

PROJECT AREA	
TOTAL LOT AREA	107,596 SF
	(2.47 ACRES)
PROJECT SITE AREA	9,285 SF
(SEE LIMIT OF WORK ON L1.0)	(0.2 ACRE)

PROJECT CONTACT: PACELINE AND APDW

SHEET INDE	EX
COVER SHEET +	SITE PLAN - APDW
SHEET NUMBER	SHEET TITLE
COVER	
L0.0	SITE PLAN
L0.1	SITE RENDERING
L0.2	SITE RENDERING
L0.3	SITE RENDERING
L0.4	SITE RENDERING
L0.5	SITE SECTIONS
L0.6	SITE PHOTOS
BKF - CIVIL ENGI	NEERING
C1.0	DEMOLITION PLAN
C2.0	PROPOSED SITE PLAN
C3.0	GRADING AND DRAINAGE PLAN
C4.0	UTILITY PLAN
C5.0	STORMWATER MANAGEMENT PLAN
	APE ARCHITECTURE
L0.7	SCHEDULE + NOTES
L1.0	LANDSCAPE MATERIALS PLAN
L2.0	LANDSCAPE IMAGERY
L3.0	LANDSCAPE PRELIM. DETAILS
1 - RESTROOM &	STORAGE PROJECT DATA
A1.0	PLANS
A2.1	ELEVATIONS / SECTIONS
E.1	ELECTRICAL
P.1	PLUMBING
A5.1	DETAILS
2 - BEVERAGE	DETAILS
	DDO IECT DATA
A0.1	PROJECT DATA
A1.0	PLANS
A2.1	ELEVATIONS / SECTIONS
E.1	ELECTRICAL
P.1	PLUMBING
A5.1	DETAILS
3 - OFFICE	
A0.1	PROJECT DATA
A1.0	PLANS / ELECTRICAL / DETAILS
A2.1	ELEVATIONS
A2.2	SECTIONS
4&5 - FOOD	
A0.1	PROJECT DATA
A1.0	PLANS
A2.1	ELEVATIONS
A2.2	SECTIONS
E.1	ELECTRICAL
P.1	PLUMBING
A5.1	DETAILS
	

PERSPECTIVE RENDERING BY APDW

DEVELOPER

Paceline Investors LLC
242 California St.
San Francisco, CA 94111
Jay Atkinson
415-350-9976

www.pacelineinvestors.com

LANDSCAPE ARCHITECT

April Phillips Design Works, Inc 4040 Civic Center Drive San Rafael, CA 94903 April Phillips / FASLA, RLA aphillips@apdw.com **ARCHITECT OF MODULAR UNITS**

Urban Bloc
2350 Alvarado St., Building A
San Leandro, CA 94577
Jerry Jameson. CIO.
510-798-8007
jjameson@urbanbloc.net

CIVIL ENGINEER

HMH | Land Development . Landscape Architecture Bill Sowa, RLA 1570 Oakland Road San Jose, CA, 95131 408-487-2200 bsowa@hmhca.com

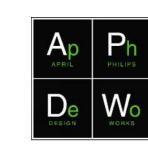






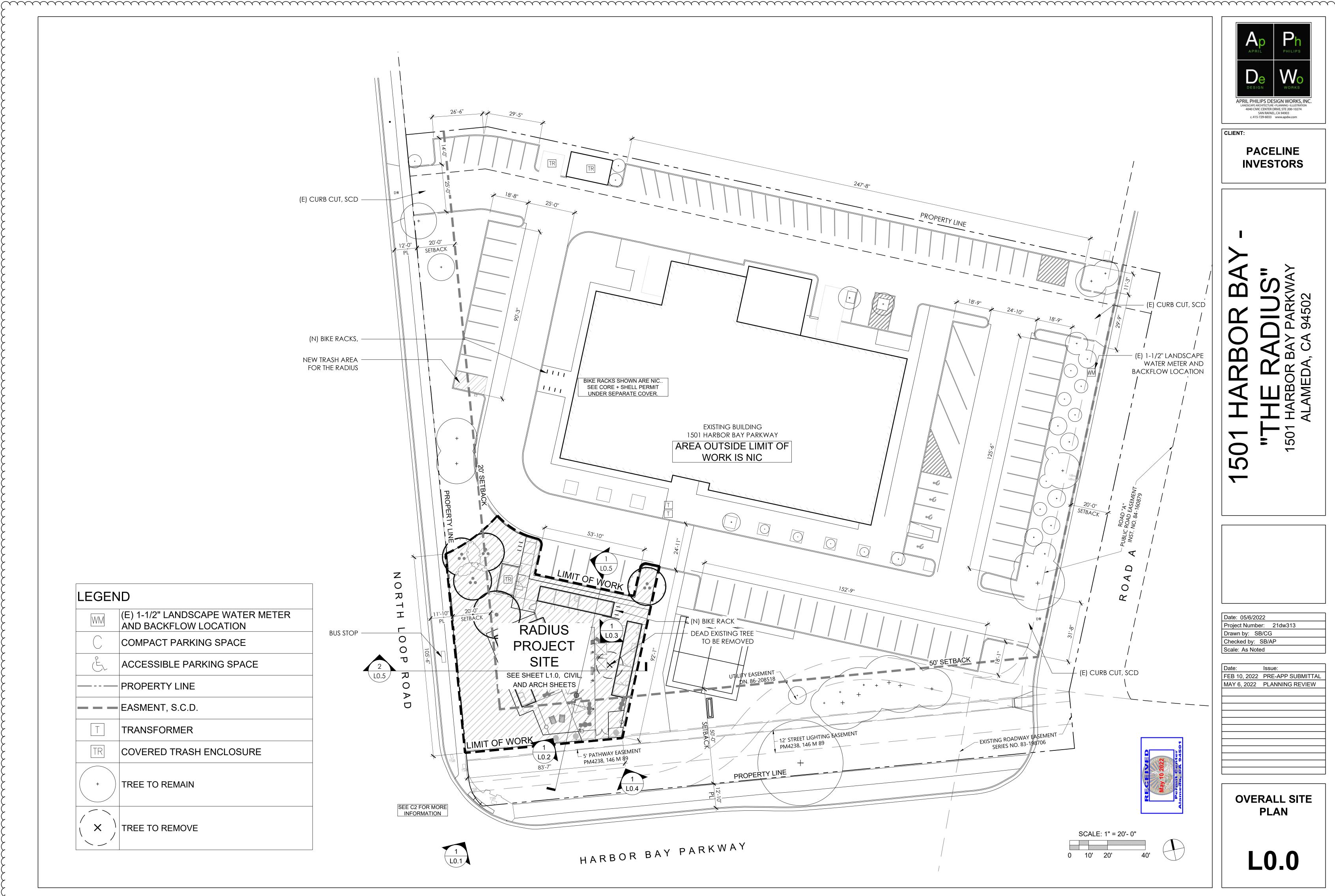


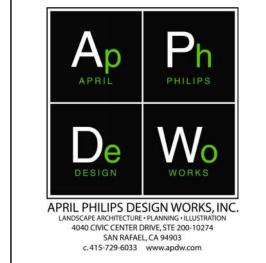






SD SITE PLAN SUBMITTAL 05/06/2022





PACELINE

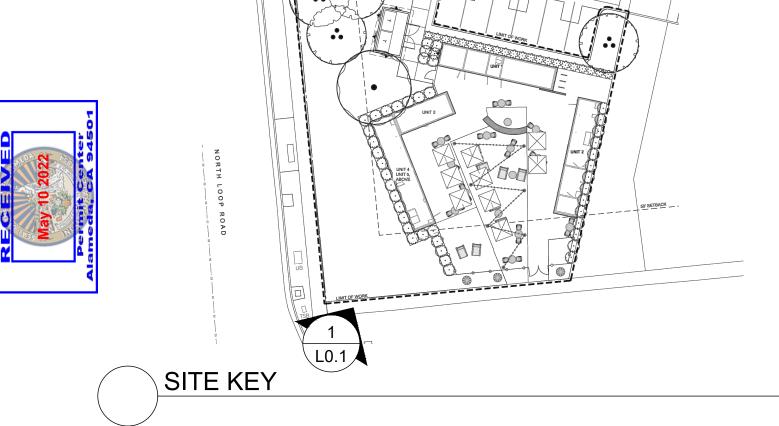
INVESTORS

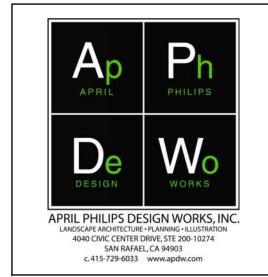
Date: 05/6/2022 Project Number: 21dw313 Drawn by: SB/CG Checked by: SB/AP

FEB 10, 2022 PRE-APP SUBMITTAL MAY 6, 2022 PLANNING REVIEW

OVERALL SITE PLAN







CLIENT:

PACELINE INVESTORS

1501 HARBOR BAY -"THE RADIUS"

Date: 05/6/2022
Project Number: 21dw313
Drawn by: SB/CG
Checked by: SB/AP

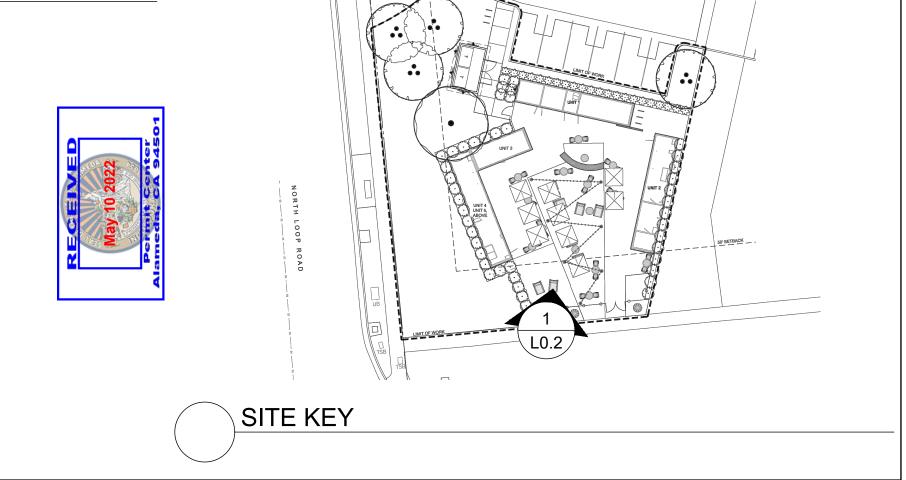
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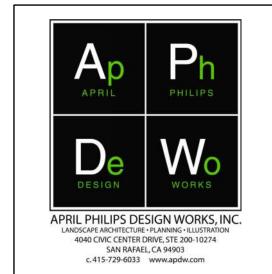
Date: Issue:
FEB 10, 2022 PRE-APP SUBMITTAL
MAY 6, 2022 PLANNING REVIEW

SITE RENDERINGS



1 RADIUS PLAZA PERSPECTIVE





CLIEN

PACELINE INVESTORS

1501 HARBOR BAY -"THE RADIUS"

Date: 05/6/2022
Project Number: 21dw313
Drawn by: SB/CG
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Scale: As Noted

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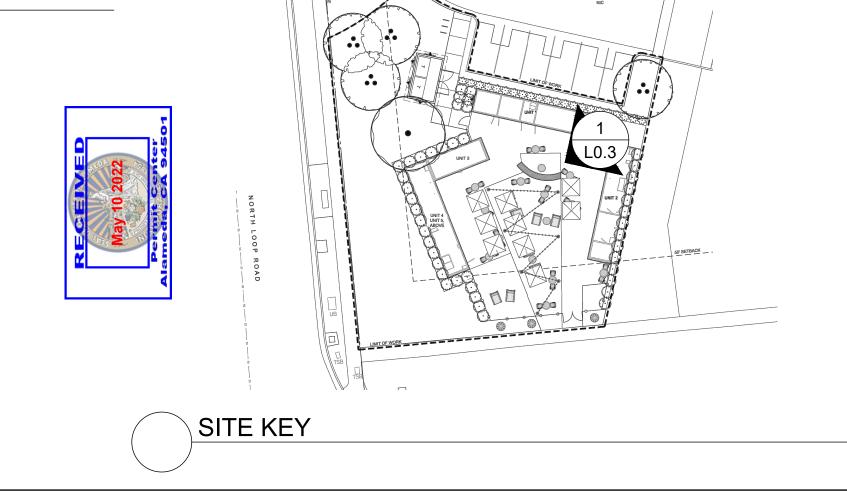
SITE

RENDERINGS

10-2



1 RADIUS PLAZA PERSPECTIVE



APRIL PHILIPS

APRIL PHILIPS

APRIL PHILIPS

APRIL PHILIPS DESIGN WORKS, INC.

LANDSCAPE ARCHITECTURE - PLANNING - ILLUSTRATION

4040 CIVIC CENTER DRIVE, STE 200-10274

SAN RAFAEL, CA 94903

CLIEN

PACELINE INVESTORS

501 HARBOR BAY -"THE RADIIIS"

Date: 05/6/2022
Project Number: 21dw313
Drawn by: SB/CG
Checked by: SB/AP

Scale: As Noted

Date: Issue:
FEB 10, 2022 PRE-APP SUBMITTAL
MAY 6, 2022 PLANNING REVIEW

SITE RENDERING

L0₋₃





CLIENT:

PACELINE INVESTORS

1501 HARBOR BAY - "TILL DAD" 15"

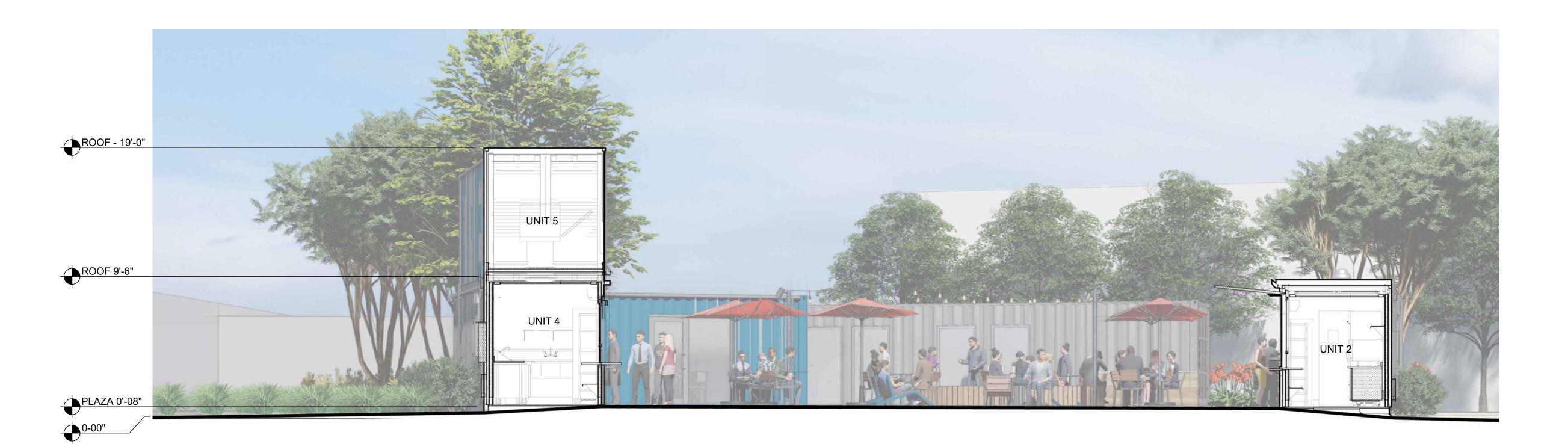
Date: 05/6/2022
Project Number: 21dw313
Drawn by: SB/CG
Checked by: SB/AP
Scale: As Noted

Date: Issue:
FEB 10, 2022 PRE-APP SUBMITTAL
MAY 6, 2022 PLANNING REVIEW

SITE RENDERING



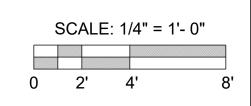


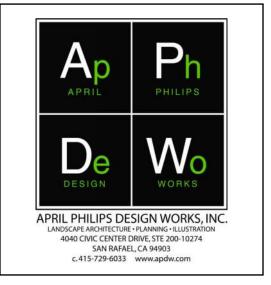




2 SECTION/ELEVATION: NORTH

1/4" = 1'-0"





CLIENT:

PACELINE INVESTORS

1501 HARBOR BAY.
"THE RADIUS"

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MAY 6, 2022 PLANNING REVIEW

Y 6, 2022 PLANNING REVIEW

SITE SECTIONS

SITE PHOTOS







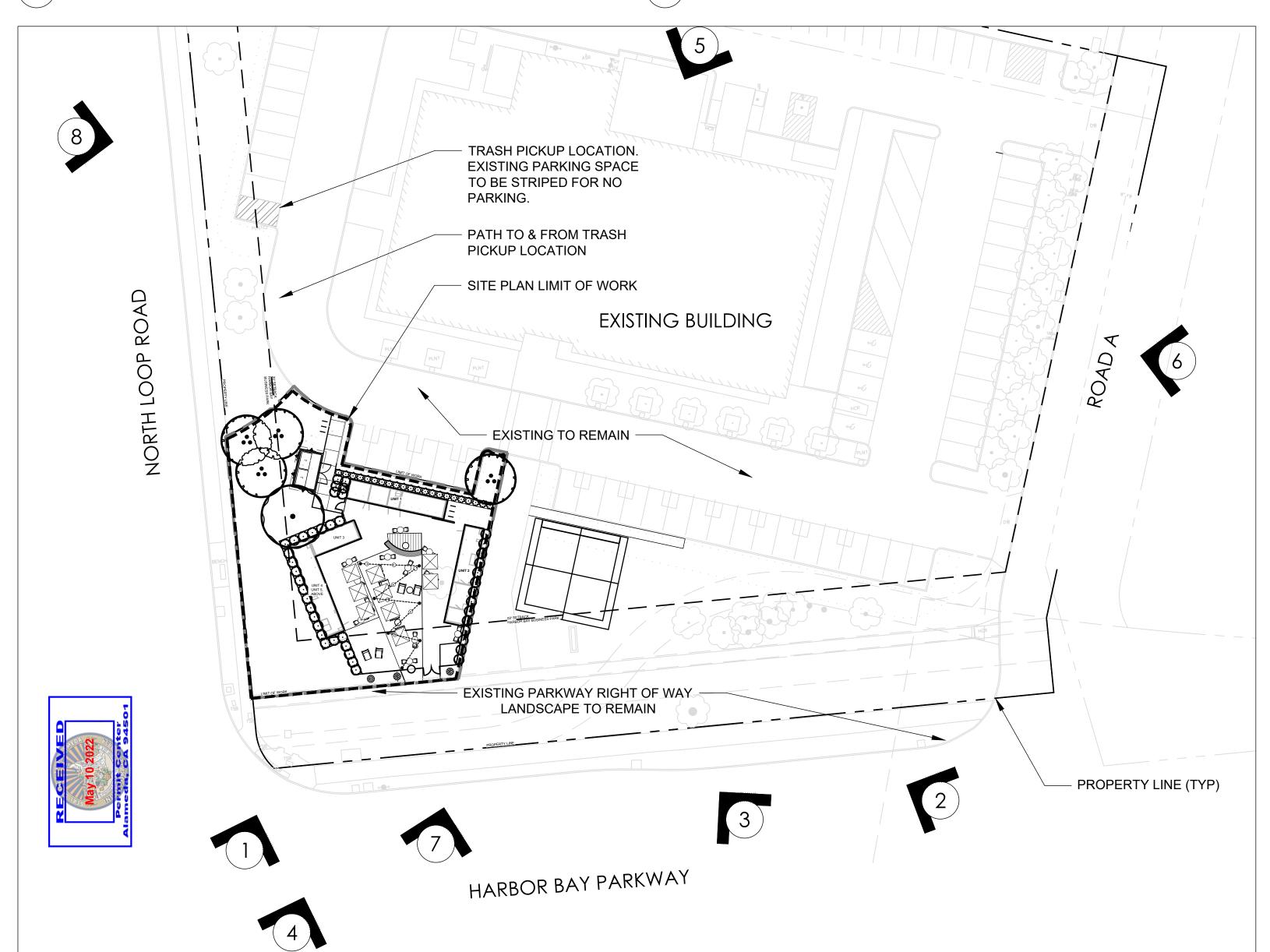
2 VIEW FROM HARBOR BAY PKWY TOWARD NORTH LOOP ROAD



3 VIEW FROM HARBOR PAY PARKWAY LOOKING TOWARD NORTH LOOP ROAD



4 VIEW FROM HARBOR PAY PARKWAY AT NORTH LOOP ROAD



SCALE: 1" = 30'- 0"

0 15' 30' 60'



5 VIEW FROM THE NORTH OF EXISTING BUILDING



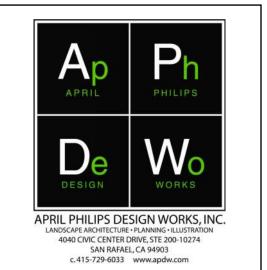
6 EAST ELEVATION OF EXISTING BUILDING



7 south elevation of existing building



8 WEST ELEVATION OF EXISTING BUILDING



CLIENT:

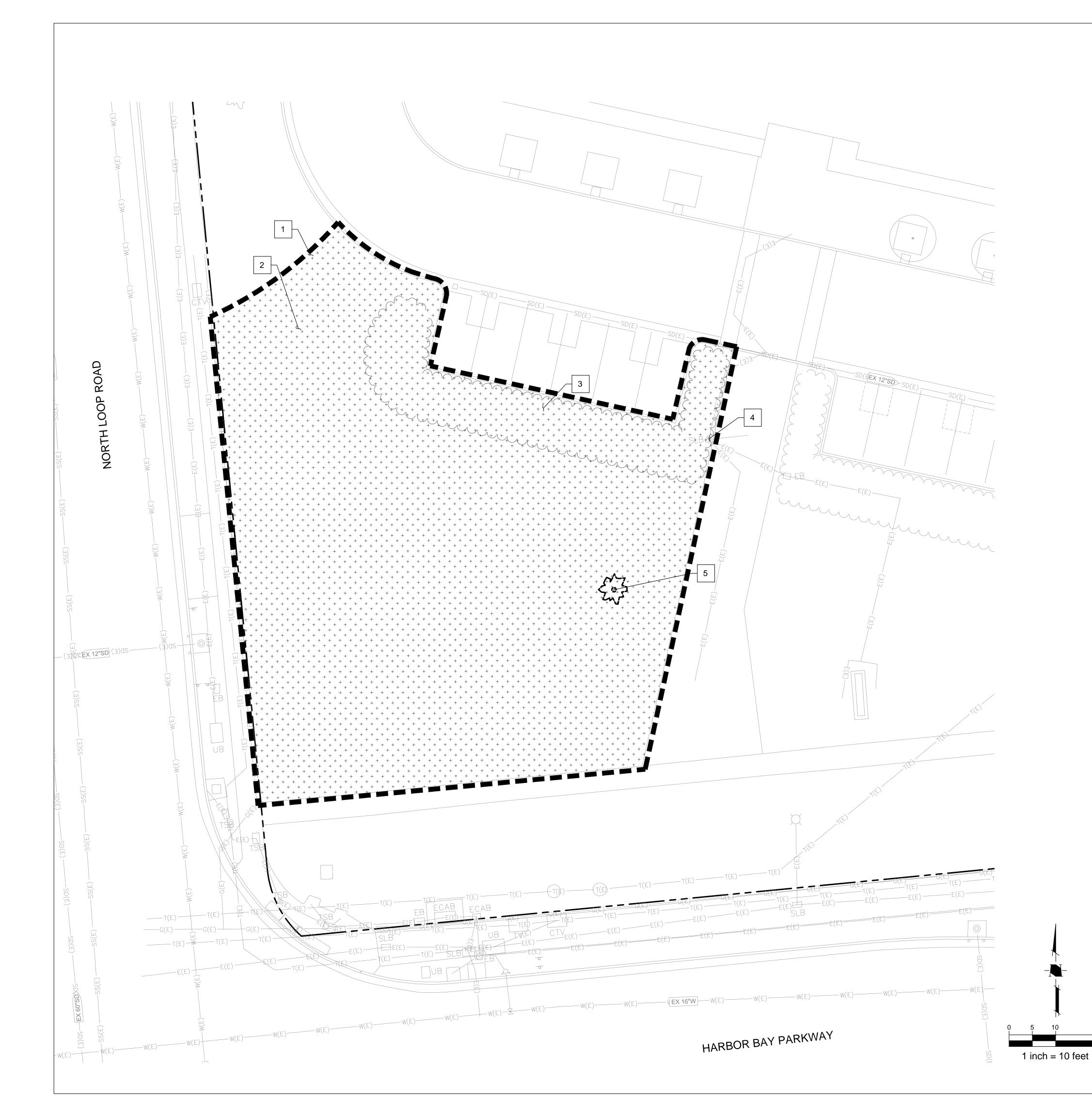
PACELINE INVESTORS

1501 HARBOR BAY TO THE RADIUS" 1501 HARBOR BAY PARKWAY

Date: 05/6/2022
Project Number: 21dw313
Drawn by: SB/CG
Checked by: SB/AP
Scale: As Noted

Date: Issue:
FEB 10, 2022 PRE-APP SUBMITTAL
MAY 6, 2022 PLANNING REVIEW

SITE PHOTOS





Utility Design Land Surveying Stormwater Compliance

1570 Oakland Road (408) 487-2200 San Jose, CA 95131 HMHca.com

CLIENT:

PACELINE

INVESTORS

DEMOLITION LEGEND:

CLEAR AND GRUB LANDSCAPE



TREE TO BE REMOVED



TREE TO BE PROTECTED AND REMAIN IN PLACE.

DEMOLITION NOTES

1 LIMITS OF WORK

CONTRACTOR TO REMOVE ALL EXISTING LANDSCAPE AND IRRIGATION EQUIPMENT IN THE LIMITS OF WORK

EXISTING VEGETATION TO BE REMOVED

EXISTING UTILITY BOX TO REMAIN, PROTECT IN PLACE

EXISTING TREE SEE LANDSCAPE PLANS FOR DISPOSITION

PROTECT ALL UTILITIES IN PLACE UNLESS OTHERWISE NOTED

ADDITIONAL DEMOLITION MAY BE REQUIRED BY ARCHITECTURE OR LANDSCAPE PLANS. SEE OTHERS FOR DEMOLITION LIMITS

DEMOLITION PLAN NOT APPROVED BY PUBLIC WORKS



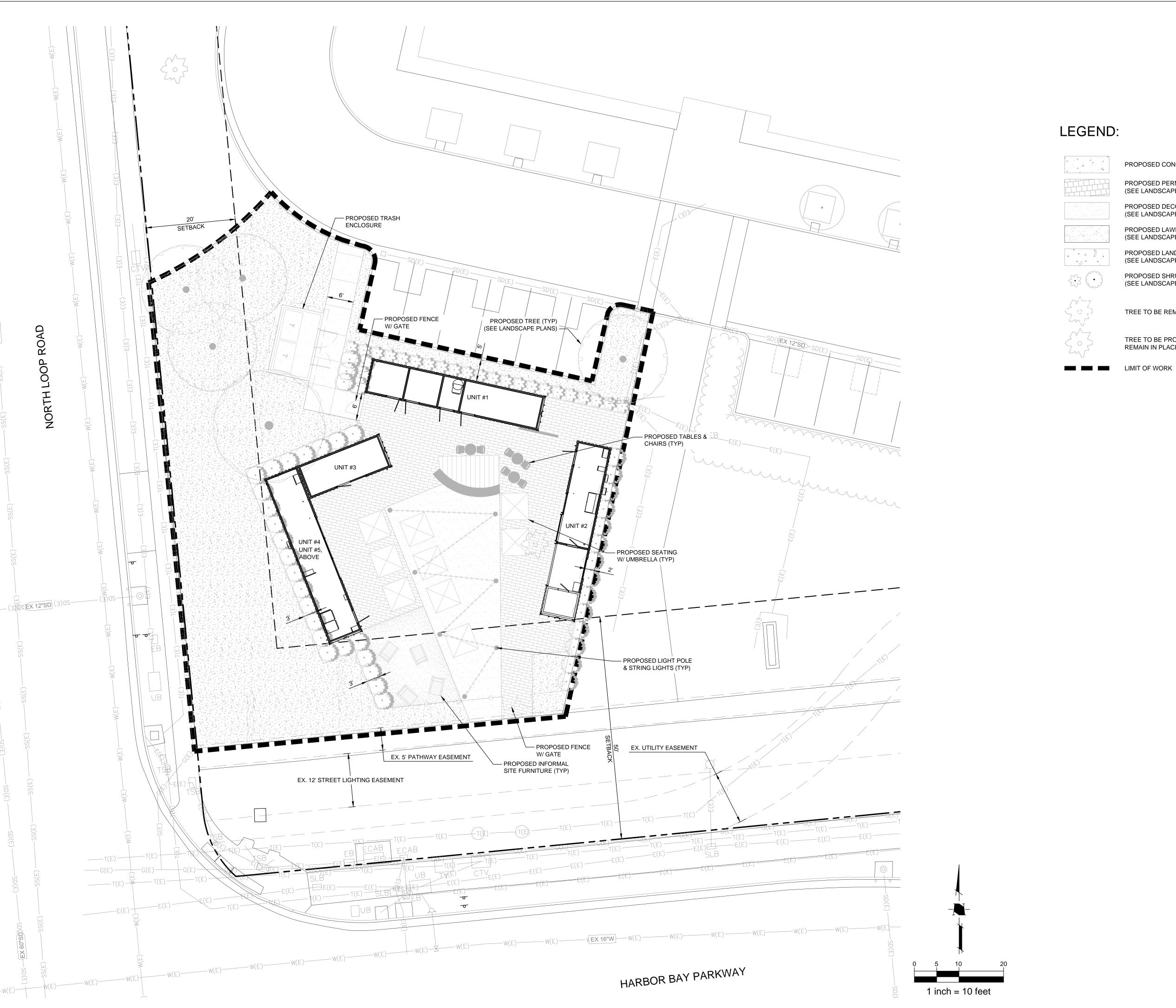
Date: 05/6/2022 Project Number: 21dw313 Drawn by: DO/JLC Checked by: JLC Scale: As Noted

FEB 10, 2022 PRE-APP SUBMITTAL

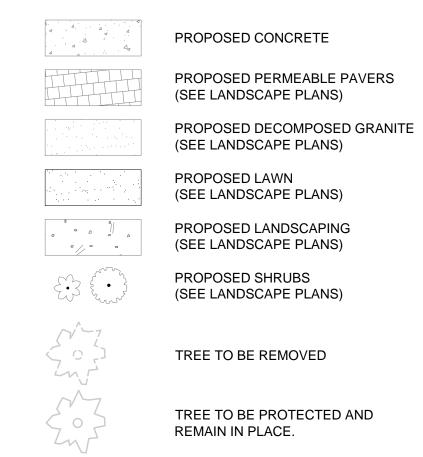
MAY 6, 2022 PLANNING REVIEW

DEMOLITION PLAN

UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.









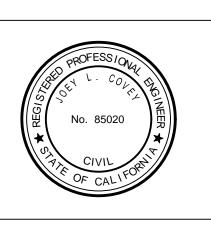
Civil Engineering
Utility Design Land Surveying Stormwater Compliance

1570 Oakland Road (408) 487-2200 San Jose, CA 95131 HMHca.com

CLIENT:

PACELINE

INVESTORS



Date: 05/6/2022 Project Number: 21dw313 Drawn by: DO/JLC Checked by: JLC Scale: As Noted

FEB 10, 2022 PRE-APP SUBMITTAL

MAY 6, 2022 PLANNING REVIEW

PROPOSED

SITE PLAN





PROPOSED CONCRETE PROPOSED PERMEABLE PAVERS (SEE LANDSCAPE PLANS) PROPOSED DECOMPOSED GRANITE (SEE LANDSCAPE PLANS) PROPOSED LAWN (SEE LANDSCAPE PLANS) PROPOSED LANDSCAPING (SEE LANDSCAPE PLANS) PROPOSED SHRUBS (SEE LANDSCAPE PLANS) LIMIT OF WORK DIRECTION OF SURFACE DEAINAGE **EXISTING** FINISHED FLOOR FINISHED GRADE



Utility Design Land Surveying Stormwater Compliance

1570 Oakland Road (408) 487-2200 San Jose, CA 95131 HMHca.com

CLIENT:

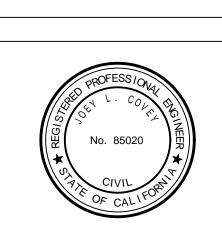
PACELINE

INVESTORS

FINISHED SURFACE

GRADE BREAK

PAD ELEVATION TOP OF CURB



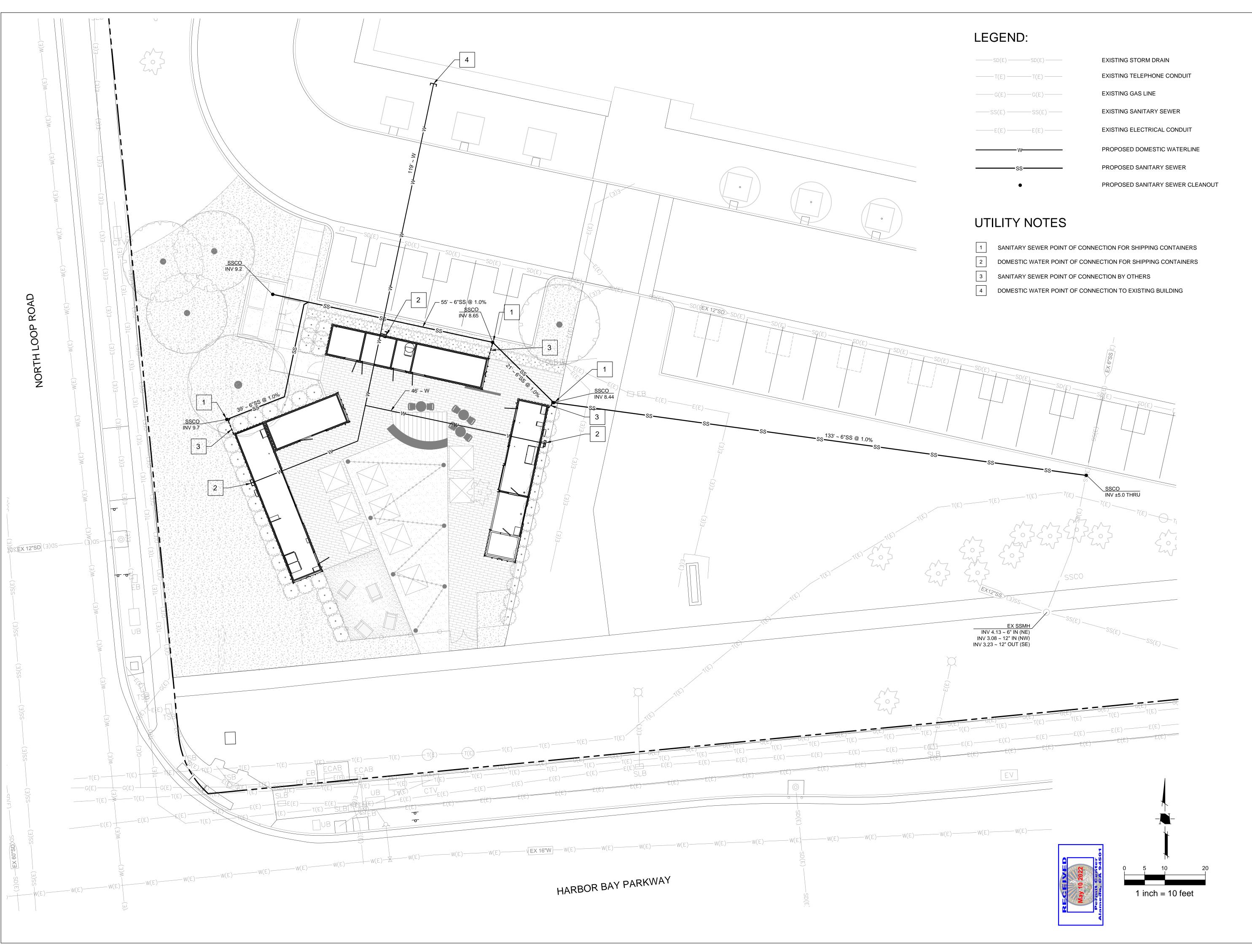
Date: 05/6/2022 Project Number: 21dw313 Drawn by: DO/JLC Checked by: JLC

Scale: As Noted

FEB 10, 2022 PRE-APP SUBMITTAL

MAY 6, 2022 PLANNING REVIEW

GRADING AND DRAINAGE PLAN

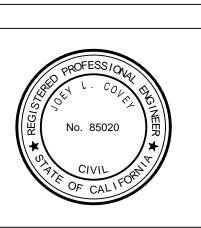




CLIENT:

PACELINE INVESTORS

11 HARBOR BAY - "THE RADIUS"
501 HARBOR BAY PARKWAY



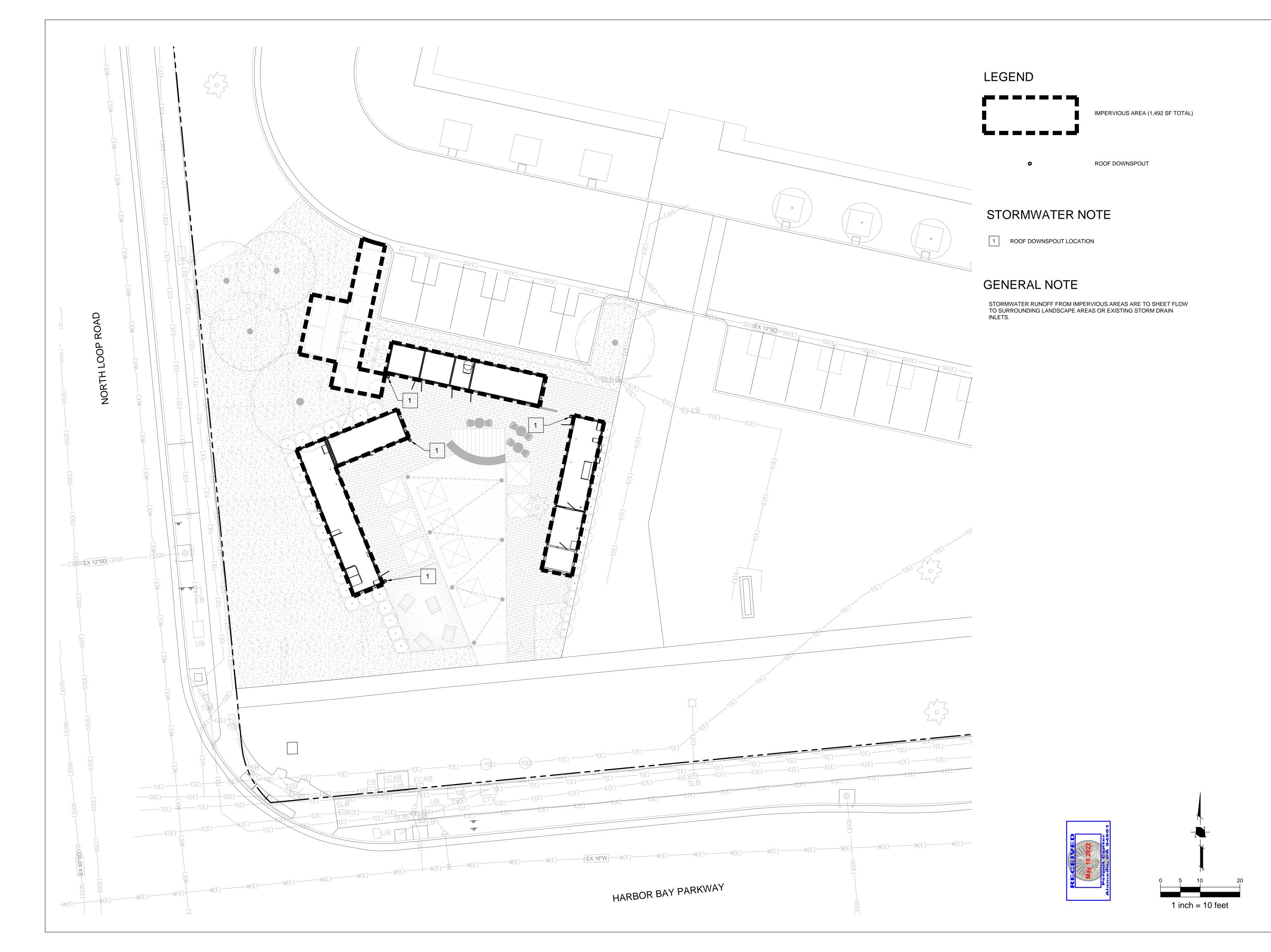
Date: 05/6/2022
Project Number: 21dw313
Drawn by: DO/JLC
Checked by: JLC
Scale: As Noted

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MAY 6, 2022 PLANNING REVIEW

Y 6, 2022 PLANNING REVIEW

UTILITY PLAN

C4





Land Ose Entitlements

Land Planning

Landscape Architecture

Civil Engineering

Utility Design

Land Surveying

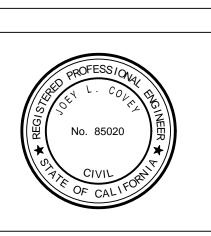
Stormwater Compliance

1570 Oakland Road (408) 487-2200 San Jose, CA 95131 HMHca.com

CLIENT:

PACELINE

INVESTORS



Date: 05/6/2022 Project Number: 21dw313 Drawn by: DO/JLC Checked by: JLC Scale: As Noted

FEB 10, 2022 PRE-APP SUBMITTAL

MAY 6, 2022 PLANNING REVIEW

STORMWATER **MANAGEMENT PLAN**

Bay-Friendly Basics Landscape Checklist



This Bay-Friendly Basics Checklist is for all new construction and renovation of landscapes that are 2,500 square feet of irrigated area or greater and require a permit. The Bay-Friendly Basics represents the 9 required practices from the Bay-Friendly Landscape Scorecard. It is considered a minimum set of practices to improve the environmental performance of the landscape. Projects are recommended to to meet all applicable measures on the checklist. For measures that are not applicable or are not in the project's scope of work, check "N/A" and make a note of why the measure does not apply to the project (attach additional sheets if necessary). For tronic copies of this checklist, and other Bay-Friendly Landscaping resources, visit; www.BayFriendly.org

	Project: 1501 Harbor Bay - The Radius Address: 1501 Harbor Bay Parkway, Alameda, CA, 94502	Date: May 6, 2022	
	Earthworl	k & Soil Health	i i
Yes No N/A	Measure & Requirement	Documentation	Notes
v	Requirement All soil on site is protected with a minimum of 3 inches of mulch after construction. Recomendation Use recycled or greenwaste mulch instead of landscape fabric. Trees identified for removal are chipped and used on site as mulch, on-site storage space permitting. Reference Bay-Friendly Landscape Guidelines, Practice 4.1; Bay-Friendly Guide to Mulch, available at www.BayFriendly.org. Provides sources of recycled mulch and proper application of mulch and information on sheet mulching.	Submit square footage of planting areas as well as cubic yards required to cover planting areas to a minimum three-inch (3") depth. Submit a delivery ticket or receipt of purchased mulch and/or, Submit receipts for sheet mulching materials and/or, (Optional) Submit photos of trees being chipped for mulch (if applicable).	
∠ 2.	Amend the Soil with Compost Before Planting Requirement Compost is specified as the soil amendment, at the rates indicated by a soil analysis to bring the soil organic matter content to a minimum of 3.5% by dry weight or 1 inch of compost. If the imported or site soil meets the organic content of 3.5% or more, then the requirement is waived. Recommendation Purchase compost from a producer who participates in the U.S. Composting Council's Standard Testing Assurance(STA) program to ensure quality. Reference Bay-Friendly Landscape Guidelines, Practice 4.1; Model Bay-Friendly Soil specifications, at www.BayFriendly.org; U.S. Composting Council Standard Testing Assurance program explanation and list of participating producers can be found at: www.compostingcouncil.org	Submit the site soil or imported topsoil analysis. No soils analysis is required if 1" of compost is used. Submit+H35 compost details from construction documents. Submit the receipt or delivery ticket for the compost, indicating the amount of the compost delivered/purchased. If a waiver is requested based on soil organic matter content or the needs of plant palette, Submit a completed plant palette with species that need little/no soil organic matter identified, and include the source of information on their soil needs OR Submit a soils report that indicates the soil has an organic matter content of 3.5% or greater.	
	Ma	aterials	
	Requirement Divert 50% of landscape construction and demolition waste by weight. Verify the local jurisdiction's minimum requirement and reporting procedures for construction and demolition (C&D) recycling. Reference: StopWaste.Org, Builders' Guide to Reuse & Recycling: A Directory for Construction and Demolition Materials and sample Waste Management Plan for recycling C&D materials at www.BuildGreenNow.Org.	State the percent diversion goal in the design documents. List specific goals and recycling and reuse requirements in plans and specifications. Require contractors to review the waste management plan with subcontractors and to include contract language requiring subcontractors comply with the plan. Prior to construction, complete a construction waste management plan. The City should provide a smaple template, or one can be downloaded at www.BuildGreenNow.org . After construction, provide final waste management plan with backup documentation. If materials were sent to a C&D Recycling facility, apply a facility average diversion rate because not all materials can be recycled. Most large C&D facilities have a calculated diversion rate and can provide you with documentation stating the percentage of materials recycled at that facility (typically 50% to 90%).	
	PI	anting	
□ □ 4.	Requirement Species will be selected and plants spaced to allow them to grow to their natural size and shape. Pruning for structural integrity and health of plant is permitted. In addition, plants located in a row or adjacent to buildings, sidewalks or roads will be spaced between their minimum and maximum mature plant spread according to a published reference plant book and still fit into thier planting area without significant overhang. Trees must meet the spacing requirements only when adjacent to buildings, in a row or other adjacent to other vertical obstructions. Vines are not subject to spacing requirements. Reference Bay-Friendly Landscape Guidelines, Practices 2.1, Bay-Friendly Plant lists are available at www.BayFriendly.org ; Bronsetin,Carol, David Fross and Bart O'Brien, California Native Plants for the Garden; East Bay Municipal Utility District, Plants and Landscapes for Summer Dry Climates; Sunset, Western Garden Book.	Submit plant legend indicating plant species, spacing and mature spread of plant. Indicate the source of information on spacing and spread. Submit a statement signed by the Landscape Architect, Designer or Contractor verifying that installed plants meet this requirement.	
Yes No N/A	Measure & Requirement	Documentation	Notes
V 1 5.	Requirement None of the plant species listed by CAL-IPC's Don't Plant a Pest as invasive in the San-Francisco, Bay Area are included in the planting plan. Definition An invasive speices is defined as a species that is non-native (or alien) to the ecosystem under consideration and whose introduction causes or is likeley to cause economic or environmental harm or harm to human health. Federal Executive Order 1311. Reference Bay-Friendly Landscape Guielines, Practice 2.1d; Don't Plant A Pestbrochures for trees and plants available at www.cal-ipc.org/ip/inventory/weedlist.php .	Compare the complete list of plants in the plant palette to the Cal-IPC list of plants that are invasive to the San Francisco Bay-Area. Submit the complete plant palette. Submit a statement signed by the Landscape Architect, Designer or Contractor confirming that no invasive species were substituted for specified species.	

