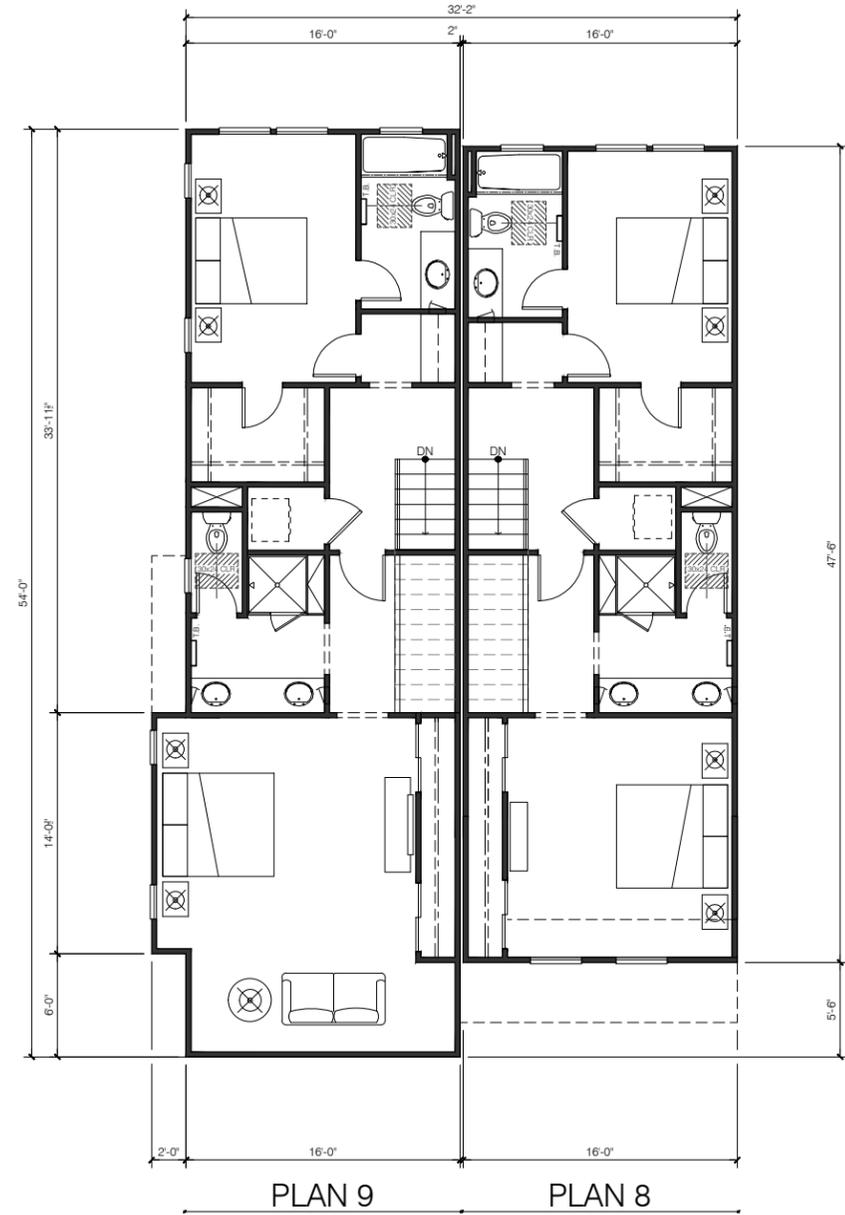
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UNIT PLANS - PLAN 8 & 9

**A-25**

SCALE: 3/16" = 1'-0"  
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UPPER LEVEL

TOWNHOME UNITS (END UNIT W/ PORCH)



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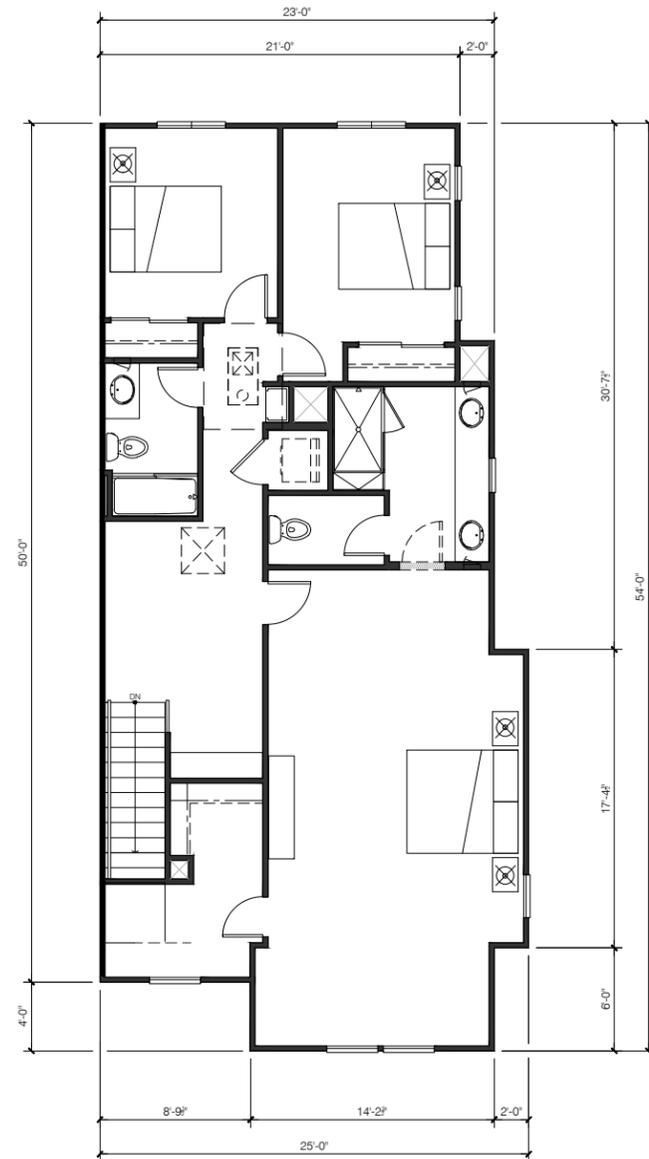
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UNIT PLANS - PLAN 8 & 9

