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By Jennifer Warner at 4:52 pm, Dec 05, 2022



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clayfry@studiofcf.com



**LAUNCH APARTMENTS
WORK / LIVE APPLICATION**
CLEMENT AVENUE
ALAMEDA, CALIFORNIA

OCTOBER 3, 2022
CITY SUBMITTAL

SITE PLAN



SITE PLAN

NTS

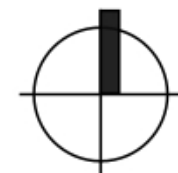


Exhibit 1
Item 3-A, January 9, 2023
Zoning Administrator Hearing

A1.0

6.4 SUBDISTRICT DEVELOPMENT REQUIREMENTS

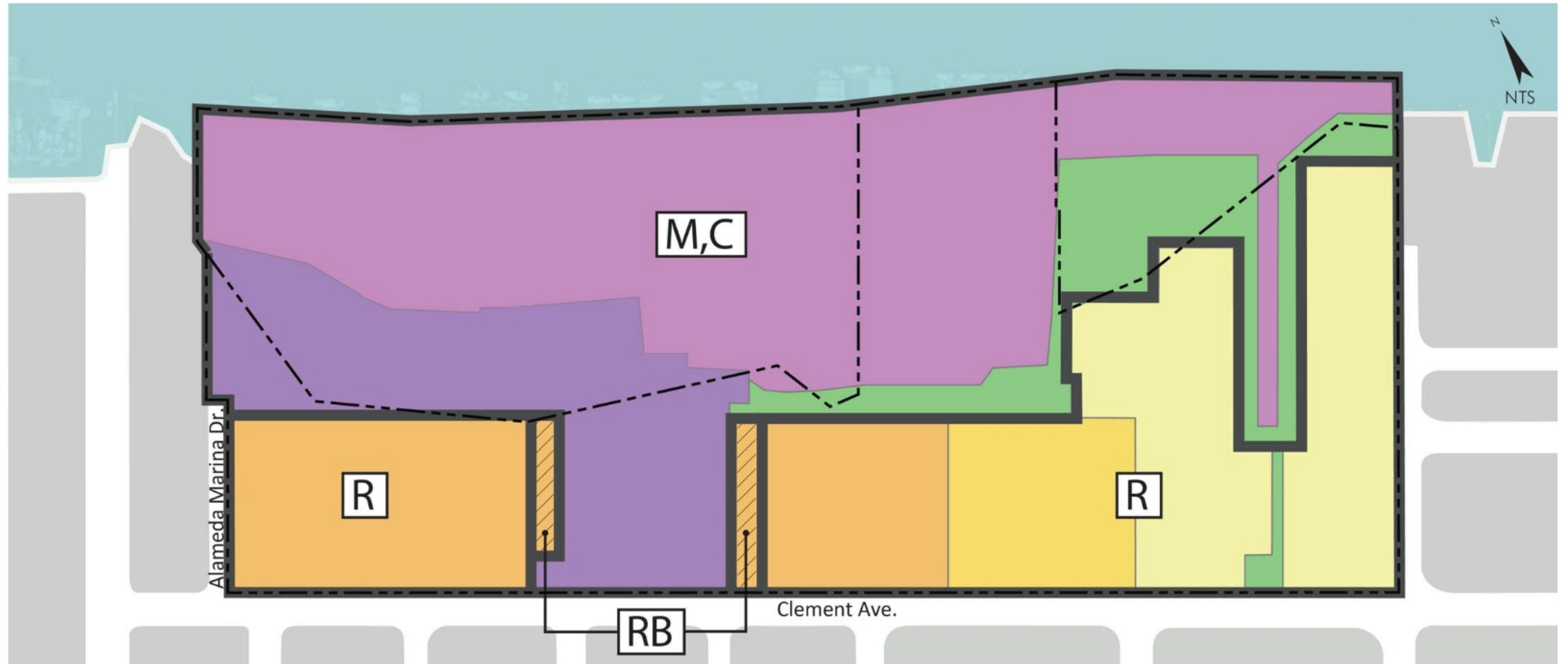
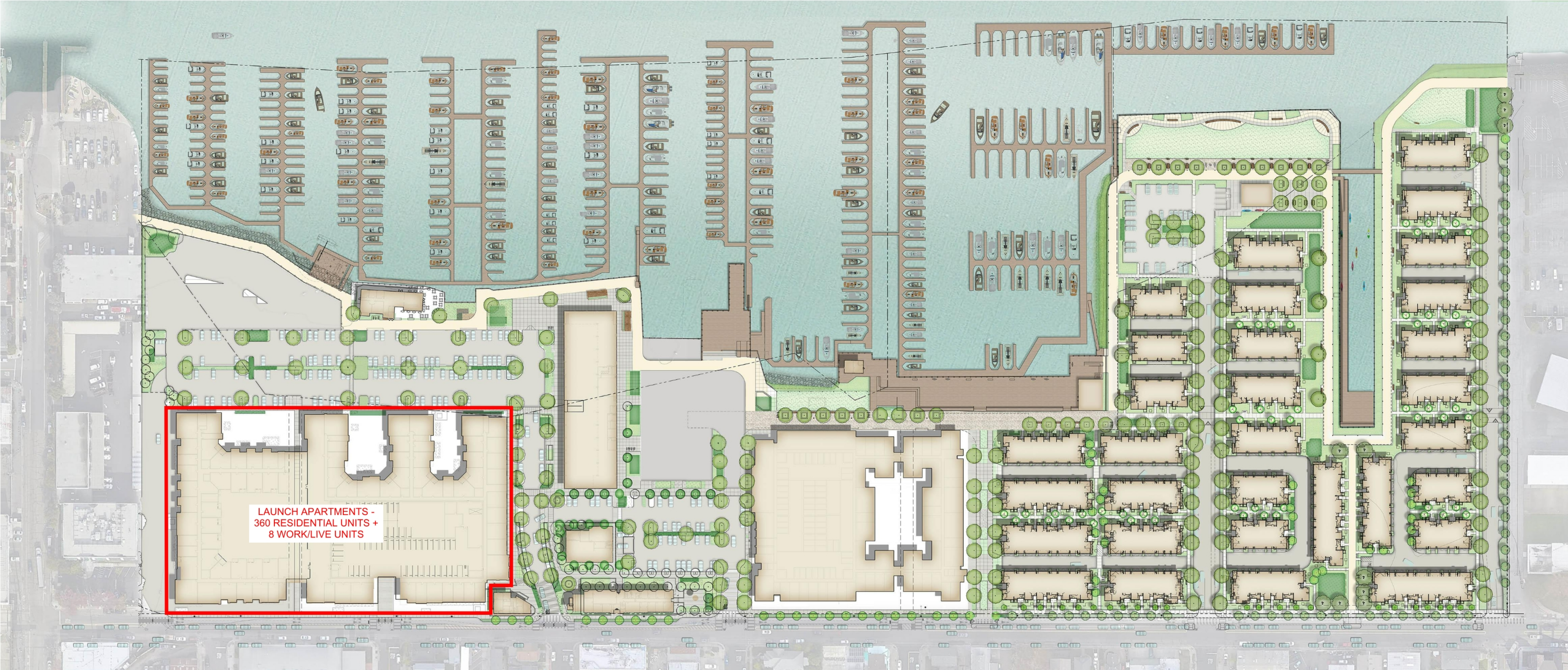