6. Grow drought tolerant CA native, Mediterranean or climate adapted plants • Submit a plant legend that identifies species, A minimum of 75% of the total number of plants in umber of plants, irrigation requirements (and non-turf areas must be species that require no or reference source of the water requirement), little summer watering once established. Species total number of drought tolerant plants and total should be adapted to the climate in which they will number of non-turf plants. (download a Baybe planted, as referenced by a published plant Friendly plant legend template to facilitate this reference. If plants are given a range of water needs process at www.BayFriendly.org). from "occasional to moderate" for example, the • Submit a statement signed by the Landscape require either occasional or moderate watering installed plants meet this requirement. based on site, soil, and climate conditions and categorize the plant appropriately. California native or Mediterranean species are strongly recommended. Bay-Friendly Landscape Guidelines Practice 4.2; www.owue.water.ca.gov/docs/wucols00.pdf. Measure & Requirement Documentation 7. Minimize the lawn · Submit calculations of square feet of turf, A maximum of 25% of total irrigated area is excluding sports and multiple use fields, and specified as turf, with sports or multiple use fields square feet of total irrigated area. Submit planting plans with sports and multiple exempted. use fields identified. Include a statement about the purpose of multiple use fields. Bay-Friendly Landscape Guidelines, Practice 4.3; Submit as statement signed by the Landscape Architect, Designer or Contractor Bay-Friendly Lawn Alternatives plant list at www.BayFriendly.org; Brooklyn Botanic Garden that installed turf meets the requirements for Publications, Easy Lawns, Low Maintenance Native | this credit. Grasses for Gardeners Everywhere.

Irrigation 8. Specify Weather-Based Irrigation Controllers (automatic, self-adjusting) that Includes a Moisture &/or Rain Sensor Shutoff Submit the make and model and product Weather-based irrigation controllers, soil moisture sheet of the irrigation controller. based controllers or other self-adjusting irrigation Provide a statement signed by the Landscape controllers, shall be required for all irrigation Architect, Designer or Contractor that the installed controller is a self-adjusting model and ncludes shut off capacity. Bay-Friendly Landscape Guidelines, Practice 4.6: EBMUD website has a list of recommended self adjusting controllers at www.ebmud.com.

9. Sprinkler & Spray Heads are Not Specified for Areas Less Than 8 Feet Wide Requirement • Submit statement signed by Submit statement signed by the Landscape Sprinkler and spray heads are not specified in areas Architect, Designer or Contractor verifying that less than or equal to 8 feet wide to prevent irrigation as installed does not have sprinkler or overspray and runoff. Acceptable alternatives spray heads in planted areas less than 8 feet include drip, subsurface drip, bubblers or no irrigation. Bubblers shall not exceed 1.5 gallons per minute per bubbler.

Bay-Friendly Basics: Bay-Friendly Basics represents the 9 required practices in the Bay-Friendly Landscape Scorecard. Landscapes that achieve the Bay-Friendly Basics will achieve significant environmental benefits for the project and community as well as taking the first step toward becoming a Bay-Friendly Rated Landscape. If a project is interested in seeking to qualify as a Bay-Friendly Rated Landscape, it must also earn a minimum of 60 points on the Bay-Friendly Landscape Scorecard and be evaluated by a qualified Bay-Friendly Rater. Please visit www.BayFriendlyCoalition.org to learn more about taking this next step in sustainability. The Bay-Friendly Basics is not a substitute for exercising sound judgment in particular circumstances. Rather, the Bay-Friendly Basics is designed to help local governments raise the minimum environmental requirements for landscape projects that require a permit.

This checklist works well with the Small Commercial Green Building Checklist available at www.stopwaste.org/smallcommercial.

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GENERAL NOTES:

- DESIGN SHALL MEET ALL APPLICABLE STATE AND LOCAL CODES. SEE CIVIL PLANS FOR GRADES, STORMWATER MANAGEMENT, AND ADA PATH OF TRAVEL.
- LIGHTING TO BE LOW LEVEL AND DARK SKY COMPLIANT. VERIFY EXISTING SITE INFORMATION, INCLUDING GRADES, UTILITIES, PROPERTY LINES, SETBACKS, EASEMENTS, LIMITS OF ROADWAYS, CURBS AND GUTTERS. PROVIDE WRITTEN NOTIFICATION OF ALL DISCREPANCIES BETWEEN EXISTING AND PROPOSED SITE IMPROVEMENTS. CONTRACTOR SHALL REVIEW THESE PLANS THOROUGHLY, MAKE A DETAILED SITE VISIT, AND SHALL BRING ANY INCONSISTENCIES, SITE LAYOUT PROBLEMS, OR ANY OTHER REQUESTS FOR CLARIFICATION TO THE LANDSCAPE ARCHITECT
 - FOR RESOLUTION PRIOR TO THE DELIVERY OF ANY BID. FAILURE TO DO SO SHALL CAUSE THE CONTRACTOR TO BE INELIGIBLE FOR EXTRAS RELATING TO SUCH MATTERS. INFORMATION ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS APPROXIMATE ONLY. DRAWINGS ARE GENERALLY DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED, BEFORE PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL CHECK AND VERIFY ALL EXISTING CONDITIONS AND INFORM THE LANDSCAPE ARCHITECT OF ANY DISCREPANCY BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS. THE CONTRACTOR SHALL EXERCISE CARE IN EXCAVATING AND WORKING NEAR EXISTING UTILITIES AND
 - ALL MATERIALS, FINISHES, MANUFACTURED ITEMS AND EQUIPMENT SHALL BE INSTALLED IN FULL ACCORDANCE WITH THE SUPPLIER'S OR MANUFACTURER'S WRITTEN RECOMMENDATIONS OR THESE DOCUMENTS, WHICHEVER IS MOST STRINGENT.
 - LOCATE, IDENTIFY, AND CLEARLY MARK UNDERGROUND UTILITY LINES, PIPES, CABLES, AND CONDUITS. PROTECT EXISTING SEWER AND DRAIN LINES FROM DAMAGE. THE CONTRACTOR SHALL EXERCISE CARE IN EXCAVATING AND WORKING NEAR EXISTING UTILITIES AND STRUCTURES.
 - PROVIDE CONSTRUCTION BARRIERS AS REQUIRED. PROTECT ADJACENT PROPERTY. SCALE APPLIES TO FULL-SIZED DRAWINGS ONLY. DO NOT SCALE FROM REDUCED DRAWINGS CONTRACTOR TO DIVERT 50% OF LANDSCAPE CONSTRUCTION AND DEMOLITION WASTE BY WEIGHT. VERIFY ALAMEDA MINIMUM REQUIREMENTS AND REPORTING PROCEDURES FOR

PLANTING & WATER USE NOTES:

CONSTRUCTION AND DEMOLITION (C&D) RECYCLING.

- ALL PLANT GROUPS ARE DESIGNED FOR LOW WATER USE, AND LAID OUT BY WATER ZONES DEPENDING ON WATER NEEDS. ALL PLANTING IS WATERED BY DRIP, BUBBLERS, OVERHEAD, OR SUB-SURFACE IRRIGATION. ALL GROUNDCOVER PLANTING AREAS ARE EXPECTED TO UNIFORMLY COVER THE PLANTING AREA IN TWO (2) YEARS. ALL SHRUB PLANTING AREAS ARE EXPECTED
- TO UNIFORMLY COVER THE PLANTING AREA IN FIVE (5) YEARS. PRIOR TO THE ,PLANTING OF ANY MATERIAL, COMPACTED SOILS SHALL BE TRANSFORMED TO A FRIABLE CONDITION. ALL NEW PLANTING AREA SHALL HAVE A MINIMUM OF 3" DEPTH LAYER OF ORGANIC MULCH APPLIED. STABILIZING MULCH PRODUCTS SHALL BE APPLIED TO SLOPES
- A SOIL ANALYSIS SHOULD BE PERFORMED DETERMINING THE SOIL TEXTURE, ORGANIC MATTER AND ESSENTIAL NUTRIENTS, SOIL INFILTRATION RATE, MEASURE OF PH AND TOTAL SOLUBLE SALTS. ALL RECOMMENDATIONS SHALL BE ORGANIC AND NON-SYNTHETIC AND BASED ON RECYCLED WATER USE. TOP SOIL SHALL BE STOCKPILED ON SITE AS SPACE ALLOWS.
- PROTECT EXISTING TREES PER ARBORIST'S RECOMMENDATIONS. AMENDMENTS OF SOILS DESIGNED TO PROMOTE HEALTHY WATER AND AIR ACCESS TO THE ROOT ZONE OF TREES TO BE PLANTED WITHIN 5 FEET OF ANY PAVEMENT OR OTHER COMPACTED AREA AND THE AMOUNT OF COMPOST SHALL ACHIEVE A MINIMUM OF 3.5% ORGANIC MATTER CONTENT BY DRY WEIGHT UNLESS SOIL REPORT RECOMMENDS AN ALTERNATIVE PERCENT OF ORGANIC MATTER TAILORED TO THE PLANT MATERIALS SPECIFIED IN THE LANDSCAPE DESIGN PLAN. SEE CIVIL DRAWINGS FOR STORMWATER AND GRADING INFORMATION.

IRRIGATION DESIGN NOTES:

- THE PROPOSED IRRIGATION DESIGN IS TO BE SERVED BY THE EXISTING 1-1/2" WATER METER AND BACKFLOW, IN ACCORDANCE WITH THE CITY OF ALAMEDA'S REQUIREMENTS.
- AN AUTOMATIC IRRIGATION CONTROLLER UTILIZING EITHER EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA UTILIZING NON-VOLATILE MEMORY SHALL BE USED FOR IRRIGATION SCHEDULING ON THE PROPOSED IRRIGATION SYSTEM. CONTROLLER TO BE HUNTER RAINBIRD, OR EQUAL. A PRESSURE-REGULATING DEVICE IS REQUIRED TO ENSURE THAT THE DYNAMIC PRESSURE AT EACH EMISSION DEVICE IS WITHIN THE MANUFACTURER'S
- RECOMMENDED PRESSURE RANGE FOR OPTIMAL PERFORMANCE. A WEATHER SENSOR IS TO BE INSTALLED TO PREVENT IRRIGATION DURING WINDY WEATHER, FREEZING WEATHER, OR RAIN.
- MANUAL SHUT OFF VALVES SHALL BE INSTALLED AT THE POINT OF CONNECTION, VALVE CLUSTERS, AND EVERY LOCATION WHERE THE IRRIGATION MAINLINE PASSES UNDER 20' OF HARDSCAPE MATERIAL.
- A BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED TO PROTECT THE LOCAL WATER SUPPLY FROM CONTAMINATION, PER CITY OF ALAMEDA REQUIREMENTS. FLOW SENSOR(S) SHALL BE INSTALLED AS NECESSARY TO DETECT, ALERT, AND PREVENT HIGH FLOW CONDITIONS OR MALFUNCTIONS.
- IRRIGATION CONTROL VALVES, HUNTER, RAINBIRD, OR EQUAL, SHALL BE INSTALLED. THE IRRIGATION SYSTEM IS DESIGNED TO PREVENT RUNNOFF, LOW HEAD DRAINAGE, OVERSPRAY, OR OTHER SIMILAR CONDITIONS WHERE IRRIGATION WATER
- FLOWS ONTO NON-TARGET AREAS, SUCH AS ADJACENT PROPERTY, NON-IRRIGATED AREAS, HARDSCAPES, ROADWAYS, OR STRUCTURES. 10. INFORMATION GATHERED DURING THE SOIL ANALYSIS REPORT HAS BEEN USED TO DEVELOP THE INCLUDED IRRIGATION SYSTEM.
- 11. THE IRRIGATION DESIGN CONFORMS TO THE HYDROZONES OF THE LANDSCAPE DESIGN PLAN.
- . THE INCLUDED IRRIGATION SYSTEM DESIGN CONFORMS TO THE IRRIGATION EFFICIENCY CRITERIA AS DEMONSTRATED ON THE SUBMITTED WATER EFFICIENT LANDSCAPE WORKSHEET REGARDING THE MAXIMUM APPLIED WATER ALLOWANCE. 13. ALL IRRIGATION EMISSION DEVICES MEET THE REQUIREMENTS SET IN THE ANSI STANDARD, , American Society of Agricultural and Biological Engineers'/International Code
- Council's (ASABE/ICC) 802-2014 "Landscape Irrigation Sprinkler and Emitter Standard, All sprinkler heads installed in the landscape must document a distribution unoformity low quarter of 0.65 or higher using the protocol defined in ASABE/ICC 802-2014.
- 14. PRIOR TO DESIGN, APDW CONTACTED TBD TO DETERMINE PEAK WATER OPERATING DEMANDS OR WATER RESTRICTIONS THAT MAY IMPACT THE EFFECTIVENESS OF THE IRRIGATION DESIGN ON TBD.
- 15. LOW-VOLUME IRRIGATION IS TO BE USED IN ALL MULCHED PLANTING AREAS.
- 16. ALL SPRINKLER HEADS AND OTHER EMISSION DEVICES HAVE MATCHED PRECIPITATION RATES. 17. THE INCLUDED IRRIGATION DESIGN ACHIEVES HEAD-TO-HEAD COVERAGE TO ACHIEVE MAXIMUM DISTRIBUTION CONFORMITY.
- 18. SWING JOINTS ARE TO BE USED ON ALL RISERS. 19. SPRINKLER HEADS TO BE LOW-VOLUME ROTATOR HEADS, HUNTER, RAINBIRD, OR EQ. CHECK VALVES ARE THE BE USED ON ALL SPRINKLER HEADS. 20. ALL TREES ARE TO BE PLACED ON A SEPARATE VALVE FROM SHRUBS, GROUNDCOVERS, AND TURF.
- 21. MAIN AND LATERAL LINES TO BE SCH 40 PVC, SIZED PER MFR RECOMMENDATIONS.
- 22. QUICK COUPLERS TO BE INSTALLED AT EACH TERMINUS OF MAIN LINE, VALVE CLUSTER, AND PER PLAN.

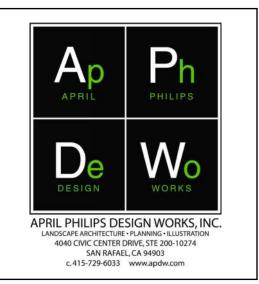
TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	WUCOL	SPACING	QTY	REMARKS	l —	1
	MEL QUI	MELALEUCA QUINQUENERVIA	CAJEPUT TREE	36" BOX	L	PER PLAN	4			
	ROB PSE	ROBINIA PSEUDOACACIA	BLACK LOCUST	36" BOX	VL	PER PLAN	1		LOW	HYDRO
HRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	WUCOL	SPACING	QTY	REMARKS		DRC
	ANI BRD	ANIGOZANTHOS X 'BIG RED'	BIG RED KANGAROO PAW	1 GAL	L	36" o.c.	22		ATER	NOZ
Arran A	MYR CAL	MYRICA CALIFORNICA	PACIFIC WAX MYRTLE	5 GAL	L	48" o.c.	44		USE	01
MEADOW PLANTING	CODE	BOTANICAL NAME	COMMON NAME	SIZE	WUCOL	SPACING	QTY			
	LOM IRA	LOMANDRA LONGIFOLIA 'BREEZE' TM	BREEZE MAT RUSH	1 GAL	L	30" o.c.	671			
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	WUCOL	SPACING	QTY	REMARKS		1
GROUND COVERS	CODE FES MOL	BOTANICAL NAME PENN RK4 / REBEL XLR / FIRECRACKER SLS / RIDGELINE	COMMON NAME DELTA BLUEGRASS 90-10 TALL FESCUE BLEND	SIZE	WUCOL	SPACING SOD	QTY 304 SF	REMARKS		HY

SYMBOL	DESCRIPTION	AREA	QTY	NOTES
	DECOMPOSED GRANITE (DG)	824 SF		SUNSET GOLD STABILIZED PATH FINES, SUNSET GOLD, STABILIZED WITH BINDER OR EQUAL
	PERMEABLE PAVERS (ADA ACCESSIBLE)	1837 SF		BELGARD MODULINE SERIES CONCRETE PAVERS, CONC/GRAPHITE, FOUNDRY, LINEN BLEND (3X12) OR EQUAL
	CONCRETE PAVING	416 SF		SCORED NATURAL CONCRETE
	DECK	84 SF		ADA AT-GRADE, THERMORY OR EQUAL
	SEATING WITH UMBRELLA		9	AVONA MONTERREY 6.5' SQ UMBRELLA W/ STAND OR EQUAL
	TABLES & CHAIRS		12	STREET FURNITURE AUSTRALIA - CAFE + LINEA LINES OR EQUAL
	INFORMAL SITE FURNITURE		11	STREET FURNITURE AUSTRALIA - CAFE + LINEA LINES OR EQUAL
	BIKE RACKS		3	MATCH EXISTING
	SEATWALL	17.5 LF		18" HIGH SEATWALL, THERMORY OR EQUAL
· · · · • • • • • • • • • • • • • • • •	LIGHT POLE AND STRING LIGHTS	108 LF	7	INCLUDES DOWNLIGHTING @ EA POLE - TBD

WATER-USE RATING NOTE: WUCOLS IV CATEGORIES OF WATER NEEDS:

WATER USE CLASSIFICATION OF LANDSCAPE SPECIES BY UNIVERSITY OF CALIFORNIA COOPERATIVE EXTENSION, CALIFORNIA DEPARTMENT OF RESOURCES, US BUREAU OF RECLAMATION, JANUARY 2014.

WATER USE EVALUATION:	SUMMARY:	LANDSCAPE PERCENTAGE	
MAXIMUM APPLIED WATER ALLOWANCE (MAWA):	MAXIMUM APPLIED WATER	OVERALL SITE AREA	110,065.09 SF
MAWA = (ETo) (0.62) [(ETAF X TLA) + ((1-ETAF) X SLA)] = $(41.8)(0.62)[(0.45 \times 5,010ft^2) + (0.60 \times 0 ft^2)]$	ALLOWANCE (MAWA): 52,538 gallons/year	OVERALL LANDSCAPE AREA	36,396.01 SF
= (25.92 in/year)(2,004 ft²) = 58,428 gallons/year	ESTIMATED TOTAL WATER USE	OVERALL LA PERCENTAGE	33.07%
ESTIMATED TOTAL WATER USE (ETWU):	(ETWU): 35,428 gallons/year	THE RADIUS LIMIT OF WORK AREA	\
ETWU HYDROZONE 1 = (ETo)(0.62)(ETAF)(AREA) = (41.8)(0.62)(.25)(4,705)		AREA OF WORK	9,548.17 SF
= 30,107 ETWU HYDROZONE 2 = (41.8)(0.62)(.67)(305)		LANDSCAPE AREA	5,010.00 SF
= 5,270 TOTAL = 35,428 gallons/year		LANDSCAPE PERCENTAGE	52.47%



CLIENT:

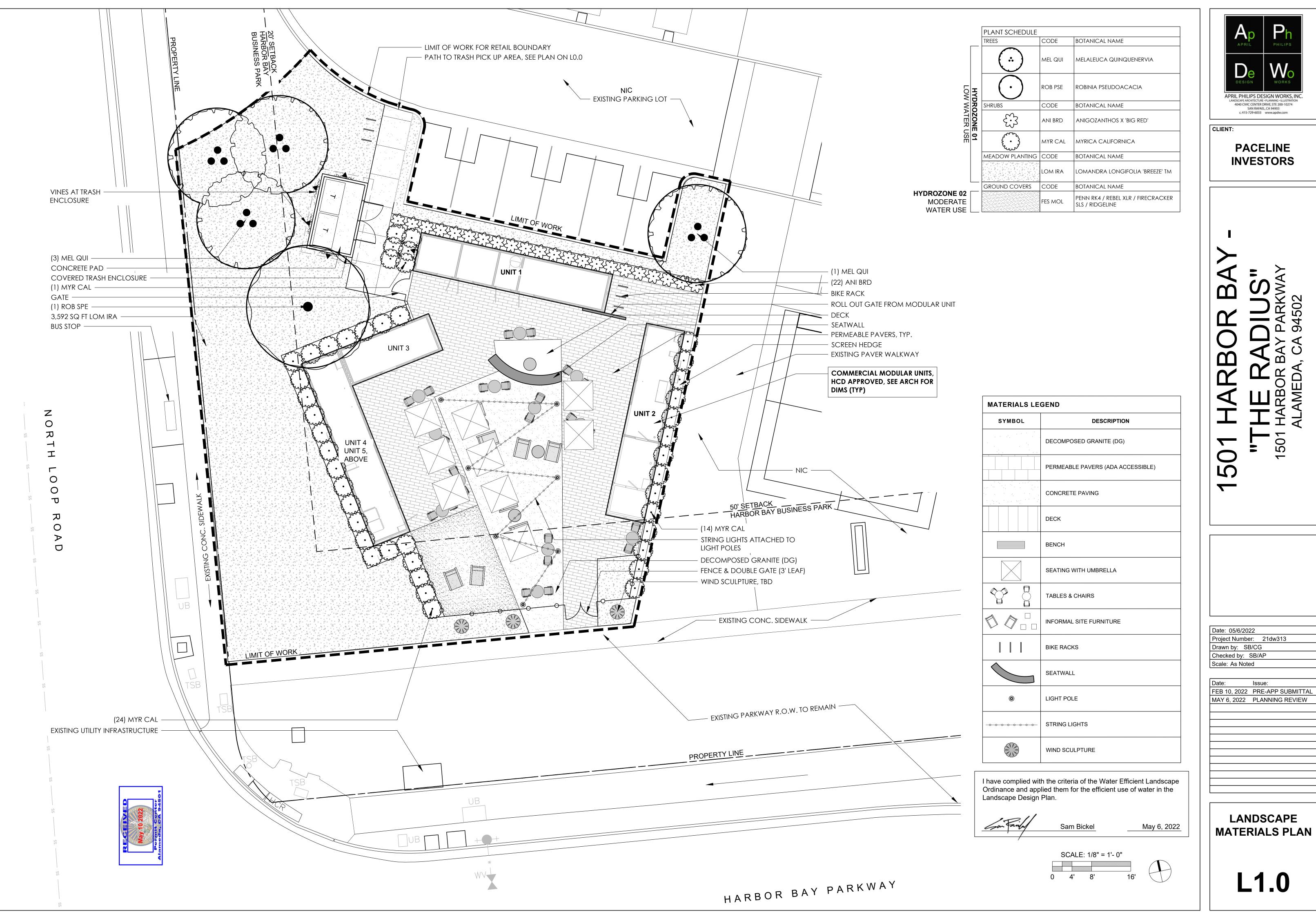
PACELINE

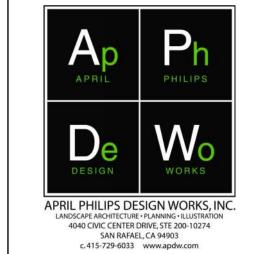
Date: 05/6/2022 Project Number: 21dw313 Drawn by: SB/CG Checked by: SB/AP

Scale: As Noted

Date:	Issue:
FEB 10, 2022	PRE-APP SUBMITTAL
MAY 6, 2022	PLANNING REVIEW
	·

SCHEDULE + NOTES





PACELINE INVESTORS

Date: 05/6/2022 Project Number: 21dw313 Drawn by: SB/CG Checked by: SB/AP Scale: As Noted

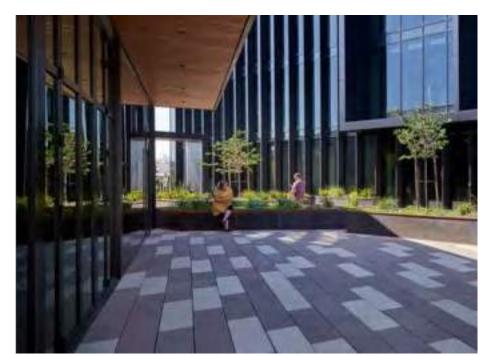
Issue: FEB 10, 2022 PRE-APP SUBMITTAL MAY 6, 2022 PLANNING REVIEW

LANDSCAPE

PERMEABLE HARDSCAPE MATERIALS PALETTE & STRING LIGHTING VOCABULARY











PLANTING PALETTE DROUGHT TOLERANT COASTAL VOCABULARY







WIND SCULPTURE









MOVEABLE SITE FURNISHINGS AND PLAY EXPERIENCE VOCABULARY







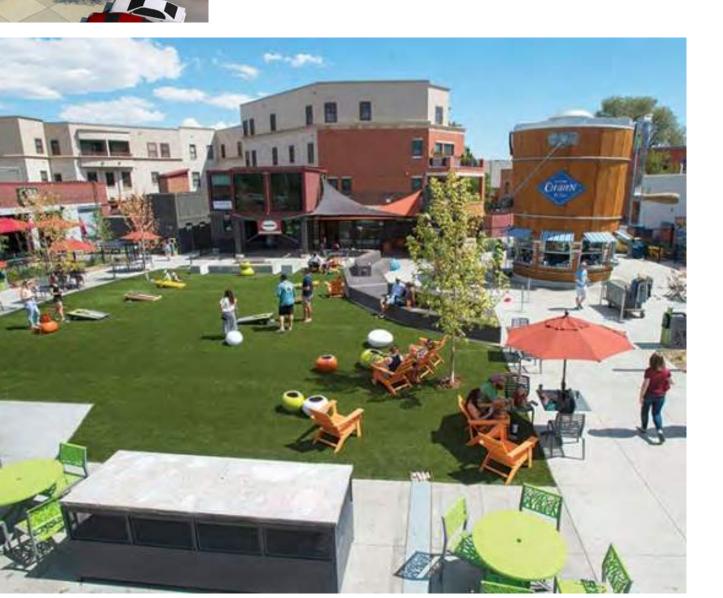


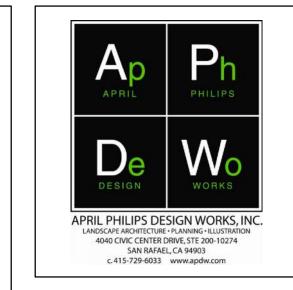


CENTRAL GATHERING COURTYARD INSPIRATION









PACELINE

INVESTORS

Date: 02/10/2022 Project Number: 21dw313 Drawn by: EG/KB
Checked by: PvC/AP
Scale: As Noted

Date:	Issue:
FEB 10, 2022	PRE-APP SUBMITTAL
MAY 6, 2022	PLANNING REVIEW

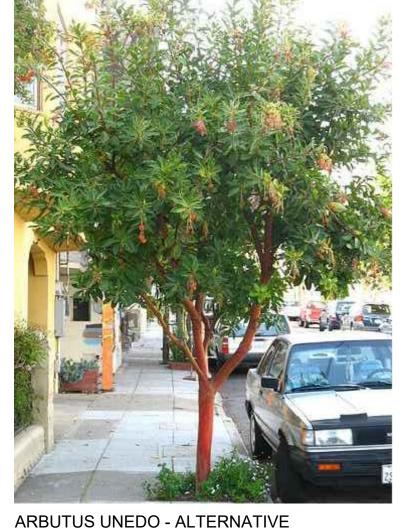
LANDSCAPE **IMAGERY**

L2.0











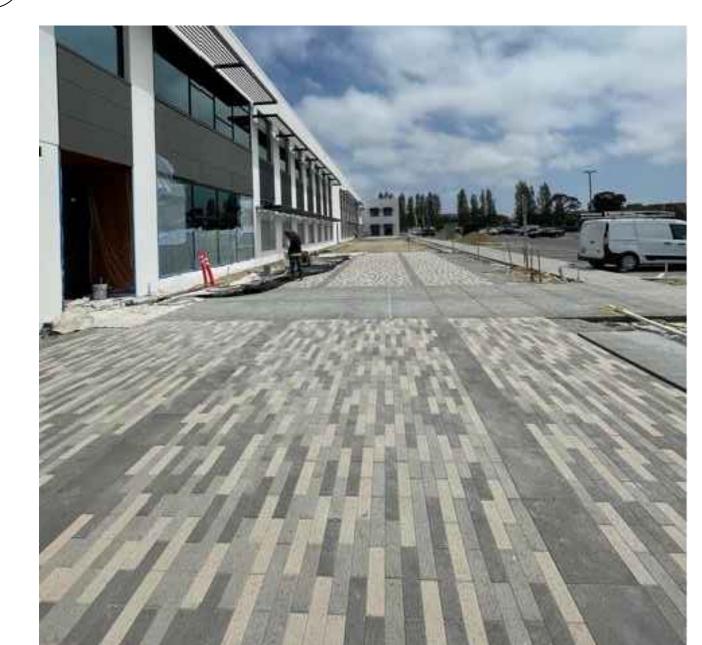
ROBINIA AMBIGUA

SUN LOUNGER **(12**)

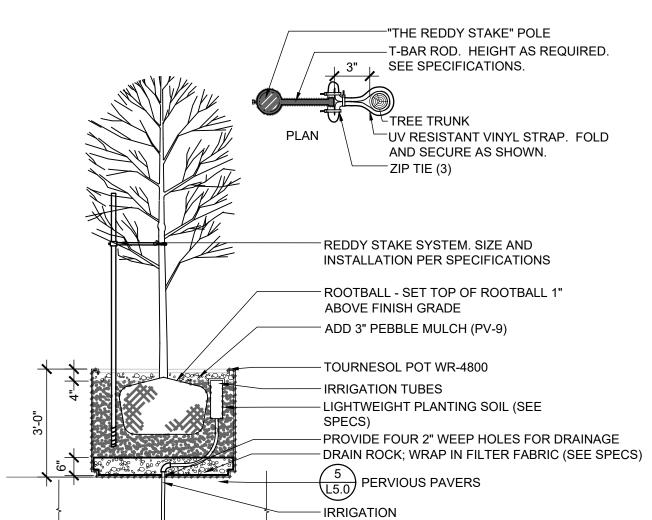


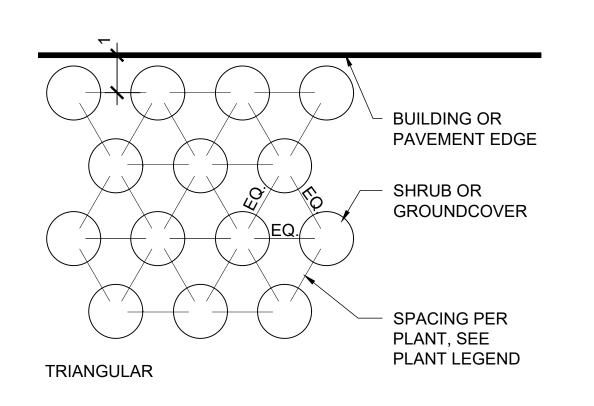
PEDESTRIAN BARRIER

PEDESTRIAN PAVERS



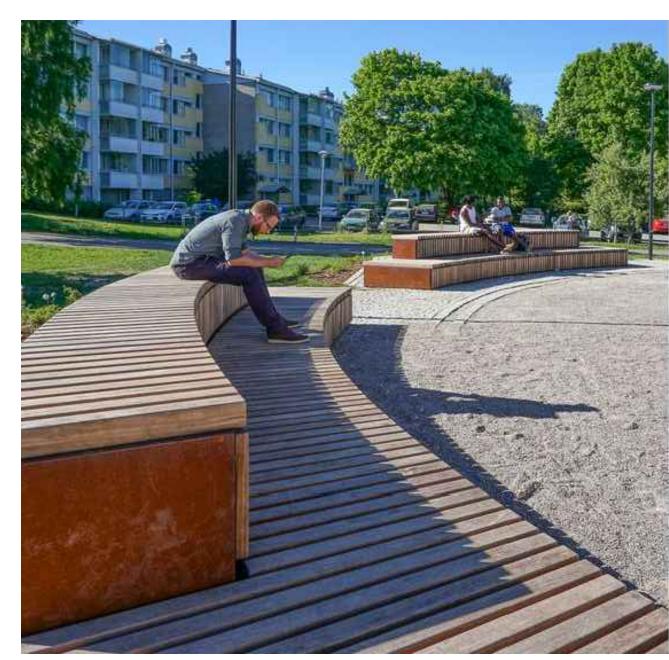
TREE IMAGERY



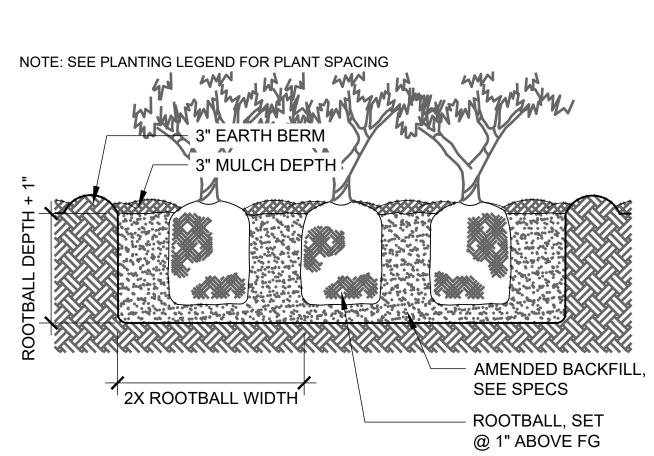


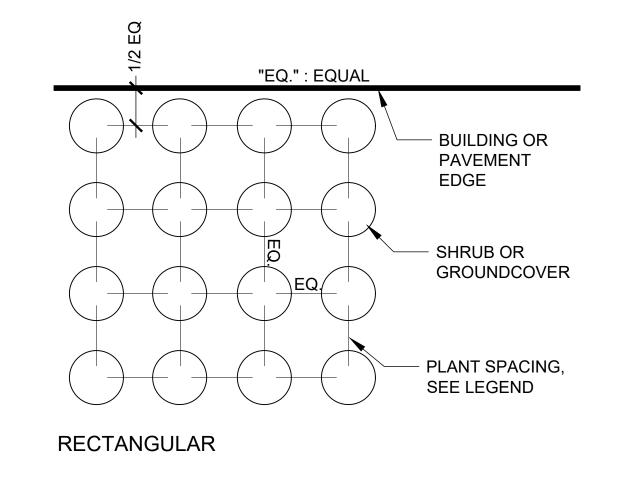
TRIANGULAR SHRUB + GROUNDCOVER SPACING

CAFE SEATING



REDDY STAKE SYSTEM.
SIZE + INSTALLATION
PER MFR'S SPECS. ROOT BALL - SET TOP @ 1" ABOVE FG - MULCH @ 3" DEPTH MFR INFO: REDDY STAKE MEGA STAKE SYSTEM (48" BOX SIZE TREES) FINISH: POWDER COAT BLACK CONTACT: 888-333-3090 REDDYSTAKE.COM - SUBGRADE ALL AMENDED BACKFILL,





RECTANGULAR SHRUB + GROUNDCOVER SPACING

Date: 05/6/2022 Project Number: 21dw313 Drawn by: SB/CG Checked by: SB/AP Scale: As Noted

Issue: FEB 10, 2022 PRE-APP SUBMITTAL MAY 6, 2022 PLANNING REVIEW

APRIL PHILIPS DESIGN WORKS, INC

4040 CIVIC CENTER DRIVE, STE 200-10274 SAN RAFAEL, CA 94903 c.415-729-6033 www.apdw.com

PACELINE

INVESTORS

CLIENT:

LANDSCAPE **PRELIMINARY**

DETAILS

L3.0

SEE SPECS. 2x ROOT BAL DIA (MIN) TREE PLANTING AND STAKING

-IRRIGATION

PLANTER POT 3/8" - 1'-0"

SHRUB + GROUNDCOVER PLANTING 3/4" - 1'-0"

10 DECK AND SEATWALL

UNIT 1, RESTROOM & STORAGE - THE RADIUS @ ALAMEDA. CA

COMMERCIAL MODULAR UNIT

AS DEFINED UNDER CALIFORNIA CODE OF REGULATIONS TITLE 25. DIV. 1 HOUSING AND COMMUNITY DEVELOPMENT MANUFACTURED BY URBAN BLOC INC. CA. #MF1265006

> NOTE: THIS UNIT IS REFERENCED TO CONSTRUCTION **DRAWING SET I-581-1007 APPROVED BY HCD.04.12.2022**

DESIGNED AS A FREESTANDING MODULE

Building environment, Utilities and systems Under seperate Local permit, (Where noted for reference only.) FOUNDATIONS BY OTHERS.