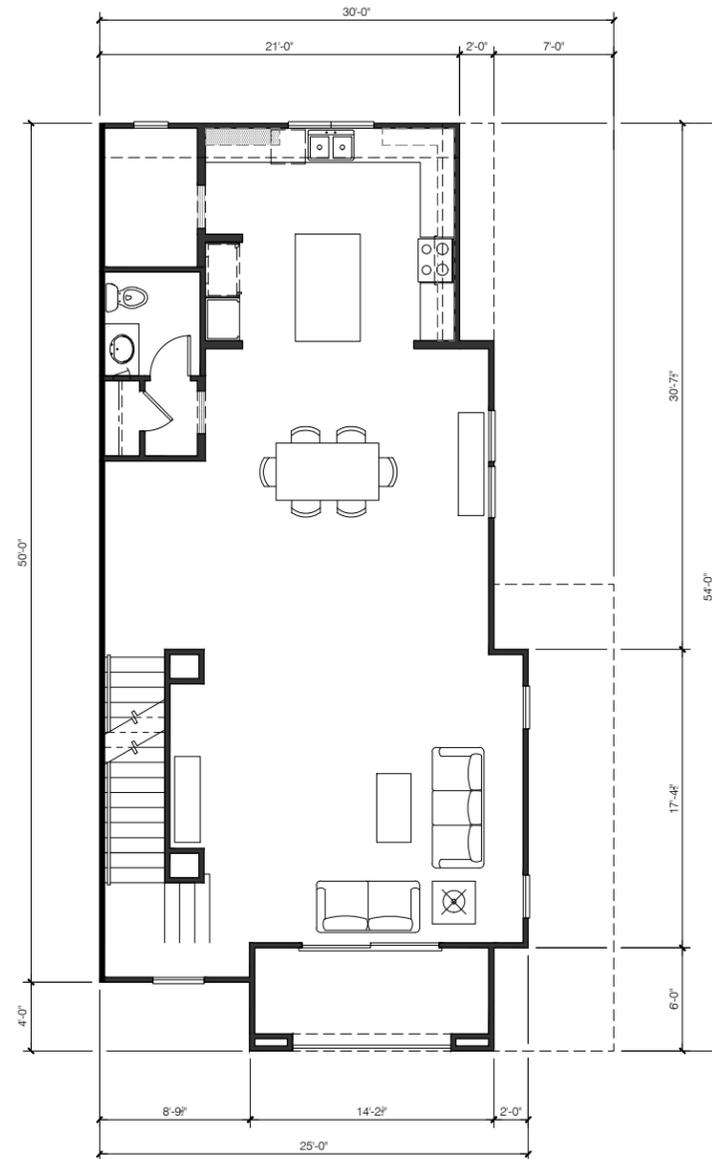
A-26

SCALE: 3/16" = 1'-0"  
SUBMITTAL DATE: 10.10.2014  
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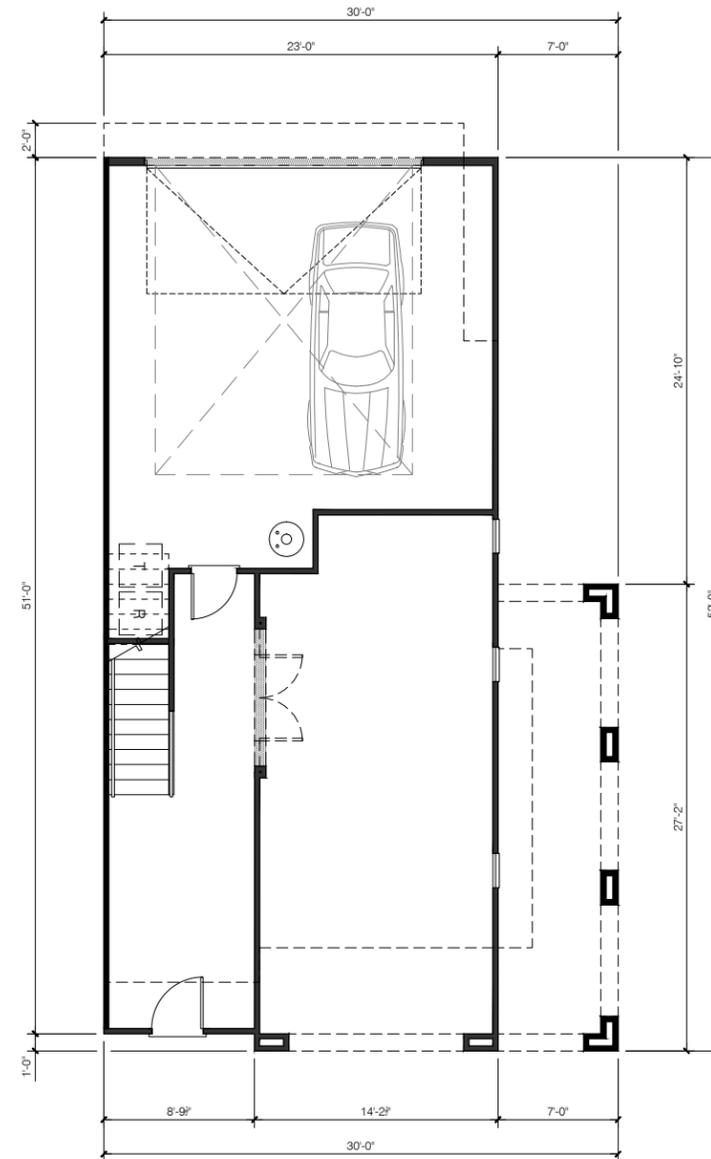
UPPER LEVEL