Exhibit 6.4 - Conceptual Land Uses & Sub Area Map

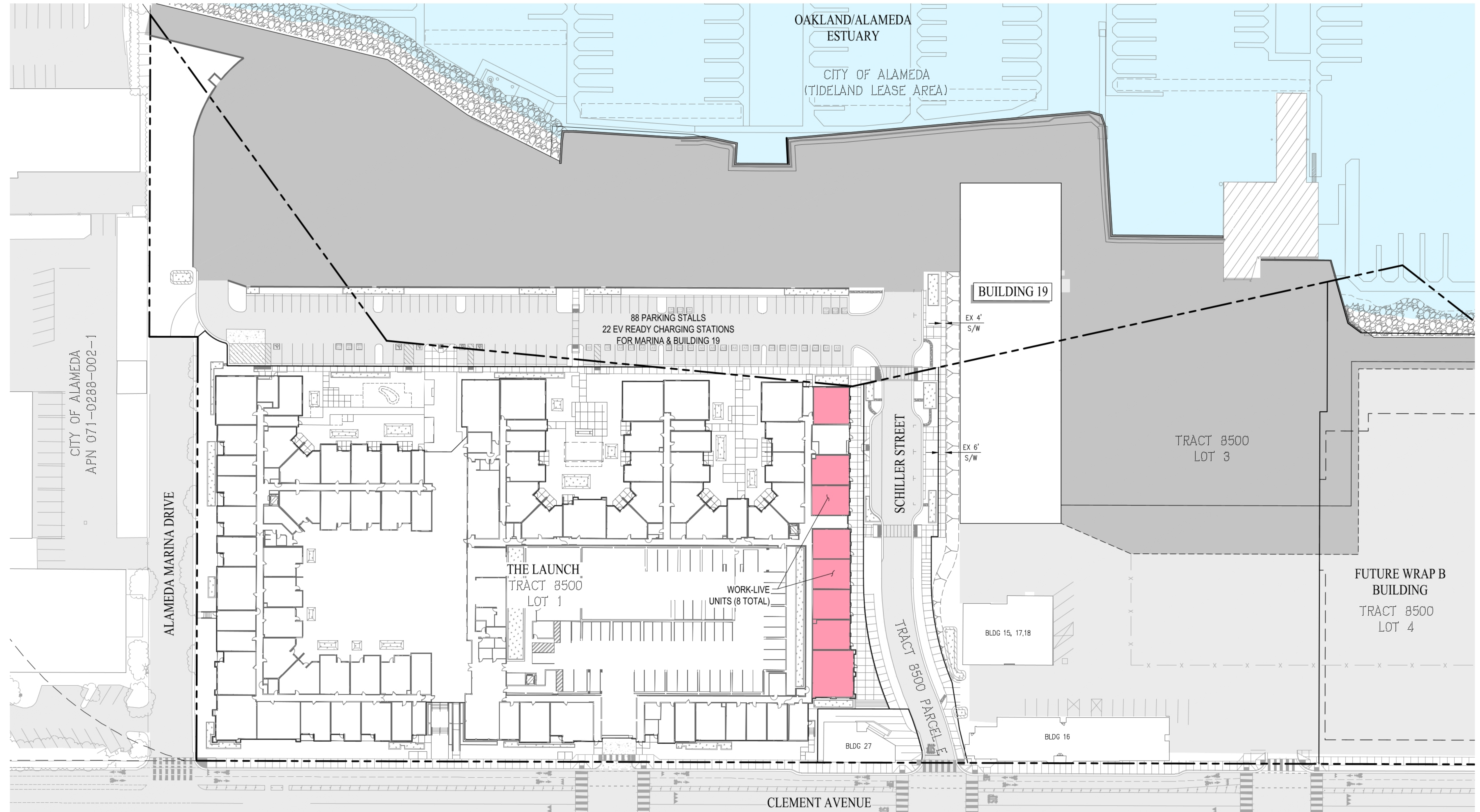
Legend

M,C	Maritime and Commercial
R	Residential
RB	Residential Buffer

	Marina
	Maritime and Commercial Core
	Multifamily Residential High Density
	Multifamily Residential Medium Density
	Multifamily Residential
	Waterfront Open Space & Open Space



LAUNCH APARTMENTS -
360 RESIDENTIAL UNITS +
8 WORK/LIVE UNITS



SITE PLAN ALAMEDA MARINA

CITY OF ALAMEDA ALAMEDA COUNTY CALIFORNIA
SCALE: 1"=40' DATE: OCTOBER 3, 2022



CIVIL ENGINEERS SURVEYORS PLANNERS

SAN RAMON (925) 866-0322
SACRAMENTO (916) 375-1877
WWW.CBANDG.COM

PLUMBING FIXTURE SCHEDULE (PER CPC 422)						
ROOM/AREA	SQUARE FOOTAGE	# OF OCCUPANTS	# OF WATER CLOSETS REQUIRED	# OF WATER CLOSETS PROVIDED	# OF SHOWERS REQUIRED	# OF SHOWERS PROVIDED
POOD/SPA	2025	135	2	2	3	3
CLUB ROOM (A)	2758	118	4	5	1	1
FITNESS (A)	1516	51	3	5		
CO-WORK (A)	477	16	2	5		1
LEASING (B)	380	2	2	5		1