CONSTRUCTION TYPE (As per 2019 CBC. CH 6. Table 601)

NO FIRE RATED WALLS, FLOORS OR CEILINGS REQUIRED TYPE IIb. NO SPRINKLERS REQUIRED (CFC. 903.2.1.2) <5000SF,< 100 OCC.

OCCUPANCY SEPERATION (As per 2019 CBC. CH 3. Table 508.4) Note: Per Cbc 303.1.1 Small Assembly Spaces. A-2 Occupant Load < 50

is regarded as a B Occupancy.

UNIT# MODEL / SERIAL USE ADJACENT SF./ OCC. FIRE. NOTES ADA Bathroom, Utility, Storage Module 181215AL XXXX

PROJECT DATA



SITE LOCATION

LOCATION

ALL CONSTRUCTION, REGARDLESS OF DETAILS ON PLANS, SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF:

Title 24, DIV. 1. California Code of Regulations (CCR) 2019.

PART 1 - CALIFORNIA BUILDING STNDRDS. ADMINISTRATIVE COD PART 2 - CALIFORNIA BUILDING CODE

PART 3 - CALIFORNIA ELECTRICAL CODE

PART 4 - CALIFORNIA MECHANICAL CODE PART 5 - CALIFORNIA PLUMBING CODE

PART 6 - CALIFORNIA ENERGY CODE (2008) PART 9 - CALIFORNIA FIRE CODE

PART 10 - CALIFORNIA EXISTING BUILDING CODE

PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE PART 12 - CALIFORNIA REFERENCE STANDARDS CODE

THE FOLLOWING SCOPE OF WORK TO BE SUBMITTED TO LOCAL JURISDICTIONS AS DESIGN-BUILD BY CONTRACTOR

OR AS A DEFERRED SUBMITTAL:

1. ELECTRICAL SUPPLY TO UNIT 2. LATERAL CONNECTIONS TO (E) SEWER.

3. STRUCTURAL FOUNDATIONS. 4. ENVIRONMENTAL HEALTH REVIEW (IF REQD) 5. SPRINKLER DESIGN AS DEFERRED SUBMITTAL

BATHROOM FIXTURE COUNTS.

"Minimum plumbing fixture calculations following 2019 California Plumbing Code are included in project's building permit application submitted to the City of Victorville for approval."

JURISDICTION

ARCHITECTURAL

DRAWING LIST

ALL WORK AND MATERIAL SHALL BE EXECUTED IN

FULL ACCORDANCE WITH ALL APPLICABLE CODES.

DOCUMENTS AND LOCAL GOVERNMENT AGENCIES.

CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND

ALL EXITS TO BE OPENABLE FROM INSIDE WITHOUT

MANUFACTURER SHALL PROVIDE AND BE

RESPONSIBLE FOR ALL COSTS FOR PUBLIC

BY LOCAL GOVERNMENT AGENCY SHALL BE

PROVIDED AND INCLUDED IN CONTRACT.

EXISTING CONDITIONS ON THE SITE

GENERAL NOTES

USE OF A KEY.

PROTECTION AS REQUIRED BY THE CONTRACT

A0.1 PROJECT DATA A1.0 PLANS **ELEVATIONS/ SECTIONS** A2.1

ELECTRICAL FIRE EXTINGUISHERS AND CABINETS AS REQUIRED A5.1 DETAILS

DESIGN. PERMITTING. FACTORY MANUFACTURING. TEAM LEAD

URBAN BLOC INC. 1540 Morse Blvd. San Carlos CA. 94070.

Jerry Jameson. CIO Urban Bloc Inc. 510 798 8007. jjameson@urbanbloc.net.

T24 ENERGY COMPLIANCE ENGINEER OF RECORD STRUCTURAL ENGINEER **WADE ENERGY** R&S Tavares Associates, Inc. 1942 Linda Drive 11777 Bernardo Plaza Court, Pleasant Hill CA 94523 San Diego, CA 92128 510 383 5490 ph: 858-444-3344 x 1801

MECHANICAL/ PLUMBING URBAN BLOC INC. 1540 Morse Blvd. San Carlos CA. 94070. 510 798 8007. jjameson@urbanbloc.net.

MECHANICAL/ VENTILATION URBAN BLOC INC. 1540 Morse Blvd. San Carlos CA. 94070. 510 798 8007. jjameson@urbanbloc.net.8

ELECTRICAL URBAN BLOC INC. 1540 Morse Blvd. San Carlos CA. 94070. 510 798 8007. jjameson@urbanbloc.net.

RADCO 3220 E. 59th St. Long Beach, CA 90805 T: (562) 272-7231 Ex. 127 F: (562) 529-7513

APPROVED THIRD PARTY AGENCY

CONTROLLED INSPECTIONS 3220 E. 59th St. Long Beach, CA 90805 T: (562) 272-7231 Ex. 127 F: (562) 529-7513

PROJECT TEAM

ENVIRONMENTAL HEALTH NOTE:

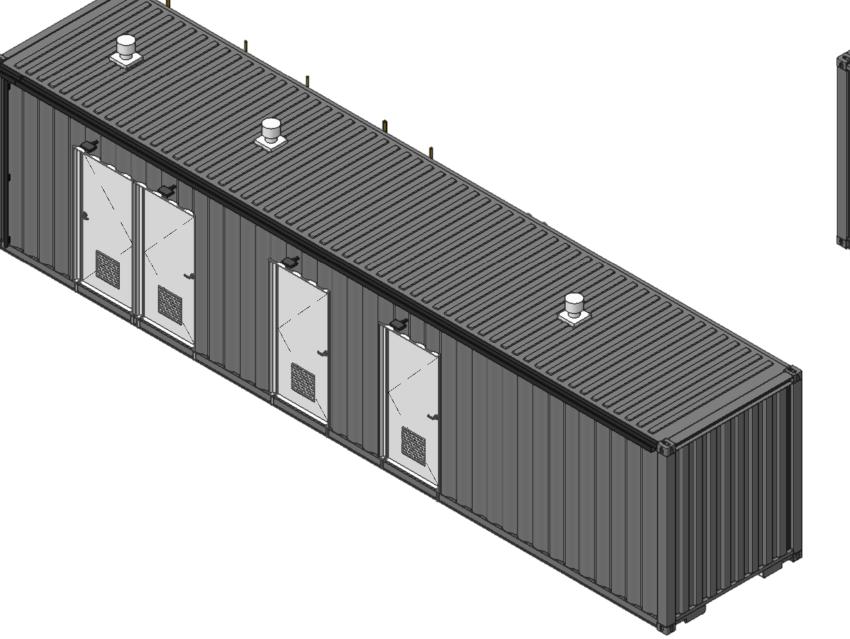
ELECTRICAL WATER HEATER SIZING ASSUMING 62deg. Temp Rise

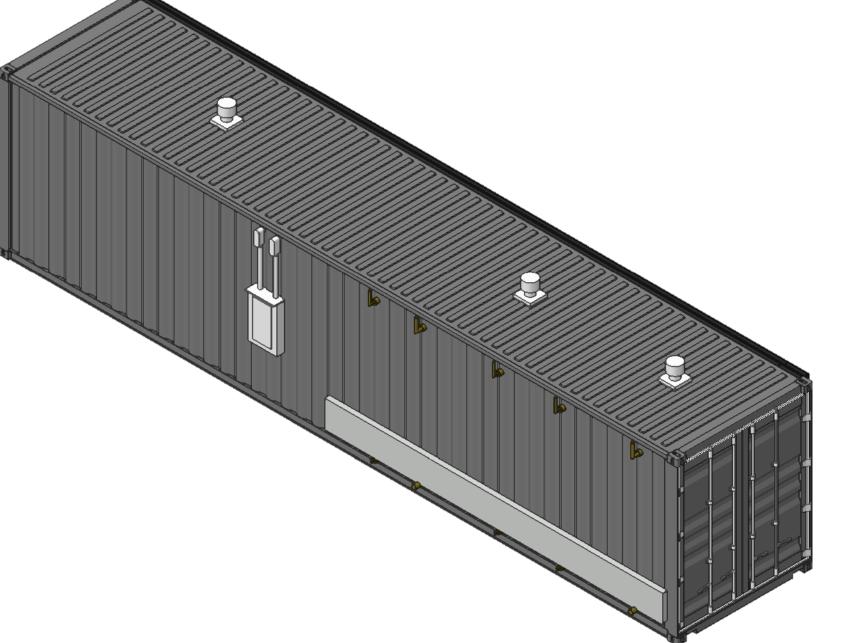
		DEFAULT		
ITEM	QTY	FACTOR	GPH	
Hand Wash Sink (including restrooms)	2	5	10	
Mop Sink	1	15	15	
			25	TOTAL
SINGLE USE UTENSILS (X0.8)			20	TOTAL

POWER CONSUMPTION

20(62)(8.33)

AO SMITH COMMERCIAL DEL-20, 20 Gal. 3 KW.







SITE PLAN (SEE SITE ARCHITECTURE DRAWINGS)



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URBAN BLOC

1540 Morse Blvd. San Carlos CA. 94070 P. 510 798 8007. F. 650 592 5494 jjameson@urbanbloc.net

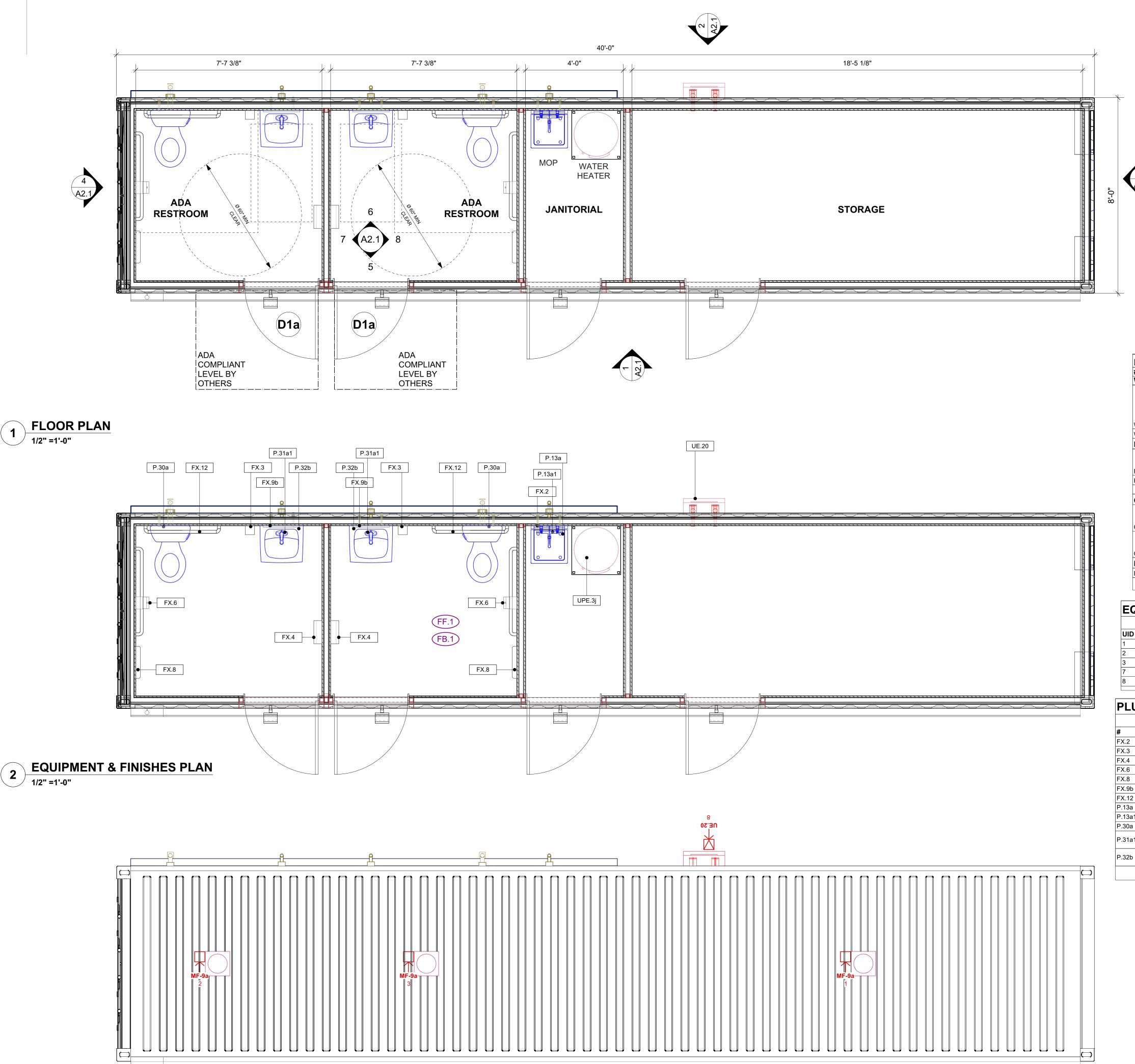
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PROJECT DATA

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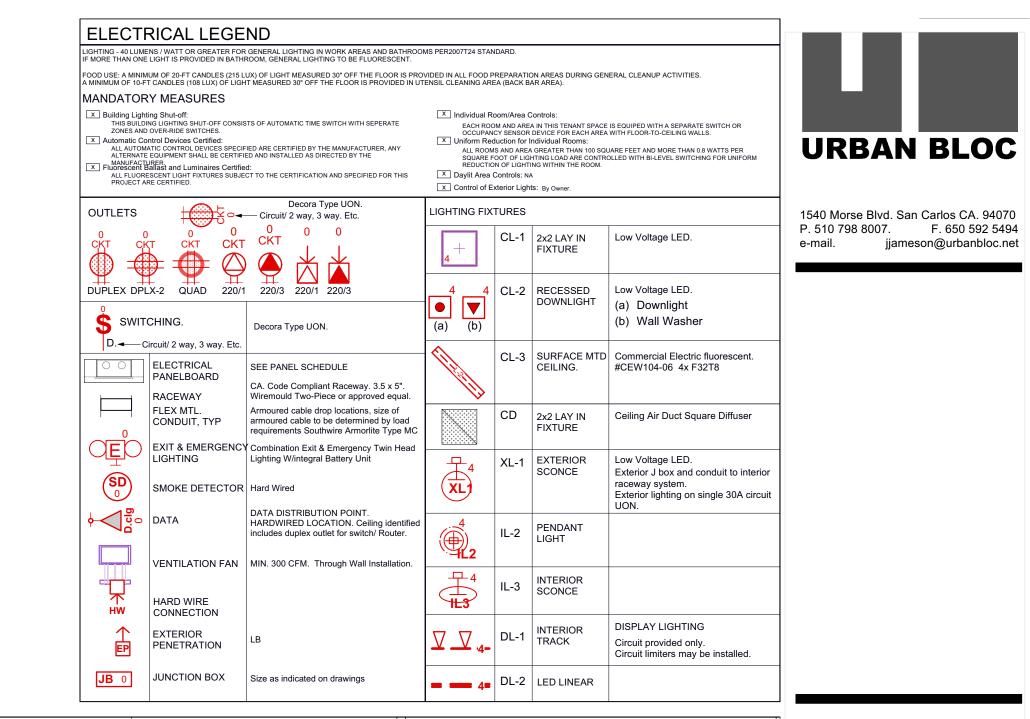
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ROOF 1/2" =1'-0"



#	QTY	ITEM	MFG. CAT. SPECIFICATION	REMARKS
WAL		SHES		
WI.1		FRP	White Frp (fiberglass Reinforced Panel) Sequencia Or Eq., With integral silicone seals or mouldings @ All Joint, Corner, And Edge Conditions. Aluminum "h" Moulding At Bottom. Class C Rated.	
WI.3		EXTERIOR PAINT	Direct to metal Paint Color	Sherwin-Williams SW7674 Peppercorn
FLOC	OR FII	NISHES		
FF.1		EPOXY FLOOR COATING	General Polymer 3744 High Performance Cr Epoxy. Epoxy Applied As 10 Mil. Slurry. Light Grey. OR APPROVED EQUAL.	Comply W/ Env. CA. Retail food Code. Flooring to be smooth finish under sinks, counters and racks.
FB.1		COVE BASE BOARD	EPOXY TO MATCH	Provide 6" integral base W/ 1/2" min radiused cove.
CEILI	ING F	INISHES		
CG.1		GYPSUM LAY IN	Gold Bond 2x4, 2x2 Gridstone(Laminated vinyl Food Grade) 9/16". White Smooth ALu. Trim & Hangers.	All trim pieces, factory painted. cleanable.
CG.2		ACOUSTIC LAY IN	Armstrong 2x4, 2x2 KITCHEN ZONE(Food Grade) 9/16". White Smooth ALu. Trim & Hangers.	All trim pieces, factory painted. cleanable.
EXTE	RIOR	CLADDING		
EP-4		BLACKENED METAL PLATE	1/8" Mtl Plate. Sealed.	Include all support frames, Trim Etc.

UID #	# #	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (WxDxH)	COMMENTS	FURNISH	INSTALL
1	MF-9a	1	Roof Vent	Aura Attic Fan	AF-6-C4-CMF	12" x 12" x 12"	CFM 120	UB	UB
2	MF-9a	1	Roof Vent	Aura Attic Fan	AF-6-C4-CMF	12" x 12" x 12"	CFM 120	UB	UB
3	MF-9a	1	Roof Vent	Aura Attic Fan	AF-6-C4-CMF	12" x 12" x 12"	CFM 120	UB	UB
7	UPE.3j	1	Water Heater	AO Smith	DEL-20, 20g. 3kw	21 3/4"Ø x 22 1/4"H	20g. 3000/3000	UB	UB
8	UE.20	1	Electrical Panel	SIEMENS	200A	TBD		UB	UB

						PLUMBING		
#	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (W X D x h)	COMMENTS	FURNISH	INSTALL
FX.2	1	Mop Holder	CARLISLE	Model: 4073100	18" x 1 1/2" x 2 1/2"		UB	UB
FX.3	2	Soap Dispenser	SAN JAMAR	Model: SH900TBK	5.5" x 4" x 12"		UB	UB
FX.4	2	Paper Towel Dispenser	SAN JAMAR	Model: T1900XC	11 3/8" x 4" x 14 3/4"		UB	UB
FX.6	2	Toilet Paper Dispenser	SAN JAMAR	R3500TBK	7 1/4" x 7" x 12 3/4"		UB	UB
FX.8	2	Toilet Seat Cover Dispenser	ASI	Model: 20477-SM	15 3/4" x 2 3/8" x 11"		UB	UB
FX.9b	2	Bathroom Mirror	BRADLEY	781-1824	18" x 24"		Client	Client
FX.12	2	ADA Grab Bars (Set)	ASI	3801-36P, 3801-42P			UB	UB
P.13a	1	Mop Sink	GSW	SE15151P	15" x 15"		UB	UB
P.13a1	1	Mop Sink Faucet	FISHER	8253		Mop Sink	UB	UB
P.30a	2	Toilet	GERBER	20-022			UB	UB
P.31a1	2	Lavatory Faucet	DELTA	Model: 523LF-HDF	4 13/16" x 6 17/32" x 6 7/8"		UB	UB
P.32b	2	Lavatory	American Standard	0355.012, wall mount	20 1/2" x 18 1/4"		UB	UB

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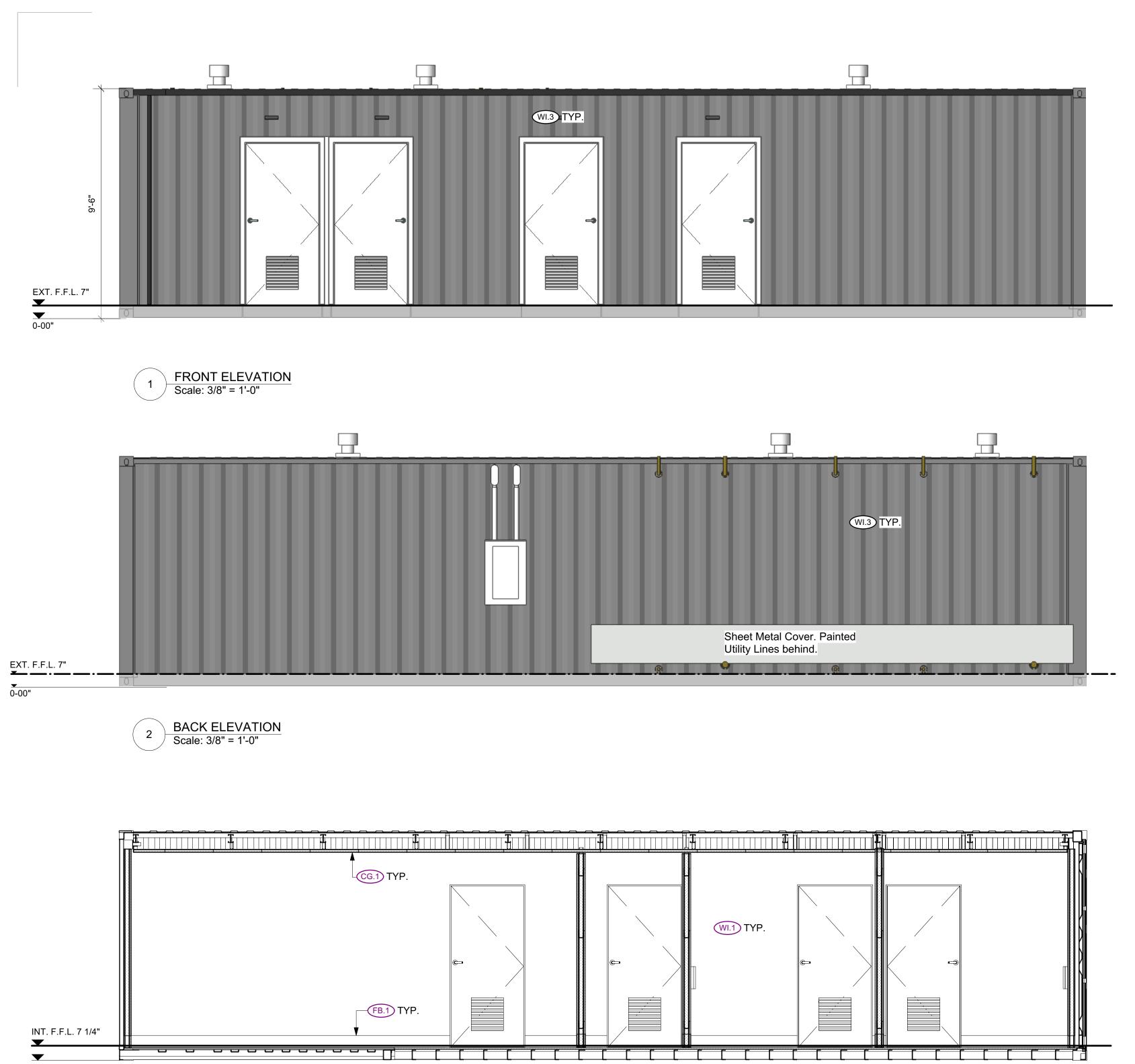
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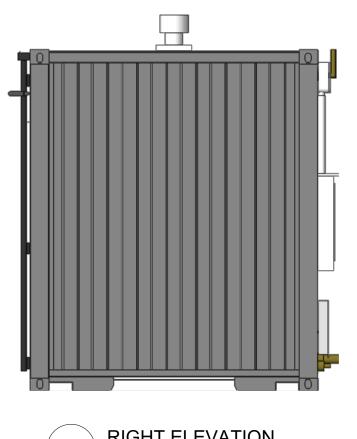
PLANS

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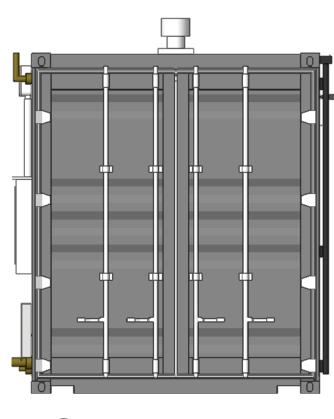
PAGES @ 24"X36"

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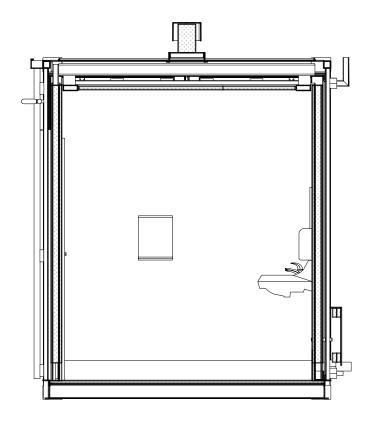




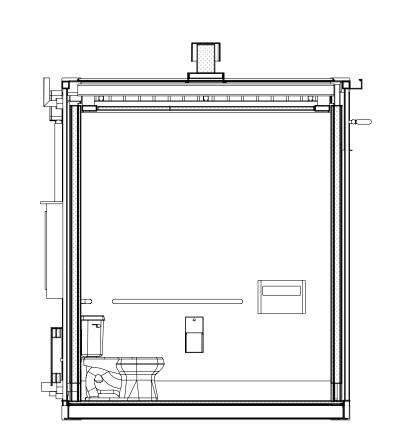
RIGHT ELEVATION
Scale: 3/8" = 1'-0"



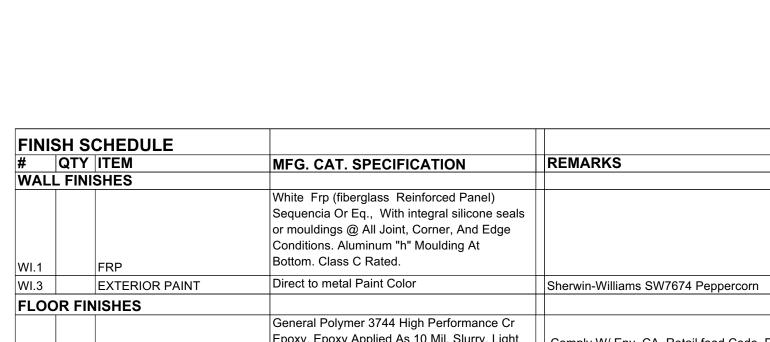
4 LEFT ELEVATION
Scale: 3/8" = 1'-0"



INTERIOR SECTION
Scale: 3/8" = 1'-0"



INTERIOR SECTION
Scale: 3/8" = 1'-0"



EP-4 BLACKENED METAL PLATE 1/8" Mtl Plate. Sealed.

WI.1	FRP	or mouldings @ All Joint, Corner, And Edge Conditions. Aluminum "h" Moulding At Bottom. Class C Rated.	
WI.3	EXTERIOR PAINT	Direct to metal Paint Color	Sherwin-Williams SW7674 Peppercorn
FLOOR	FINISHES		
FF.1	EPOXY FLOOR COATING	General Polymer 3744 High Performance Cr Epoxy. Epoxy Applied As 10 Mil. Slurry. Light Grey. OR APPROVED EQUAL.	Comply W/ Env. CA. Retail food Code. Flooring to be smooth finish under sinks, counters and racks.
FB.1	COVE BASE BOARD	EPOXY TO MATCH	Provide 6" integral base W/ 1/2" min radiused cove.
CEILING	G FINISHES		
CG.1	GYPSUM LAY IN	Gold Bond 2x4, 2x2 Gridstone(Laminated vinyl Food Grade) 9/16". White Smooth ALu. Trim & Hangers. Armstrong 2x4, 2x2 KITCHEN ZONE(Food Grade) 9/16". White Smooth ALu. Trim &	All trim pieces, factory painted. cleanable.

CG.2 ACOUSTIC LAY IN All trim pieces, factory painted. cleanable. **EXTERIOR CLADDING**

UB#

ELEVATIONS SECTIONS

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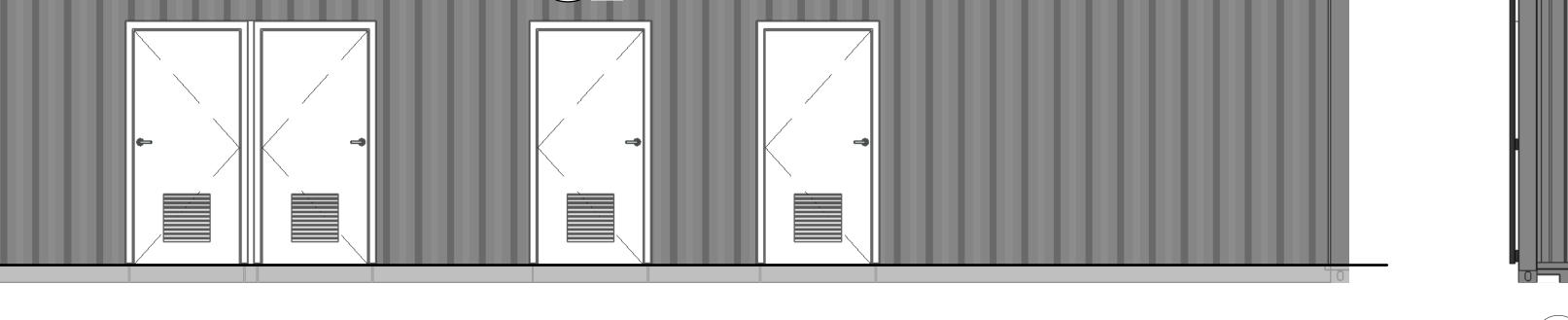
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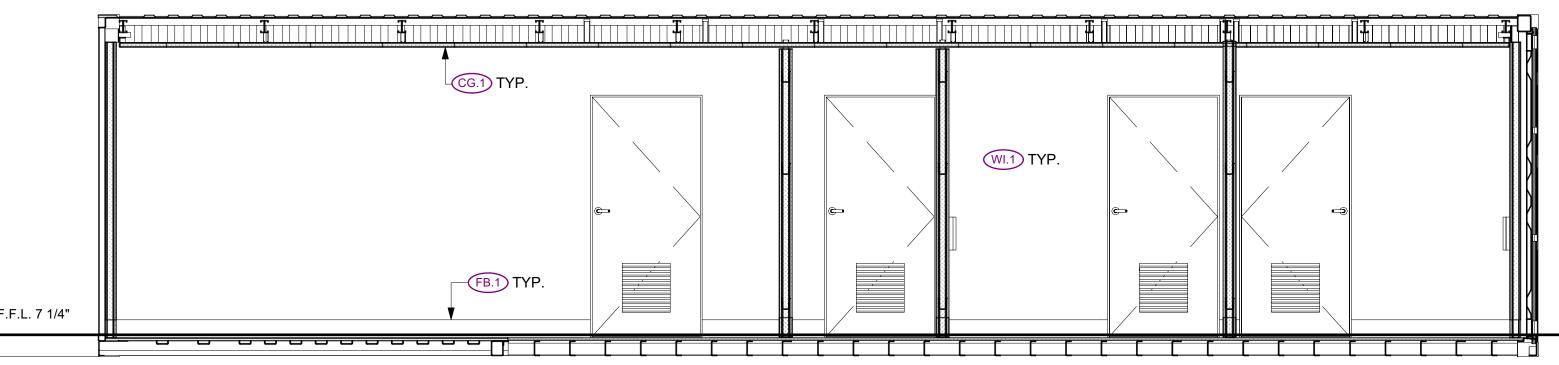
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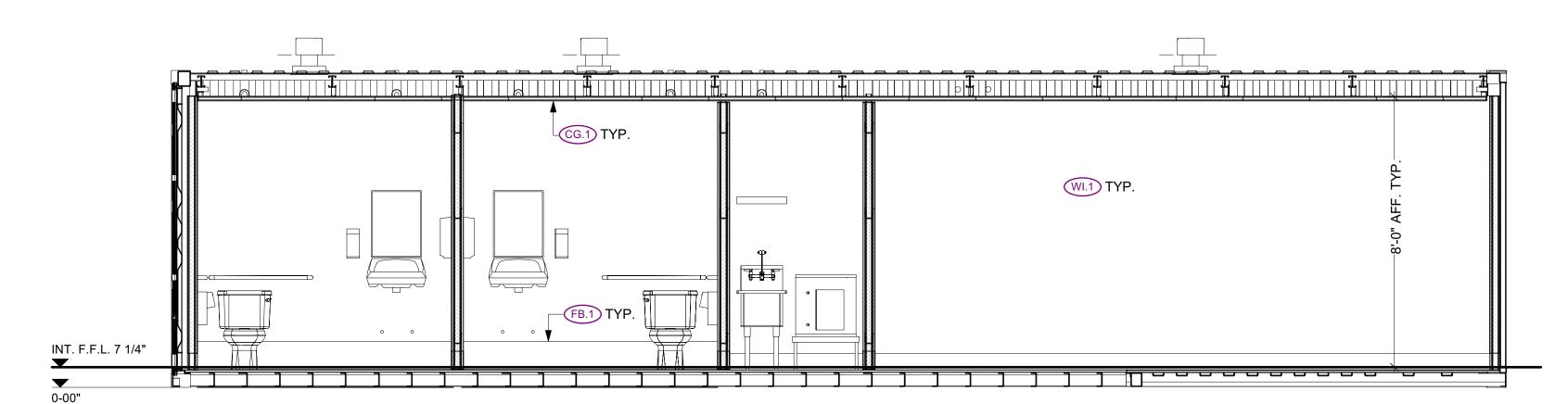
Include all support frames, Trim Etc.



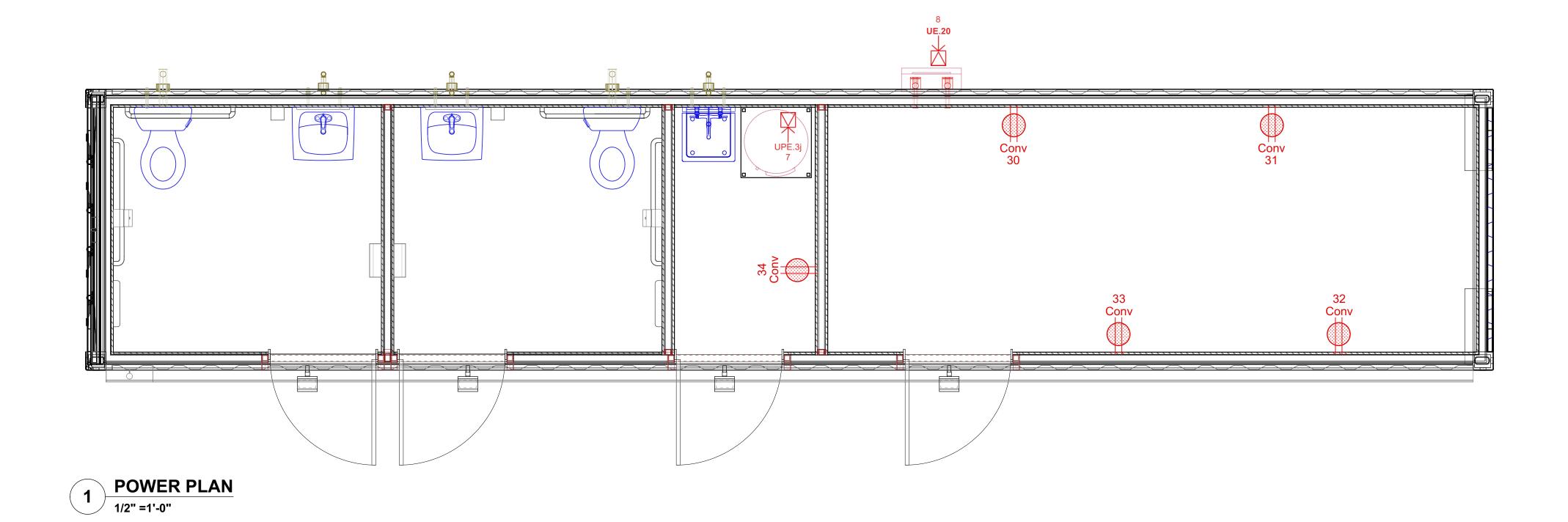


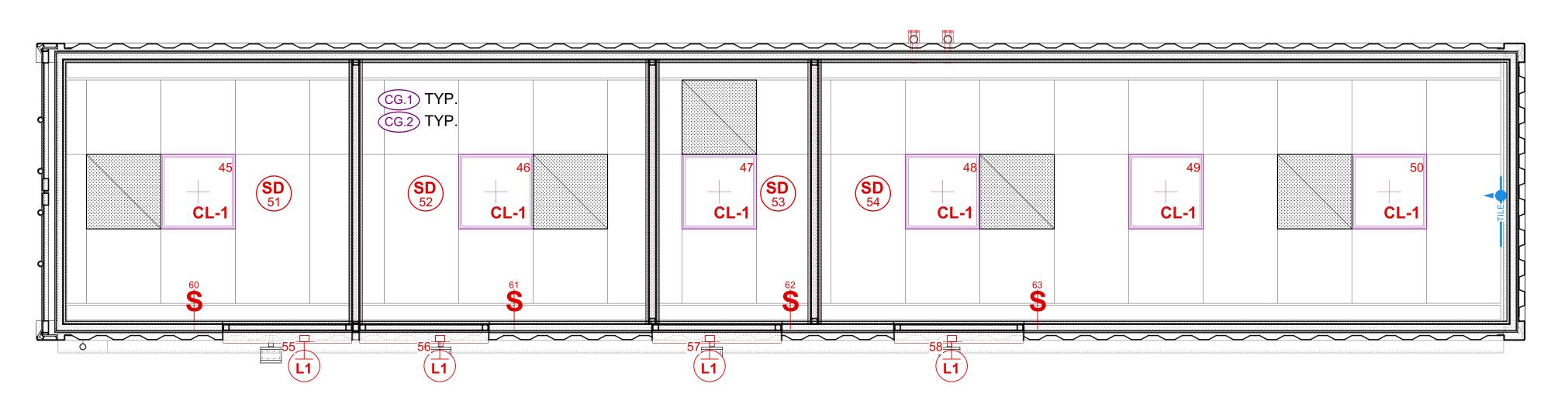


INTERIOR SECTION
Scale: 3/8" = 1'-0"



INTERIOR SECTION
Scale: 3/8" = 1'-0"

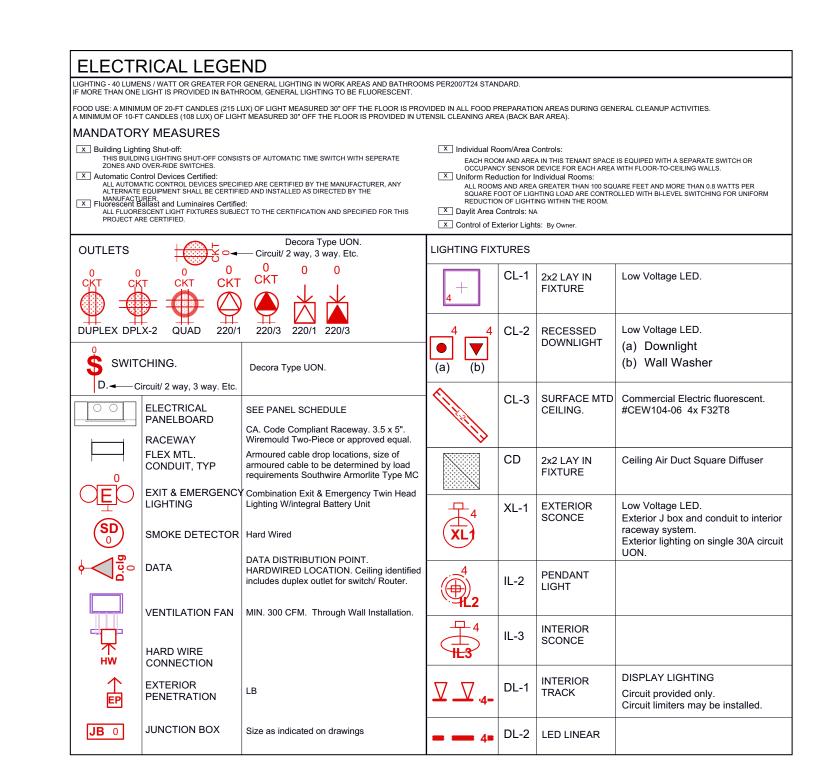






NOTE: FOR ROOF ELECTRICAL CONNECTION SEE A1.1

EQI	QUIPMENT LIST																		
									ELECTRICAL			PLUMBING							
UID#	#	QTY ITEM	MFG	SPECIFICATIONS	SIZE (WxDxH)	COMMENTS	FURNISH	INSTALL	VOLTAGE	PHASE	AMPS	PLUC	HT.AFF	WIRE	DRN. (D/I) НОТ	COLD	GAS	COMMENTS
1	MF-9a	1 Roof Vent	Aura Attic Fan	AF-6-C4-CMF	12" x 12" x 12"	CFM 120	UB	UB	115	1	0.9	HW	Ceil	12/2					
2	MF-9a	1 Roof Vent	Aura Attic Fan	AF-6-C4-CMF	12" x 12" x 12"	CFM 120	UB	UB	115	1	0.9	HW	Ceil	12/2					
3	MF-9a	1 Roof Vent	Aura Attic Fan	AF-6-C4-CMF	12" x 12" x 12"	CFM 120	UB	UB	115	1	0.9	HW	Ceil	12/2					
7	UPE.3j	1 Water Heater	AO Smith	DEL-20, 20g. 3kw	21 3/4"Ø x 22 1/4"H	20g. 3000/3000	UB	UB	208	3	14.4	HW		12/3					
8	UE.20	1 Electrical Panel	SIEMENS	200A	TBD		UB	UB	208	3	200		Exterior						