TOWNHOME UNIT - PLAN 10



MAIN LEVEL

TOWNHOME UNIT - PLAN 10



GROUND LEVEL

TOWNHOME UNIT - PLAN 10

FLOOR AREAS FOR TANDEM UNITS	
PLAN 10	
GROUND FLOOR LIVING	190 SQ. FT.
MAIN FLOOR LIVING	1,112 SQ. FT.
UPPER FLOOR LIVING	1,177 SQ. FT.
<b>TOTAL LIVING AREA</b>	<b>2,479 SQ. FT.</b>
GARAGE AREA	529 SQ. FT.
STORAGE VOLUME (250 CU. FT. MIN. REQ'D)	347 CU. FT.
PRIVATE OPEN SPACES (PATIOS & BALCONIES)	275 SQ. FT.



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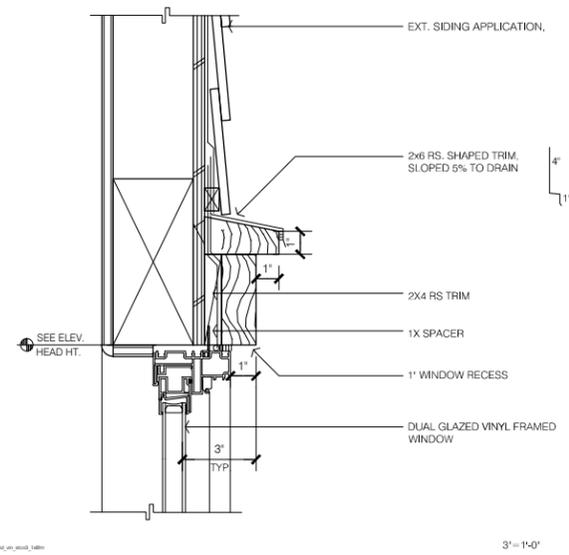
UNIT PLANS - PLAN 10

A-27

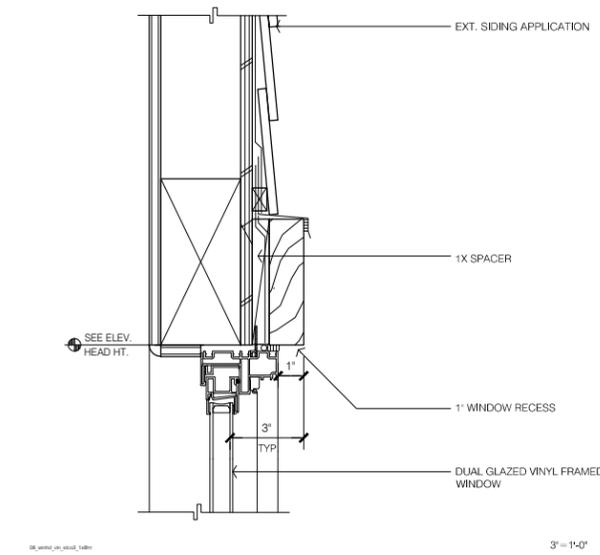
SCALE: 3/16" = 1'-0"  
SUBMITTAL DATE: 10.10.2014  
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# WINDOW DETAILS

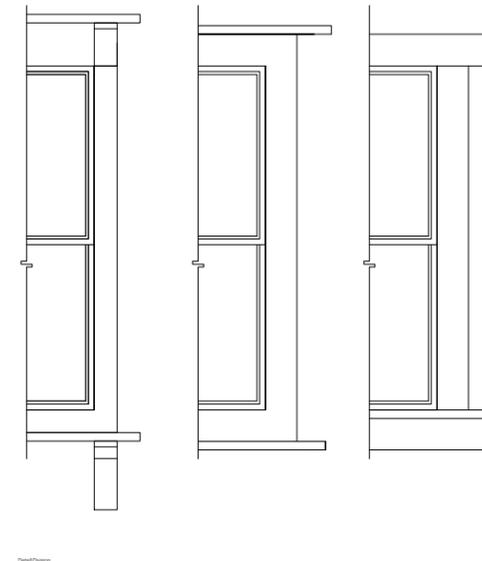
# DOOR DETAILS



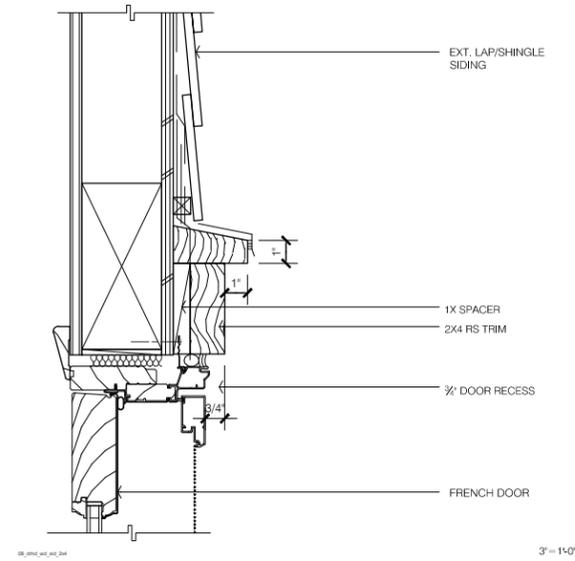
TYPICAL VINYL WINDOW HEAD  
SCALE: 3\"/>