PLEASE NOTE ALL BATHROOMS ARE UNSEX PER CPC 422.2

RESIDENT TO VISITOR PARKING MATRIX

	FLOOR 1	FLOOR 2	FLOOR 3	FLOOR 4	FLOOR 5	FLOOR 6	TOTAL	%
RESIDENT STANDARD		43	43	43	42	21	192	
RESIDENT COMPACT		30	30	30	30	15	135	
RESIDENT ACCESSIBLE		1	1	1	1		4	
RESIDENT VAN ACCESSIBLE		1	1	1	1		4	
RESIDENT EV		8	8	8	6	6	36	
RESIDENT EV VAN ACCESSIBLE		1			1		2	
RESIDENT TOTAL							373	
TOTAL EV ACCESSIBLE							2	5.26%
TOTAL ACCESSIBLE							8	2.14%
*ALL RESIDENT PARKING IS RESERVED								
VISITOR STANDARD	19						19	
VISITOR COMPACT	17						17	
VISITOR ACCESSIBLE	2						2	
VISITOR VAN ACCESSIBLE	1						1	
VISITOR EV	3						3	
VISITOR EV VAN ACCESSIBLE	1						1	
VISITOR TOTAL							43	10.34%
TOTAL EV ACCESSIBLE							1	25%
TOTAL ACCESSIBLE							3	6.98%
TOTAL EV PARKING								
#REF1	#REF1							
416	TOTAL							

GENERAL NOTES

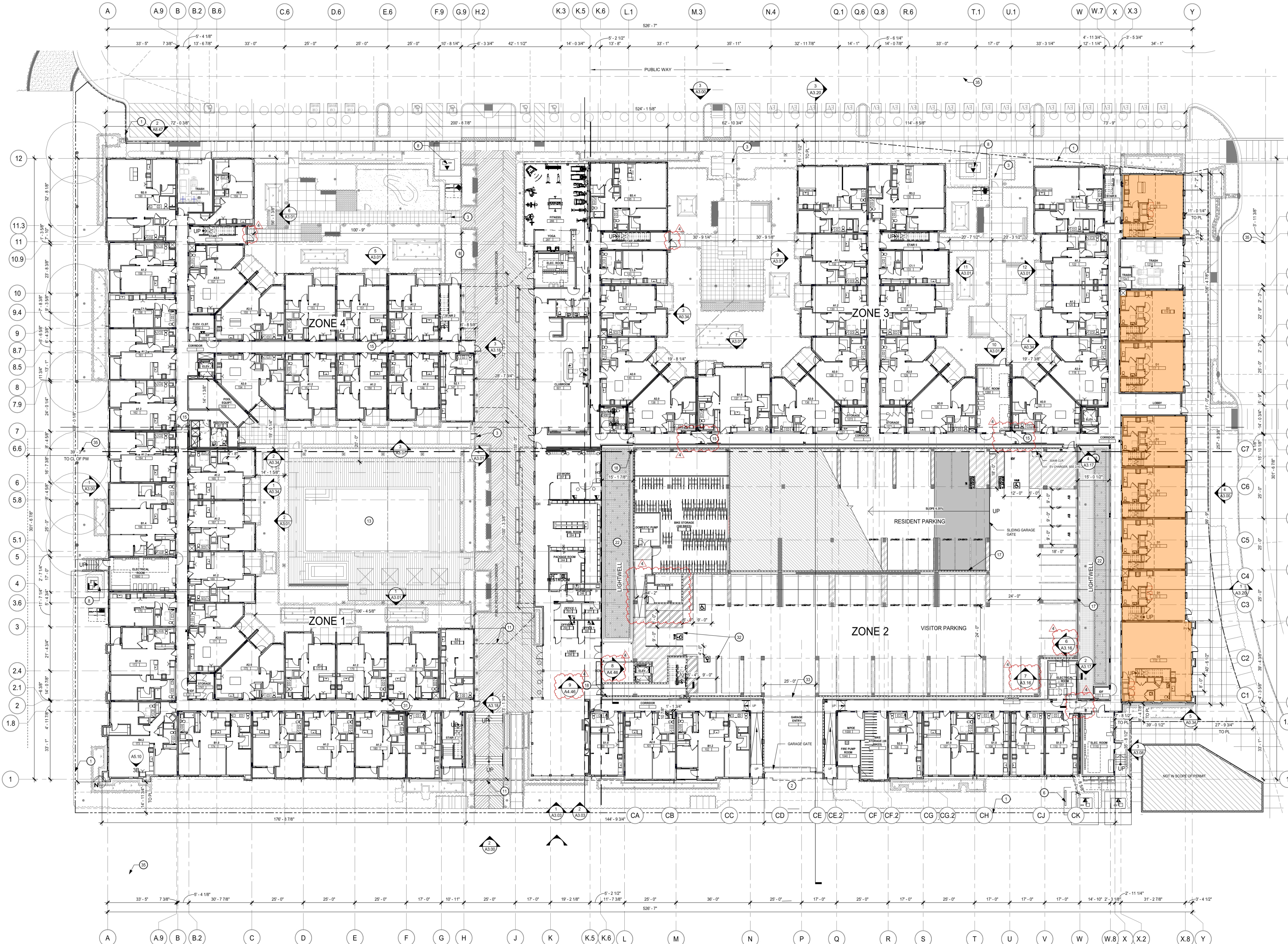
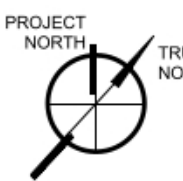
- A. SITE PLAN IS FOR GENERAL BUILDING ORIENTATION AND ENLARGED PLAN REFERENCES.
- B. SEE JOINT TRENCH DRAWINGS FOR ON-OFF-SITE DRY UTILITY PLANS.
- C. SEE CIVIL DRAWINGS FOR ON-OFF-SITE UTILITY PLANS, IMPROVEMENTS, GRADING, DRAINAGE AND STORM WATER TREATMENT.
- D. SEE LANDSCAPE DRAWINGS FOR SITE FINE GRADING, PAVING PLAN, PLANTING PLAN, AND IRRIGATION PLAN.
- E. SEE A0.30 FOR BUILDING AREA CALCULATIONS.
- F. SEE A0.40 FOR EGRESS CALCULATIONS & DIAGRAMS.
- G. UNIT PLANS SHOWN HERE ARE DIAGNOSTIC REFER TO 1/4" UNIT PLANS AND ENLARGED PLANS FOR ADDITIONAL INFORMATION NOT SHOWN HERE.
- H. SPOT ELEVATIONS ARE NOTED FROM CIVIL DRAWINGS, TOP OF PODIUM FLOOR SLAB AT UNITS, 103'-2" ± 0'-0".
- I. BUILT-UP ROOF SLOPE SHALL BE 3/8"FT. MIN. U.O.N.
- J. REFER TO THE 1/8" AND 1/4" PLANS FOR THE DOOR TAGS. REFER TO DOOR SCHEDULE INDICATING ALL REQUIRED RATED DOOR LOCATIONS.
- K. AT THE TIME OF FOUNDATION INSPECTION CORNER STAKES OR OFFSET STAKES MUST BE ESTABLISHED BY A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA AND VERIFIED BY THE FIELD INSPECTOR TO ENSURE THAT NEW CONSTRUCTION IS LOCATED IN ACCORDANCE WITH THE APPROVED PLANS.
- L. WALKWAYS AND SIDEWALKS ALONG ACCESSIBLE ROUTES OF TRAVEL SHALL BE (1) CONTINUOUSLY ACCESSIBLE; (2) HAVE A MAXIMUM 1/2" CHANGES IN ELEVATION; OR PROVIDE CURB RAMPS COMPLYING WITH CBC 1113A OR 118-406; (3) ARE MINIMUM 48" IN WIDTH; AND (4) WHERE NECESSARY TO CHANGE ELEVATION AT A SLOPE EXCEEDING 5% SHALL HAVE PEDESTRIAN RAMPS COMPLYING WITH CBC 1114A OR 118-405; PER CBC 1113A & 118-202.4