	PANE				VOLTAGE:	208Y/120V	WIRE:		4	_	MOUNTING:	SURFACE			NOT	ES:		
The	Rac	auit			BUS RATING:	20A	PHASE:		3	_	AIC RATING:	10K		_				
Res	troo	m U	nit		MAIN REQUIREMENT:	20A MLO	TYPE:		N-3R	_	CONDITION:	NEW		-				
CKT#	NOTES	LOAD	CB P	Т	LOAD DESCRIPTION		LOAD KVA	PHASE	LOAD KVA		LOAD DESCI	RIPTION		CB P	Т	LOAD	NOTES	# F.
1		D	1	20	AC		0.96	Α	0.96					1	20	D		2
3		D	1	20	AC		0.96	В	0.96	UPE	E.3j			1	20	D		4
5		G	1	20	CONV.30,31		0.36	С	0.96						20	D		6
7		G	1	20	CONV.32,33,34		0.54	Α										8
9		С	1	20	LIGHTING - GENERAL		0.54	В										1
11								С										1:
CONI	NECT	ED LC	AD:		_							DEMAND LOAD CALCU	JLATION					
PHAS	SE A				KV	A	DEMAND L	OAD			SUBTOTAL	NEC DEMAND FAC	TOR					
PHAS	SE B				KV	A	CONTINUC	US LO	OAD (C)		0.54	125%					0.6	68
PHAS	SE C				1.32 KV	A	DEDICATE	D LOA	D (D)		4.80	100%					4.8	80
TOTA	AL				6.24 KV	A	GENERAL	RECE	PTACLE (G)	0.90	100% of 1st 10kVA & 50	0% of remain	ning	ı		0.9	90
							INTERMITE	ENT E	QUIPMEN	T (K)	0.00	65%					0.0	00
NOTE	<u> </u>						MECHANIC	AL EC	QUIPMENT	T (M)	0.00	125% of largest motor &	100% of rem	nain	ing		0.0	00
HL=P	ADLO	CKAE	BLE F	IANE	DLE LOCK-OFF							TOTAL DEMAND K	(VA				6.3	38
											ΔN	MPS @ 208Y/120V, 3 PHA	SE 4 WIRE				17.	.70

UID#	ID.	FIXTURE TYPE	HT. FFL	REMARKS	WIRE
30	Conv	Convenience	44"	REGULAR	12/2
31	Conv	Convenience	44"	REGULAR	12/2
32	Conv	Convenience	44"	REGULAR	12/2
33	Conv	Convenience	44"	REGULAR	12/2
34	Conv	Convenience	44"	REGULAR	12/2
45	CL-1	2X2 Fixture	Ceil	Lay In Fixt.	12/2
46	CL-1	2X2 Fixture	Ceil	Lay In Fixt.	12/2
47	CL-1	2X2 Fixture	Ceil	Lay In Fixt.	12/2
48	CL-1	2X2 Fixture	Ceil	Lay In Fixt.	12/2
49	CL-1	2X2 Fixture	Ceil	Lay In Fixt.	12/2
50	CL-1	2X2 Fixture	Ceil	Lay In Fixt.	12/2
51	SD	Smoke Detector	Ceil	Addressable	12/2
52	SD	Smoke Detector	Ceil	Addressable	12/2
53	SD	Smoke Detector	Ceil	Addressable	12/2
54	SD	Smoke Detector	Ceil	Addressable	12/2
55	L1	Exterior Sconce	84"		12/2
56	L1	Exterior Sconce	84"		12/2
57	L1	Exterior Sconce	84"		12/2
58	L1	Exterior Sconce	84"		12/2
60	Switch	Switch	44"	45	12/2
61	Switch	Switch	44"	46	12/2
62	Switch	Switch	44"	47	12/2
63	Switch	Switch	44"	48	12/2



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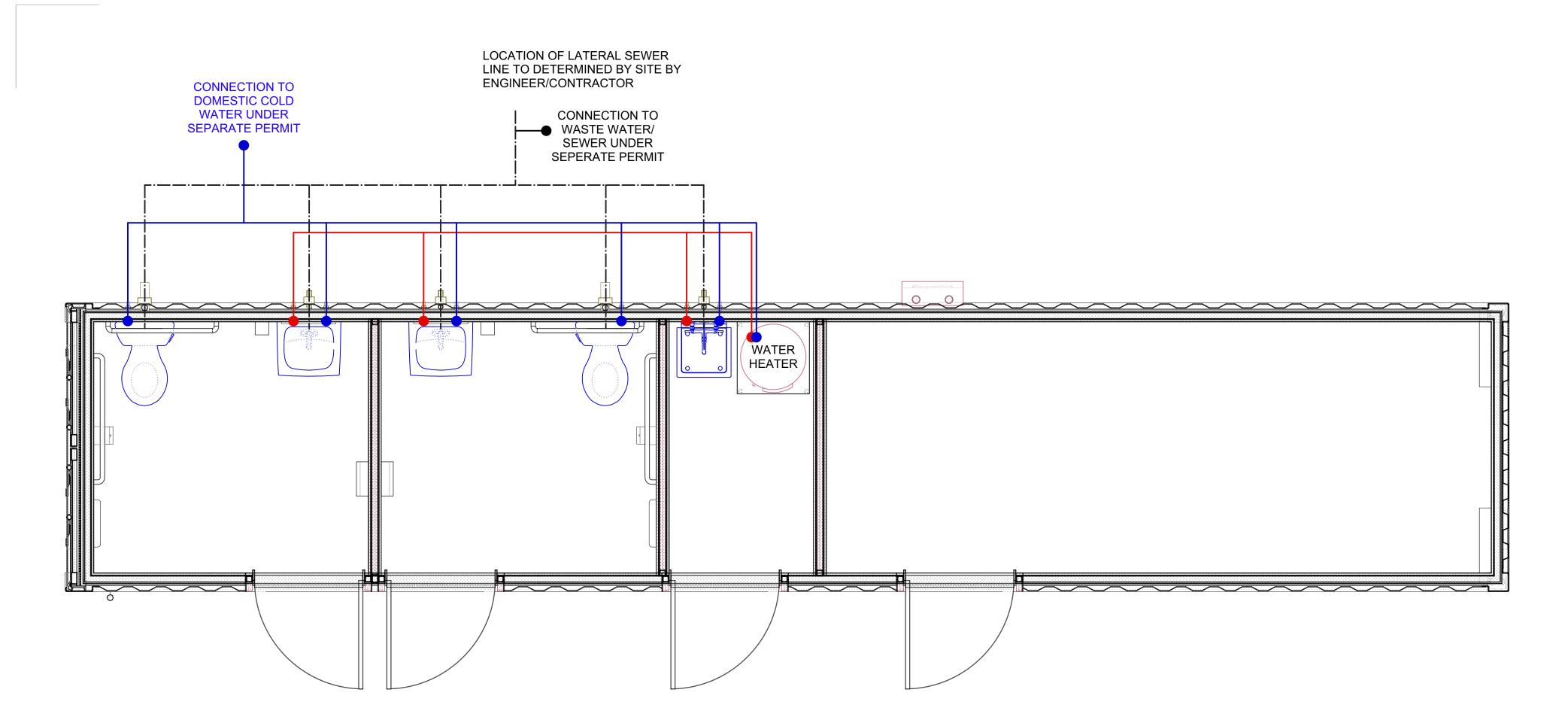
ELECTRICAL / POWER PLAN

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E 1

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1 PLUMBING & VENTILATION PLAN 1/2" =1'-0"

OUT OUT	OUT	
1 1/2" 1 1/2" HS OUT 2" 2"	1 1/2" 1 1/2" 1 1/ HS MO 2" 2" 2" 2"	
4"		

2 PLUMBING RISE DIAGRAM
1/2" =1'-0"

EXTERIOR LATERAL LINES UNDER SEPERATE PERMIT

						PLUMBING								
#	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (W X D x h)	COMMENTS	FURNISH	INSTALL	COLD	НОТ	DRN. (D/I)	MTG. HT.		
FX.2	1	Mop Holder	CARLISLE	Model: 4073100	18" x 1 1/2" x 2 1/2"		UB	UB						
FX.3	2	Soap Dispenser	SAN JAMAR	Model: SH900TBK	5.5" x 4" x 12"		UB	UB						
FX.4	2	Paper Towel Dispenser	SAN JAMAR	Model: T1900XC	11 3/8" x 4" x 14 3/4"		UB	UB						
FX.6	2	Toilet Paper Dispenser	SAN JAMAR	R3500TBK	7 1/4" x 7" x 12 3/4"		UB	UB						
-X.8	2	Toilet Seat Cover Dispenser	ASI	Model: 20477-SM	15 3/4" x 2 3/8" x 11"		UB	UB						
-X.9b	2	Bathroom Mirror	BRADLEY	781-1824	18" x 24"		Client	Client						
-X.12	2	ADA Grab Bars (Set)	ASI	3801-36P, 3801-42P			UB	UB						
⊃.13a	1	Mop Sink	GSW	SE15151P	15" x 15"		UB	UB						
⊃.13a1	1	Mop Sink Faucet	FISHER	8253		Mop Sink	UB	UB						
P.30a	2	Toilet	GERBER	20-022			UB	UB						
P.31a1	2	Lavatory Faucet	DELTA	Model: 523LF-HDF	4 13/16" x 6 17/32" x 6 7/8"		UB	UB						
P.32b	2	Lavatory	American Standard	0355.012, wall mount	20 1/2" x 18 1/4"		UB	UB						

WAT	ER :	SUPPLY					
#	QTY	ITEM	WSFU				
			COLD	НОТ	WATER DEMAND	LINE	SIZE
						LATERAL	BRANCH
P.32b	2	Lavatory	2	2	3	3/4"(H&C)	1/2"
P.13a	1	Мор	3	3	4.5	3/4"(H&C)	1/2"
P.30a	2	Toilet	5	-	7.5	3/4"(C)	1/2"
			10	5	15	3/4"	1/2"
MINIM	UM PF	RESSURE DEMANI	FOR AL	L FIXTURE	S=15PSI.		
HOT &	COL	COMBINED DEMA	AND .75 C	F TOTAL V	ALUE		
STATI	C PRE	SSURE LOSS = -(0).43x5)= -2	2.15 (Highe	st fixture below supply)		
FRICT	ION L	OSS / 100ft (A4.1(1)	=12, Per	50'=6PSI.			
TOTAL	PRE	SSURE LOSS= 6-2.	15=3.85P	SI.			
MAX. F	PIPE L	ENGTH TO FARTH	IEST FIXT	URE= 30'-0			
ALLOV	VANC	E FOR FITTINGS=	1.5				
DEVE	OPE	D LENGTH = 45'-0",	say 60'-0'	1			
PER C	PC 20	19 Table 610.4 46-	60PSI Ra	nge 31 WSF	U Allowed.		

DRAI	NA(SE TABLE						
#	QTY	ITEM	FIX. UNITS	LINE	SIZE		TOT	REMARKS/ CALCULATIONS
			(DFU)	Horiz.	Vert.	Vent		
P.13a	1	Мор	3	2	2	1 1/2"	3	
P.32b	2	Lavatory	2	2	2	1 1/2"	2	
P.30a	2	Toilet	6	3	3	2'0"	6	
				тот	AL DI	FU's		Per CPC Table 703.2, 3" Horiz/ Vert Piping required/ Provided. Per CPC Table 703.2, 1 1/2" vent Piping required.
								Provided. 2" for toilet

Note: As Defined By CPC 2019 905.3 Structural Conditions Do Not Allow For Vent Fittings Less Than 6" Above The Flood-level Rim Of Certain Assemblies To Be Drainage Type.

These Conditions Have Been Reviewed And Approved As Alternate Means And Methods As allowed by CPC 1.8.7 And Included In Approved Drawing Set I-581-1007 Approved By HCD.11.15.2020

VENT	VENTILATION FAN SYSTEM								
UNIT#	MANUFACTURER	MODEL#	CFM	V	Α	HP	So	Comments	
MF-9a	Aura Attic Fan	AF-6-C4-CMF	120		0.9				

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PLUMBING VENTILATION

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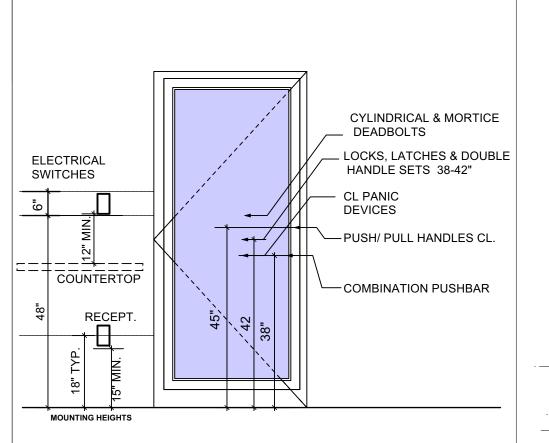
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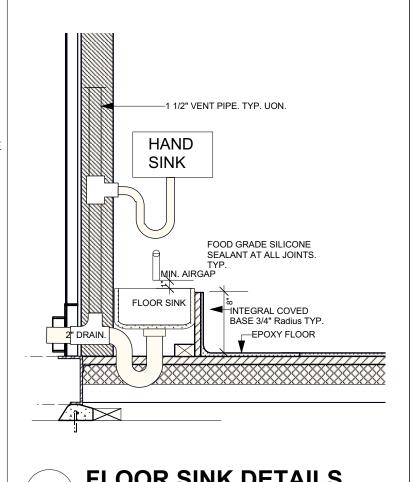
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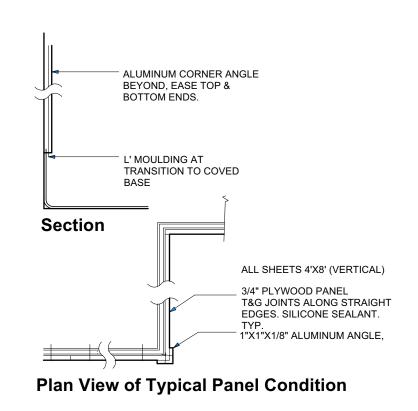
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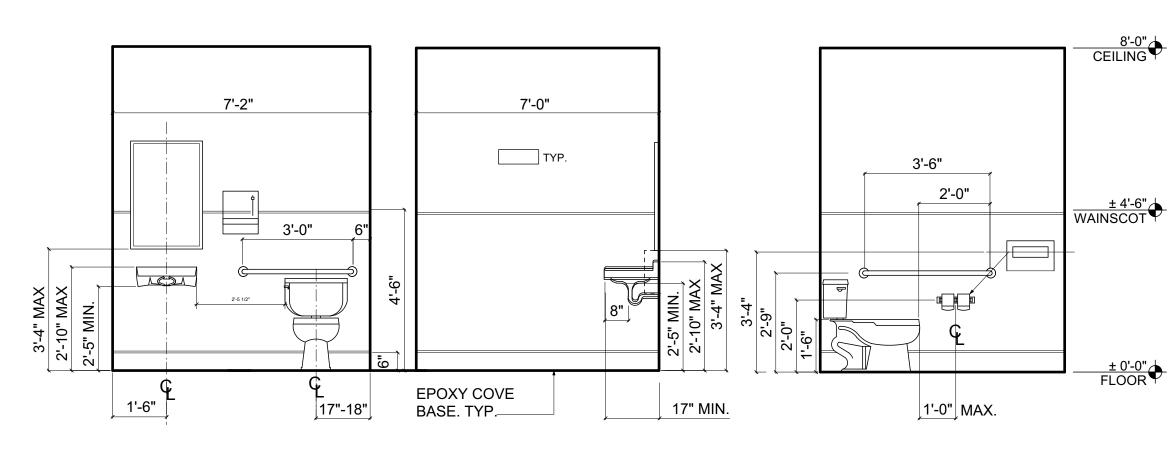
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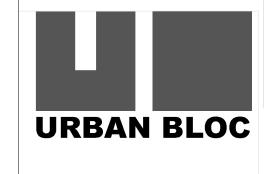
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1/2"=1'-0

MOUNTING HEIGHTS

2 FLOOR SINK DETAILS
1"=1'-0

COVE BASE COUNTERS 1"=1'-0

5 BATHROOM DETAILS

DOOR HARDWARE SCHEDULE								
GROUP	DESCRIPTION	FINISH	MFR.					
1) SINGLE ENTRY DOOR	TELSTAR PRO DOOR 30x68 INVISIBLE DEADBOLT, SOLID LIGHT GRAY, A40 GALVALUME STEEL	613	TELL MANUFACTURING					
(D1a)	LOCK CYLINDER CY-1-184, GRADE 2 ENTRY LEVER	613	TELL MANUFACTURING					
	ENG 600 SERIES DOOR CLOSER	613	TELL MANUFACTURING					
	ADA COMPLIANT THRESHOLD INTEGRATIVE	613	TELL MANUFACTURING					

REMARKS

A - EXIT DOORS ARE TO BE OPENABLE FROM INSIDE WITHOUT USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. KEY LOCKING HARDWARE MAY BE USED ON THE MAIN EXIT WHEN THE MAIN EXIT DOOR HAS A DURABLE SIGN ON OR ADJACENT TO THE DOOR STATING: THIS DOOR MUST REMAIN UNLOCKED DURING BUSINESS HOURS. THE SIGN SHALL BE IN LETTERS NOT LESS THAN ONE INCH HIGH ON A CONTRASTING BACKGROUND.

B - UNLATCHING FORCE, OR OPENING FORCE NOT TO EXCEED 5 POUNDS. (CALIFORNIA)

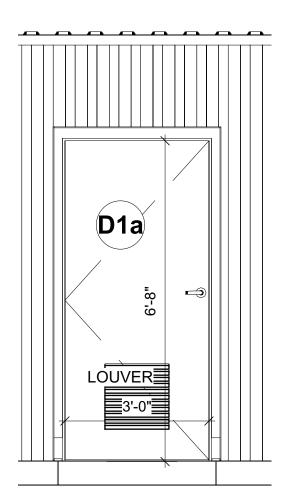
6 DOOR SCHEDULES



6"X6" MIN. SIGN SIZE INTERNATIONAL SYMBOL OF ACCESSIBILITY. WHITE FIGURE ON BLUE DECAL. PER CBC 1117B.5.8.1

ENTRY

NOTE: PLACE NEAR ACCESSIBLE BUILDING



SELF-CLOSING OUTSWING DOOR

Solid Core MTL. Self-closing door Custom frame Assembly Hardware as per Group 1

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DETAILS

UNIT 2, BEVERAGE - THE RADIUS @ ALAMEDA. CA

COMMERCIAL MODULAR UNIT

MANUFACTURED BY URBAN BLOC INC. CA. #MF1265006

NOTE: THIS UNIT IS REFERENCED TO CONSTRUCTION **DRAWING SET I-581-1007 APPROVED BY HCD.04.12.2022**

DESIGNED AS A FREESTANDING MODULE

Building environment, Utilities and systems Under seperate Local permit, (Where noted for reference only.) FOUNDATIONS BY OTHERS.

CONSTRUCTION TYPE (As per 2019 CBC. CH 6. Table 601)

TYPE IIb. NO FIRE RATED WALLS, FLOORS OR CEILINGS REQUIRED NO SPRINKLERS REQUIRED (CFC. 903.2.1.2) <5000SF,< 100 O
--

OCCUPANCY SEPERATION (As per 2019 CBC. CH 3. Table 508.4) Note: Per Cbc 303.1.1 Small Assembly Spaces. A-2 Occupant Load < 50

is rega	irded as a B Occupancy						
UNIT#	MODEL / SERIAL	USE	ADJACENT	SF./ OC	C.	FIRE.	NOTES
1	BAR AND COFFEE UB40-AF 181215AL XXXX	В	Module	320sq			Bar and coffee service Prepackaged food

PROJECT DATA

LOCATION

ALL CONSTRUCTION, REGARDLESS OF DETAILS ON PLANS, SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF:

Title 24, DIV. 1. California Code of Regulations (CCR) 2019.

PART 1 - CALIFORNIA BUILDING STNDRDS. ADMINISTRATIVE COD

PART 2 - CALIFORNIA BUILDING CODE PART 3 - CALIFORNIA ELECTRICAL CODE PART 4 - CALIFORNIA MECHANICAL CODE

PART 5 - CALIFORNIA PLUMBING CODE PART 6 - CALIFORNIA ENERGY CODE (2008) PART 9 - CALIFORNIA FIRE CODE

PART 10 - CALIFORNIA EXISTING BUILDING CODE PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE PART 12 - CALIFORNIA REFERENCE STANDARDS CODE

THE FOLLOWING SCOPE OF WORK TO BE SUBMITTED TO LOCAL JURISDICTIONS AS DESIGN-BUILD BY CONTRACTOR OR AS A DEFERRED SUBMITTAL:

1. ELECTRICAL SUPPLY TO UNIT 2. LATERAL CONNECTIONS TO (E) SEWER.

JURISDICTION

3. STRUCTURAL FOUNDATIONS. 4. ENVIRONMENTAL HEALTH REVIEW (IF REQD) 5. SPRINKLER DESIGN AS DEFERRED SUBMITTAL **ARCHITECTURAL**

DRAWING LIST

A2.1

ALL WORK AND MATERIAL SHALL BE EXECUTED IN

MANUFACTURER SHALL PROVIDE AND BE

RESPONSIBLE FOR ALL COSTS FOR PUBLIC

BY LOCAL GOVERNMENT AGENCY SHALL BE

PROVIDED AND INCLUDED IN CONTRACT.

EXISTING CONDITIONS ON THE SITE

GENERAL NOTES

USE OF A KEY.

PROTECTION AS REQUIRED BY THE CONTRACT

FULL ACCORDANCE WITH ALL APPLICABLE CODES.

DOCUMENTS AND LOCAL GOVERNMENT AGENCIES.

CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND

ALL EXITS TO BE OPENABLE FROM INSIDE WITHOUT

FIRE EXTINGUISHERS AND CABINETS AS REQUIRED A5.1

A0.1 PROJECT DATA A1.0 PLANS

ELEVATIONS/ SECTIONS ELECTRICAL DETAILS

DESIGN. PERMITTING. FACTORY MANUFACTURING, TEAM LEAD

URBAN BLOC INC. 1540 Morse Blvd. San Carlos CA. 94070. 510 798 8007. jjameson@urbanbloc.net.

ENGINEER OF RECORD T24 ENERGY COMPLIANCE STRUCTURAL ENGINEER **WADE ENERGY** R&S Tavares Associates, Inc 1942 Linda Drive 11777 Bernardo Plaza Court, Pleasant Hill CA 94523 510 383 5490 ph: 858-444-3344 x 1801

MECHANICAL/ PLUMBING URBAN BLOC INC. 1540 Morse Blvd. San Carlos CA. 94070. 510 798 8007. jjameson@urbanbloc.net.

San Diego, CA 92128

MECHANICAL/ VENTILATION URBAN BLOC INC. 1540 Morse Blvd. San Carlos CA. 94070. 510 798 8007. jjameson@urbanbloc.net.8

ELECTRICAL URBAN BLOC INC. 1540 Morse Blvd. San Carlos CA. 94070. 510 798 8007. jjameson@urbanbloc.net.

PROJECT TEAM

APPROVED THIRD PARTY AGENCY

CONTROLLED INSPECTIONS

Jerry Jameson. CIO Urban Bloc Inc.

3220 E. 59th St. Long Beach, CA 90805 T: (562) 272-7231 Ex. 127 F: (562) 529-7513

3220 E. 59th St. Long Beach, CA 90805 T: (562) 272-7231 Ex. 127 F: (562) 529-7513

ENVIRONMENTAL HEALTH NOTES.

ALL FOOD ITEMS SHALL COME FROM AN APPROVED AND INSPECTED

A COPY OF THE MENU IS INCLUDED WITH THE EQUIPMENT CUT SHEETS.NO POTENTIALLY HAZARDOUS FOOD WILL BE SERVED.

COMPLY WITH MANUFACTURERS RECOMMENDATIONS FOR A COMPLETE AND FULLY OPERATIONAL INSTALLATION.

FOR SHELVING OVER 5-0" TALL, LAG-BOLT WALL UNITS TO WALL FRAMING. AT ISLAND UNITS, BOLT TO FLOOR AT EACH OF FOUR CORNERS. SEE DETAIL 5/A7.1

ALL CRACKS AND CREVICES AT OR NEAR FOOD PREPARATION

EQUIPMENT SHALL BE SEALED.

PROVIDE SPACE FOR NON-FOOD ITEMS, CLEANERS, TOWELS, AND

PROVIDE SEPARATE STORAGE CONTAINER FOR SOILED LINENS. TOWELS. AND APPAREL

ALL SHELVING OVER WET AREAS SHALL BE METAL.

A MINIMUM OF 50-FT CANDLES (538 LUX) OF LIGHT MEASURED 30" OFF THE FLOOR IS PROVIDED IN ALL FOOD PREPARATION AREAS DURING **GENERAL CLEANUP ACTIVITIES**

THE FLOOR IS PROVIDED IN UTENSIL CLEANING AREA

ALL FOOD-RELATED AND UTENSIL-RELATED EQUIPMENT SHALL MEET OR BE EQUIVALENT TO SANITATION STANDARDS ESTABLISHED BY AN AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) ACCREDITED PROGRAM.

ALL UTENSILS TO BE WASHED IN SCULLERY AND/OR IN DISHWASHER. HAND SINKS NOT TO BE USED FOR THIS PURPOSE.

THE UNDERSIDE OF ALL COUNTERTOPS SHALL BE WHITE. SURFACE SHALL BE SMOOTH AND EASILY CLEANABLE.

ALL COUNTERTOPS SHALL HAVE AN EASILY CLEANABLE SURFACE.

ALL FOOD SHALL BE STORED AT LEAST 6" OFF THE FLOOR. ALL CONTAINERS STORED ON DOLLIES, RACKS, OR PALLETS SHALL BE EASILY MOVABLE.

SHELVING TO BE CONSTRUCTED SO AS TO BE EASILY CLEANABLE.

ALL EQUIPMENT SHALL BE EITHER EASILY MOVABLE (IE., ON CASTERS), LIGHT ENOUGH SO AS TO BE EASILY MOVED BY ONE PERSON, INSTALLED ON RAISED MINIMUM 6" ROUNDED METAL LEGS, OR SEALED IN POSITION ON 4" MINIMUM HIGH CONTINUOUSLY AND INTEGRALLY COVED BASE OR COVED CONCRETE CURB TO FACILITATE EASE OF CLEANING.

GAPS AND SPACES BETWEEN EQUIPMENT BASE AND TOP OF ISLANDS SHALL BE SEALED WITH A NON-HARDENING SILICONE SEALANT.

ALL EQUIPMENT ON COUNTERS, TABLES, AND SHELVES THAT ARE NOT EASILY LIFTED ARE TO BE INSTALLED ON APPROVED 4" LEGS, OR SEALED TO TABLE, SHELVES, ETC.

ALL EQUIPMENT, FLASHING, AND BACKSPLASHES ARE TO BE ADEQUATELY SEALED TO THE WALL AND ABUTTING EQUIPMENT, OR MOVED AWAY FROM THE WALL 6" FOR EVERY 4 LINEAR FEET OF EQUIPMENT FRONTAL LENGTH, OR AWAY FROM EACH OTHER.

ALL UTENSIL WASHING SINKS, STEAM TABLES, ICE MACHINES AND BINS, DISPLAY CASES, AND OTHER SIMILAR EQUIPMENT WHICH DISCHARGE LIQUID WASTE, SHALL HAVE THIS WASTE CONVEYED BY A SEWER LINE AND DISPOSED THEREIN BY AN INDIRECT CONNECTION INTO A FLOOR SINK, FUNNEL DRAIN, OR EQUIVALENT DEVICE. INDIRECT WASTE RECEPTORS SHALL BE LOCATED SO AS TO BE READILY ACCESSIBLE FOR INSPECTION AND CLEANING. DRAIN LINES SHALL NOT CROSS ANY AISLE, TRAFFIC AREA, OR DOOR OPENING.

ENVIRONMENTAL HEALTH NOTES.

LIGHT BULBS SHALL BE SHIELDED, COATED, OR OTHERWISE SHATTER-RESISTANT IN AREAS WHERE THERE IS NONPREPACKED READY-TO-EAT FOOD, CLEAN EQUIPMENT, UTENSILS, AND LINENS, OR UNWRAPPED SINGLE-USE.

ALL ADJACENT/ SHARED FACILITIES UNDER SAME OWNERSHIP.

=60 Lin.ft

SITE LOCATION

(See Site Plan for locations) **EMPLOYEE BATHROOMS** JANITORIAL SERVICES TRASH AREAS

PROJECT IS PERMITTED AS A FOOD COURT UNDER SEPARATE PERMIT

ENVIRONMENTAL HEALTH NOTE: DRY GOODS STORAGE PER CFRC 2015

SQFT (Interior) 230 x .25 =58 Lin.ft required

Metro Shelf 3'-0" (5 tier) x 1 (qty) 15 Metro Shelf 4'-0" (5 tier) x 1 (qty) 20 Wall Shelving 3'-0" x 1 (qty) Wall Shelving 4'-0" x 3 (qty) Wall Shelving 5'-0" x 2 (qty) 10

Total provided

ENVIRONMENTAL HEALTH NOTE: ELECTRICAL WATER HEATER SIZING ASSUMING 62deg. Temp Rise

		DEFAULT		
ITEM	QTY	FACTOR	GPH	
Utensil Sink Small (18"x18" or smaller)	3	14	42	
Hand Wash Sink (including restrooms)	2	5	10	
			52	TOTAL
SINGLE USE UTENSILS (X0.9)			46.8	TOTAL

POWER CONSUMPTION

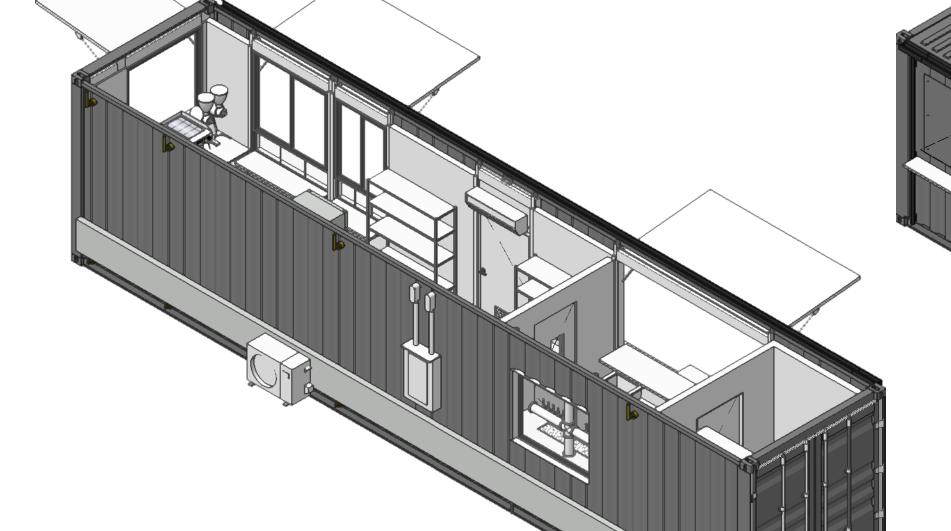
 $\frac{46.8(62)(8.33)}{0.98(3412)} = \frac{24170.35}{3343.8} = 7.25 \text{ KW}$

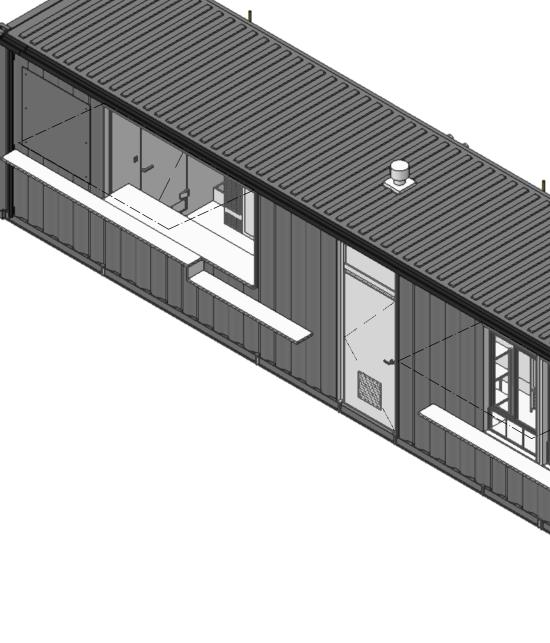
AO SMITH COMMERCIAL DEN-52, 50 Gal. 8KW.

WALL & CEILING FINISHES.

Smooth, Durable, Easily Cleanable Light Colored And Non-absorbent Finishes Are Required In The Following

Where Food Is Prepared Or Packaged. Customer Self Service Locations Where Open Food Or Beverages Is Dispensed Wait stations **Utensil Washing Or Storage** Janitorial Areas Restrooms **Employee Locker Rooms** Walk In Refrigerators/ Freezers Food Storage In Original Unopened Containers Garbage And Refuse Storage.







SITE PLAN (SEE SITE ARCHITECTURE DRAWINGS)



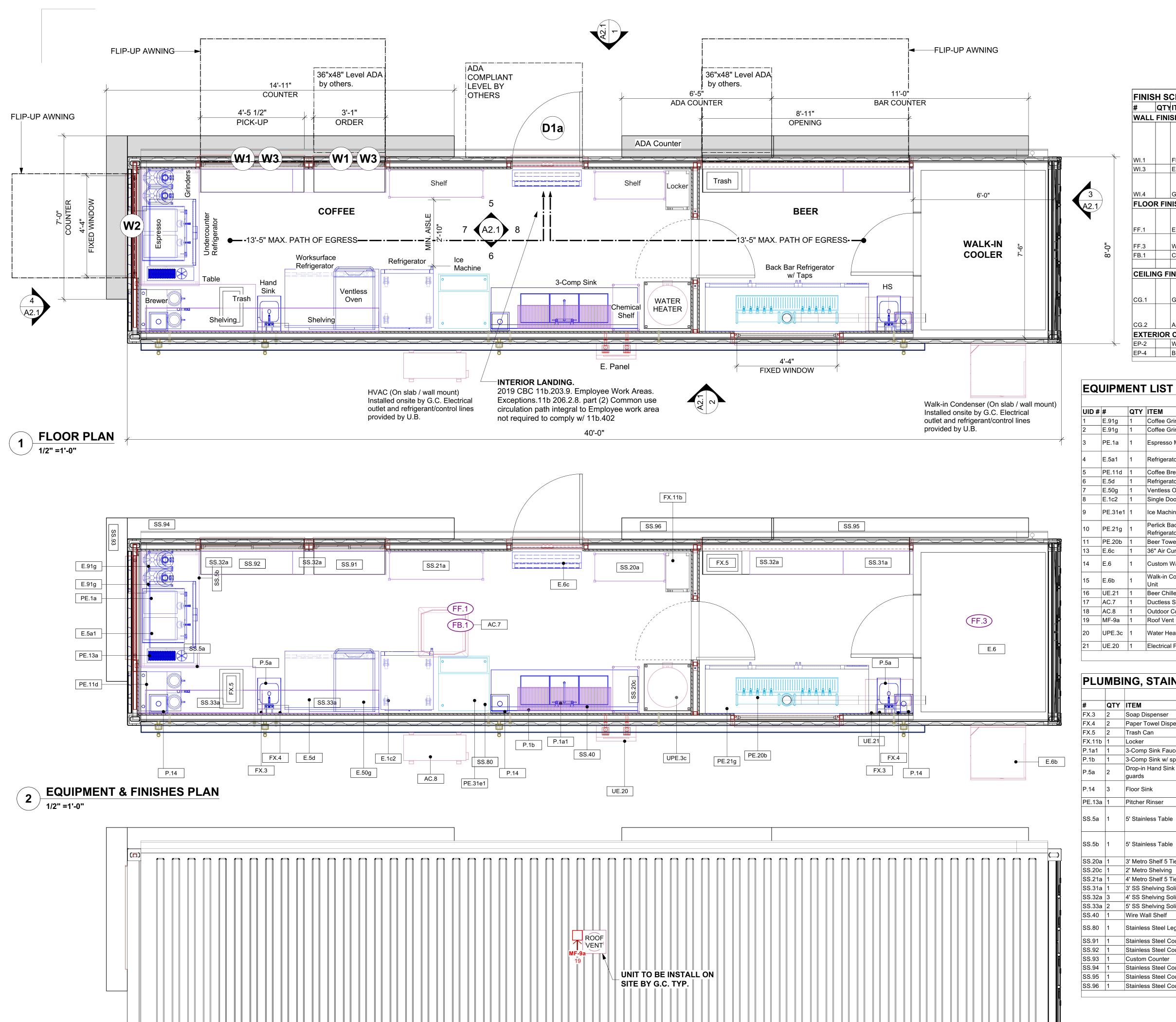
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1:24:28 PM May 5, 2022

PROJECT DATA



ROOF 1/2" =1'-0"



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#	SH SCHEDULE QTYITEM	MFG. CAT. SPECIFICATION	REMARKS
		IIII G. GAT. GI EGII IGATIGN	REWARKS
WALL	- FINISHES	White Frp (fiberglass Reinforced Panel) Sequencia Or Eq., With integral silicone seals or mouldings @ All Joint, Corner, And Edge Conditions. Aluminum "h" Moulding At Bottom. Class C Rated.	
WI.3	EXTERIOR PAINT	Direct to metal Paint Color	Sherwin-Williams SW7674 Peppercorn
WI.4	GALV. WALLPANELS	WALK IN COOLER MANUFACTURER	26GA. Stucco Galv. Steel Panels NSF Approved W/ Cam Lock Fasteners & Silicone sealant @ all joints. TYP.
FLOO	OR FINISHES		
FF.1	EPOXY FLOOR COATING	General Polymer 3744 High Performance Cr Epoxy. Epoxy Applied As 10 Mil. Slurry. Light Grey. OR APPROVED EQUAL.	Comply W/ Env. CA. Retail food Code. Flooring to be smooth finish under sinks, counters and racks.
FF.3	WALK IN COOLER	STAINLESS STEEL FLOOR	NSF Compliant W/ 3/8" Integral Radius at Floor/ Wall Junction 22GA. Stainless Floor Smooth.
FB.1	COVE BASE BOARD	EPOXY TO MATCH	Provide 6" integral base W/ 1/2" min radiused cove.
CEILII	│		
CG.1	GYPSUM LAY IN	Gold Bond 2x4, 2x2 Gridstone(Laminated vinyl Food Grade) 9/16". White Smooth ALu. Trim & Hangers.	All trim pieces, factory painted. cleanable.
000	A GOLUGTIO LAVVIN	Armstrong 2x4, 2x2 KITCHEN ZONE(Food Grade) 9/16". White Smooth ALu. Trim & Hangers.	
CG.2	ACOUSTIC LAY IN	Trangolo.	All trim pieces, factory painted. cleanable.
	RIOR CLADDING	2/4!! W.d. Daarda	
EP-2	Wood Panels	3/4" Wd. Boards	
EP-4	BLACKENED METAL PLAT	H I/O IVIII Mate. Sealed.	Include all support frames, Trim Etc.