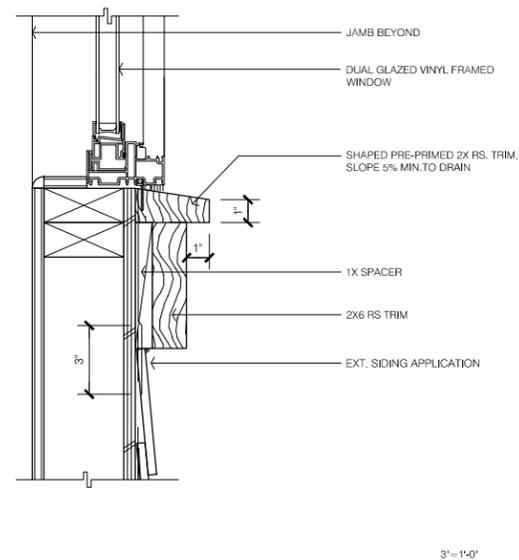
TYPICAL VINYL WINDOW HEAD  
SCALE: 3\"/>



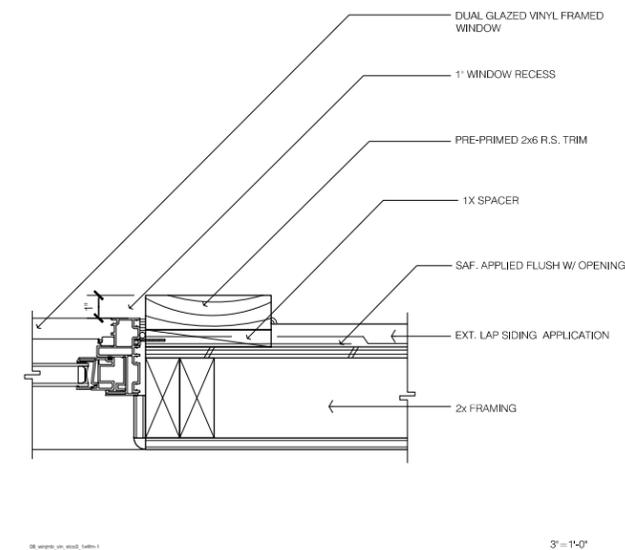
WINDOW TRIM PROFILES  
SCALE: 3/4\"/>



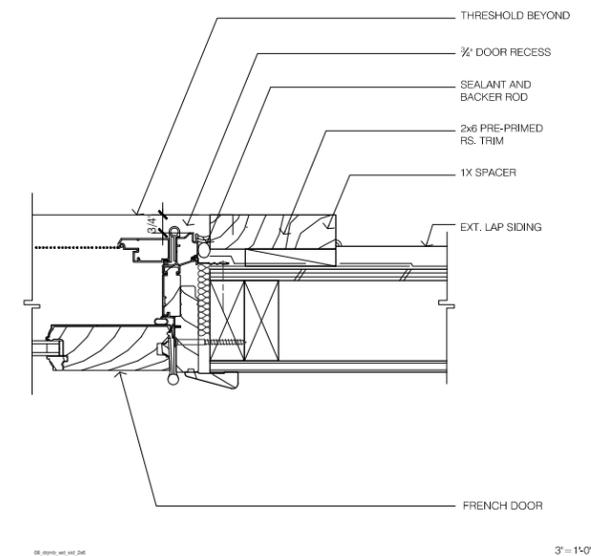
TYPICAL DOOR HEAD  
SCALE: 3\"/>



TYPICAL VINYL WINDOW SILL  
SCALE: 3\"/>