SHEET NOTES

NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.

1. PROPERTY LINE
2. VEHICULAR ENTRY DRIVE/GARAGE ENTRY
3. PEDESTRIAN SECURITY GATE, S.L.D.
4. LANDSCAPED AREA, S.L.D.
5. CONCRETE CURB & SIDEWALK, S.C.D. & S.L.D.
6. GAS METER ALCOVE, S.C.D.
7. F.C.D. & SEE F.P.D.
8. ELECTRICAL TRANSFORMER, S.E.D.
9. AIR CONDENSING UNITS, S.M.D.
10. BUILDING ABOVE
11. SOLAR READY AREA
12. POOL, S.L.D.
13. ROOF DECK/TERRACE, S.L.D.
14. 3 HR FIRE WALL
15. LIDRAIN/WATER PLANTER, S.C.D. & S.L.D.
16. TENSION CABLE CRASH BARRIER
17. SEISMIC JOINT COVER
18. FIRE DEPARTMENT CONNECTION
19. VEHICULAR SECURITY GATE
20. DECORATIVE SECURITY FENCE
21. OPEN TO SKY
22. PUBLIC PEDESTRIAN WALKWAY
23. LOADING ZONE, S.C.D.
24. TRASH STAGING AREA, S.C.D.
25. RESIDENTIAL COURTYARD
26. ROOF ACCESS HATCH
27. ROOF DRAIN
28. ROOF SCUPPER
29. TRENCH DRAIN
30. 2 HR FIRE WALL
31. ACCESSIBLE STALL, SEE DETAIL 9A0.25
32. CLEARANCE BAR, SEE DETAIL 7A0.25
33. METAL RAIN COVER, REFER TO SHEET A8.47
34. CENTERLINE OF PUBLIC WAY
35. LOADING ZONE, ONLY FOR TRASH STAGING AND TRUCK LOADING
36. DESIGN/BUILD ROOF WALKWAY SYSTEM WITH 44" HANDRAIL, SEE DETAIL 16A48.00
37. DESIGN/BUILD ROOF WALKWAY SYSTEM WITH 44" HANDRAIL, SEE DETAIL 16A48.00

ISSUE	DATE
SD #1	01.31.20
SD #2	02.28.20
DD #1	03.27.20
DD #2	04.29.20
DD #3	05.29.20
CD #1	07.10.20
PERMIT	08.14.20
RESUBMITTAL	10.09.20
PERMIT	11.18.20
RESUBMITTAL 2	PERMIT
RESUBMITTAL 3	01.04.21
CONSTRUCTION	02.05.21
SET A3.1	