UID#	#	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (WxDxH)	COMMENTS	FURNISH	INSTALI
1	E.91g	1	Coffee Grinder	Cimballi	7/SA	10"W x 19"D x 25"H		Client	Client
2	E.91g	1	Coffee Grinder	Cimballi	7/SA	10"W x 19"D x 25"H		Client	Client
3	PE.1a	1	Espresso Machine	LA MARZOCCO	Linea Classic: 2 Group	28"W x 21"D x 22"H		Client	Client
4	E.5a1	1	Refrigerator: Worktop	BEVERAGE-AI R	WTR34HC	34" x 24 5/8" x 36 1/8"		Client	Client
5	PE.11d	1	Coffee Brewer	CURTIS	G4TP1T10A3100	20.13 x 20.63 x 24.75		Client	Client
6	E.5d	1	Refrigerator: Worktop	TRUE	TWT-48-HC	48-3/8" x 30-1/8" x 33-3/8"		Client	Client
7	E.50g	1	Ventless Oven	Turbo Chef	BULLET	21.17" x 29.98" x 23"		Client	Client
8	E.1c2	1	Single Door Refrigerators	TRUE	T-23G-HC	27"W x 29 7/8"D x 78 3/8"H		Client	Client
9	PE.31e1	1	Ice Machine	Manitowoc	UDF-0190A	26 x 28 x 38.5	substitute legs for 12" (SS.80)	Client	Client
10	PE.21g	1	Perlick Back Bar Refrigerator	Perlick	BBS84	84" x 24.75" x 24.565"		Client	Client
11	PE.20b	1	Beer Tower w/ drip tray	Perlick	CM1801924 / C18663	52.38" x 15.5"			
13	E.6c	1	36" Air Curtain	Curtron	AP-2-36-SS	36" x 10" x 12"		UB	UB
14	E.6	1	Custom Walk-in Cooler	RUDY'S	8'-6" High Mtl Clad Wood Pnls	TBD	Custom Manufactured	UB	UB
15	E.6b	1	Walk-in Cooler Condering Unit	HEATCRAFT	MOH010X62CFM	17 1/4 x 28 1/4 x 23 3/4	Connections made on site	UB	UB
16	UE.21	1	Beer Chiller System	Perlick	4410	24.25 x 17.25 x 25.5		Client	Client
17	AC.7	1	Ductless System	Carrier	40MBCQ183	22.44" x 22.44" x 10.24"		UB	UB
18	AC.8	1	Outdoor Condenser	Carrier	38MAQB18R3	35.04" x 13.46" x 29.13"		Client	Client
19	MF-9a	1	Roof Vent	Aura Attic Fan	AF-6-C4-CMF	12" x 12" x 12"	CFM 120	UB	UB
20	UPE.3c	1	Water Heater	AO Smith	DEN-52, 50g. 8KW 4000/4000	20 1/2"Ø x 54 7/8"H	Connections made on site	UB	UB
21	UE.20	1	Electrical Panel	SIEMENS	200A	TBD		UB	UB

						PLUMBING	i		_ ≥
#	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (W X D x h)	COMMENTS	FURNISH	INSTALL	E RADIU Harbor Bay Pkwy
FX.3	2	Soap Dispenser	SAN JAMAR	Model: SH900TBK	5.5" x 4" x 12"		UB	UB	3a) A
=X.4	2	Paper Towel Dispenser	SAN JAMAR	Model: T1900XC	11 3/8" x 4" x 14 3/4"		UB	UB	o B
FX.5	2	Trash Can	SLIM JIM	23 gallon	15.8" x 22" x 30"		Client	Client	
-X.11b	1	Locker	GSW	ELS-5DR	12" x 16" x 77"		TBD	TBD	<u>а</u> ш
P.1a1	1	3-Comp Sink Faucet	T&S	5F-8WLX10		3-Comp Sink	UB	UB	
P.1b	1	3-Comp Sink w/ splash guards	GSW	SE15153D	75 1/4" x 21" x 45"		UB	UB	T 5
P.5a	2	Drop-in Hand Sink w/ splash guards	KROWNE	HS-1225	12" x 18" x 15 1/2"	5" bowl	UB	UB	1
P.14	3	Floor Sink	WATTS	FS-710 Sanitary Floor Sink	8 1/8"W x 8 1/8"D x 6 1/4"H		UB	UB	SUBMITTALS
PE.13a	1	Pitcher Rinser	Espresso Parts	EPPR724	24 x 7 x 7/8		UB	UB	ISSUE 90% CLIENT
SS.5a	1	5' Stainless Table	GSW	16 Gauge SS top and back splashes 4" sealed. Optional undershelf	60"W x 24"D x 35 1/2"H		TBD	TBD	
SS.5b	1	5' Stainless Table	GSW	16 Gauge SS top and back splashes 4" sealed. Optional undershelf	60"W x 30"D x 35 1/2"H		TBD	TBD	
SS.20a	1	3' Metro Shelf 5 Tier	METRO	5-Tier	36" x 14" x 73 1/2"		TBD	TBD	
SS.20c	1	2' Metro Shelving	METRO	2-Tier	24" x 14"	chrome finish	UB	UB	
SS.21a	1	4' Metro Shelf 5 Tier	METRO	5-Tier	48" x 14" x 73 1/2"		TBD	TBD	
SS.31a	1	3' SS Shelving Solid	GSW	SS Shelving	12" x 36"		TBD	TBD	
SS.32a	3	4' SS Shelving Solid	GSW	SS Shelving	12 x 48		TBD	TBD	
SS.33a	2	5' SS Shelving Solid	GSW	SS Shelving	12" x 60"		TBD	TBD	DRAWING TITLE
SS.40	1	Wire Wall Shelf	EAGLE	SNSW1248V-X, Gray Epoxy	48" x 12"		UB	UB	
SS.80	1	Stainless Steel Legs 12"	Manitowoc	K00144	12"	substitute legs for ice machine	Client	Client	PLAN
SS.91	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD		UB	UB	
SS.92	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD		UB	UB	
SS.93	1	Custom Counter	SEAPORT	SS Counter	TBD		UB	UB	
SS.94	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD		UB	UB	
SS.95	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD		UB	UB	
SS.96	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD		UB	UB	UB#

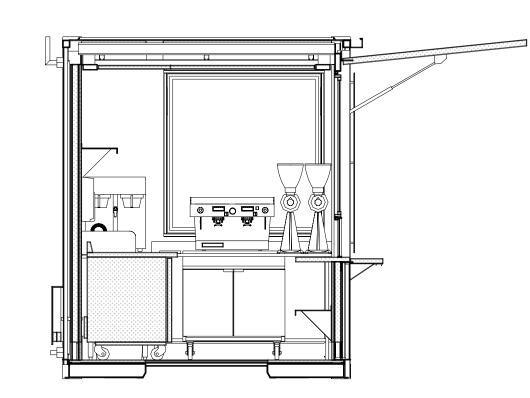


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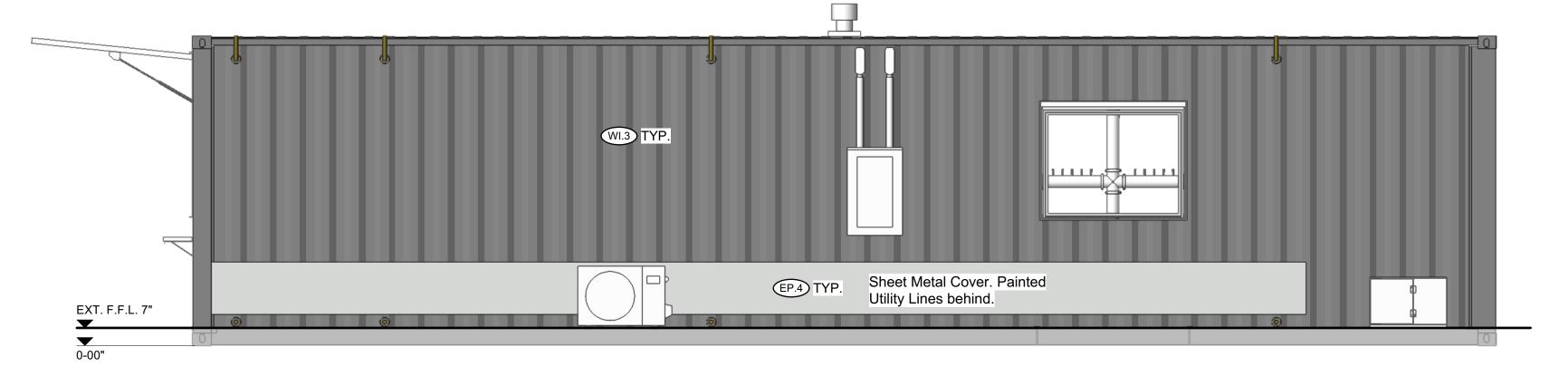
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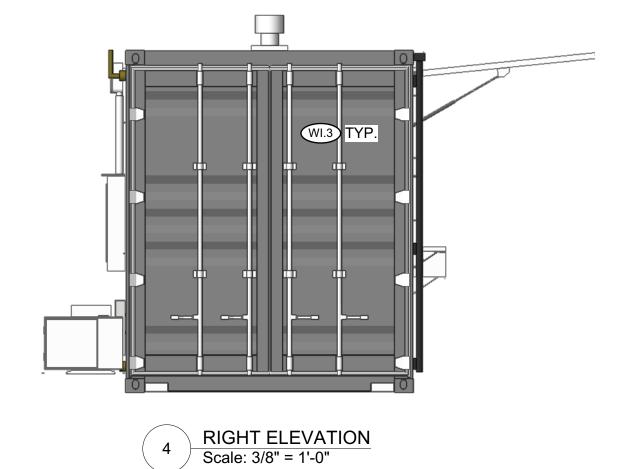
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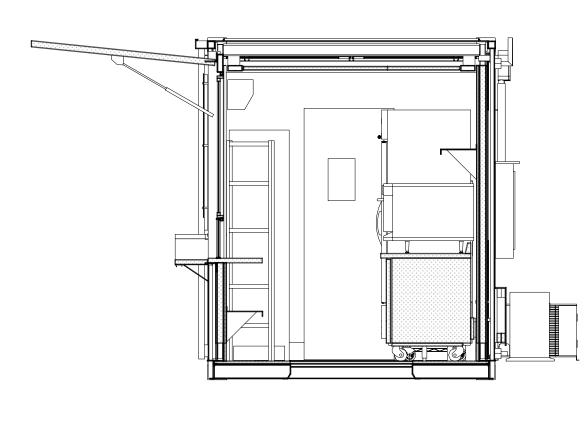




SECTION VIEW
Scale: 3/8" = 1'-0"

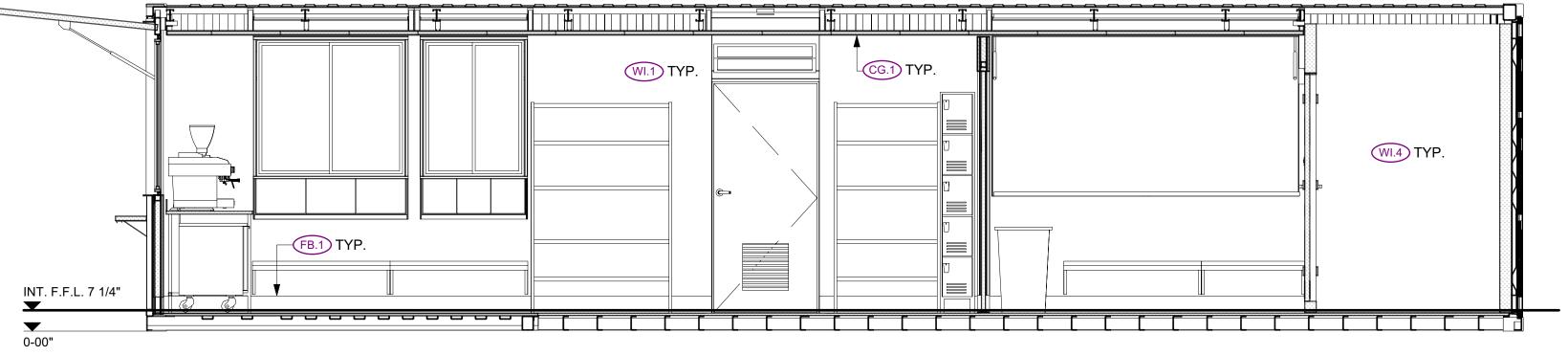




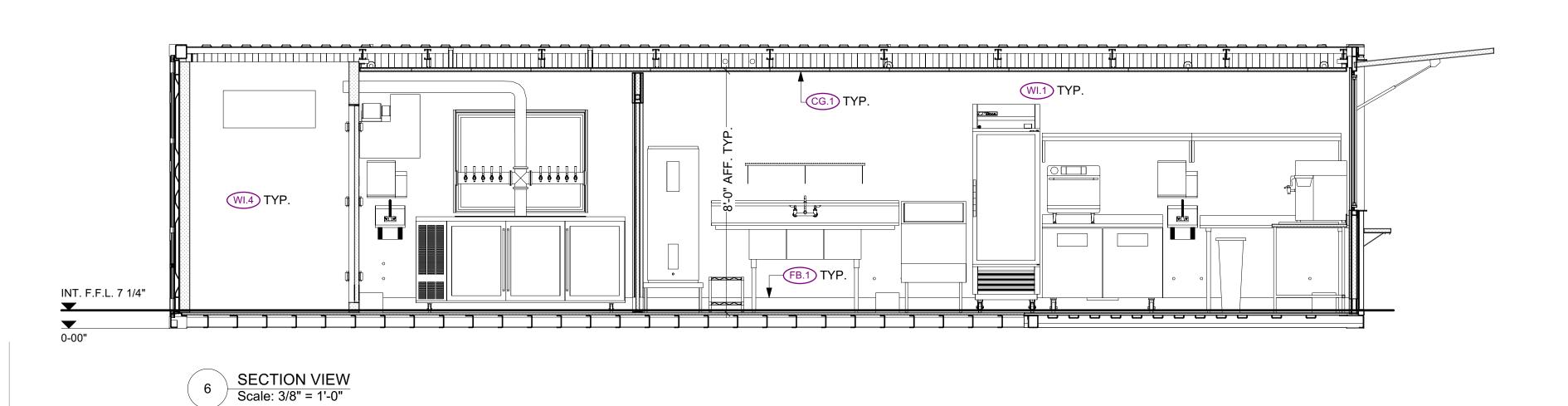


SECTION VIEW
Scale: 3/8" = 1'-0"

2 FRONT ELEVATION
Scale: 3/8" = 1'-0"



SECTION VIEW
Scale: 3/8" = 1'-0"





FINIS	SH SCHEDULE		
#	QTYITEM	MFG. CAT. SPECIFICATION	REMARKS
WALI	L FINISHES		
WI.1	FRP	White Frp (fiberglass Reinforced Panel) Sequencia Or Eq., With integral silicone seals or mouldings @ All Joint, Corner, And Edge Conditions. Aluminum "h" Moulding At Bottom. Class C Rated.	
WI.3	EXTERIOR PAINT	Direct to metal Paint Color	Sherwin-Williams SW7674 Peppercorn
WI.4	GALV. WALLPANELS	WALK IN COOLER MANUFACTURER	26GA. Stucco Galv. Steel Panels NSF Approved W/Cam Lock Fasteners & Silicone sealant @ all joints. TYP.
FLOC	OR FINISHES		
FF.1	EPOXY FLOOR COATING	General Polymer 3744 High Performance Cr Epoxy. Epoxy Applied As 10 Mil. Slurry. Light Grey. OR APPROVED EQUAL.	Comply W/ Env. CA. Retail food Code. Flooring to be smooth finish under sinks, counters and racks.
FF.3	WALK IN COOLER	STAINLESS STEEL FLOOR	NSF Compliant W/ 3/8" Integral Radius at Floor/ Wal Junction 22GA. Stainless Floor Smooth.
FB.1	COVE BASE BOARD	EPOXY TO MATCH	Provide 6" integral base W/ 1/2" min radiused cove.
CEILI	ING FINISHES		
CG.1	GYPSUM LAY IN	Gold Bond 2x4, 2x2 Gridstone(Laminated vinyl Food Grade) 9/16". White Smooth ALu. Trim & Hangers.	All trim pieces, factory painted. cleanable.
CG.2	ACOUSTIC LAY IN	Armstrong 2x4, 2x2 KITCHEN ZONE(Food Grade) 9/16". White Smooth ALu. Trim & Hangers.	All trim pieces, factory painted. cleanable.
EXTE	RIOR CLADDING		
EP-2	Wood Panels	3/4" Wd. Boards	
EP-4	BLACKENED METAL PLAT	1/8" Mtl Plate. Sealed.	Include all support frames, Trim Etc.

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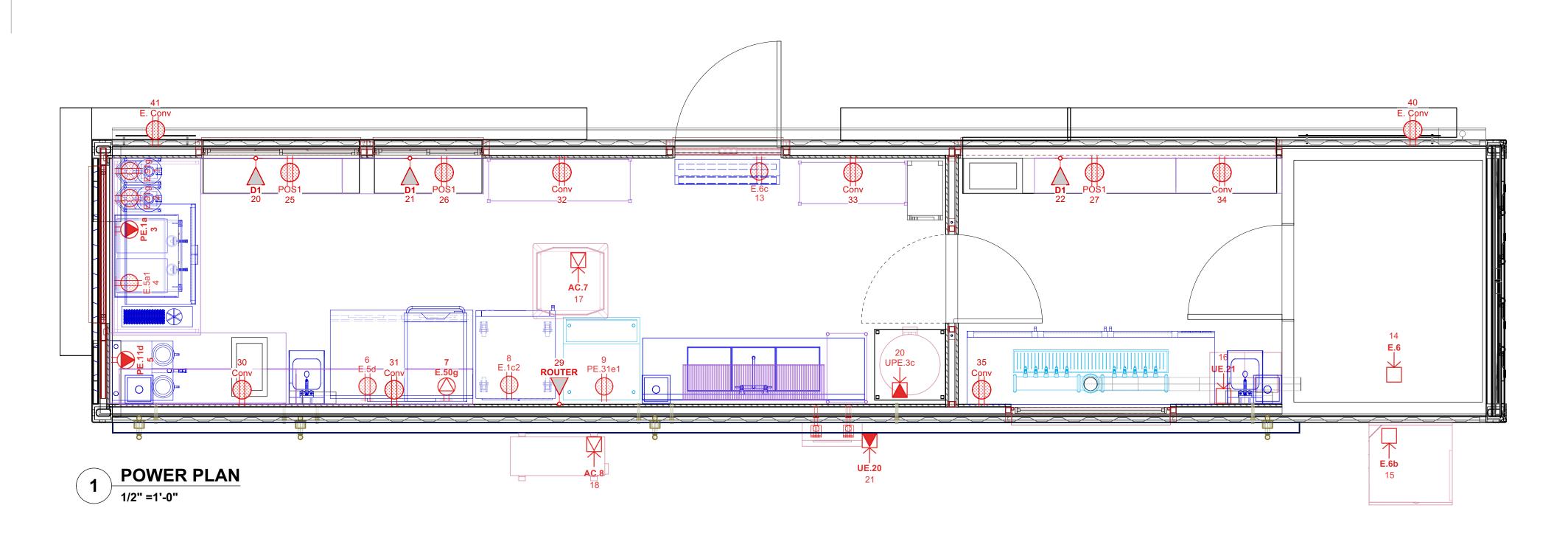
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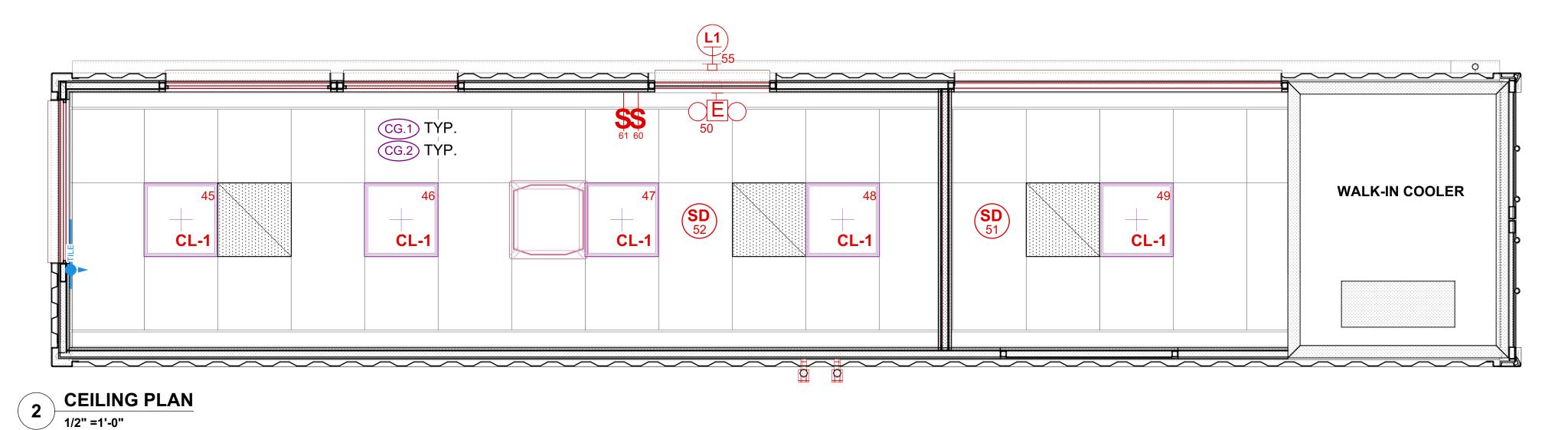
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ELEVATIONS SECTIONS

UB#

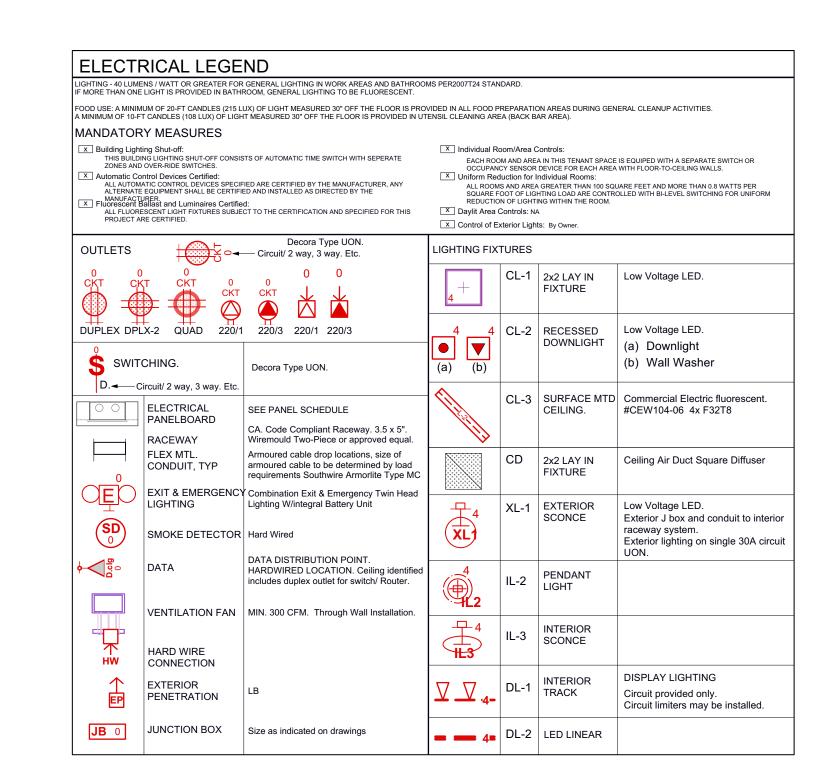




NOTE: FOR ROOF ELECTRICAL CONNECTION SEE A1.1

									ELECTI	RICAL					PLUMBI	NG		
JID##	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (WxDxH)	COMMENTS	FURNISH	INSTALL	VOLTAGE	PHASE	AMPS	PLUG	HT.AFF	WIRE	DRN. (D/I)	HOT COLD	GAS	COMMENTS
E.91g	1	Coffee Grinder	Cimballi	7/SA	10"W x 19"D x 25"H		Client	Client	208-240	1	1.36	5-15	18"	12/2				
E.91g	1	Coffee Grinder	Cimballi	7/SA	10"W x 19"D x 25"H		Client	Client	208-240	1	1.36	5-15	18"	12/2				
PE.1a	1	Espresso Machine	LA MARZOCCO	Linea Classic: 2 Group	28"W x 21"D x 22"H		Client	Client	208-240	3	22	6-20	18"	10/3	Indirect	3/4"		
E.5a1	1	Refrigerator: Worktop	BEVERAGE-AI R	WTR34HC	34" x 24 5/8" x 36 1/8"		Client	Client	115	1	2	5-15	18"	12/2				
PE.11	1 1	Coffee Brewer	CURTIS	G4TP1T10A3100	20.13 x 20.63 x 24.75		Client	Client	220	3	23-34.5	HW	44"	8/3		3/4"		
E.5d	1	Refrigerator: Worktop	TRUE	TWT-48-HC	48-3/8" x 30-1/8" x 33-3/8"		Client	Client	115	1	3	5-15	18"	12/2				
' E.50g	1	Ventless Oven	Turbo Chef	BULLET	21.17" x 29.98" x 23"		Client	Client	208/240	1	30	6-30	44"	10/3				
E.1c2	1	Single Door Refrigerators	TRUE	T-23G-HC	27"W x 29 7/8"D x 78 3/8"H		Client	Client	115	1	2.2	5-15	18"	12/2				
PE.31	e1 1	Ice Machine	Manitowoc	UDF-0190A	26 x 28 x 38.5	substitute legs for 12" (SS.80)	Client	Client	115	1	6	5-15	18"	12/2	Indirect	3/8"		
0 PE.21	g 1	Perlick Back Bar Refrigerator	Perlick	BBS84	84" x 24.75" x 24.565"		Client	Client	120	1	6.3	5-15	18"	12/2	Indirect			
1 PE.20	1	Beer Tower w/ drip tray	Perlick	CM1801924 / C18663	52.38" x 15.5"										Indirect			
3 E.6c	1	36" Air Curtain	Curtron	AP-2-36-SS	36" x 10" x 12"		UB	UB	120	1	4.17	5-15	RW	12/2				
E.6	1	Custom Walk-in Cooler	RUDY'S	8'-6" High Mtl Clad Wood Pnls	TBD	Custom Manufactured	UB	UB			TBD				Indirect			
5 E.6b	1	Walk-in Cooler Condering Unit	HEATCRAFT	MOH010X62CFM	17 1/4 x 28 1/4 x 23 3/4	Connections made on site	UB	UB	208-230	1	7	5-15	TBD	12/3				
6 UE.21	1	Beer Chiller System	Perlick	4410	24.25 x 17.25 x 25.5		Client	Client	120	1	17.5	HW		12/2				
7 AC.7	1	Ductless System	Carrier	40MBCQ183	22.44" x 22.44" x 10.24"		UB	UB	208/230	1	0.2	HW	Ceil	12/3	Indirect			
8 AC.8	1	Outdoor Condenser	Carrier	38MAQB18R3	35.04" x 13.46" x 29.13"		Client	Client	208/230	1	16	HW		12/3	Indirect			
9 MF-9a	1	Roof Vent	Aura Attic Fan	AF-6-C4-CMF	12" x 12" x 12"	CFM 120	UB	UB	115	1	0.9	HW	Ceil	12/2				
0 UPE.3	c 1	Water Heater	AO Smith	DEN-52, 50g. 8KW 4000/4000	20 1/2"Ø x 54 7/8"H	Connections made on site	UB	UB	208	3	33.3	HW	18"	8/3	Indirect			
4 11= 00		=	0.51.6	0004	TDD		LIB				000							

21 UE.20 1 Electrical Panel



UID#	ID.	FIXTURE TYPE	HT. FFL	REMARKS	WIRE
20	D1	Data	24"	REGULAR	12/2
21	D1	Data	24"	REGULAR	12/2
22	D1	Data	24"	REGULAR	12/2
25	POS1	POS	24"	REGULAR	12/2
26	POS1	POS	24"	REGULAR	12/2
27	POS1	POS	24"	REGULAR	12/2
29	ROUTER	Router	Ceil	Above Raceway	12/2
30	Conv	Convenience	44"	REGULAR	12/2
31	Conv	Convenience	44"	REGULAR	12/2
32	Conv	Convenience	44"	REGULAR	12/2
33	Conv	Convenience	44"	REGULAR	12/2
34	Conv	Convenience	44"	REGULAR	12/2
35	Conv	Convenience	44"	REGULAR	12/2
40	E. Conv	Ext. Convenience	18"	REGULAR	12/2
41	E. Conv	Ext. Convenience	18"	REGULAR	12/2
45	CL-1	2X2 Fixture	Ceil	Lay In Fixt.	12/2
46	CL-1	2X2 Fixture	Ceil	Lay In Fixt.	12/2
47	CL-1	2X2 Fixture	Ceil	Lay In Fixt.	12/2
48	CL-1	2X2 Fixture	Ceil	Lay In Fixt.	12/2
49	CL-1	2X2 Fixture	Ceil	Lay In Fixt.	12/2
50	E	Exit/Emergency Lighting	Ceil		12/2
51	SD	Smoke Detector	Ceil	Addressable	12/2
52	SD	Smoke Detector	Ceil	Addressable	12/2
55	L1	Exterior Sconce	84"		12/2
60	Switch	Switch	44"	45,46,47,48,49	12/2
61	Switch	Switch	44"	55	12/2

	PANE				VOLTAGE:	208Y/120V	. WIRE:		4	_	MOUNTING:	SURFACE	_	NOT	ES:		
The	Rad	lius			BUS RATING:	200A	PHASE:		3		AIC RATING:	10K	_				
Bev	erag	e U	nit		MAIN REQUIREMENT:	200A MLO	TYPE:		N-3R		CONDITION:		-				
CKT#	NOTES	LOAD	CB P	т	LOAD DESCRIPTION		LOAD KVA	PHASE	LOAD KVA		LOAD DESC	RIPTION	CB P	Т	LOAD	NOTES	#LXO
1		К	1	20	E.91g		0.48	Α	1.47	İ					K		2
3		К	1	20	E.91g		0.48	В	1.47	PE.1	1a		3	30	K		4
5		К	1	20	E.5a1		0.24	С	1.47	1				l i	K		6
7		К	1	20	E.5d		0.36	Α	2.33						K		8
9		K	1	20	E.1c2		0.26	В	2.33]PE.1	11d		3	40	K		10
11		Κ	1	20	PE.31e1		0.72	С	2.33						K		12
13		Κ	1	20	E.21g		0.76	Α	2.00]					K		14
15		K	1	20	E.6c		0.50	В	2.00	E.50)g		3	30	K		16
17		D	1	_	E.6 walk-in cooler		1.68	С	2.00	<u> </u>					K		18
19		D	1		UE.21		1.88	Α	2.22	1					D		20
21		D	1	20	AC		1.92	В	2.22	UPE	E.3c		3	40	D		22
23		D	1	20			1.92	С	2.22	ļ			<u> </u>		D		24
25		D	1		POSITION 20,21,22		0.54	A	U	MF-9			1	20	D		26
27	\longrightarrow	D	1		POSITION 25,26,27		0.54	В	0.36	-	NV. 30,31		1	20	G		28
29		G C	1	_	CONV. 32,33 LIGHTING - GENERAL		0.36 0.54	C A		+	NV. 34, 35 NV. 30,41		1	20 20	G G		30
31		$\overline{}$	<u>'</u>	20	LIGHTING - GENERAL		0.54	В	0.36	CON	NV. 30,41		+ '	20	G		32
33 35								С					+				34
37								A		 			 	\vdash			38
39								В					+	\vdash			40
41								С					T				42
CONI	NECT	D LC	AD:				<u> </u>		'	•		DEMAND LOAD CALCULATION					<u>' </u>
PHAS					13.08 K\	/A	DEMAND L	OAD			SUBTOTAL	NEC DEMAND FACTOR					
PHAS	SE B				12.08 KV	/A	CONTINUO	US LO	OAD (C)		0.54	125%				0.6	38
PHAS	SE C				13.30 KV	/A	DEDICATED	LOA	(D)		15.28	100%				15.	28
TOTA	AL				38.46 KV	/A	GENERAL F	RECE	PTACLE (G)	1.44	100% of 1st 10kVA & 50% of rem	ainin	g		1.4	14
							INTERMITE	NT E	QUIPMEN [*]	T (K)	21.20	65%				13.	78
NOTE	ES:						MECHANIC	AL E	QUIPMENT	T (M)	0.00	125% of largest motor & 100% of re	emair	ning		0.0	00
HL=P	PADLO	CKAE	BLE H	HANE	DLE LOCK-OFF							TOTAL DEMAND KVA				31.	17
											ΔΝ	MPS @ 208Y/120V, 3 PHASE, 4 WII	SE.	I		86.	53



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If DOI Day PKwy. Alaineda, CA 34302

This drawing and any attached specifications contain information which is confidential. Unless you are author

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AWING TITLE

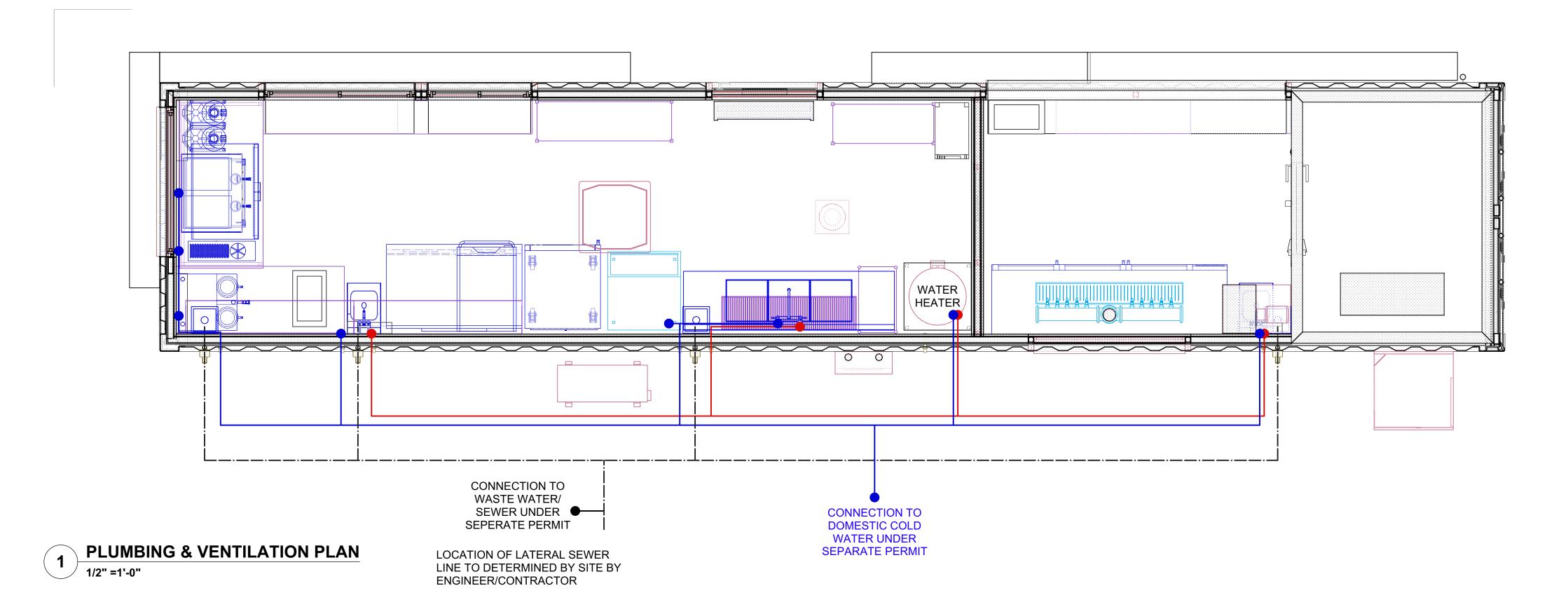
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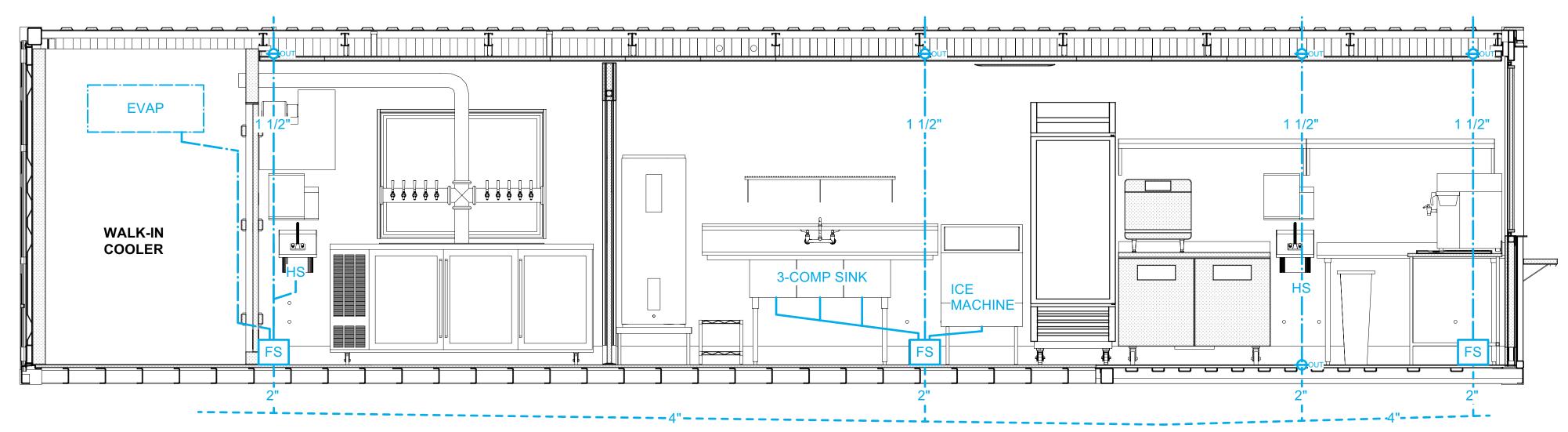
ELECTRICAL / POWER PLAN

UB#

SHEET NUMBER

E.1





PLUMBING RISE DIAGRAM 2 PLUMB 1/2" =1'-0"

EXTERIOR LATERAL LINES UNDER SEPERATE PERMIT

						PLUMBING	ì				
#	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (W X D x h)	COMMENTS	FURNISH	INSTALL C	OLD	НОТ	DRN. (D/I) MTG. H
-X.3	2	Soap Dispenser	SAN JAMAR	Model: SH900TBK	5.5" x 4" x 12"		UB	UB			
-X.4	2	Paper Towel Dispenser	SAN JAMAR	Model: T1900XC	11 3/8" x 4" x 14 3/4"		UB	UB			
-X.5	2	Trash Can	SLIM JIM	23 gallon	15.8" x 22" x 30"		Client	Client			
-X.11b	1	Locker	GSW	ELS-5DR	12" x 16" x 77"		TBD	TBD			
P.1a1	1	3-Comp Sink Faucet	T&S	5F-8WLX10		3-Comp Sink	UB	UB			
P.1b	1	3-Comp Sink w/ splash guards	GSW	SE15153D	75 1/4" x 21" x 45"	,	UB	UB			
P.5a	2	Drop-in Hand Sink w/ splash guards	KROWNE	HS-1225	12" x 18" x 15 1/2"	5" bowl	UB	UB			
P.14	3	Floor Sink	WATTS	FS-710 Sanitary Floor Sink	8 1/8"W x 8 1/8"D x 6 1/4"H		UB	UB			
PE.13a	1	Pitcher Rinser	Espresso Parts	EPPR724	24 x 7 x 7/8		UB	UB			
SS.5a	1	5' Stainless Table	GSW	16 Gauge SS top and back splashes 4" sealed. Optional undershelf	60"W x 24"D x 35 1/2"H		TBD	TBD			
SS.5b	1	5' Stainless Table	GSW	16 Gauge SS top and back splashes 4" sealed. Optional undershelf	60"W x 30"D x 35 1/2"H		TBD	TBD			
SS.20a	1	3' Metro Shelf 5 Tier	METRO	5-Tier	36" x 14" x 73 1/2"		TBD	TBD			
SS.20c	1	2' Metro Shelving	METRO	2-Tier	24" x 14"	chrome finish	UB	UB			
SS.21a	1	4' Metro Shelf 5 Tier	METRO	5-Tier	48" x 14" x 73 1/2"		TBD	TBD			
SS.31a	1	3' SS Shelving Solid	GSW	SS Shelving	12" x 36"		TBD	TBD			
SS.32a	3	4' SS Shelving Solid	GSW	SS Shelving	12 x 48		TBD	TBD			
SS.33a	2	5' SS Shelving Solid	GSW	SS Shelving	12" x 60"		TBD	TBD			
SS.40	1	Wire Wall Shelf	EAGLE	SNSW1248V-X, Gray Epoxy	48" x 12"		UB	UB			
SS.80	1	Stainless Steel Legs 12"	Manitowoc	K00144	12"	substitute legs for ice machine	Client	Client			
SS.91	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD		UB	UB			
SS.92	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD		UB	UB			
SS.93	1	Custom Counter	SEAPORT	SS Counter	TBD		UB	UB			
SS.94	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD		UB	UB			
SS.95	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD		UB	UB			

SEAPORT

See SS Order Drawing

Stainless Steel Counter

WATE	ER S	UPPLY					
#	QTY	ITEM	WSFU				
			COLD	НОТ	WATER DEMAND	LINE	SIZE
						LATERAL	BRANC
P.5a	2	Hand Sink	2	2	3	3/4"(H&C)	1/2"
P.1a1	1	3-Com Sink	2	2	3	3/4"(H&C)	1/2"
P.31e1	1	Ice Machine	0.5	-	0.75	1/4"(C)	1/2"
PE.11d	1	Coffee Brewer	0.5	-	0.75	1/4"(C)	1/2"
PE.1a	1	Expresso	0.5	-	0.75	1/4"(C)	1/2"
			5.5	5	8.25	3/4"	1/2"
		SSURE DEMANI					
STATIC	PRES	SURE LOSS = -(0).43x5)= -2	2.15 (High	est fixture below supp	oly)	
FRICTIO	N LO	SS / 100ft (A4.1(1)	=12, Per	50'=6PSI.			
TOTAL F	PRES	SURE LOSS= 6-2.	15=3.85P	SI.			
MAX. PI	PE LE	NGTH TO FARTH	IEST FIXT	URE= 30'-	-0		
		FOR FITTINGS=					
DEVELO	PED	LENGTH = 45'-0",	say 60'-0'	'			
PER CP	C 201	9 Table 610.4 46-	60PSI Ra	nge 31 WS	SFU Allowed.		

#	QTY	ITEM	FIX. UNITS	LINE	SIZE		TOT	REMARKS/ CALCULATIONS
			(DFU)	Horiz.	Vert.	Vent		
P.5a	2	Hand Sink	2	2	2	1 1/2"	2	
P.1b	1	3-Com Sink	3	3	3	2'0"	3	
P.14	3	Floor Sink	3	2	2	1 1/2"	3	
				тот	AL D	FU's	8	Per CPC Table 703.2, 3" Horiz/ Vert Piping required/ Provided. Per CPC Table 703.2, 1 1/2" vent Piping required.
								Provided. 2" for toilet

Note: As Defined By CPC 2019 905.3 Structural Conditions Do Not Allow For Vent Fittings Less Than 6" Above The Flood-level Rim Of Certain Assemblies To Be Drainage Type.