TYPICAL VINYL WINDOW JAMB  
SCALE: 3\"/>



TYPICAL DOOR JAMB  
SCALE: 3\"/>



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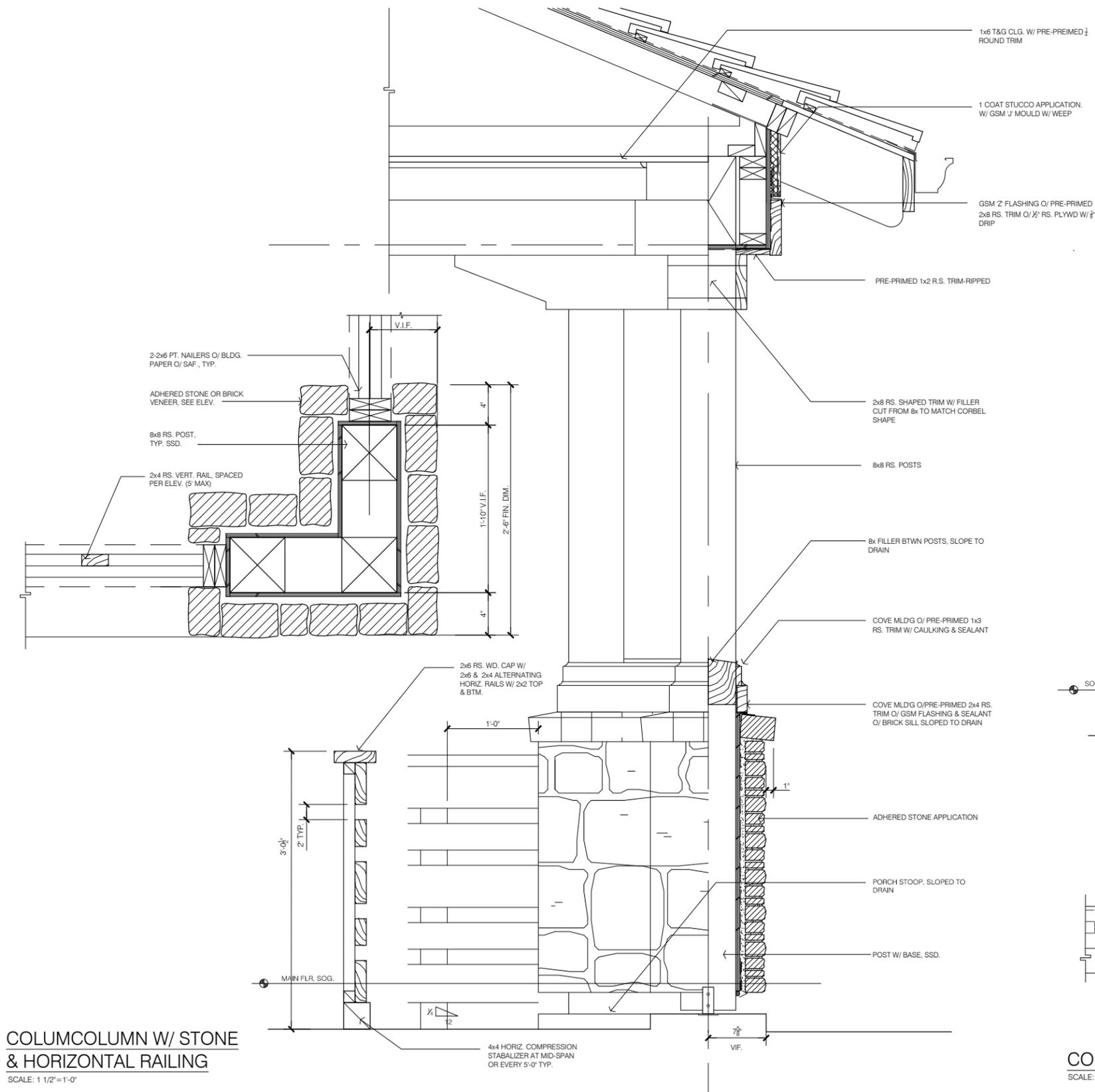
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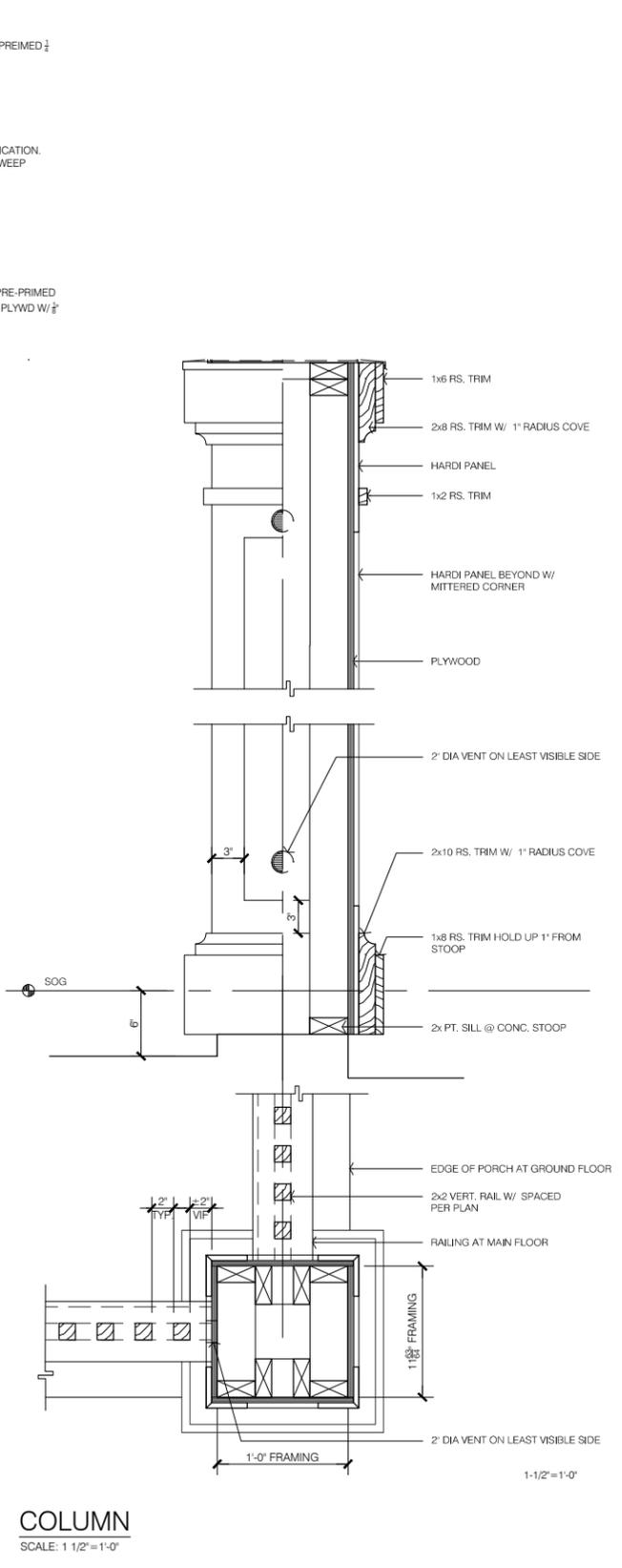
TYPICAL DETAILS - WINDOW & DOOR