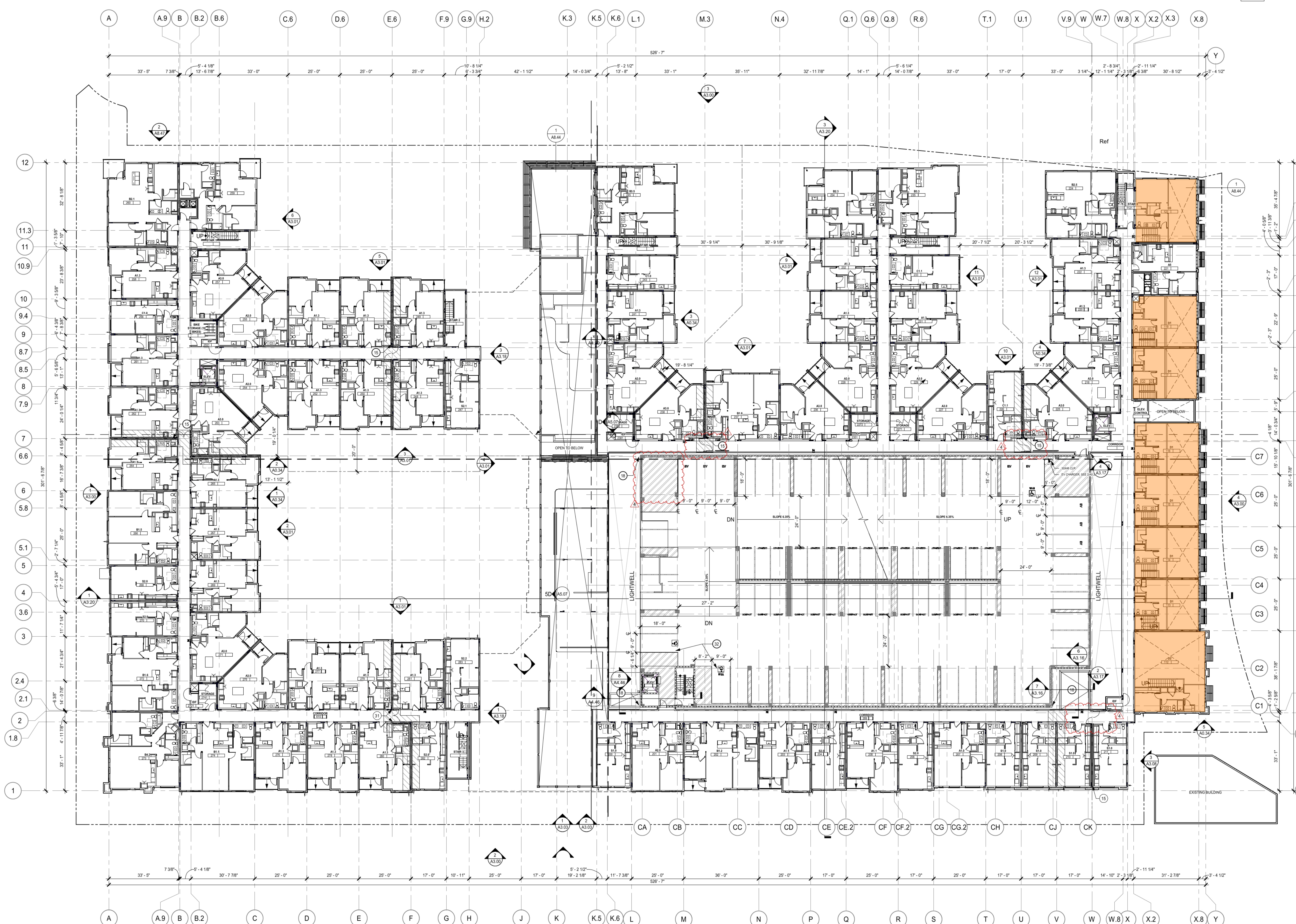


SITE PLAN - FLOOR 1 1
1/16" = 1'-0"

RESIDENT TO VISITOR PARKING MATRIX								
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BDE
ARCHITECTURE

950 HOWARD STREET
SAN FRANCISCO
CA 94103
P (415) 677-0966

CLIENT

PACIFIC
DVLPMNT

CONSULTANT

THE LAUNCH
1777 CLEMENT AVENUE,
ALAMEDA, CA

ISSUE	DATE
SD #1	01.31.20
SD #2	02.28.20
DD #1	03.27.20
DD #2	04.29.20
DD #3	05.29.20
CD #1	07.10.20
PERMIT	08.14.20
PERMIT RESUBMITTAL	10.09.20
PERMIT RESUBMITTAL 2	11.18.20
PERMIT RESUBMITTAL 3	01.04.21
CONSTRUCTION SET: A1.1	02.05.21

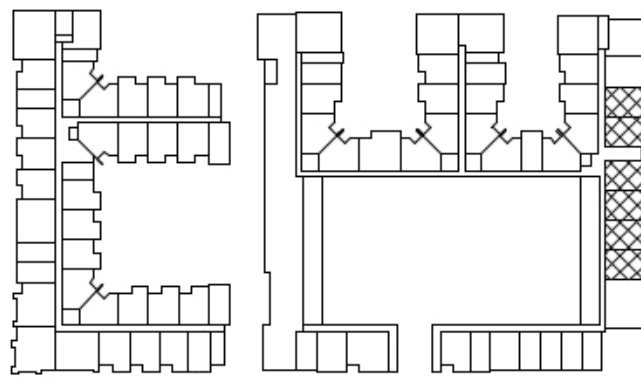
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ALL DRAWINGS AND WRITTEN MATERIAL, APPEARING HEREIN, ARE THE PROPERTY OF BDE ARCHITECTURE AND MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

SITE PLAN - FLOOR 2

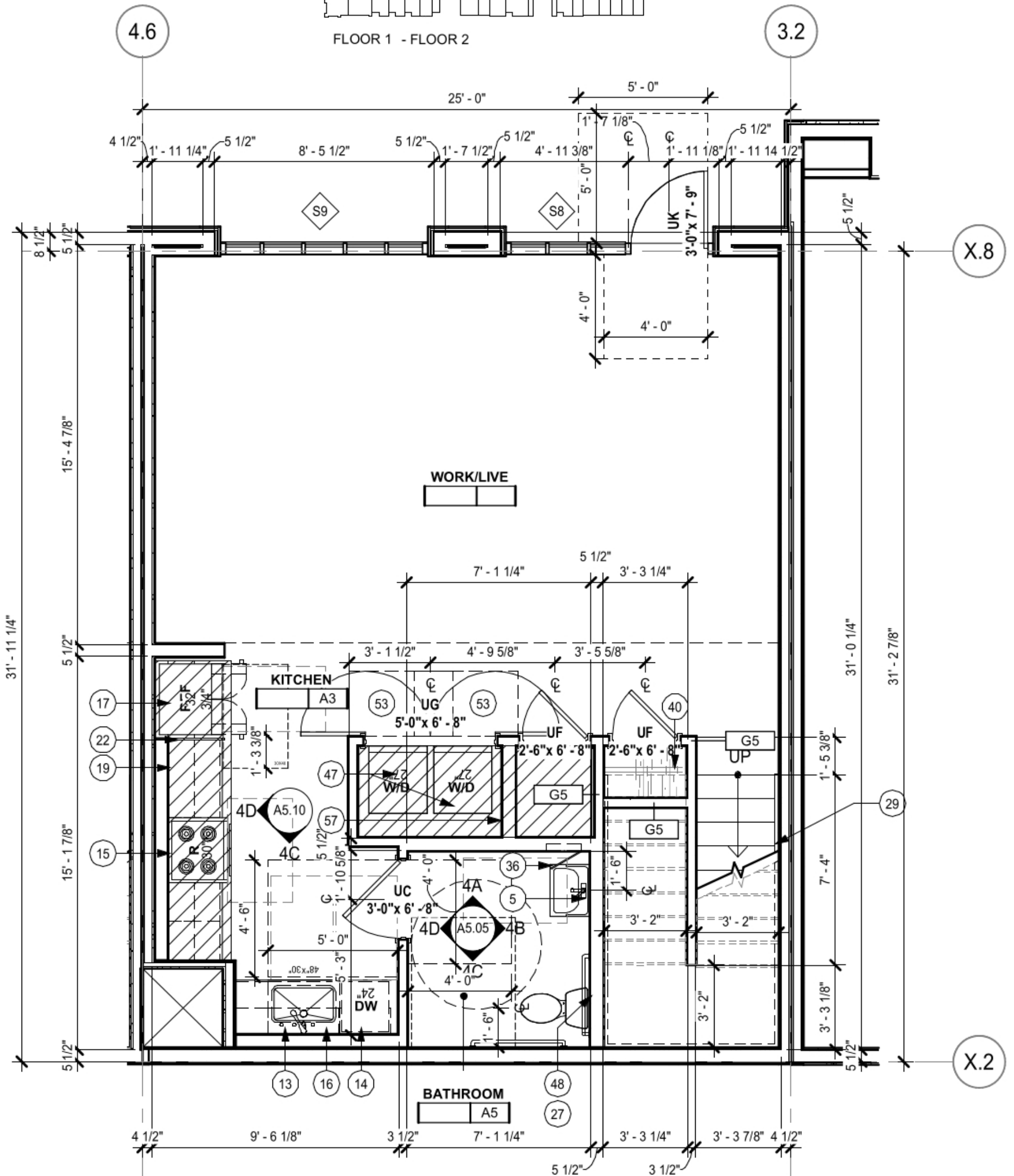
SHEET TITLE: As indicated
SCALE: 1/16\"= 1'-0\"
PROJECT: 1826 DRAWING: 1826-02
REVISION: 36 x 48