These Conditions Have Been Reviewed And Approved As Alternate Means And Methods As allowed by CPC 1.8.7 And Included In Approved Drawing Set I-581-1007 Approved By HCD.11.15.2020

HEAT GAI	N FR	OM COMMERCIAL EQU	JIPMENT.		
#	QTY		Sensible (W)	Latent (W)	Total. (W)
E.5d	1	Worktop Refrigerator	390	0	390
PE.11d	1	Coffee Brewer	66	34	100
E .5a1	1	U/C Refrigerator	390	0	390
E.50g	1	Ventless Oven	1630	0	1630
E.1c	1	1-Door Refrigerator	690	0	690
PE.31e1	1	Ice Machine	1680	0	1680
HEAT GAI	N FR	OM OCCUPANTS.			4880
		2 EMPLOYEES	800		1600
TOTALS		Assume 80% E	_ Efficiecy factor		
			TOTAL. (W)		5184
		Total B1	TU (3.409x W)		17672

INTERNAL COOLING PROVIDED Carrier Performance Series 40MBCQ Cassette Ductless Heating/Cooling Evaporator Ceiling Mounted. On Slab Condenser. As Per Manufacturers Specifications. TOTAL. BTU COOLING 18,000 BTU. NATURAL VENTILATION (Unconditioned) Conditioned Floor (Area x 0.2) CFM 230x 0.2 46 CFM. Door Louver. Supply. (18x18") Mechanical Exhaust. Switched. 120CFM

VENT	VENTILATION FAN SYSTEM										
UNIT#	MANUFACTURER	MODEL#	CFM	V	Α	HP	So	Comments			
MF-9a	Aura Attic Fan	AF-6-C4-CMF	120		0.9						

MIN	I SPLI	T HEAT	PUMP SYSTE	VI								
UID#	UNIT #	MANUFAC	TURER MODEL #	SERVICE	RATED CA	PACITY	EER	AIR	AMPS	WEIGHT	SOUND	FILTER TYPE
					COOL	HEAT	(SEER)	CIRC.	V / PH / HZ	lb	dB(A)	
17	AC.7	Carrier	40MBCQ183	18,000 BTU	5,600-17,000	8,700-21,000	12.5-19.6	290/350/420	208/230/1-60	39.68	46/48/50	CLEANABLE
18	AC.8	Carrier	38MAQB18R3	18,000 BTU	5,600-17,000	8,700-21,000	25	1,765	208/230/1-60	100.97	59	CLEANABLE



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URBAN BLOC

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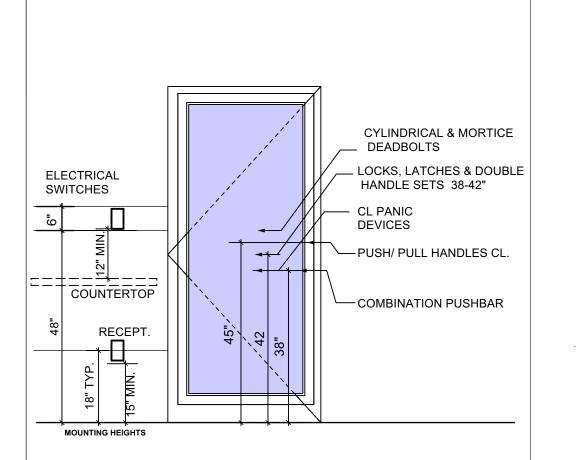
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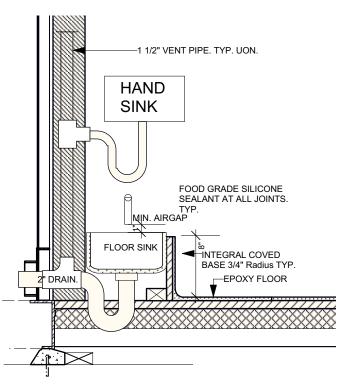
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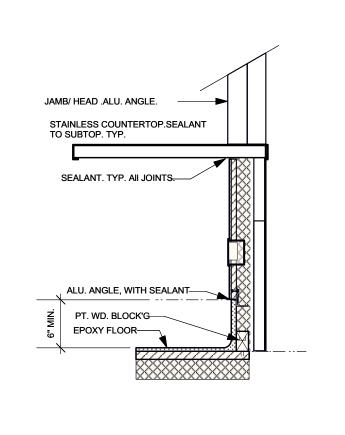
PLUMBING

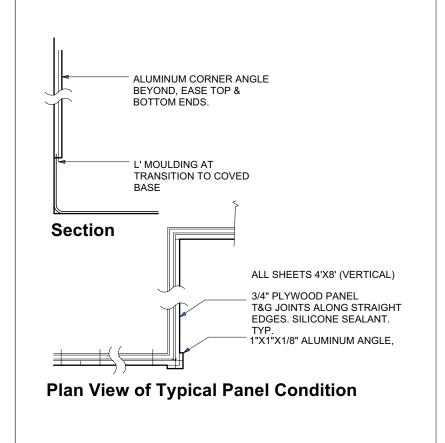
VENTILATION

UB#











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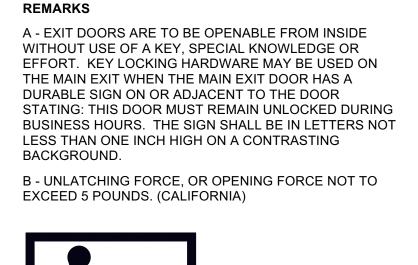
MOUNTING HEIGHTS 1/2"=1'-0



3 COVE BASE COUNTERS

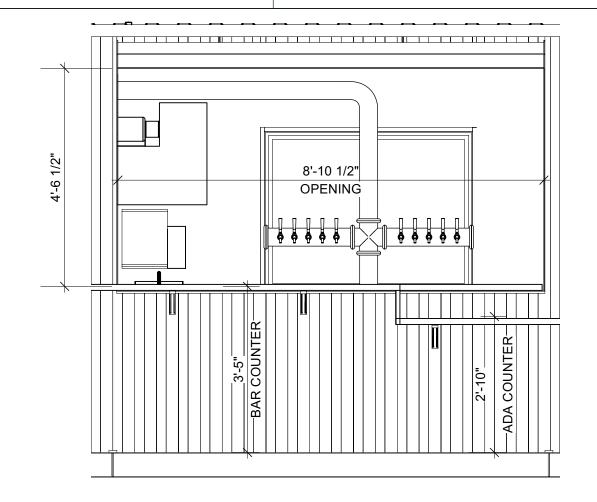
4 WALL PANELS

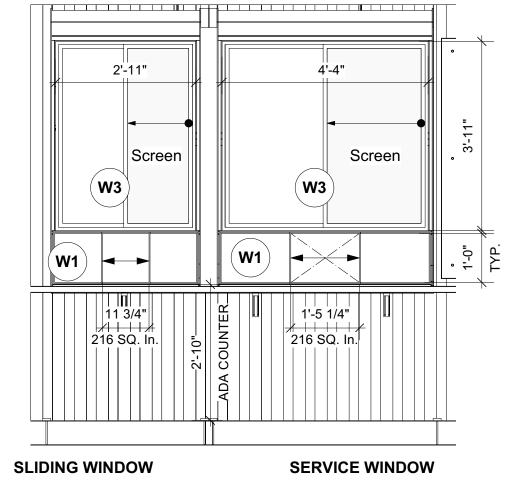
GROUP	DESCRIPTION	FINISH	MFR.							
1) SINGLE ENTRY DOOR	TELSTAR PRO DOOR 30x68 INVISIBLE DEADBOLT, SOLID LIGHT GRAY, A40 GALVALUME STEEL	613	TELL MANUFACTURING							
D1a	LOCK CYLINDER CY-1-184, GRADE 2 ENTRY LEVER	613	TELL MANUFACTURING							
	ENG 600 SERIES DOOR CLOSER	613	TELL MANUFACTURING							
	ADA COMPLIANT THRESHOLD INTEGRATIVE	613	TELL MANUFACTURING							
3) SWING DOOR D4	ELIASON BI-SWING DOOR W/ INTEGRAL PIVOT HINGES NO LOCKS OR LATCHES									
4) STEP-IN	DURACOLD MANUFACTURED ENCLO	OSURE								
REFRIGERATOR	Flush Mounted, Self Closing. Locking handle. Internal safety latches.									
(D5)	RUDY'S REFRIGERATION, NSF-APPROVED									
5) FOOD SVCE. WINDOW	ALUMINUM FRAME. 1/4" SLIDING ACRYLIC PANELS, SE WINDOW.ENV. HLTH COMPLIANT	LF CLOSI	NG SLIDING SERVICE							
6) FIXED WINDOW	MILGUARD STANDARD ALUMINUM									
W2	PICTURE WINDOW, 3/4" GLAZING, LOW E. ARGON									
7) OPERABLE WINDOW W3	MILGUARD STANDARD ALUMINUM. SLIDING WINDOW 3/4" INSULATED GLAZING, LOW E. ARGON									











insect screen

Hardware as per Manufacture

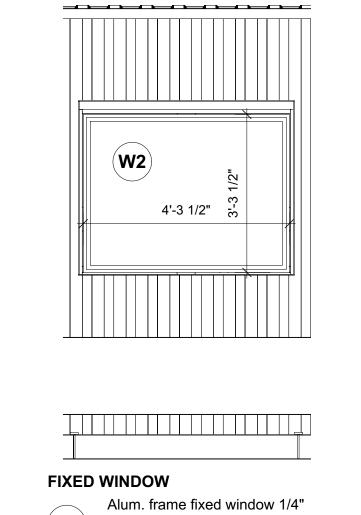


(w₁) with C.E.H.C. Requirements - max opening size 216 sq in. No air curtain required. Hardware as per Group 5

FIXED WINDOW Alum. frame fixed window 1/4" Hardware as per Manufacture

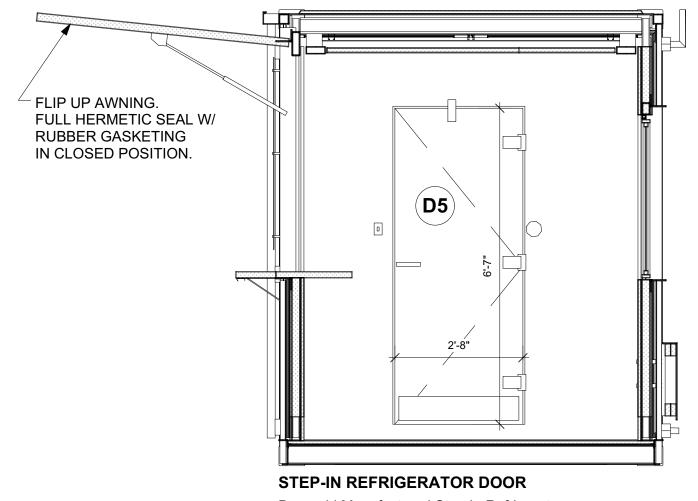
(W2)

4'-3"

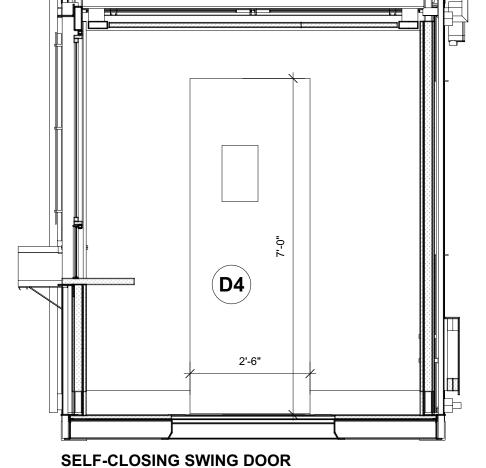


FIXED	WINDOW
	Alum. frame fixed wi

Hardware as per Manufacture

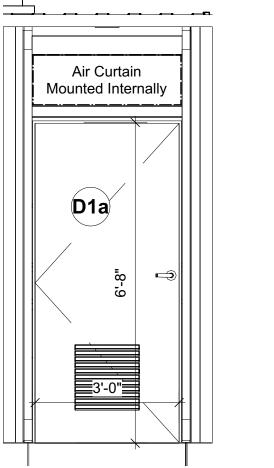






Elliason ENG-1 Traffic Swing Door. Double action. No locks. Pivot Hinges as per Manufacturer.

Leaf Size 84' x 30". Vision Light. Hardware per Manufacturer. Hardware as per Group 3



SELF-CLOSING OUTSWING DOOR Solid Core MTL. Self-closing door Custom frame Assembly

Hardware as per Group 1

ISSUE 90% CLIENT

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DETAILS

UB#

PAGES @ 24"X36"

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Hardware as per Group 4

UNIT 3, OFFICE - THE RADIUS @ ALAMEDA. CA

COMMERCIAL MODULAR UNIT

AS DEFINED UNDER CALIFORNIA CODE OF REGULATIONS TITLE 25. DIV. 1 HOUSING AND COMMUNITY DEVELOPMENT MANUFACTURED BY URBAN BLOC INC. CA. #MF1265006

> NOTE: THIS UNIT IS REFERENCED TO CONSTRUCTION **DRAWING SET I-581-1007 APPROVED BY HCD.04.12.2022**

DESIGNED AS A FREESTANDING MODULE

Building environment, Utilities and systems Under seperate Local permit, (Where noted for reference only.) FOUNDATIONS BY OTHERS.

CONSTRUCTION TYPE (As per 2019 CBC. CH 6. Table 601)

NO FIRE RATED WALLS, FLOORS OR CEILINGS REQUIRED TYPE IIb. NO SPRINKLERS REQUIRED (CFC. 903.2.1.2) <5000SF,< 100 OCC.

OCCUPANCY SEPERATION (As per 2019 CBC. CH 3. Table 508.4) Note: Per Cbc 303.1.1 Small Assembly Spaces. A-2 Occupant Load < 50 is regarded as a B Occupancy.

UNIT#	MODEL / SERIAL	USE	ADJACENT	SF./ OCC	C. FIRE.	NOTES
1	OFFICE MOD. UB40-AF	В	Module	129sq		Office / Retail

PROJECT DATA

ALL CONSTRUCTION, REGARDLESS OF DETAILS ON PLANS, SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF:

Title 24, DIV. 1. California Code of Regulations (CCR) 2019.

PART 1 - CALIFORNIA BUILDING STNDRDS. ADMINISTRATIVE COD PART 2 - CALIFORNIA BUILDING CODE PART 3 - CALIFORNIA ELECTRICAL CODE

PART 4 - CALIFORNIA MECHANICAL CODE PART 5 - CALIFORNIA PLUMBING CODE

PART 6 - CALIFORNIA ENERGY CODE (2008) PART 9 - CALIFORNIA FIRE CODE

PART 10 - CALIFORNIA EXISTING BUILDING CODE

PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE PART 12 - CALIFORNIA REFERENCE STANDARDS CODE

THE FOLLOWING SCOPE OF WORK TO BE SUBMITTED TO LOCAL JURISDICTIONS AS DESIGN-BUILD BY CONTRACTOR

OR AS A DEFERRED SUBMITTAL: 1. ELECTRICAL SUPPLY TO UNIT

2. LATERAL CONNECTIONS TO (E) SEWER. 3. STRUCTURAL FOUNDATIONS.

4. ENVIRONMENTAL HEALTH REVIEW (IF REQD)

5. SPRINKLER DESIGN AS DEFERRED SUBMITTAL

BATHROOM FIXTURE COUNTS.

"Minimum plumbing fixture calculations following 2019 California Plumbing Code are included in project's building permit application submitted to the City of Victorville for approval."

JURISDICTION

SITE LOCATION

LOCATION

ALL WORK AND MATERIAL SHALL BE EXECUTED IN FULL ACCORDANCE WITH ALL APPLICABLE CODES. MANUFACTURER SHALL PROVIDE AND BE RESPONSIBLE FOR ALL COSTS FOR PUBLIC PROTECTION AS REQUIRED BY THE CONTRACT DOCUMENTS AND LOCAL GOVERNMENT AGENCIES.

PROVIDED AND INCLUDED IN CONTRACT. CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS ON THE SITE ALL EXITS TO BE OPENABLE FROM INSIDE WITHOUT USE OF A KEY.

BY LOCAL GOVERNMENT AGENCY SHALL BE

GENERAL NOTES

FIRE EXTINGUISHERS AND CABINETS AS REQUIRED

ARCHITECTURAL

A0.1 PROJECT DATA A1.0 PLANS/ELECTRICAL **ELEVATIONS/ SECTIONS** A2.1 DETAILS

DESIGN. PERMITTING. FACTORY MANUFACTURING. TEAM LEAD

URBAN BLOC INC. 1540 Morse Blvd. San Carlos CA. 94070.

Project Manager, Jerry Jameson. CIO Urban Bloc Inc. 510 798 8007. jjameson@urbanbloc.net.

T24 ENERGY COMPLIANCE

WADE ENERGY

1942 Linda Drive

510 383 5490

Pleasant Hill CA 94523

ENGINEER OF RECORD STRUCTURAL ENGINEER R&S Tavares Associates, Inc. 11777 Bernardo Plaza Court, San Diego, CA 92128 ph: 858-444-3344 x 1801

MECHANICAL/ PLUMBING URBAN BLOC INC. 1540 Morse Blvd. San Carlos CA. 94070. 510 798 8007. jjameson@urbanbloc.net.

MECHANICAL/ VENTILATION URBAN BLOC INC. 1540 Morse Blvd. San Carlos CA. 94070. 510 798 8007.

ELECTRICAL URBAN BLOC INC. 1540 Morse Blvd. San Carlos CA. 94070. 510 798 8007. jjameson@urbanbloc.net.

jjameson@urbanbloc.net.8

APPROVED THIRD PARTY AGENCY RADCO 3220 E. 59th St.

Long Beach, CA 90805 T: (562) 272-7231 Ex. 127 F: (562) 529-7513

CONTROLLED INSPECTIONS 3220 E. 59th St. Long Beach, CA 90805 T: (562) 272-7231 Ex. 127 F: (562) 529-7513

DRAWING LIST

PROJECT TEAM

URBAN BLOC

1540 Morse Blvd. San Carlos CA. 94070

P. 510 798 8007. F. 650 592 5494

jjameson@urbanbloc.net

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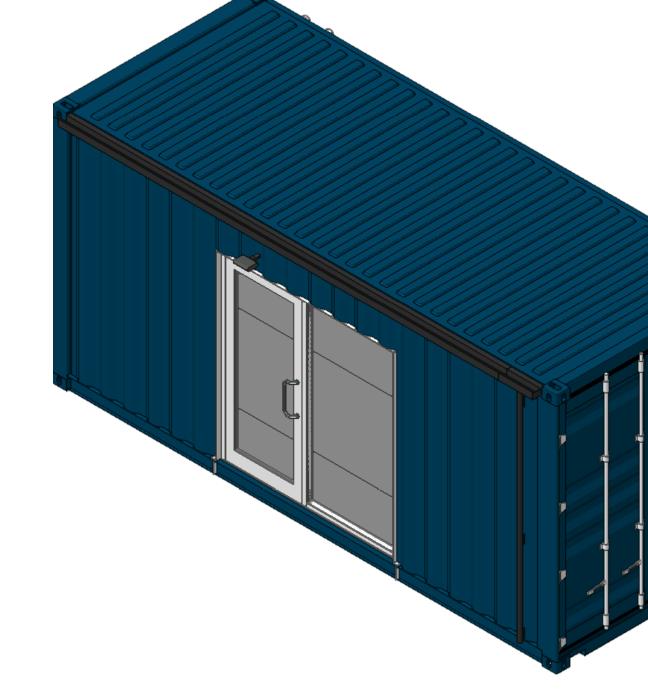
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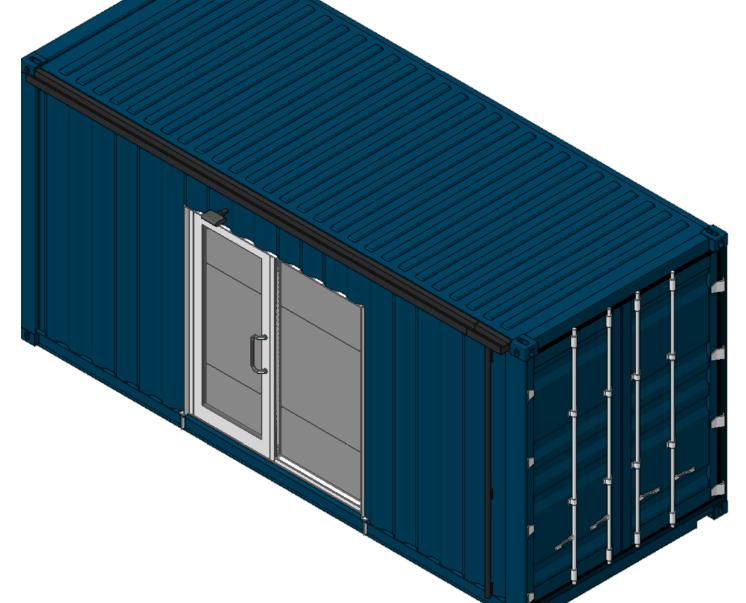
PROJECT DATA

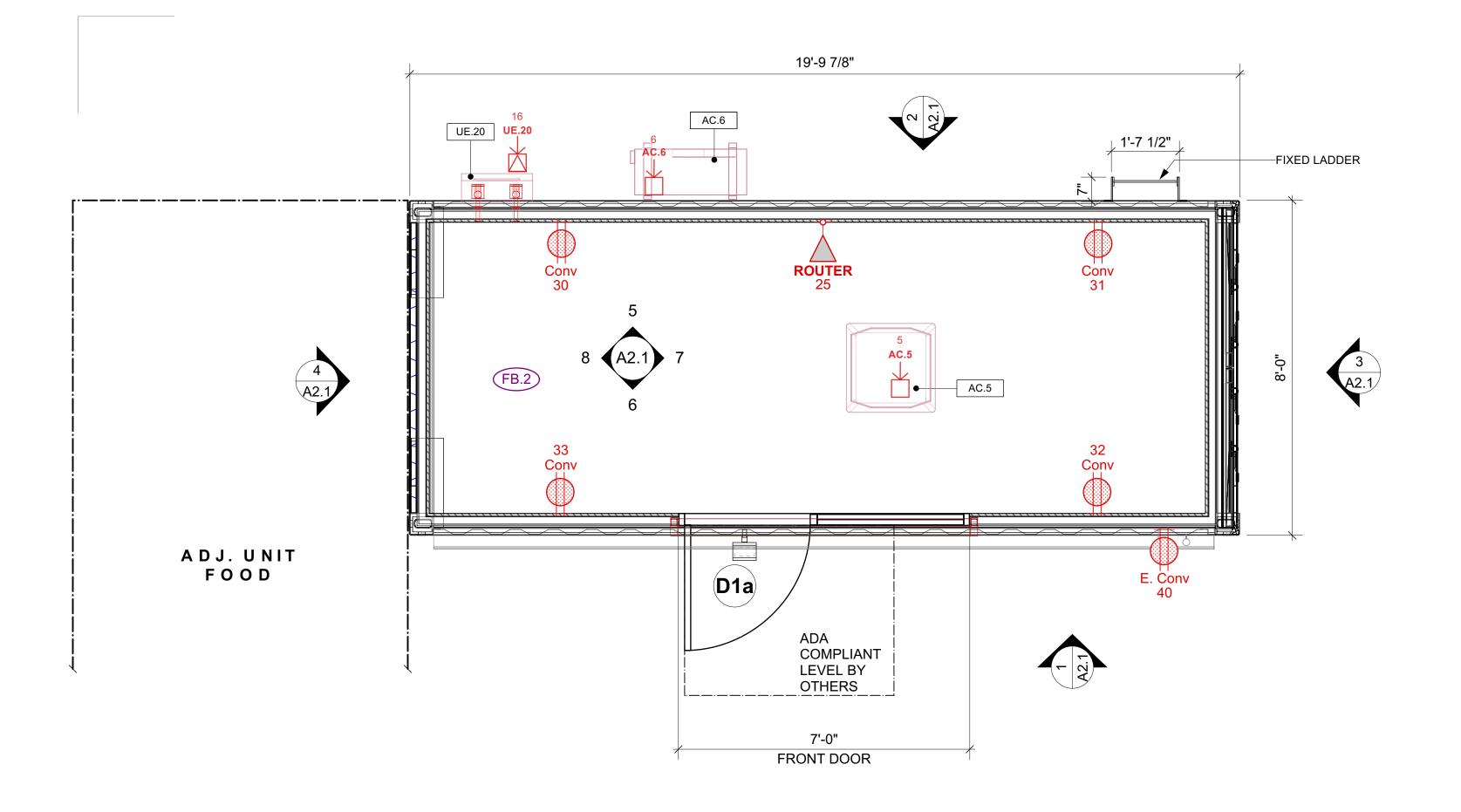
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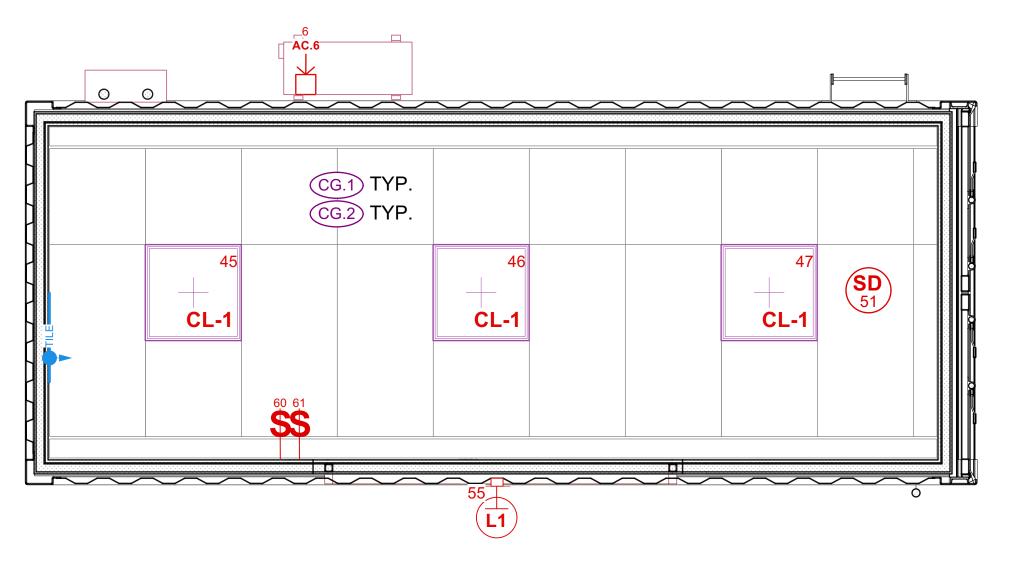


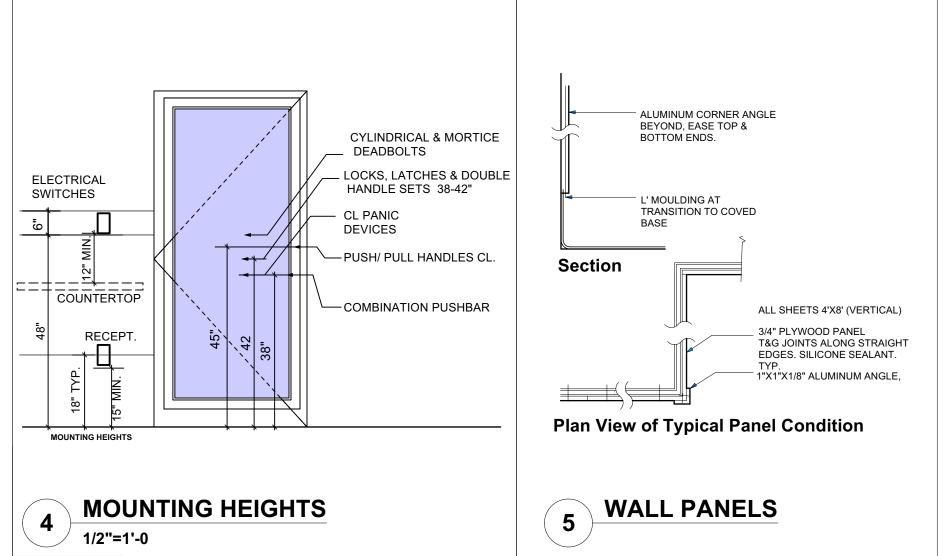












		DOOR HARDWARE SCHEDULE									
GROUP	DESCRIPTION	FINISH	MFR.								
1) SINGLE ENTRY DOOR	TELSTAR PRO DOOR 30x68 INVISIBLE DEADBOLT, SOLID LIGHT GRAY, A40 GALVALUME STEEL	613	TELL MANUFACTURING								
(D1a)	LOCK CYLINDER CY-1-184, GRADE 2 ENTRY LEVER	613	TELL MANUFACTURING								
(D2)	ENG 600 SERIES DOOR CLOSER	613	TELL MANUFACTURING								
	ADA COMPLIANT THRESHOLD INTEGRATIVE	613	TELL MANUFACTURING								

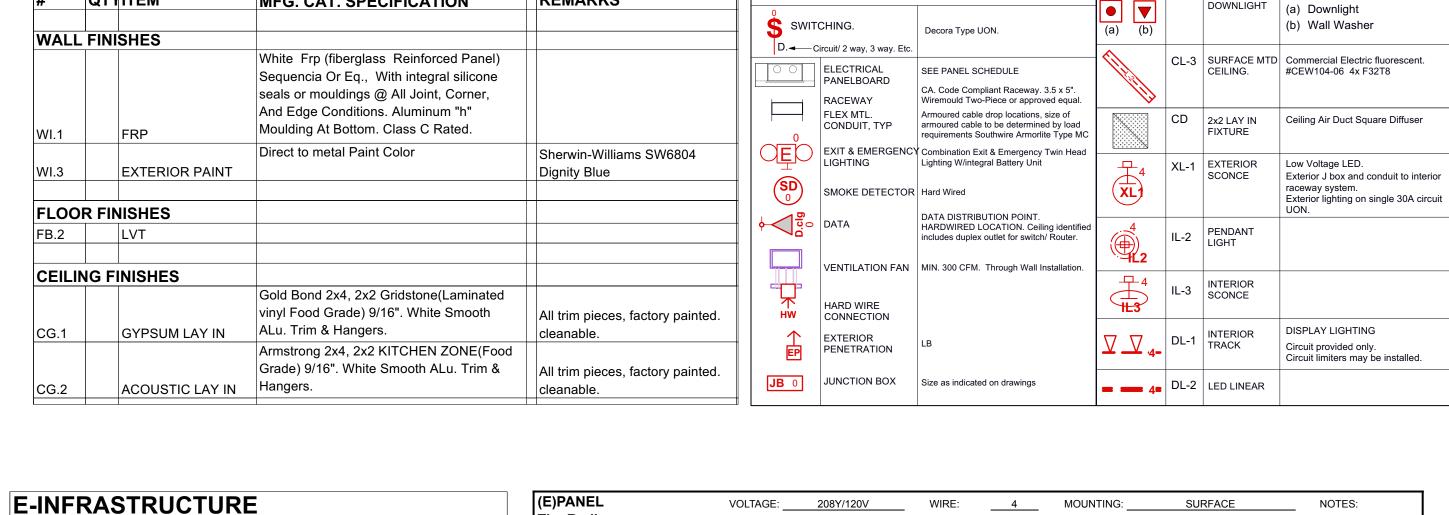
REMARKS A - EXIT DOORS ARE TO BE OPENABLE FROM INSIDE WITHOUT USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. KEY LOCKING HARDWARE MAY BE USED ON THE MAIN EXIT WHEN THE MAIN EXIT DOOR HAS A DURABLE SIGN ON OR ADJACENT TO THE DOOR STATING: THIS DOOR MUST REMAIN UNLOCKED DURING BUSINESS HOURS. THE SIGN SHALL BE IN LETTERS NOT LESS THAN ONE INCH HIGH ON A CONTRASTING

BACKGROUND. B - UNLATCHING FORCE, OR OPENING FORCE NOT TO EXCEED 5 POUNDS. (CALIFORNIA)



ENTRY

OF ACCESSIBILITY. WHITE FIGURE ON BLUE DECAL. PER CBC 1117B.5.8.1 NOTE: PLACE NEAR ACCESSIBLE BUILDING



REMARKS

ELECTRICAL LEGEND

Building Lighting Shut-off:
 THIS BUILDING LIGHTING SHUT-OFF CONSISTS OF AUTOMATIC TIME SWITCH WITH SEPERATE ZONES AND OVER-RIDE SWITCHES.

ZONES AND OVER-RIDE SWITTONISM.

Automatic Control Devices Certified:
ALL AUTOMATIC CONTROL DEVICES SPECIFIED ARE CERTIFIED BY THE MANUFACTURER, ANY ALTERNATE EQUIPMENT SHALL BE CERTIFIED AND INSTALLED AS DIRECTED BY THE

MANUFACTURER
Fluorescent Ballast and Luminaires Certified:
AL FLUORESCENT LIGHT FIXTURES SUBJECT TO THE CERTIFICATION AND SPECIFIED FOR THIS
PROJECT ARE CERTIFIED.

Decora Type UON.

Circuit/ 2 way, 3 way. Etc.

0 0 0 0 0 0 CKT CKT CKT

DUPLEX DPLX-2 QUAD 220/1 220/3 220/1 220/3

MANDATORY MEASURES

FOOD USE: A MINIMUM OF 20-FT CANDLES (215 LUX) OF LIGHT MEASURED 30" OFF THE FLOOR IS PROVIDED IN ALL FOOD PREPARATION AREAS DURING GENERAL CLEANUP ACTIVITIES. A MINIMUM OF 10-FT CANDLES (108 LUX) OF LIGHT MEASURED 30" OFF THE FLOOR IS PROVIDED IN UTENSIL CLEANING AREA (BACK BAR AREA).

X Individual Room/Area Controls:

X Daylit Area Controls: NA

LIGHTING FIXTURES

X Control of Exterior Lights: By Owner

EACH ROOM AND AREA IN THIS TENANT SPACE IS EQUIPED WITH A SEPARATE SWITCH OR OCCUPANCY SENSOR DEVICE FOR EACH AREA WITH FLOOR-TO-CELING WALLS.

X Uniform Reduction for Individual Rooms:
ALL ROOMS AND AREA GREATER THAN 100 SQUARE FEET AND MORE THAN 0.8 WATTS PER SQUARE FOOT OF LIGHTING LOAD ARE CONTROLLED WITH BI-LEVEL SWITCHING FOR UNIFORM REDUCTION OF LIGHTING WITHIN THE ROOM.

CL-1 2x2 LAY IN Low Voltage LED.

4 CL-2 RECESSED Low Voltage LED.

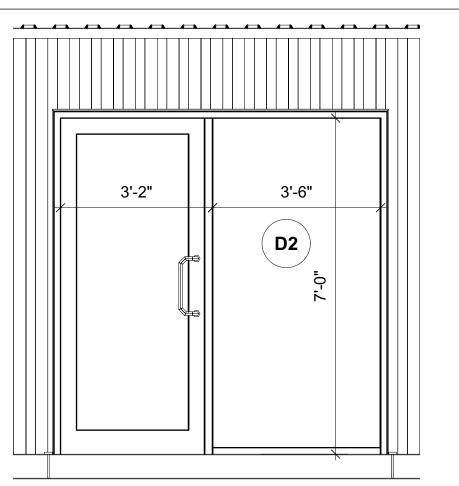
FIXTURE

	ANE				VOLTAGE:		_ WIRE:		4			SURFACE	_	NOT	ES:		
	Rac				BUS RATING: _	20A	_ PHASE:		3	_	AIC RATING:	10K					
Offi	ce U	Init			MAIN REQUIREMENT:	20A MLO	_ TYPE:		N-3R	_	CONDITION:	NEW					
CKT#	NOTES	LOAD	СВ	+	LOAD DESCRIPTION		LOAD KVA	PHASE	LOAD KVA		LOAD DESC	RIPTION	СВ	_	LOAD	NOTES	CKT#
4			P	T			0.00	A	0.36	COL	NV. 30,31		P	20	G	$\vdash\vdash\vdash$	_
1		D	1		AC		0.96	В	0.36	+	NV. 32, 33		+ +	20	G	$\vdash \vdash$	2
3		D C	1	20 20	LIGHTING - GENERAL			С		-			<u> </u>	+	<u> </u>	\vdash	4
5		C	1	20	LIGHTING - GENERAL		0.54	-	0.36	1001	NV. 40		+ 1	20	G	$\vdash \vdash$	6
7								A	1	-			-	-		$\vdash \vdash$	8
9								В	1	-			_	-		$\vdash \vdash$	10
11	VEOT	ED L	240				<u> </u>	С				DEMAND LOAD OALOU ATION					12
	NECT	ED L	JAD:								T	DEMAND LOAD CALCULATION	N		I		—
PHAS						KVA	DEMAND L				SUBTOTAL	NEC DEMAND FACTOR					—
PHAS	SE B				1.32	KVA	CONTINUC	US L	OAD (C)		0.54	125%				0.6	i8
PHAS	SE C				0.90	KVA	DEDICATE	D LOA	AD (D)		1.92	100%				1.9	12
TOTA	۸L				3.54	KVA	GENERAL	RECE	PTACLE ((G)	1.08	100% of 1st 10kVA & 50% of re	mainir	ıg		1.0	18
							INTERMITE	ENT E	QUIPMEN	IT (K)	0.00	65%				0.0	0
NOTE	<u> </u>						MECHANIC	AL EC	QUIPMEN [*]	T (M)	0.00	125% of largest motor & 100% of	remai	ning		0.0	0
HL=P	ADLC	CKAI	BLE H	HAND	DLE LOCK-OFF						<u> </u>	TOTAL DEMAND KVA				3.6	8
											AN	MPS @ 208Y/120V, 3 PHASE, 4 W	/IRE:			10.	20

EG	EQUIPMENT LIST																			
ELECTRICAL									PLUMBING											
UID	# #	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (WxDxH)	COMMENTS	FURNISH	INSTALL	VOLTAGE	PHASE	AMPS	PLUG	HT.AFF	WIRE	DRN. (D/I)	НОТ	COLD	GAS	COMMENTS
5	AC.5	1	Ductless System	Carrier	40MBCQ093	22.44 x 22.44 x 10.24		UB	UB	208/230	1	0.2	HW	Ceil	12/3	Indirect				
6	AC.6	1	Outdoor Condenser	Carrier	38MAQB09AA3	33.66 x 14.17 x 27.63		UB	Client	208/230	1	18	HW		12/3	Indirect				
16	UE.20	1	Electrical Panel	SIEMENS	200A	TBD		UB	UB	208	3	200		Exterior						

PLU	MBI	NG, STAIN	LESS & FIXTU	RES							
						PLUMBING					
#	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (W X D x h)	COMMENTS	FURNISH	INSTALL	COLD HOT	DRN. (D/I) MTG. H	
LDR.1	1	Ladder		TBD			UB	UB			

MI	NI SPL	IT HEAT PUMI	P SYSTEM										T 100
UID	# UNIT #	MANUFACTURER	MODEL#	SERVICE	RATED CA	PACITY	EER	AIR	AMPS	WEIGHT	SOUND	FILTER TYPE	<u> </u>
					COOL	HEAT	(SEER)	CIRC.	V / PH / HZ	lb	dB(A)		SUBMITTALS
5	AC.5	Carrier	40MBCQ0123	12,000 BTU	3,000-13,700	2,000-15,300	13-21	.5 280/340/400	208/230/1-60	35.27	36/39/4	2 CLEANABLE	
6	AC.6	Carrier	38MAQB012R3	12,000 BTU	3.000-13.700	2,000-15,300	2	25 1,324	208/230/1-60	76.63	5	6 CLEANABLE	ISSUE 90% CLIENT



DOOR & SIDELITE

FINISH SCHEDULE

QTYITEM

UID# ID. FIXTURE TYPE HT. FFL

Convenience

Convenience

Convenience

Convenience

2X2 Fixture

2X2 Fixture

2X2 Fixture

Switch

Smoke Detector

Exterior Sconce

Ext. Convenience

Ceil

44"

44"

44"

18"

Ceil

Ceil

44"

44"

25 ROUTER Router

30 Conv

31 Conv

32 Conv

33 Conv

45 CL-1

46 |CL-1

47 CL-1

51 SD

55 L1

60 Switch

61 Switch

40 E. Conv

MFG. CAT. SPECIFICATION

REMARKS WIRE

12/2

12/2

12/2

12/2

12/2

12/2

12/2

12/2 12/2

12/2 12/2

12/2

Above Raceway 12/2

REGULAR

REGULAR

REGULAR

REGULAR

REGULAR

Lay In Fixt.

Lay In Fixt.

Lay In Fixt.