AD-1

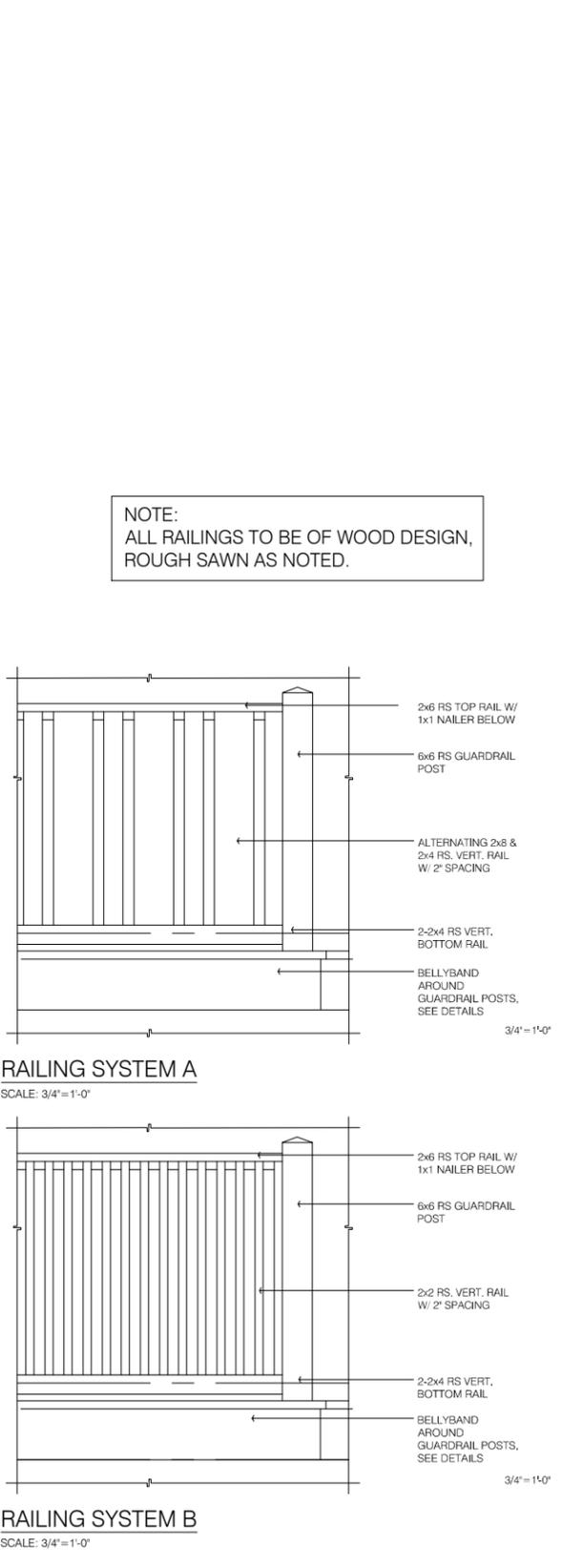
SCALE: AS NOTED  
SUBMITTAL DATE: 10.10.2014  
PROJECT: 317033  
REV: 06.11.2015



**COLUMN W/ STONE & HORIZONTAL RAILING**  
SCALE: 1 1/2"=1'-0"



**COLUMN**  
SCALE: 1 1/2"=1'-0"



**RAILING SYSTEM A**  
SCALE: 3/4"=1'-0"

**RAILING SYSTEM B**  
SCALE: 3/4"=1'-0"

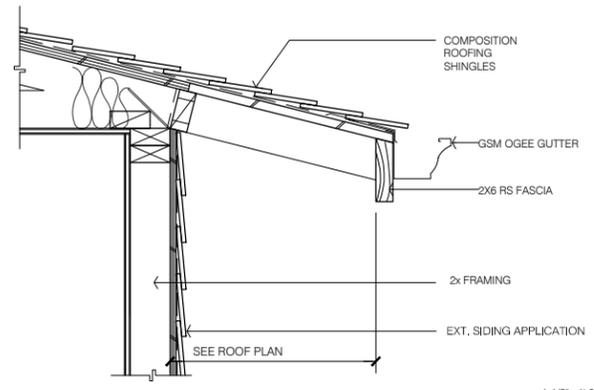


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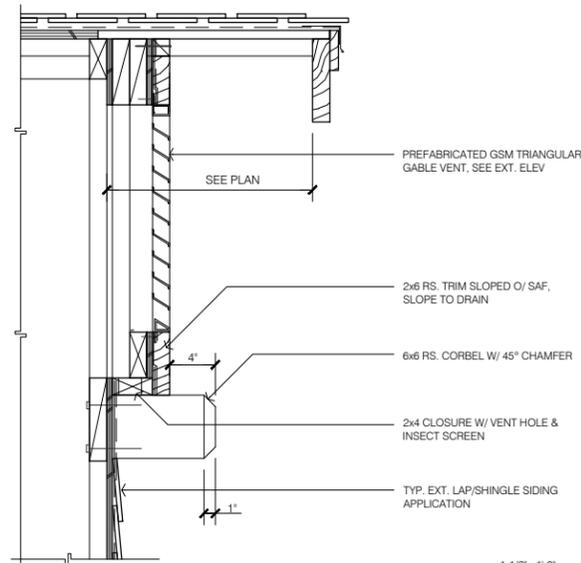