PROJECT: 1826
DRAWING: 1826-02
REVISION: 36 x 48

A1.02



FLOOR 1 - FLOOR 2

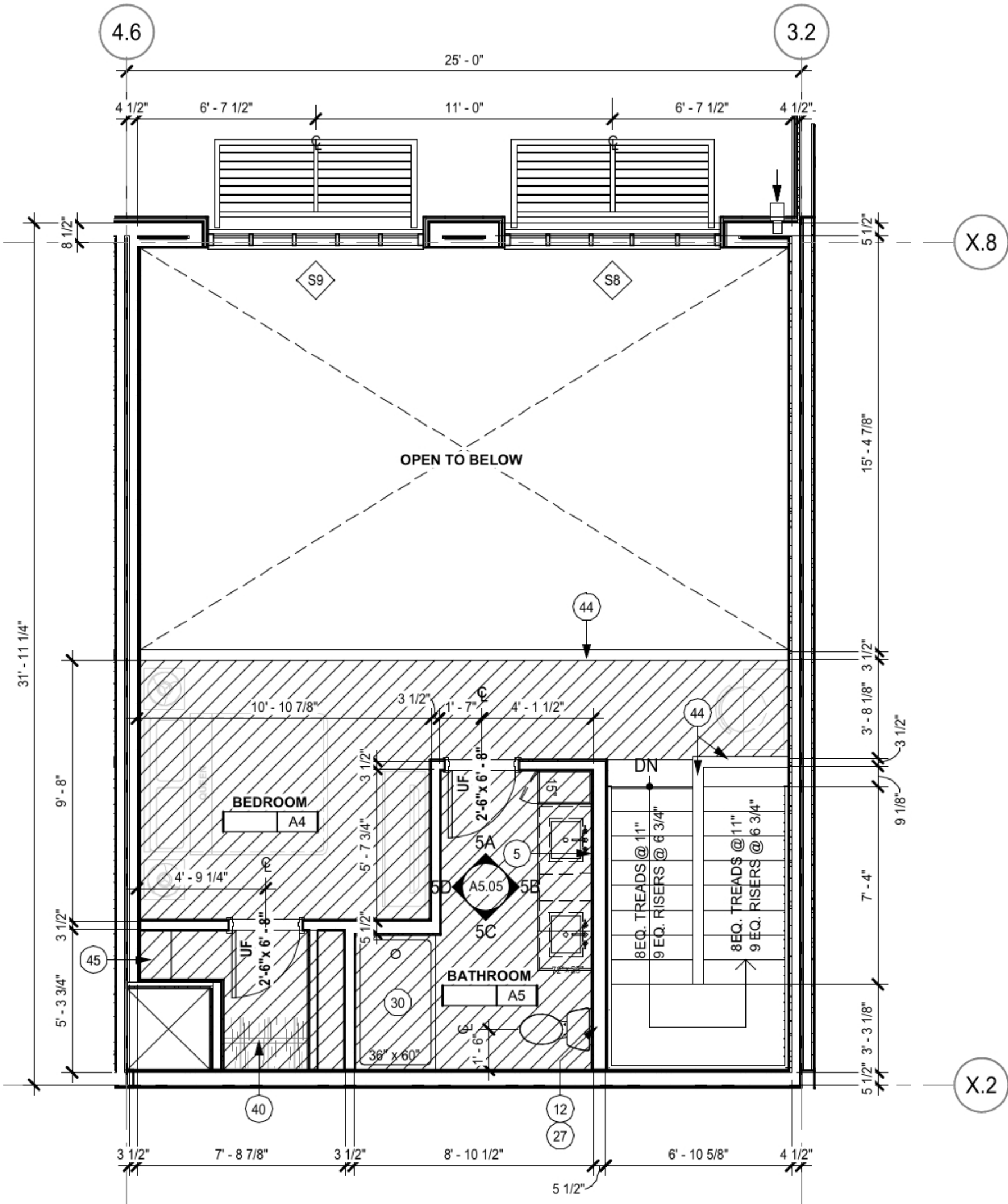


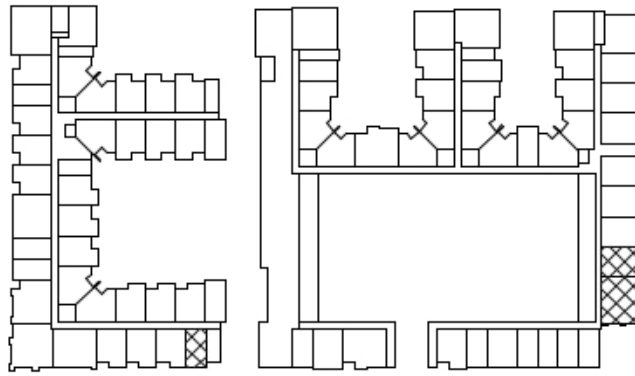
WORK/LIVE AREA:
WORK SF: 819 SF
LIVE SF: 319 SF
TOTAL SF: 1,131 SF