Addressable

45,46,47,48

Solid Core MTL. Sliding door Custom frame Assembly Hardware as ner Group 1



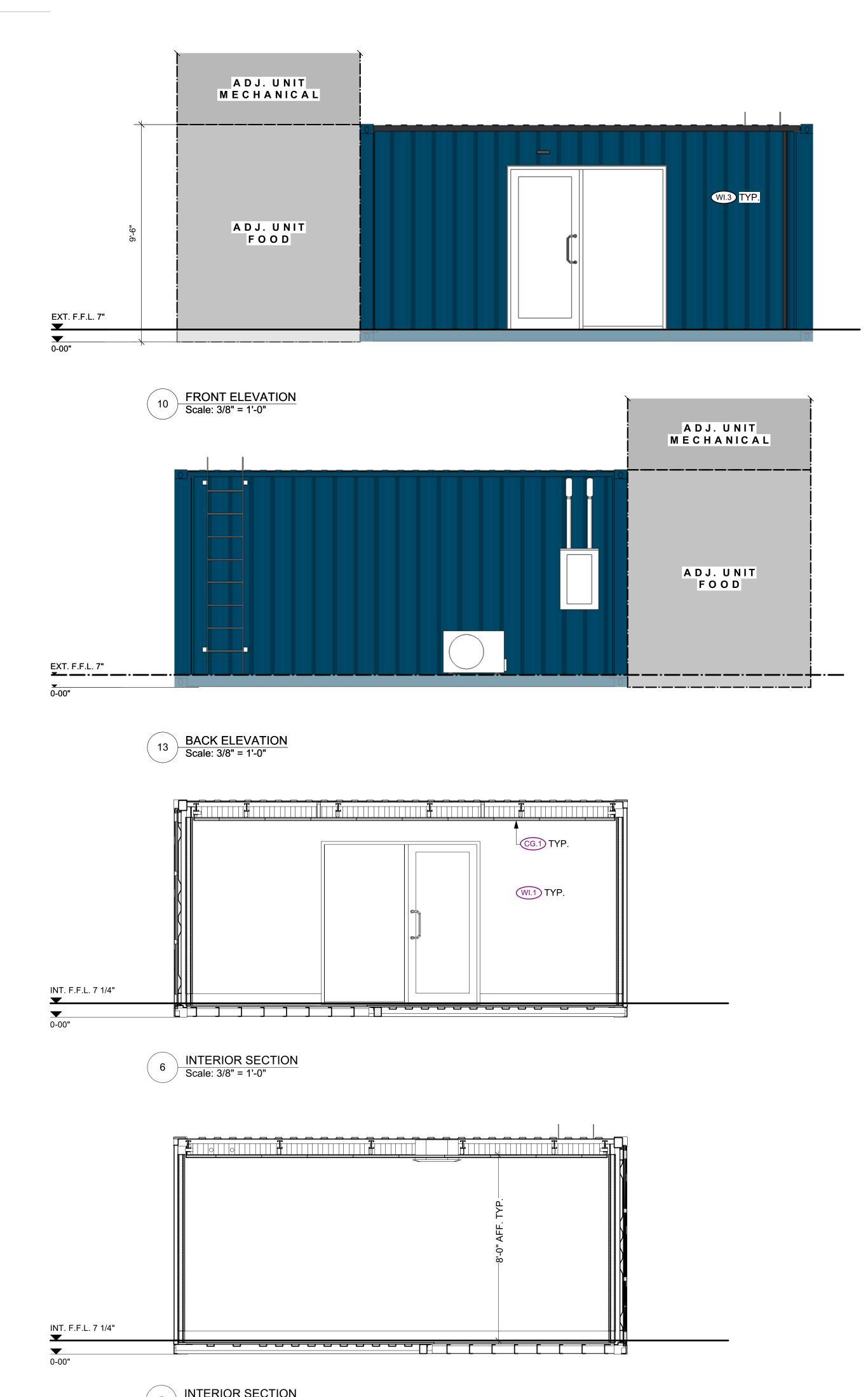
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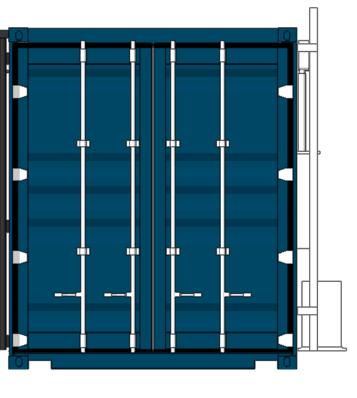
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PLANS/ ELECTRICAL/ POWER/ DETAIL

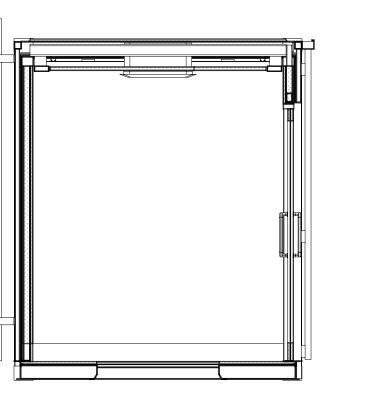




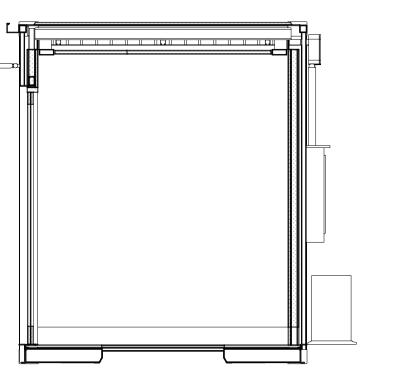
RIGHT ELEVATION
Scale: 3/8" = 1'-0"



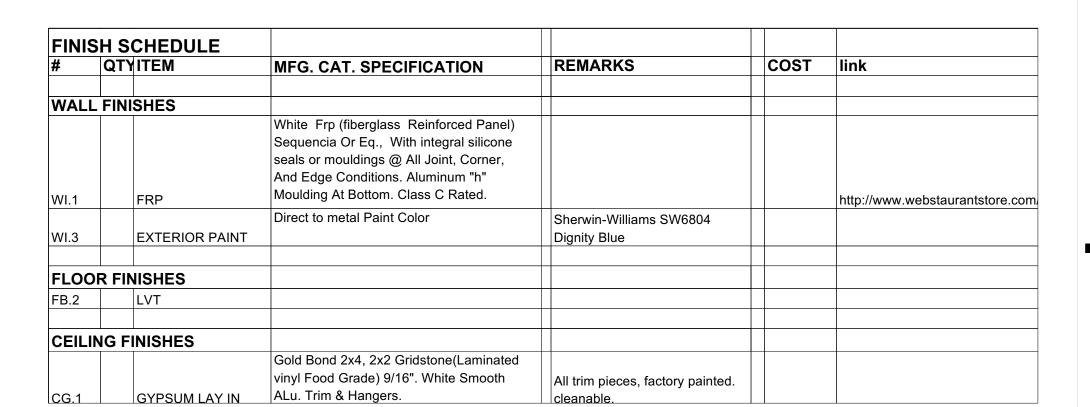
11 LEFT ELEVATION
Scale: 3/8" = 1'-0"



7 INTERIOR SECTION
Scale: 3/8" = 1'-0"



8 INTERIOR SECTION
Scale: 3/8" = 1'-0"



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RAWING TITLE

DRAWING IIILE

ELEVATIONS SECTIONS

UB#

A2.

UNIT 4&5, FOOD - THE RADIUS @ ALAMEDA. CA

COMMERCIAL MODULAR UNIT

MANUFACTURED BY URBAN BLOC INC. CA. #MF1265006

NOTE: THIS UNIT IS REFERENCED TO CONSTRUCTION **DRAWING SET I-581-1007 APPROVED BY HCD.04.12.2022**

DESIGNED AS A FREESTANDING MODULE

Building environment, Utilities and systems Under seperate Local permit, (Where noted for reference only.) FOUNDATIONS BY OTHERS.

CONSTRUCTION TYPE (As per 2019 CBC. CH 6. Table 601)

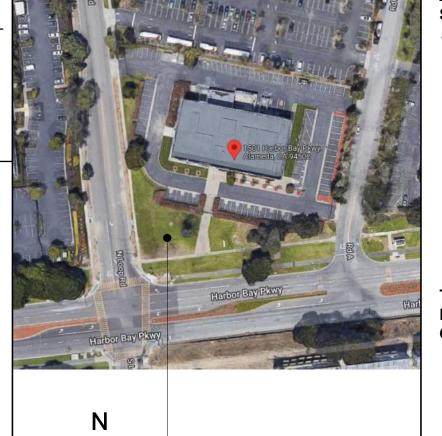
000110441	0\\ 0EBEBATION /A
TYPE IIb.	NO SPRINKLERS REQUIRED (CFC. 903.2.1.2) <5000SF,< 100 OCC.
	NO FIRE RATED WALLS, FLOORS OR CEILINGS REQUIRED

OCCUPANCY SEPERATION (As per 2019 CBC. CH 3. Table 508.4) Note: Per Cbc 303.1.1 Small Assembly Spaces. A-2 Occupant Load < 50 is regarded as a B Occupancy.

Kitchen Unit/Food Service Type 2 Hood. Service Window Module 181215AL XXXX MECHANICAL

Module

UNIT# MODEL / SERIAL USE ADJACENT SF./ OCC. FIRE. NOTES



ALL CONSTRUCTION, REGARDLESS OF DETAILS ON PLANS. SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF:

Title 24, DIV. 1. California Code of Regulations (CCR) 2019.

PART 1 - CALIFORNIA BUILDING STNDRDS. ADMINISTRATIVE COD

PART 2 - CALIFORNIA BUILDING CODE

PART 3 - CALIFORNIA ELECTRICAL CODE PART 4 - CALIFORNIA MECHANICAL CODE PART 5 - CALIFORNIA PLUMBING CODE

PART 6 - CALIFORNIA ENERGY CODE (2008)

PART 9 - CALIFORNIA FIRE CODE PART 10 - CALIFORNIA EXISTING BUILDING CODE PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE

PART 12 - CALIFORNIA REFERENCE STANDARDS CODE

THE FOLLOWING SCOPE OF WORK TO BE SUBMITTED TO LOCAL JURISDICTIONS AS DESIGN-BUILD BY CONTRACTOR

OR AS A DEFERRED SUBMITTAL: 1. ELECTRICAL SUPPLY TO UNIT

2. LATERAL CONNECTIONS TO (E) SEWER. 3. STRUCTURAL FOUNDATIONS.

JURISDICTION

4. ENVIRONMENTAL HEALTH REVIEW (IF REQD) 5. SPRINKLER DESIGN AS DEFERRED SUBMITTAL **ARCHITECTURAL**

A2.1

A2.2

ALL WORK AND MATERIAL SHALL BE EXECUTED IN

MANUFACTURER SHALL PROVIDE AND BE

RESPONSIBLE FOR ALL COSTS FOR PUBLIC

BY LOCAL GOVERNMENT AGENCY SHALL BE

PROVIDED AND INCLUDED IN CONTRACT.

EXISTING CONDITIONS ON THE SITE

GENERAL NOTES

USE OF A KEY.

PROTECTION AS REQUIRED BY THE CONTRACT

FULL ACCORDANCE WITH ALL APPLICABLE CODES.

DOCUMENTS AND LOCAL GOVERNMENT AGENCIES.

FIRE EXTINGUISHERS AND CABINETS AS REQUIRED

CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND

ALL EXITS TO BE OPENABLE FROM INSIDE WITHOUT

A0.1 PROJECT DATA A1.0 PLANS **ELEVATIONS** SECTIONS

> **ELECTRICAL** PLUMBING **DETAILS**

DRAWING LIST

DESIGN. PERMITTING. FACTORY MANUFACTURING, TEAM LEAD

URBAN BLOC INC. 1540 Morse Blvd.

San Carlos CA. 94070.

Jerry Jameson. CIO Urban Bloc Inc. 510 798 8007. jjameson@urbanbloc.net.

T24 ENERGY COMPLIANCE

WADE ENERGY

510 383 5490

1942 Linda Drive

Pleasant Hill CA 94523

ENGINEER OF RECORD STRUCTURAL ENGINEER R&S Tavares Associates, Inc. 11777 Bernardo Plaza Court, San Diego, CA 92128 ph: 858-444-3344 x 1801

MECHANICAL/ PLUMBING URBAN BLOC INC. 1540 Morse Blvd. San Carlos CA. 94070. 510 798 8007. jjameson@urbanbloc.net.

MECHANICAL/ VENTILATION URBAN BLOC INC. 1540 Morse Blvd. San Carlos CA. 94070. 510 798 8007. jjameson@urbanbloc.net.8

ELECTRICAL URBAN BLOC INC. 1540 Morse Blvd. San Carlos CA. 94070. 510 798 8007. jjameson@urbanbloc.net.

PROJECT TEAM

APPROVED THIRD PARTY AGENCY

CONTROLLED INSPECTIONS

3220 E. 59th St. Long Beach, CA 90805 T: (562) 272-7231 Ex. 127 F: (562) 529-7513

3220 E. 59th St. Long Beach, CA 90805 T: (562) 272-7231 Ex. 127 F: (562) 529-7513

PROJECT DATA

UB40-AF

181215AL XXXX

ENVIRONMENTAL HEALTH NOTES.

ALL FOOD ITEMS SHALL COME FROM AN APPROVED AND INSPECTED

A COPY OF THE MENU IS INCLUDED WITH THE EQUIPMENT CUT SHEETS.NO POTENTIALLY HAZARDOUS FOOD WILL BE SERVED.

COMPLY WITH MANUFACTURERS RECOMMENDATIONS FOR A COMPLETE AND FULLY OPERATIONAL INSTALLATION.

FOR SHELVING OVER 5-0" TALL, LAG-BOLT WALL UNITS TO WALL FRAMING. AT ISLAND UNITS, BOLT TO FLOOR AT EACH OF FOUR CORNERS. SEE DETAIL 5/A7.1

ALL CRACKS AND CREVICES AT OR NEAR FOOD PREPARATION EQUIPMENT SHALL BE SEALED.

PROVIDE SPACE FOR NON-FOOD ITEMS, CLEANERS, TOWELS, AND

PROVIDE SEPARATE STORAGE CONTAINER FOR SOILED LINENS. TOWELS. AND APPAREL

ALL SHELVING OVER WET AREAS SHALL BE METAL.

A MINIMUM OF 50-FT CANDLES (538 LUX) OF LIGHT MEASURED 30" OFF THE FLOOR IS PROVIDED IN ALL FOOD PREPARATION AREAS DURING **GENERAL CLEANUP ACTIVITIES**

THE FLOOR IS PROVIDED IN UTENSIL CLEANING AREA

ALL FOOD-RELATED AND UTENSIL-RELATED EQUIPMENT SHALL MEET OR BE EQUIVALENT TO SANITATION STANDARDS ESTABLISHED BY AN AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) ACCREDITED PROGRAM.

ALL UTENSILS TO BE WASHED IN SCULLERY AND/OR IN DISHWASHER. HAND SINKS NOT TO BE USED FOR THIS PURPOSE.

THE UNDERSIDE OF ALL COUNTERTOPS SHALL BE WHITE. SURFACE SHALL BE SMOOTH AND EASILY CLEANABLE.

ALL COUNTERTOPS SHALL HAVE AN EASILY CLEANABLE SURFACE.

ALL FOOD SHALL BE STORED AT LEAST 6" OFF THE FLOOR. ALL CONTAINERS STORED ON DOLLIES, RACKS, OR PALLETS SHALL BE EASILY MOVABLE.

SHELVING TO BE CONSTRUCTED SO AS TO BE EASILY CLEANABLE.

ALL EQUIPMENT SHALL BE EITHER EASILY MOVABLE (IE., ON CASTERS), LIGHT ENOUGH SO AS TO BE EASILY MOVED BY ONE PERSON, INSTALLED ON RAISED MINIMUM 6" ROUNDED METAL LEGS, OR SEALED IN POSITION ON 4" MINIMUM HIGH CONTINUOUSLY AND INTEGRALLY COVED BASE OR COVED CONCRETE CURB TO FACILITATE EASE OF CLEANING.

GAPS AND SPACES BETWEEN EQUIPMENT BASE AND TOP OF ISLANDS SHALL BE SEALED WITH A NON-HARDENING SILICONE SEALANT.

ALL EQUIPMENT ON COUNTERS, TABLES, AND SHELVES THAT ARE NOT EASILY LIFTED ARE TO BE INSTALLED ON APPROVED 4" LEGS, OR SEALED TO TABLE, SHELVES, ETC.

ALL EQUIPMENT, FLASHING, AND BACKSPLASHES ARE TO BE ADEQUATELY SEALED TO THE WALL AND ABUTTING EQUIPMENT, OR MOVED AWAY FROM THE WALL 6" FOR EVERY 4 LINEAR FEET OF EQUIPMENT FRONTAL LENGTH, OR AWAY FROM EACH OTHER.

ALL UTENSIL WASHING SINKS, STEAM TABLES, ICE MACHINES AND BINS, DISPLAY CASES, AND OTHER SIMILAR EQUIPMENT WHICH DISCHARGE LIQUID WASTE, SHALL HAVE THIS WASTE CONVEYED BY A SEWER LINE AND DISPOSED THEREIN BY AN INDIRECT CONNECTION INTO A FLOOR SINK, FUNNEL DRAIN, OR EQUIVALENT DEVICE. INDIRECT WASTE RECEPTORS SHALL BE LOCATED SO AS TO BE READILY ACCESSIBLE FOR INSPECTION AND CLEANING. DRAIN LINES SHALL NOT CROSS ANY AISLE, TRAFFIC AREA, OR DOOR OPENING.

ENVIRONMENTAL HEALTH NOTES.

Ventilation Supply & Exhaust

LIGHT BULBS SHALL BE SHIELDED, COATED, OR OTHERWISE SHATTER-RESISTANT IN AREAS WHERE THERE IS NONPREPACKED

ALL ADJACENT/ SHARED FACILITIES UNDER SAME OWNERSHIP.

EMPLOYEE BATHROOMS JANITORIAL SERVICES TRASH AREAS

UNDER SEPARATE PERMIT

ENVIRONMENTAL HEALTH NOTE:

Metro Shelf 3'-0" (5 tier) x 1 (qty) 15 Wall Shelving 4'-0" x 1 (qty) Wall Shelving 5'-0" x 2 (qty) 10

ENVIRONMENTAL HEALTH NOTE: ELECTRICAL WATER HEATER SIZING

		DEFAULT		
ITEM	QTY	FACTOR	GPH	
Utensil Sink Small (18"x18" or smaller)	3	14	42	
Hand Wash Sink (including restrooms)	1	5	5	
Food Prep Sink	1	5	5	
			52	TOTAL
SINGLE USE UTENSILS (X0.9)			46.8	TOTAL

POWER CONSUMPTION

 $\frac{46.8(62)(8.33)}{0.98(3412)} = \frac{24170.35}{3343.8} = 7.25 \text{ KW}$

Areas: Where Food Is Prepared Or Packaged. Customer Self Service Locations Where Open Food Or

Wait stations **Utensil Washing Or Storage** Janitorial Areas



SITE LOCATION

READY-TO-EAT FOOD, CLEAN EQUIPMENT, UTENSILS, AND LINENS, OR UNWRAPPED SINGLE-USE.

(See Site Plan for locations)

=59 Lin.ft

LOCATION

PROJECT IS PERMITTED AS A FOOD COURT

DRY GOODS STORAGE PER CFRC 2015

SQFT (Interior) 230 x .25 =58 Lin.ft required

Metro Shelf 6'-0" (5 tier) x 1 (qty) 30

Total provided

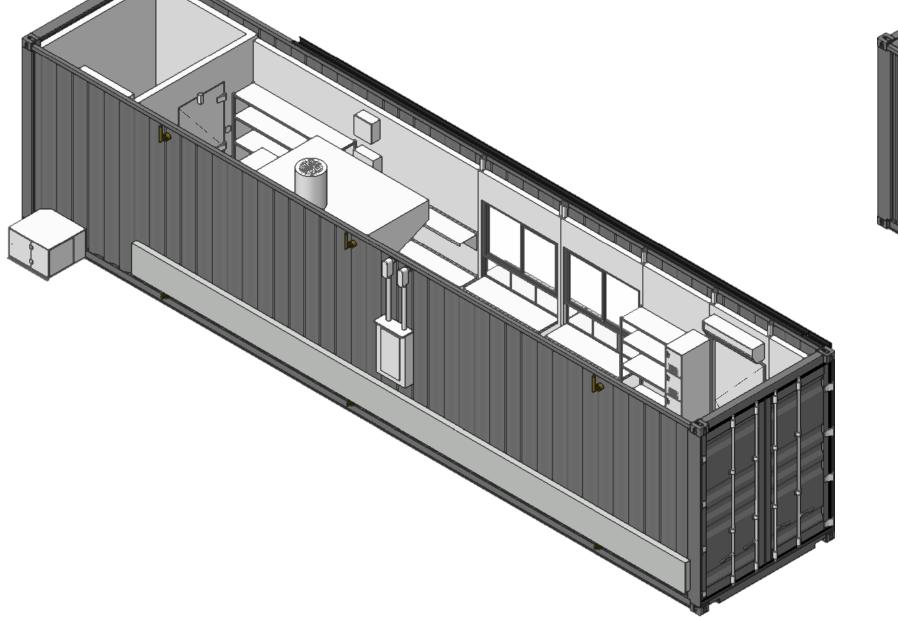
ASSUMING 62deg. Temp Rise

ITEM	QTY	DEFAULT FACTOR	GPH	
Utensil Sink Small (18"x18" or smaller)	3	14	42	
Hand Wash Sink (including restrooms)	1	5	5	
Food Prep Sink	1	5	5	
			52	TOTAL
SINGLE USE UTENSILS (X0.9)			46.8	TOTAL

AO SMITH COMMERCIAL DEN-52, 50 Gal. 8KW.

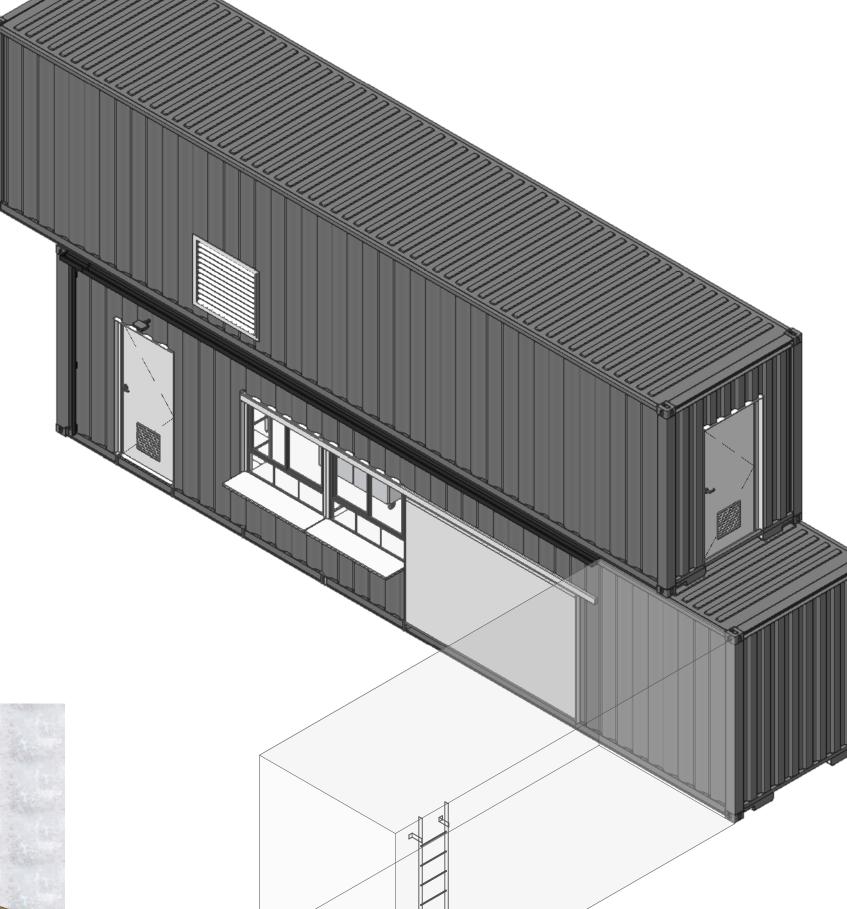
WALL & CEILING FINISHES. Smooth, Durable, Easily Cleanable Light Colored And Non-absorbent Finishes Are Required In The Following

Beverages Is Dispensed Restrooms **Employee Locker Rooms** Walk In Refrigerators/ Freezers Food Storage In Original Unopened Containers Garbage And Refuse Storage.





SITE PLAN (SEE SITE ARCHITECTURE DRAWINGS)



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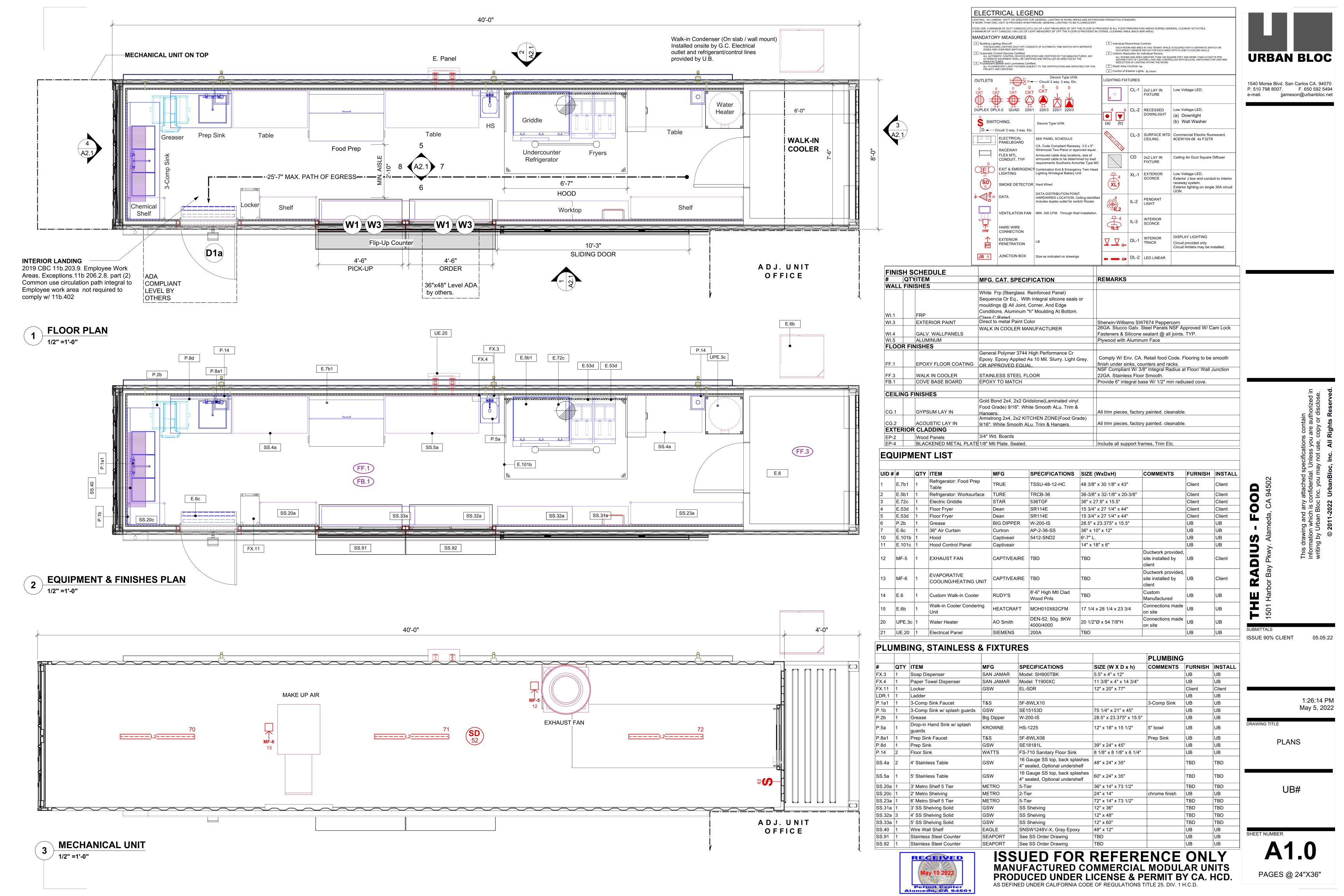
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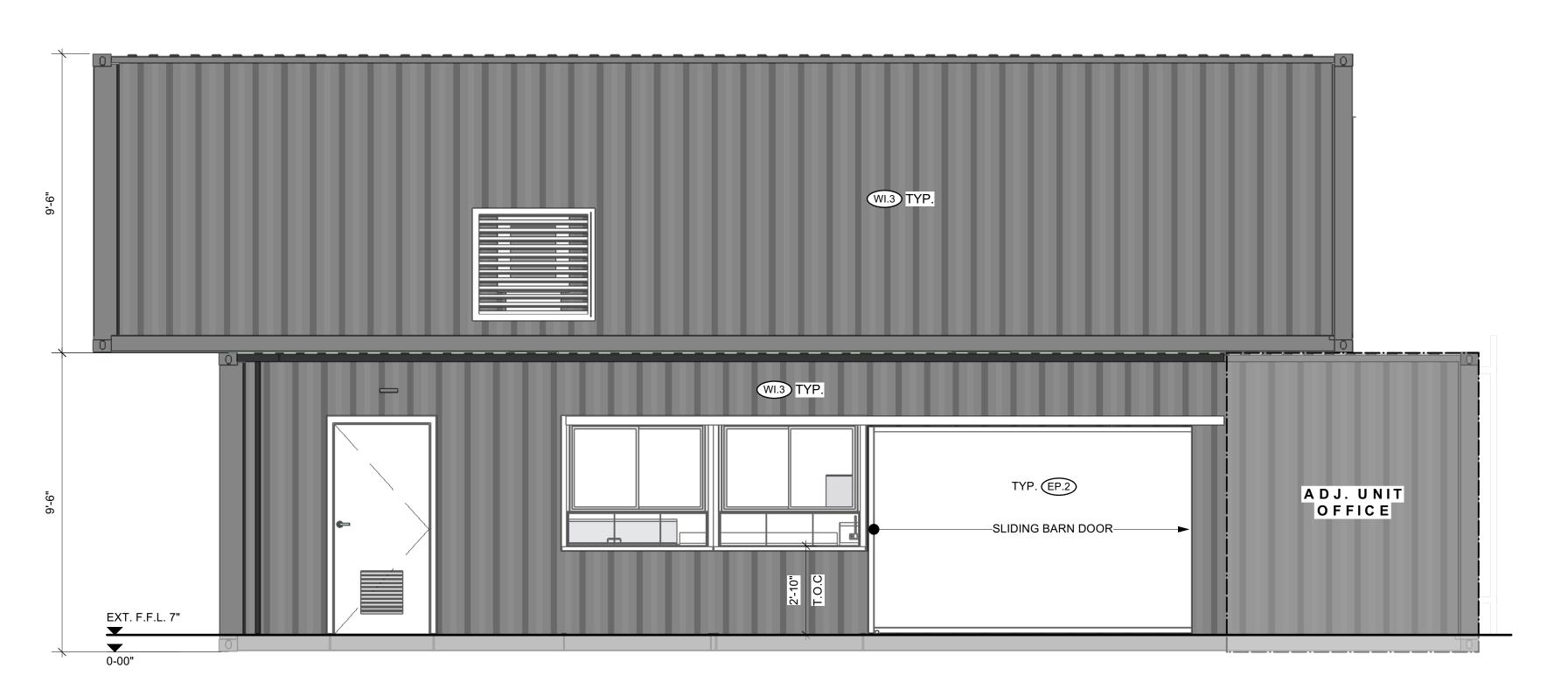
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PROJECT DATA







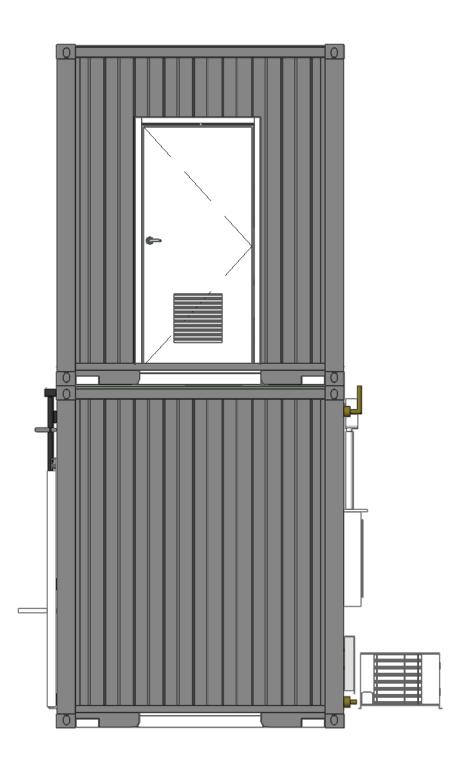


EP-4 BLACKENED METAL PLATE 1/8" Mtl Plate. Sealed.

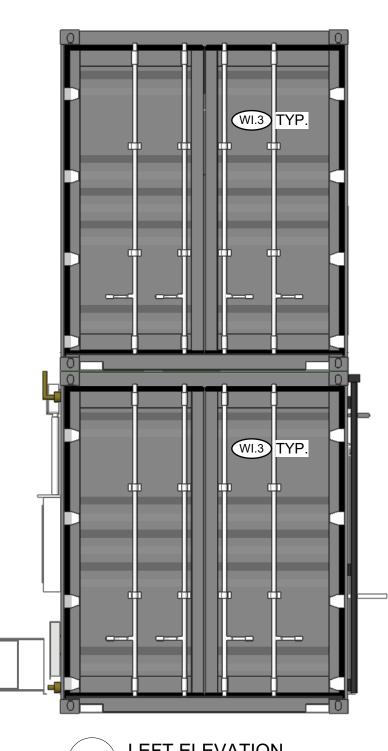


FINIS	H S	CHEDULE		
#	QTY	YITEM	MFG. CAT. SPECIFICATION	REMARKS
WALL	FIN	ISHES		
WI.1		FRP	White Frp (fiberglass Reinforced Panel) Sequencia Or Eq., With integral silicone seals or mouldings @ All Joint, Corner, And Edge Conditions. Aluminum "h" Moulding At Bottom.	
WI.3		EXTERIOR PAINT	Direct to metal Paint Color	Sherwin-Williams SW7674 Peppercorn
WI.4		GALV. WALLPANELS	WALK IN COOLER MANUFACTURER	26GA. Stucco Galv. Steel Panels NSF Approved W/ Cam Lock Fasteners & Silicone sealant @ all joints. TYP.
WI.5		ALUMINUM		Plywood with Aluminum Face
FLOO	R FII	NISHES		
FF.1 FF.3		EPOXY FLOOR COATING WALK IN COOLER	General Polymer 3744 High Performance Cr Epoxy. Epoxy Applied As 10 Mil. Slurry. Light Grey. OR APPROVED FOUAL STAINLESS STEEL FLOOR	Comply W/ Env. CA. Retail food Code. Flooring to be smooth finish under sinks, counters and racks. NSF Compliant W/ 3/8" Integral Radius at Floor/ Wall Junction 22GA. Stainless Floor Smooth.
FB.1		COVE BASE BOARD	EPOXY TO MATCH	Provide 6" integral base W/ 1/2" min radiused cove.
CEILII	NG F	INISHES		
CG.1		GYPSUM LAY IN	Gold Bond 2x4, 2x2 Gridstone(Laminated vinyl Food Grade) 9/16". White Smooth ALu. Trim & Hangers.	All trim pieces, factory painted. cleanable.
CG.2		ACOUSTIC LAY IN	Armstrong 2x4, 2x2 KITCHEN ZONE(Food Grade) 9/16". White Smooth ALu. Trim & Hangers.	All trim pieces, factory painted. cleanable.
EXTE	RIOR	R CLADDING		
EP-2		Wood Panels	3/4" Wd. Boards	

Include all support frames, Trim Etc.



RIGHT ELEVATION
Scale: 3/8" = 1'-0"



4 LEFT ELEVATION
Scale: 3/8" = 1'-0"



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ISSUE 90% CLIENT

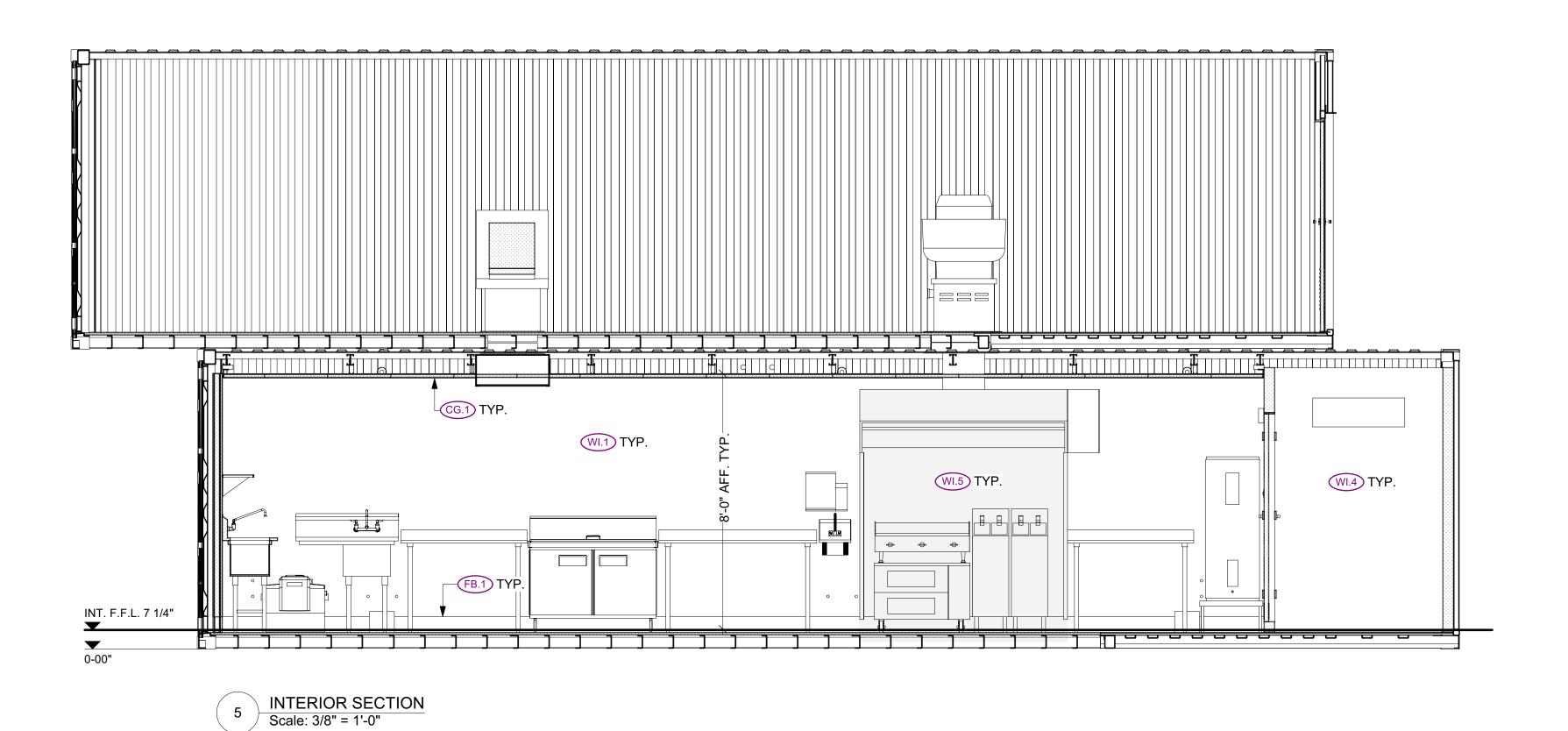
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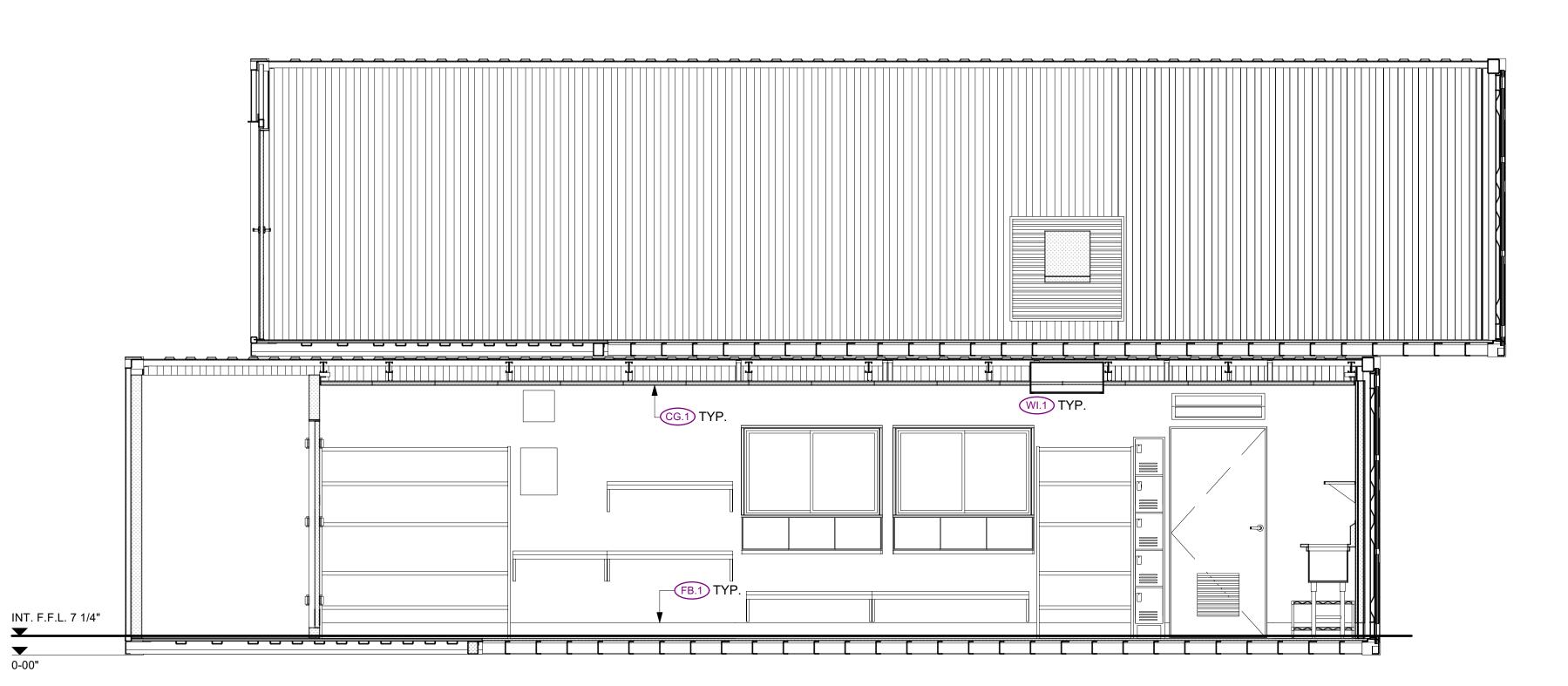
DRAWING TITLE

ELEVATIONS SECTIONS

UB#

SHEET NUMBER



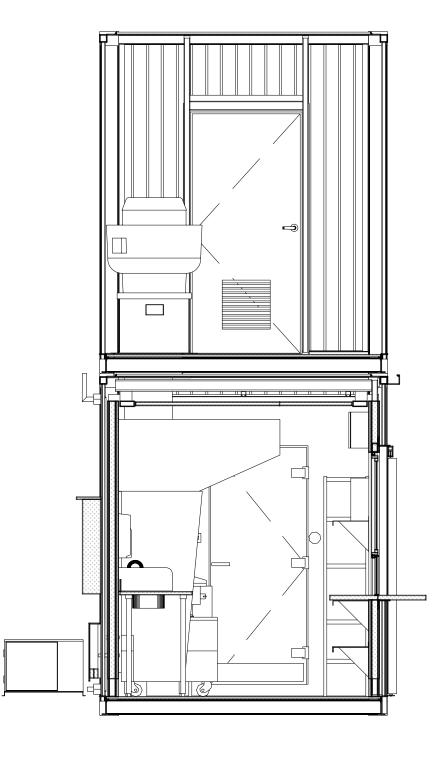


EP-4 BLACKENED METAL PLATE 1/8" Mtl Plate. Sealed.