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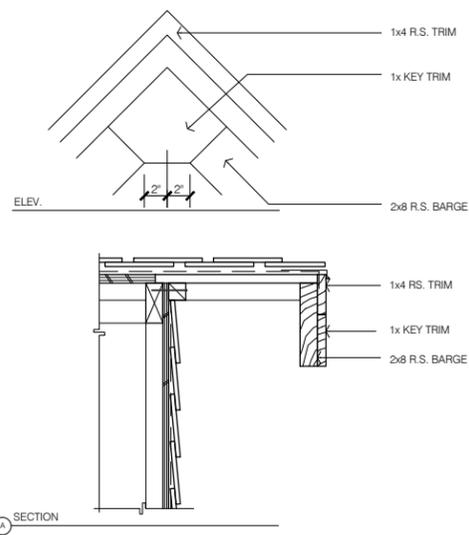
TYPICAL DETAILS - COLUMN & RAILINGS  
**AD-2**  
SCALE: AS NOTED  
SUBMITTAL DATE: 10.10.2014  
PROJECT: 317033  
REV: 06.11.2015



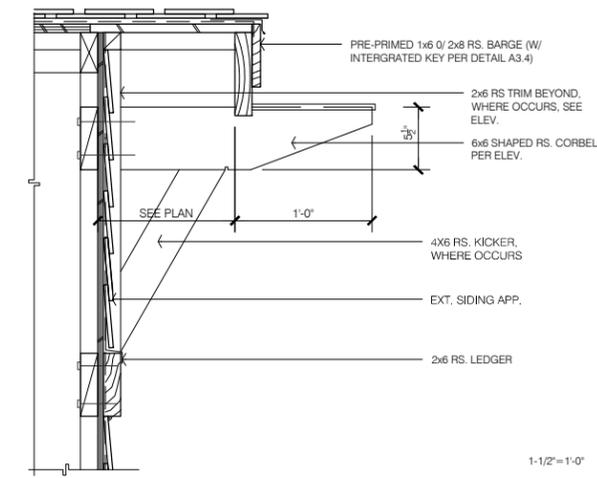
TYPICAL EAVE  
SCALE: 1 1/2"=1'-0"



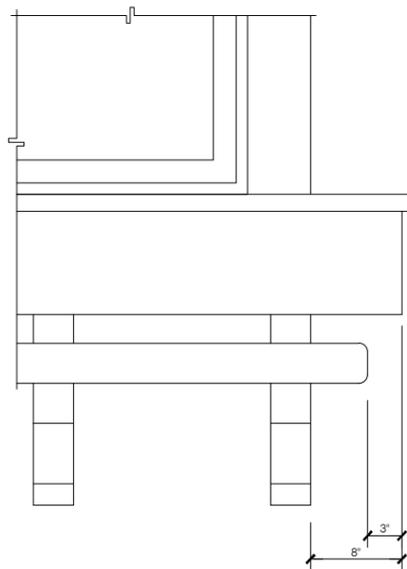
ROOF VENT  
SCALE: 1 1/2"=1'-0"



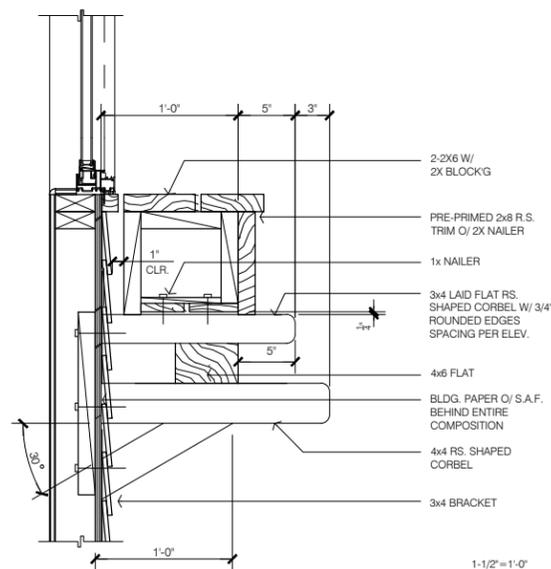
KEY DETAIL  
SCALE: 1 1/2"=1'-0"



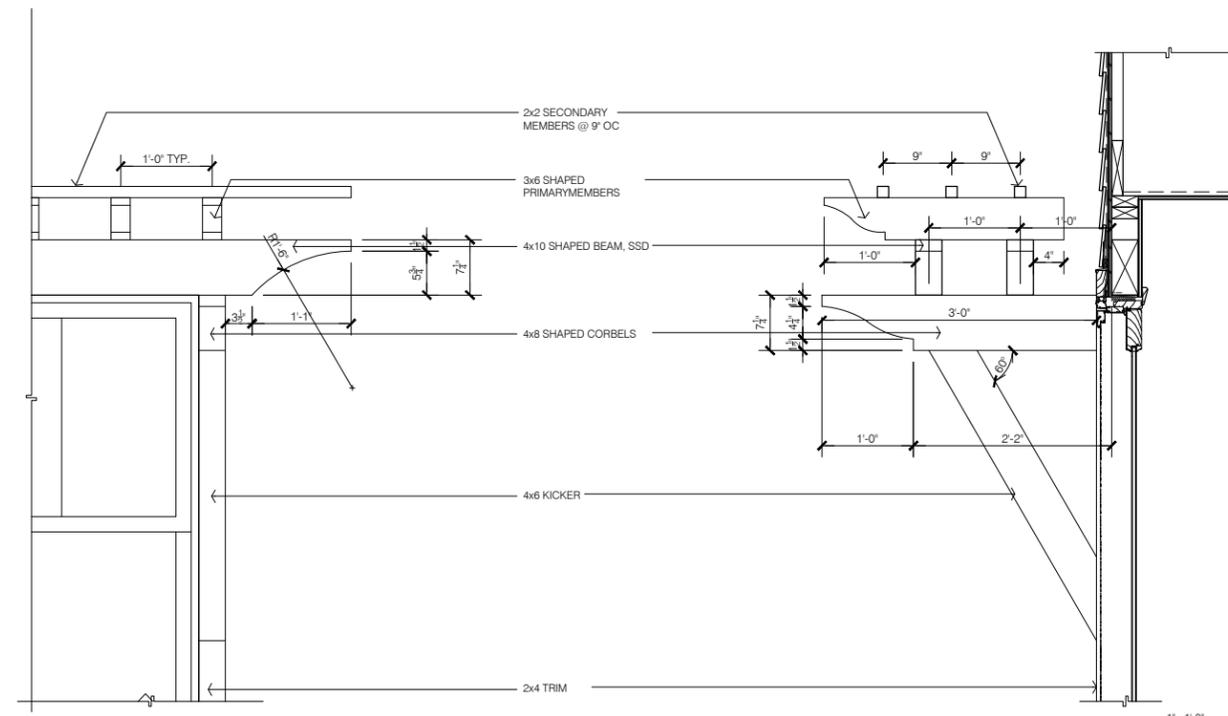
TYPICAL RAKE  
SCALE: 1 1/2"=1'-0"