LIVABLE AREA:
319 SF (LIVE) / 1,131 SF (TOTAL) = 28.2%

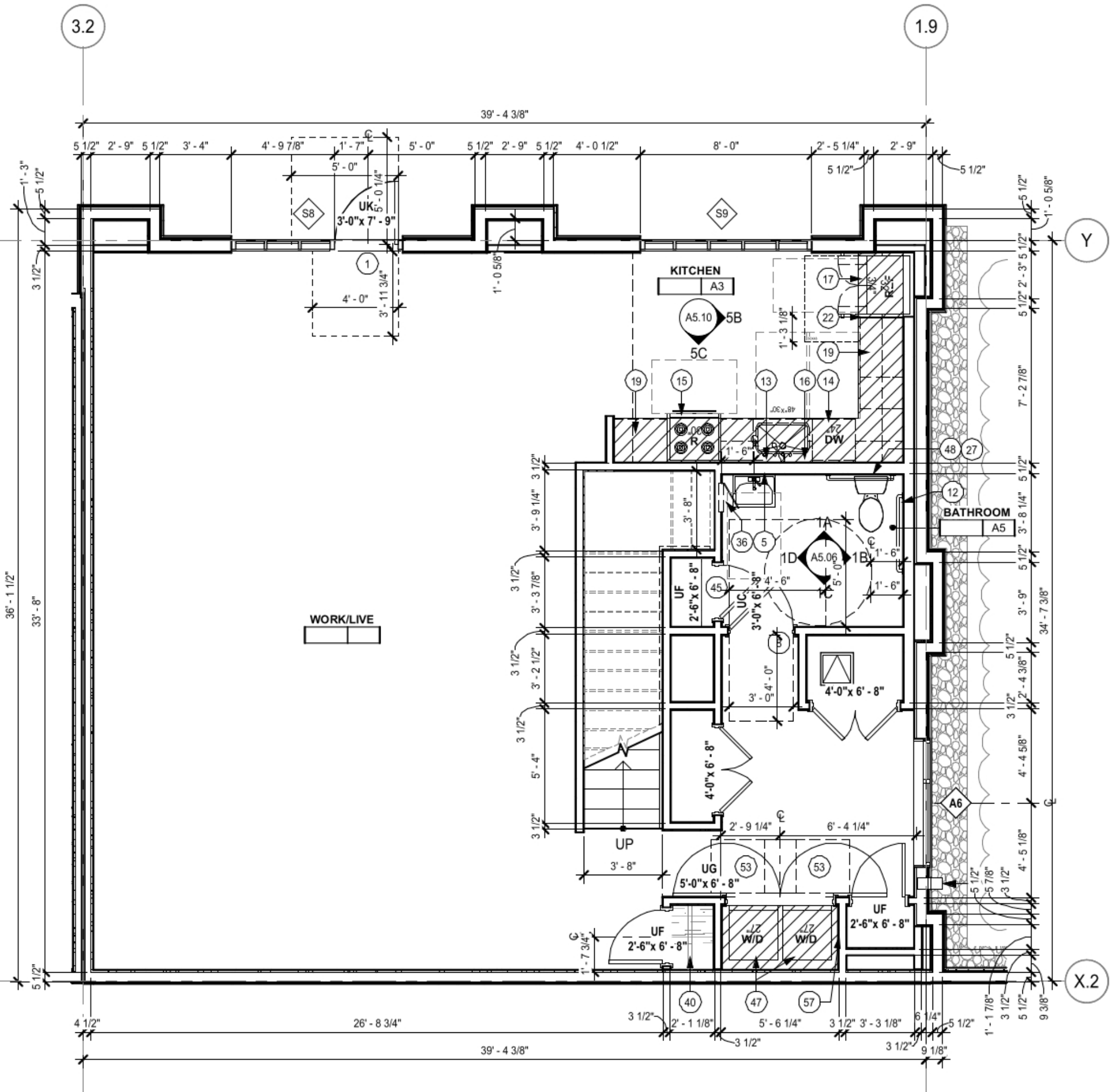
UNIT D1.0_LOWER 1

1/4" = 1'-0"