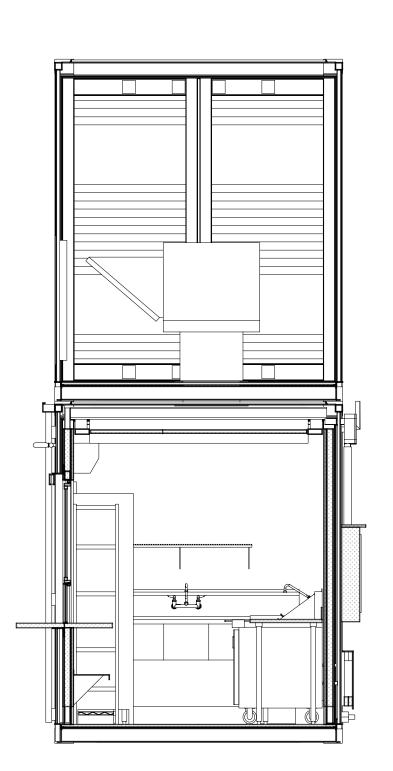
INTERIOR SECTION
Scale: 3/8" = 1'-0"

FINIS	SH S	CHEDULE		
#	QTY	ITEM	MFG. CAT. SPECIFICATION	REMARKS
WALL	FINI	ISHES		
WI.1		FRP	White Frp (fiberglass Reinforced Panel) Sequencia Or Eq., With integral silicone seals or mouldings @ All Joint, Corner, And Edge Conditions. Aluminum "h" Moulding At Bottom.	
WI.3		EXTERIOR PAINT	Direct to metal Paint Color	Sherwin-Williams SW7674 Peppercorn
WI.4		GALV. WALLPANELS	WALK IN COOLER MANUFACTURER	26GA. Stucco Galv. Steel Panels NSF Approved W/ Cam Lock Fasteners & Silicone sealant @ all joints. TYP.
WI.5		ALUMINUM		Plywood with Aluminum Face
FLOO	R FII	NISHES		
FF.1 FF.3 FB.1		EPOXY FLOOR COATING WALK IN COOLER COVE BASE BOARD	General Polymer 3744 High Performance Cr Epoxy. Epoxy Applied As 10 Mil. Slurry. Light Grey. OR APPROVED FOUAL. STAINLESS STEEL FLOOR EPOXY TO MATCH	Comply W/ Env. CA. Retail food Code. Flooring to be smooth finish under sinks, counters and racks. NSF Compliant W/ 3/8" Integral Radius at Floor/ Wall Junction 22GA. Stainless Floor Smooth. Provide 6" integral base W/ 1/2" min radiused cove.
CEILI	NG F	INISHES		
CG.1		GYPSUM LAY IN	Gold Bond 2x4, 2x2 Gridstone(Laminated vinyl Food Grade) 9/16". White Smooth ALu. Trim & Hangers.	All trim pieces, factory painted. cleanable.
CG.2		ACOUSTIC LAY IN	Armstrong 2x4, 2x2 KITCHEN ZONE(Food Grade) 9/16". White Smooth ALu. Trim & Hangers.	All trim pieces, factory painted. cleanable.
EXTE	RIOR	CLADDING		
EP-2		Wood Panels	3/4" Wd. Boards	

Include all support frames, Trim Etc.



INTERIOR SECTION
Scale: 3/8" = 1'-0"



INTERIOR SECTION
Scale: 3/8" = 1'-0"



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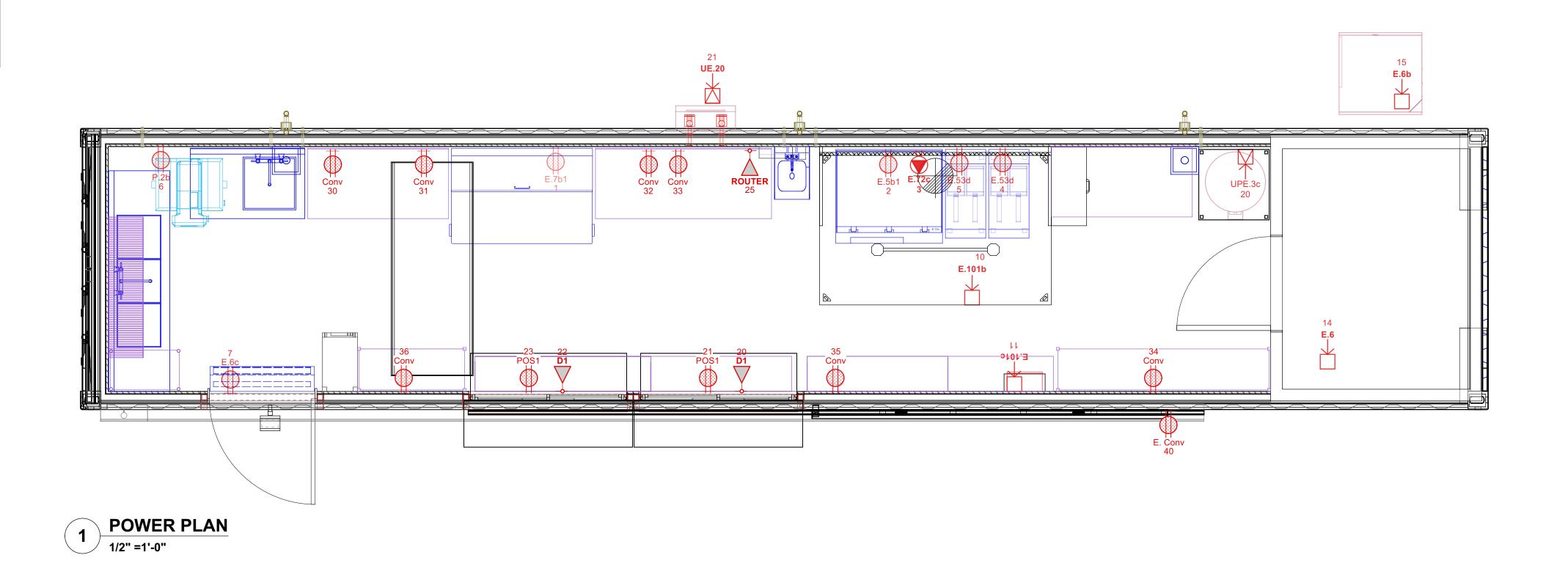
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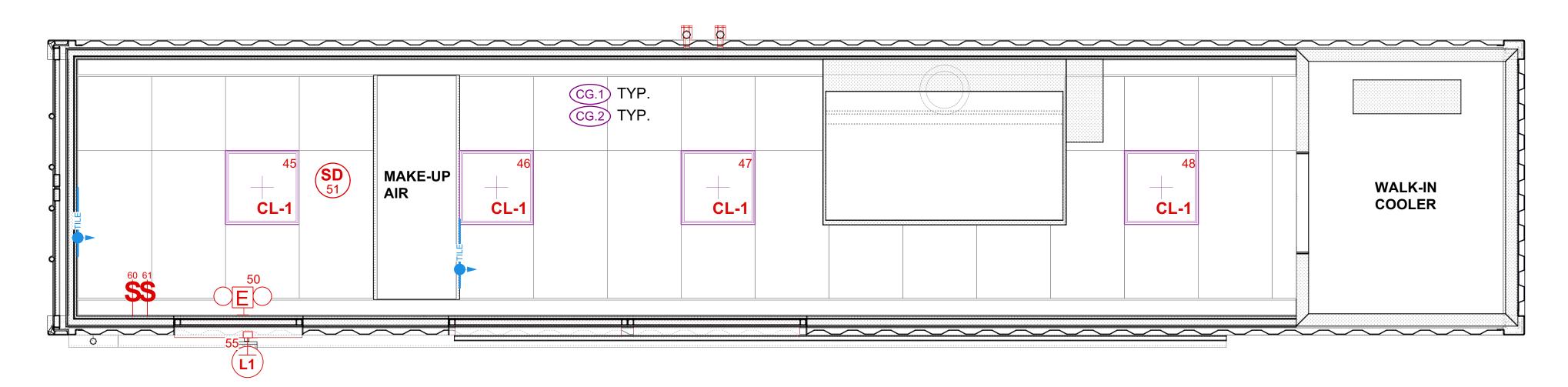
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ELEVATIONS SECTIONS

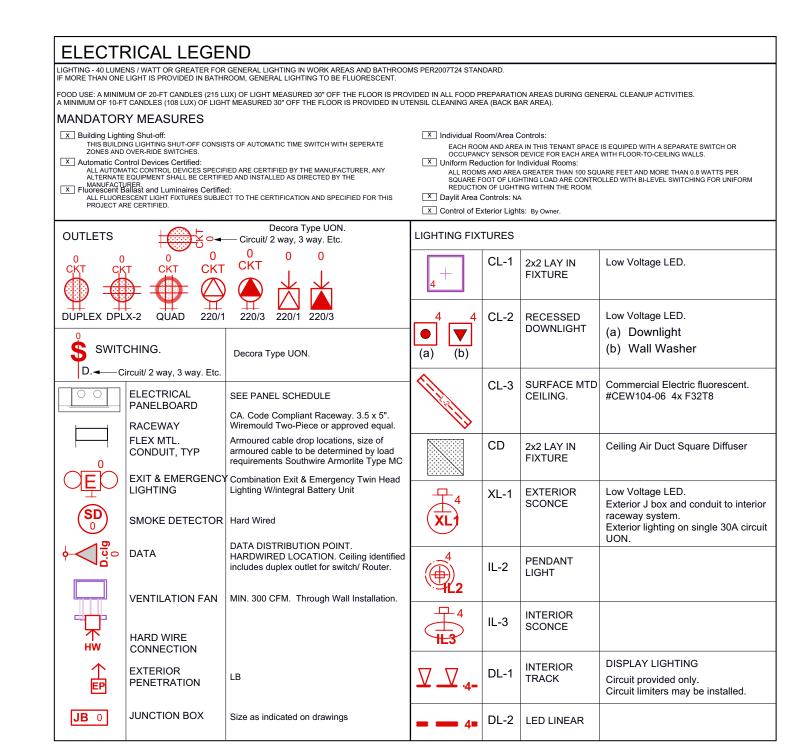






NOTE: FOR ROOF/MECHANICAL UNIT ELECTRICAL CONNECTION SEE A1.1

										ELECTR	RICAL					PLUMBING	PLUMBING				
JID##		QTY	ITEM	MFG	SPECIFICATIONS	SIZE (WxDxH)	COMMENTS	FURNISH	INSTALL	VOLTAGE	PHASE	AMPS	PLUG	HT.AFF	WIRE	DRN. (D/I) HOT	COLD	GAS	COMMENTS		
E.7	7b1	1	Refrigerator: Food Prep Table	TRUE	TSSU-48-12-HC	48 3/8" x 30 1/8" x 43"		Client	Client	115	1	5.8	5-15	18"	12/2						
E.5	5b1	1	Refrigerator: Worksurface	TURE	TRCB-36	36-3/8" x 32-1/8" x 20-3/8"		Client	Client	115	1	5.7	5-15	18"	12/2						
E.7	72c	1	Electric Griddle	STAR	536TGF	36" x 27.9" x 15.5"		Client	Client	208	3	25	HW	44"	10/3						
E.5	53d	1	Floor Fryer	Dean	SR114E	15 3/4" x 27 1/4" x 44"		Client	Client	208	3	39	HW	18"	8/3						
E.5	53d	1	Floor Fryer	Dean	SR114E	15 3/4" x 27 1/4" x 44"		Client	Client	208	3	39	HW	18"	8/3						
P.2	2b	1	Grease	BIG DIPPER	W-200-IS	28.5" x 23.375" x 15.5"		UB	UB	115	1	10.2	5-15	18"	12/2						
E.6	6c	1	36" Air Curtain	Curtron	AP-2-36-SS	36" x 10" x 12"		UB	UB	120	1	4.17	5-15	RW	12/2						
0 E.	101b	1	Hood	Captiveair	5412-SND2	6'-7" L.		UB	UB	110/108	1		HW	Ceil							
1 E.	101c	1	Hood Control Panel	Captiveair		14" x 18" x 6"		UB	UB	208	1	6.9	HW		12/3						
2 MF	F-5	1	EXHAUST FAN	CAPTIVEAIRE	TBD	TBD	Ductwork provided, site installed by client	UB	Client				HW	Mech. Unit		Indirect					
3 MF	F-6	1	EVAPORATIVE COOLING/HEATING UNIT	CAPTIVEAIRE	TBD	TBD	Ductwork provided, site installed by client	UB	Client				HW	Mech. Unit		Indirect					
4 E.6	6	1	Custom Walk-in Cooler	RUDY'S	8'-6" High Mtl Clad Wood Pnls	TBD	Custom Manufactured	UB	UB			TBD				Indirect					
5 E.6	6b	1	Walk-in Cooler Condering Unit	HEATCRAFT	MOH010X62CFM	17 1/4 x 28 1/4 x 23 3/4	Connections made on site	UB	UB	208-230	1	7	5-15	Exterior	12/3						
0 UF	PE.3c	1	Water Heater	AO Smith	DEN-52, 50g. 8KW 4000/4000	20 1/2"Ø x 54 7/8"H	Connections made on site	UB	UB	208	3	33.3	HW	18"	8/3	Indirect					
1 UE	E.20	1	Electrical Panel	SIEMENS	200A	TBD		UB	UB	208	3	200		Exterior							



UID#	ID.	FIXTURE TYPE	HT. FFL	REMARKS	WIRE
20	D1	Data	24"	REGULAR	12/2
21	POS1	POS	24"	REGULAR	12/2
22	D1	Data	24"	REGULAR	12/2
23	POS1	POS	24"	REGULAR	12/2
25	ROUTER	Router	Ceil	Above Raceway	12/2
30	Conv	Convenience	44"	REGULAR	12/2
31	Conv	Convenience	44"	REGULAR	12/2
32	Conv	Convenience	44"	REGULAR	12/2
33	Conv	Convenience	44"	REGULAR	12/2
34	Conv	Convenience	44"	REGULAR	12/2
35	Conv	Convenience	44"	REGULAR	12/2
36	Conv	Convenience	44"	REGULAR	12/2
40	E. Conv	Ext. Convenience	18"	REGULAR	12/2
45	CL-1	2X2 Fixture	Ceil	Lay In Fixt.	12/2
46	CL-1	2X2 Fixture	Ceil	Lay In Fixt.	12/2
47	CL-1	2X2 Fixture	Ceil	Lay In Fixt.	12/2
48	CL-1	2X2 Fixture	Ceil	Lay In Fixt.	12/2
50	E	Exit/Emergency Lighting	Ceil		12/2
51	SD	Smoke Detector	Ceil	Addressable	12/2
52	SD	Smoke Detector	Ceil	Addressable	12/2
55	L1	Exterior Sconce	84"		12/2
60	Switch	Switch	44"	45,46,47,48	12/2
61	Switch	Switch	44"	55	12/2
62	Switch	Switch	44"	70,71,72	12/2
70	L2	Linear LED Utility	Ceil	Regular	See Spec.
71	L2	Linear LED Utility	Ceil	Regular	See Spec.
72	L2	Linear LED Utility	Ceil	Regular	See Spec.

	PANE				VOLTAGE:		WIRE:		4	_	MOUNTING:	SURFACE		NOT	ES:		
	Rac				BUS RATING:	200A	PHASE:		3	_ ′	AIC RATING:	10K					
Foo	d Ur	nit			MAIN REQUIREMENT:	200A MLO	TYPE:		N-3R		CONDITION:	NEW					
CKT#	NOTES	LOAD	CB P	т	LOAD DESCRIPTION		LOAD KVA	PHASE	LOAD KVA		LOAD DESCI	RIPTION	CB P	; T	LOAD	NOTES]
1		К	1	_	E.7b1		0.70	Α	1.67				- -	T '	K		-
3		К	1				0.68	В	1.67	E.72	?c		3	30	К		<u> </u>
5		D	1	20	E.6		1.68	С	1.67	1					K		
7		К	1	20	E.6c		0.50	Α	2.60						K		
9		D	1	20	P.2b		1.53	В	2.60	E.53	d		3	40	K		1
11		D	1	20	MF-9a		0.14	С	2.60						K		1
13		D					2.22	Α	2.60	1					K		1
15		D	3	40	UPE.3c		2.22	В	2.60	E.53	3d		3	40	K		1
17		D					2.22	С	2.60	-				1	K		1
19		M	_				0.32	A	0.46	1	_				М	ļ	2
21		M	3	20	MF-6		0.32	В	0.46	MF-	5		3	20	М	-	2
23		M	4	20	DOUTION OF ST		0.32	C	0.46	Cart	tral Dana!		1	20	M		2
25		D D	1		POSITION 20,21		0.36	A B	0.54 0.36	+	trol Panel IV. 32, 33		1	20			2
27 29		G	1	20	POSITION 22,23 CONV. 30, 31		0.36	С	0.36		IV. 32, 35 IV. 34, 35		'	20			3
31		С	1	20	LIGHTING - GENERAL		0.54	A	0.36	_	IV. 36, 40		1	20		<u> </u>	3
33					<u> </u>			В	0.00		, -			†			3
35								С						1			3
37								Α									3
39								В									4
41								С									4
CON	NECT	ED LC	AD:									DEMAND LOAD CALCULATION	N		1		
PHAS	SE A				12.86 KV		DEMAND LO				SUBTOTAL	NEC DEMAND FACTOR					
PHAS					12.80 KV		CONTINUO				0.54	125%				0.	
PHAS					12.40 KV		DEDICATED		` '		11.27	100%				11.	
TOTA	AL				38.07 KV	Α	GENERAL F		•	· 1	1.44	100% of 1st 10kVA & 50% of r	emainin	ng		1.	
							INTERMITE					65%				14.	
NOTI							MECHANIC	AL EC	QUIPMENT	T (M)	2.34	125% of largest motor & 100% of	of remai	ning			34
HL=F	PADLO	CKAE	BLE F	HANE	DLE LOCK-OFF							TOTAL DEMAND KVA				30.	
											AN	MPS @ 208Y/120V, 3 PHASE, 4	WIRE:			84	19



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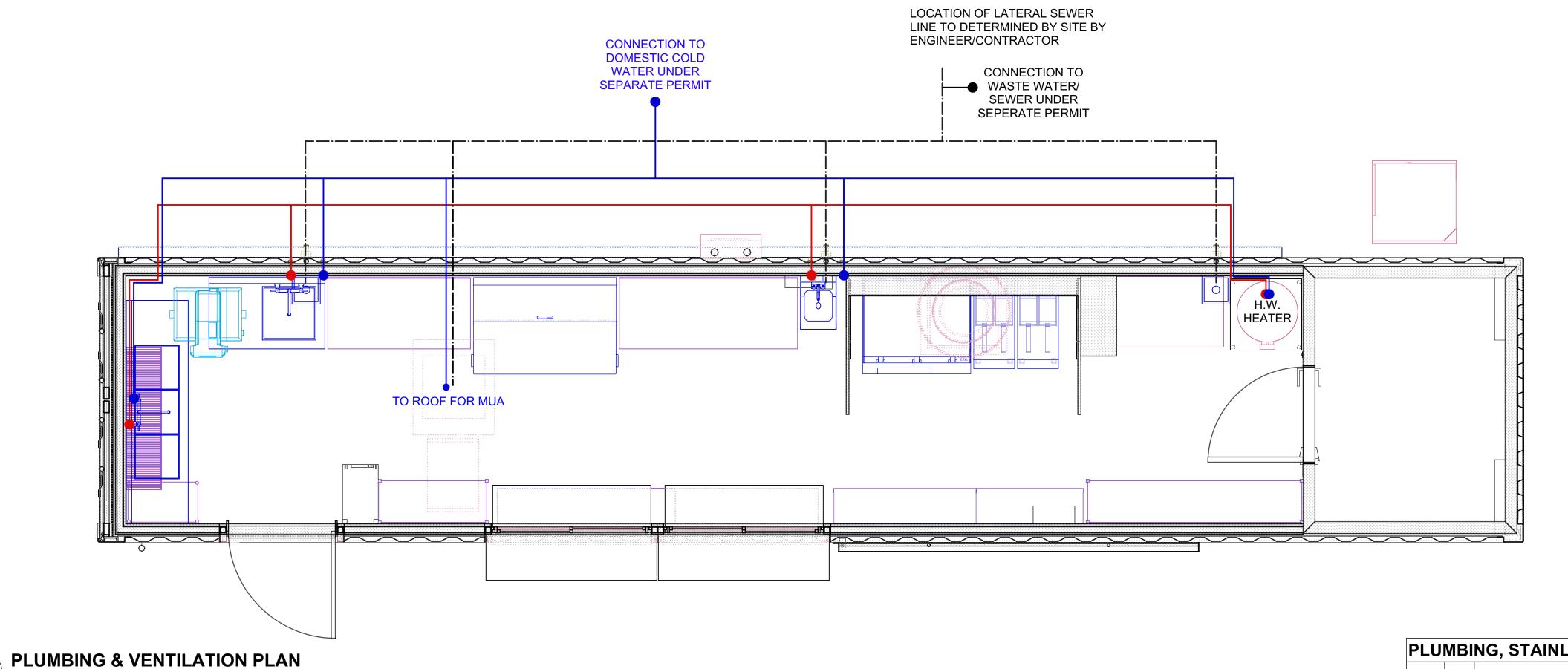
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AWING TITLE

ELECTRICAL / POWER PLAN

UB#

SHEET NUMBER



EXTERIOR LATERAL LINES UNDER SEPARATE PERMIT

PLUMBING RISE DIAGRAM

#	QTY	ITEM	WSFU				
			COLD	НОТ	WATER DEMAND	LINE	SI
						LATERAL	ВІ
P.5a	1	Hand Sink	1	1	1.5	3/4"(H&C)	
P.8d	1	Prep Sink	2	2	3	3/4"(H&C)	
P.1b	1	3-Com Sink	2	2	3	3/4"(H&C)	
			5	5	7.5	3/4"	
MININ	MUM F	PRESSURE DEMA	ND FOR A	LL FIXTURE	ES=15PSI.		
НОТ	& COL	D COMBINED DE	MAND .75	OF TOTAL	VALUE		
STAT	IC PR	ESSURE LOSS =	-(0.43x5)=	-2.15 (High	est fixture below supp	ly)	
FRIC	TION	LOSS / 100ft (A4.1	(1) =12, Pe	r 50'=6PSI.			
TOTA	L PR	ESSURE LOSS= 6	-2.15=3.85	PSI.			
MAX.	PIPE	LENGTH TO FAR	THEST FIX	TURE= 30'-	-0		
ALLC	WAN	CE FOR FITTINGS	= 1.5				
DEVE	ELOPE	ED LENGTH = 45'-0	0", say 60'-	0"			
PFR	CPC 2	2019 Table 610.4 4	6-60PSI R	ange 31 WS	SFU Allowed.		

	Hand Sink	FIX. UNITS (DFU)	LINE Horiz.	SIZE Vert.		TOT	REMARKS/ CALCULATIONS
1	Hand Sink	(DFU)	Horiz.	Vert			
1	Hand Sink			. 51	Vent		
		1	2	2	1 1/2"	1	
1	Prep Sink	2	2	2	1 1/2"	2	
1	3-Com Sink	3	3	3	2'0"	3	
1	Floor Sink	1	2	2	1 1/2"	1	
			тот	AL DE	-U's	7	Per CPC Table 703.2, 3" Horiz/ Vert Piping required/ Provided. Per CPC Table 703.2, 1 1/2" vent Piping require.
	1	1 Floor Sink	1 Floor Sink 1	1		1 Floor Sink 1 2 2 1 1/2" TOTAL DFU's	

Note: As Defined By CPC 2019 905.3 Structural Conditions Do Not Allow For Vent Fittings Less Than 6" Above The Flood-level Rim Of Certain Assemblies To Be Drainage Type.

These Conditions Have Been Reviewed And Approved As Alternate Means And Methods As allowed by CPC 1.8.7 And Included In Approved Drawing Set I-581-1007 Approved By HCD.11.15.2020

PLUMBING, STAINLESS & FIXTURES

EVAP

WALK-IN COOLER

						PLUMBING	;					
#	QTY	ITEM	MFG	SPECIFICATIONS	SIZE (W X D x h)	COMMENTS	FURNISH	INSTALL	COLD	НОТ	DKN.	IVI I V
FX.3	1	Soap Dispenser	SAN JAMAR	Model: SH900TBK	5.5" x 4" x 12"		UB	UB				
FX.4	1	Paper Towel Dispenser	SAN JAMAR	Model: T1900XC	11 3/8" x 4" x 14 3/4"		UB	UB				
FX.11	1	Locker	GSW	EL-5DR	12" x 20" x 77"		Client	Client				
LDR.1	1	Ladder					UB	UB				
P.1a1	1	3-Comp Sink Faucet	T&S	5F-8WLX10		3-Comp Sink	UB	UB				
P.1b	1	3-Comp Sink w/ splash guards	GSW	SE15153D	75 1/4" x 21" x 45"		UB	UB				
P.2b	1	Grease	Big Dipper	W-200-IS	28.5" x 23.375" x 15.5"		UB	UB				
P.5a	1	Drop-in Hand Sink w/ splash guards	KROWNE	HS-1225	12" x 18" x 15 1/2"	5" bowl	UB	UB				
P.8a1	1	Prep Sink Faucet	T&S	5F-8WLX08		Prep Sink	UB	UB				
P.8d	1	Prep Sink	GSW	SE18181L	39" x 24" x 45"		UB	UB				
P.14	2	Floor Sink	WATTS	FS-710 Sanitary Floor Sink	8 1/8" x 8 1/8" x 6 1/4"		UB	UB				
SS.4a	2	4' Stainless Table	GSW	16 Gauge SS top, back splashes 4" sealed, Optional undershelf	48" x 24" x 35"		TBD	TBD				
SS.5a	1	5' Stainless Table	GSW	16 Gauge SS top, back splashes 4" sealed, Optional undershelf	60" x 24" x 35"		TBD	TBD				
SS.20a	1	3' Metro Shelf 5 Tier	METRO	5-Tier	36" x 14" x 73 1/2"		TBD	TBD				
SS.20c	1	2' Metro Shelving	METRO	2-Tier	24" x 14"	chrome finish	UB	UB				
SS.23a	1	6' Metro Shelf 5 Tier	METRO	5-Tier	72" x 14" x 73 1/2"		TBD	TBD				
SS.31a	1	3' SS Shelving Solid	GSW	SS Shelving	12" x 36"		TBD	TBD				
SS.32a	3	4' SS Shelving Solid	GSW	SS Shelving	12" x 48"		TBD	TBD				
SS.33a	1	5' SS Shelving Solid	GSW	SS Shelving	12" x 60"		TBD	TBD				
SS.40	1	Wire Wall Shelf	EAGLE	SNSW1248V-X, Gray Epoxy	48" x 12"		UB	UB				
SS.91	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD		UB	UB				
SS.92	1	Stainless Steel Counter	SEAPORT	See SS Order Drawing	TBD		UB	UB				



PAGES @ 24"X36"

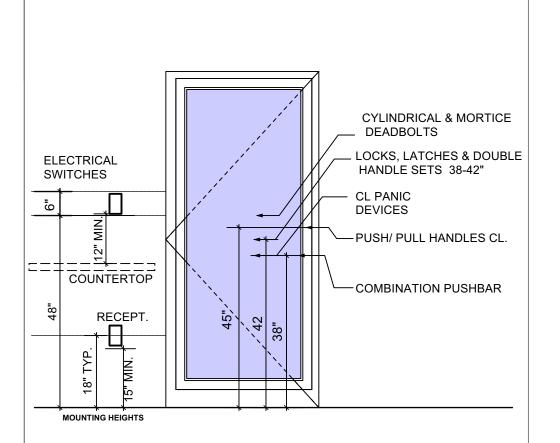
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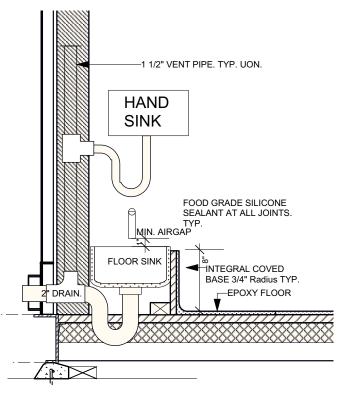
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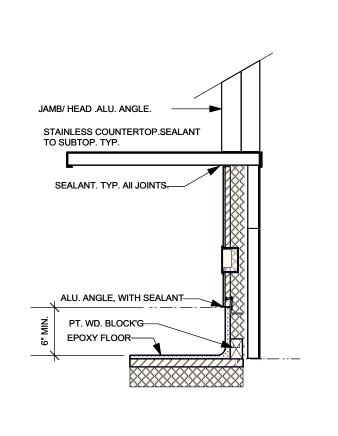
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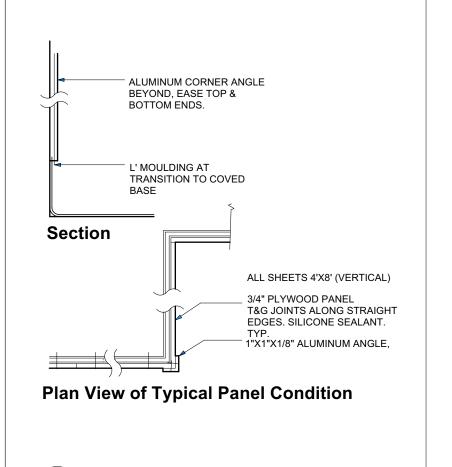
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PLUMBING VENTILATION











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MOUNTING HEIGHTS 1/2"=1'-0

PLUMBING PENETRATION
1"=1'-0

2	COVE BASE COUNT
3	

\	COVE BASE COUNTERS
Г	

DOOR HARDWARE SCHEDULE DESCRIPTION INVISIBLE DEADBOLT, SOLID LIGHT 613 TELL MANUFACTURING ENTRY DOOR GRAY, A40 GALVALUME STEEL LOCK CYLINDER CY-1-184, TELL MANUFACTURING GRADE 2 ENTRY LEVER TELL MANUFACTURING ENG 600 SERIES DOOR CLOSER ADA COMPLIANT THRESHOLD TELL MANUFACTURING INTEGRATIVE CUSTOM ASSEMBLY 2) BARN DOOR PAINTED CUSTOM PADLOCK HOOK & EYE PAINTED CUSTOM PAINTED CROWN INDUSTRIAL SUPPLY BARN TRACK & HANGER 4) STEP-IN DURACOLD MANUFACTURED ENCLOSURE REFRIGERATOR Flush Mounted, Self Closing. Locking handle. Internal safety latches. RUDY'S REFRIGERATION, NSF-APPROVED 5) FOOD SVCE. WINDOW 1/4" SLIDING ACRYLIC PANELS, SELF CLOSING SLIDING SERVICE WINDOW.ENV. HLTH COMPLIANT

MILGUARD STANDARD ALUMINUM. SLIDING WINDOW

3/4" INSULATED GLAZING, LOW E. ARGON

REMARKS

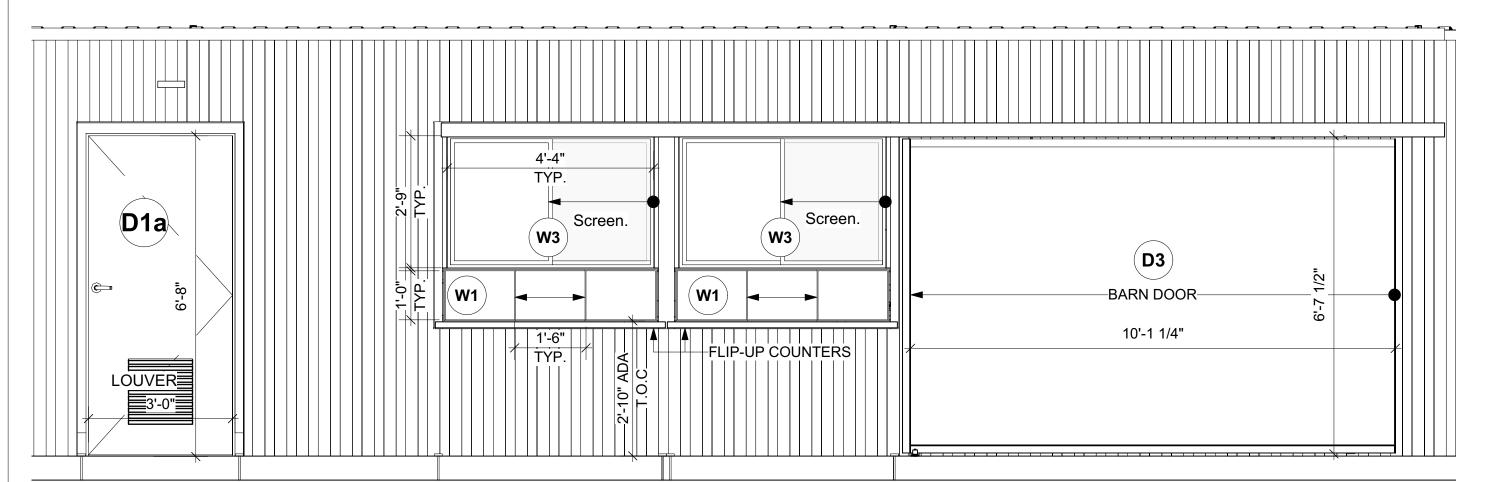
A - EXIT DOORS ARE TO BE OPENABLE FROM INSIDE WITHOUT USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. KEY LOCKING HARDWARE MAY BE USED ON THE MAIN EXIT WHEN THE MAIN EXIT DOOR HAS A DURABLE SIGN ON OR ADJACENT TO THE DOOR STATING: THIS DOOR MUST REMAIN UNLOCKED DURING BUSINESS HOURS. THE SIGN SHALL BE IN LETTERS NOT LESS THAN ONE INCH HIGH ON A CONTRASTING BACKGROUND.

B - UNLATCHING FORCE, OR OPENING FORCE NOT TO EXCEED 5 POUNDS. (CALIFORNIA)



6"X6" MIN. SIGN SIZE INTERNATIONAL SYMBOL OF ACCESSIBILITY. WHITE FIGURE ON BLUE DECAL. PER CBC 1117B.5.8.1

NOTE: PLACE NEAR ACCESSIBLE BUILDING



SELF-CLOSING OUTSWING DOOR SERVICE WINDOW

Solid Core MTL. Self-closing door Custom frame Assembly Air curtain required.

Hardware as per Group 1

Sliding self closing acrylic windows compliant with C.E.H.C. Requirements - max opening size 216 sq in. No air curtain required.

Hardware as per Group 5

SLIDING WINDOW

Alum. frame horizontal sliding window 1/4" glass with integral insect screen insect screen.

BARN DOOR UNIT

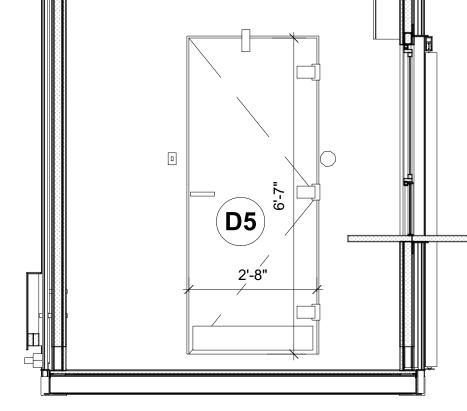
(D3) substrate installed by client.

Hardware as per Group 2

3/4" Wd. Boards over 3/4" exterior rated plywood

Overhead track assembly w/ bottom guide wheel.

Hardware as per Manufacture



STEP-IN REFRIGERATOR DOOR Duracold Manufactured Step In Refrigerator. Flush Mounted, Self Closing. Locking handle. Internal safety latches. Leaf Size 6'-7"x 32". Vision Light. Hardware per Manufacturer.

Hardware as per Group 4

, OPERAL | WINDOW W3

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DETAILS

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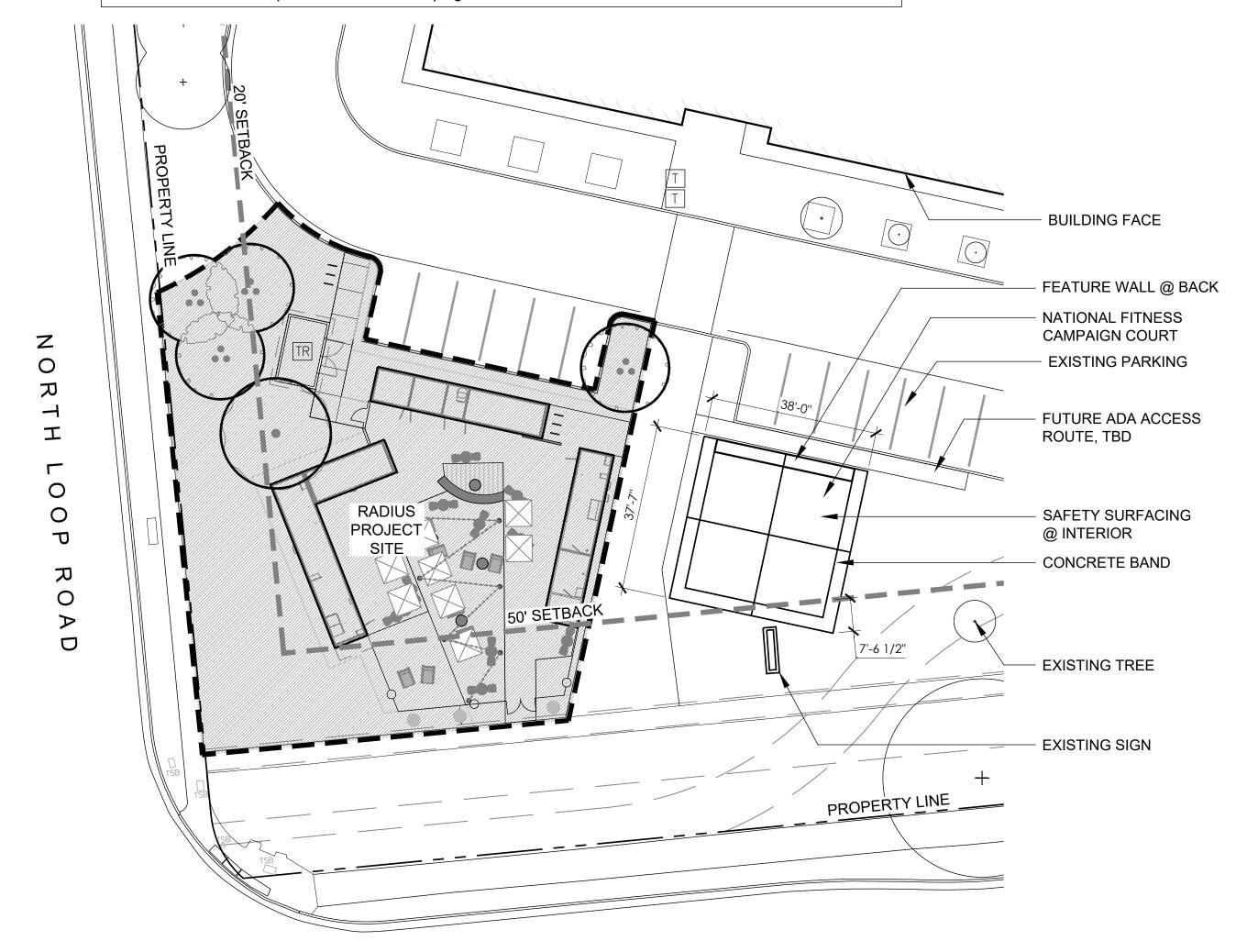




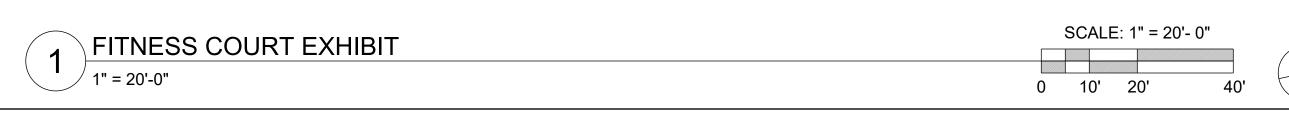
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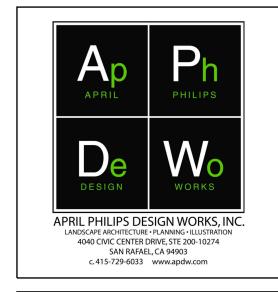
1. PROPOSED NATIONAL FITNESS CAMPAIGN COURT HAS BEEN APPROVED BY HARBOR BAY BUSINESS ASSOCIATION.

2. EXISTING NATIONAL FITNESS COURT INSTALLATION IS LOCATED ALONG THE MARINA GREEN TRAIL NETWORK. SEE https://nationalfitnesscampaign.com/news/sanfrancisco FOR MORE INFORMATION



HARBOR BAY PARKWAY





CLIENT:

PACELINE INVESTORS

BAY - SWAY

1501 HARBOR BAN TAN "THE RADIUS" 1501 HARBOR BAY PARKWAY

Date: 05/6/2022
Project Number: 21dw313
Drawn by: SB/CG
Checked by: SB/AP
Scale: As Noted

Date: Issue:
FEB 10, 2022 PRE-APP SUBMITTAL
MAY 6, 2022 PLANNING REVIEW

PROPOSED FITNESS COURT EXHIBIT

E1.0