POT SHELF @ WINDOW SILL  
SCALE: 1 1/2"=1'-0"



1-1/2"=1'-0"



TRELLIS OVER WINDOW  
SCALE: 1"=1'-0"



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TYPICAL DETAILS - ROOF & FINISHES

AD-3

SCALE: AS NOTED  
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PROJECT: 317033  
REV: 06.11.2015

# SCHEME 1

BODY 1



SW: ROYCROFT PEWTER

BODY 2



SW: NEBULOUS WHITE

TRIM



SW: COTTON WHITE

DOOR



SW: ROYCROFT PEWTER

LAP SIDING



JAMES HARDIE: CEDARMILL

SHINGLES



JAMES HARDIE: STRAIGHT  
EDGE PANEL

ROOF



CERTAINTEED: WEATHERED WOOD

# SCHEME 2

BODY 1



SW: BUNGLEHOUSE BLUE

BODY 2



SW: COTTON WHITE

TRIM



SW: COTTON WHITE

DOOR



SW: BUNGLEHOUSE BLUE

ACCENT



SW: DOCKSIDE BLUE

LAP SIDING



JAMES HARDIE: CEDARMILL

SHINGLES



JAMES HARDIE: STRAIGHT  
EDGE PANEL

ROOF



CERTAINTEED: WEATHERED WOOD

# SCHEME 3

BODY 1



SW: BUTTER UP

TRIM



SW: COTTON WHITE

DOOR



SW: REVEL BLUE

LAP SIDING



JAMES HARDIE: CEDARMILL

ROOF



CERTAINTEED: AGED BARK



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CONCEPTUAL EXTERIOR COLOR SCHEMES

CO-1

SCALE: N.T.S.  
SUBMITTAL DATE: 10.10.2014  
PROJECT: 317033  
REV: 06.11.2015

## SCHEME 4

BODY 1



SW: AURORA BROWN

BODY 2



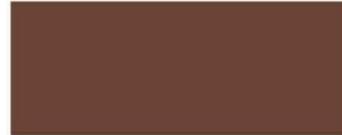
SW: NEBULOUS WHITE

TRIM



SW: COTTON WHITE

DOOR



SW: AURORA BROWN

ACCENT



SW: DOCKSIDE BLUE

LAP SIDING



JAMES HARDIE: CEDARMILL

SHINGLES



JAMES HARDIE: STRAIGHT  
EDGE PANEL

ROOF



CERTAINTEED: AGED BARK

## SCHEME 5

BODY 1



SW: AURORA BROWN

BODY 2



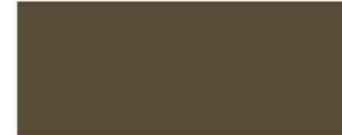
SW: LILY

TRIM



SW: COTTON WHITE

DOOR



SW: CHATEAU BROWN

LAP SIDING



JAMES HARDIE: CEDARMILL

ROOF



CERTAINTEED: WEATHERED WOOD

## SCHEME 6

BODY 1



SW: CRESCENT MOON

BODY 2



SW: CREAMY

TRIM



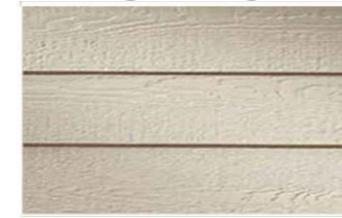
SW: COTTON WHITE

DOOR



SW: REVEL BLUE

LAP SIDING



JAMES HARDIE: CEDARMILL

ROOF



CERTAINTEED: AGED BARK



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CONCEPTUAL EXTERIOR COLOR SCHEMES

CO-2

SCALE: N.T.S.  
SUBMITTAL DATE: 10.10.2014  
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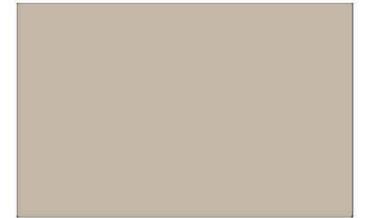
# SCHEME 7

BODY 1



SW: MOCHA

BODY 2



SW: DIVERSE BEIGE

TRIM



SW: COTTON WHITE

DOOR



SW: CHATEAU BROWN

STONE



ELDORADO: MAZANITA  
CLIFFSTONE

SHINGLES



JAMES HARDIE: STRAIGHT  
EDGE PANEL

ROOF



CERTAINTTEED: AGED BARK

CERTAINTTEED: AGED BARK



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CONCEPTUAL EXTERIOR COLOR SCHEMES

CO-3

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