FLOOR 1 - FLOOR 2

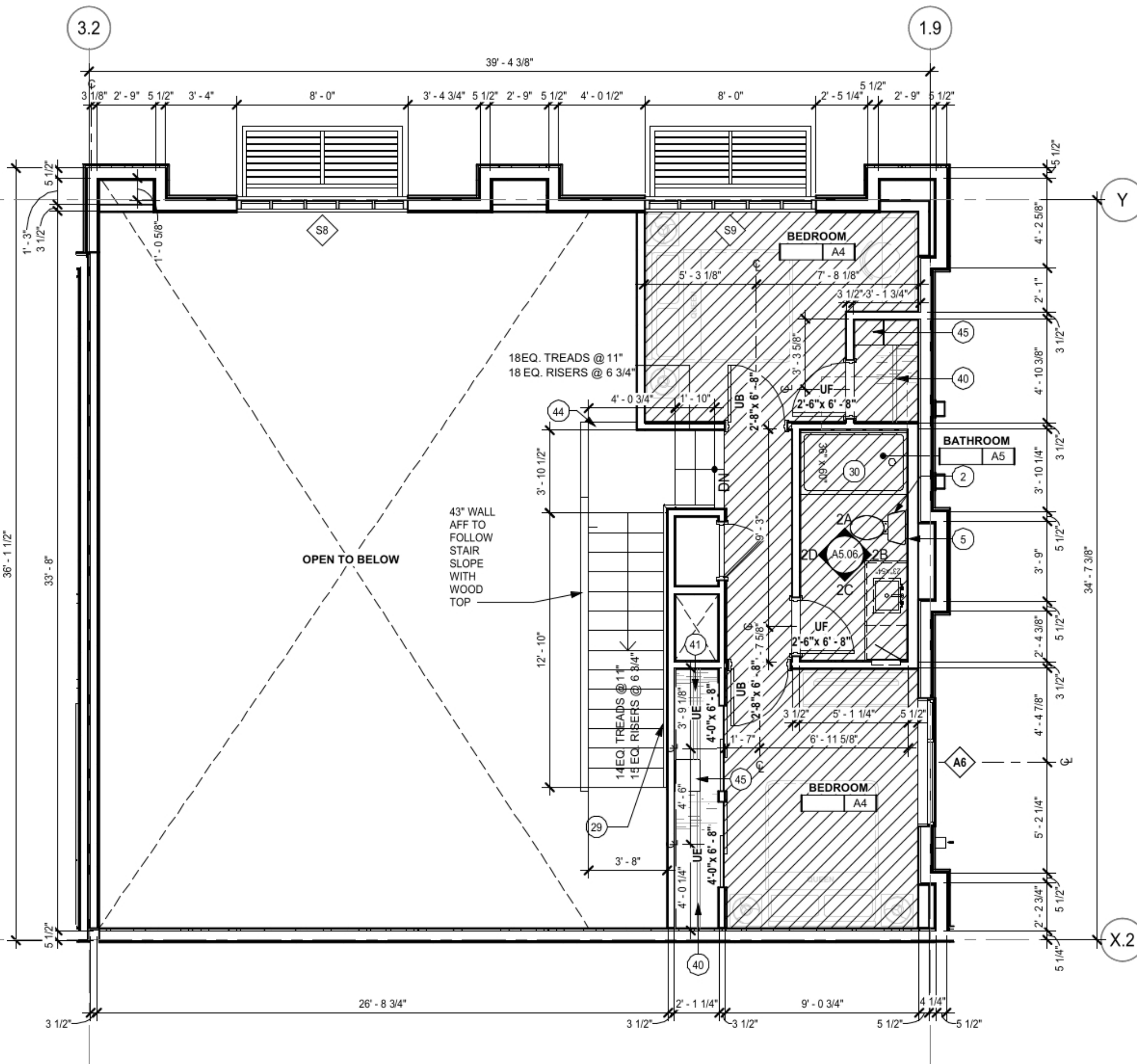


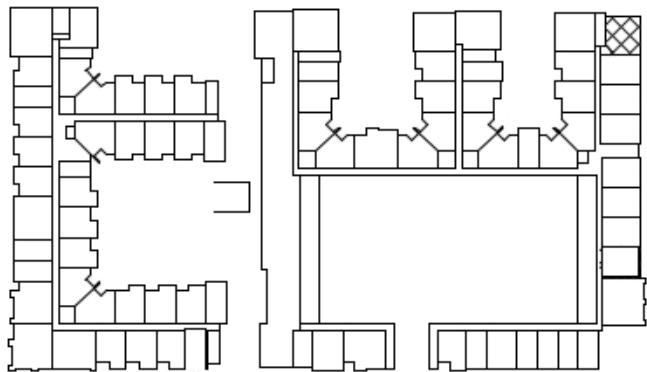
WORK/LIVE AREA:
WORK SF: 1,595 SF
LIVE SF: 385 SF
TOTAL SF: 1,980 SF

LIVABLE AREA:
385 SF (LIVE) / 1,980 SF (TOTAL) = 19.5%

UNIT D2.0_LOWER 3

1/4" = 1'-0"

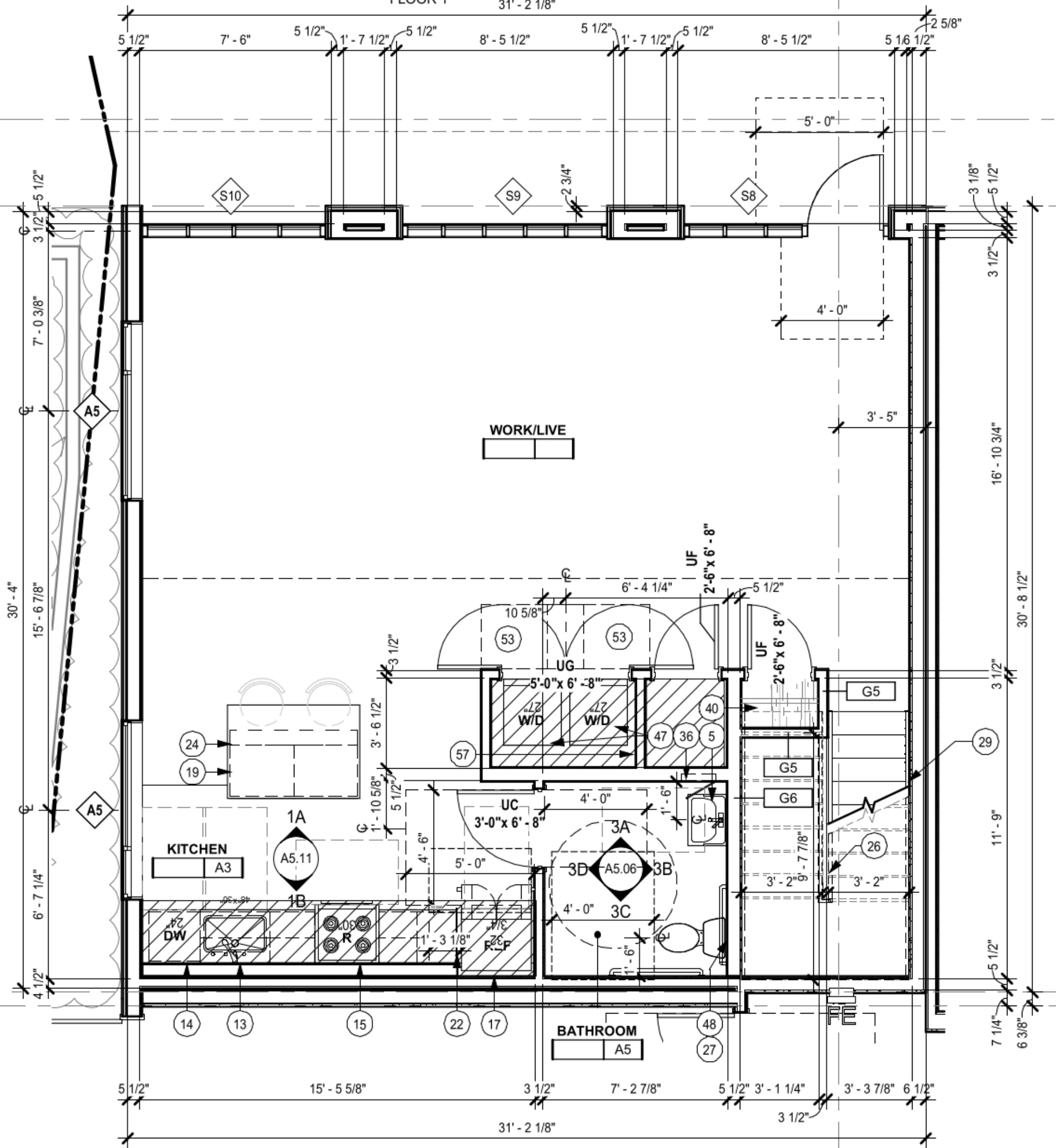




11.2

FLOOR 1

31' - 2 1/8"



LIVE/WORK AREA:
WORK SF: 941 SF
LIVE SF: 370 SF
TOTAL SF: 1,311SF

LIVABLE AREA:
370 SF (LIVE) / 1,311 SF (TOTAL) = 28.2%

UNIT D3.0_LOWER 1

1/4" = 1'-0"



THE LAUNCH

1777 CLEMENT AVENUE,
ALAMEDA, CA

DATE: 05/21/20
SCALE: 1/4" = 1'-0"
BY: BE/EM
PROJ. #: 1826

SHEET TITLE:

1 UNIT
1,311 SF

SHEET NO:

D3.L

