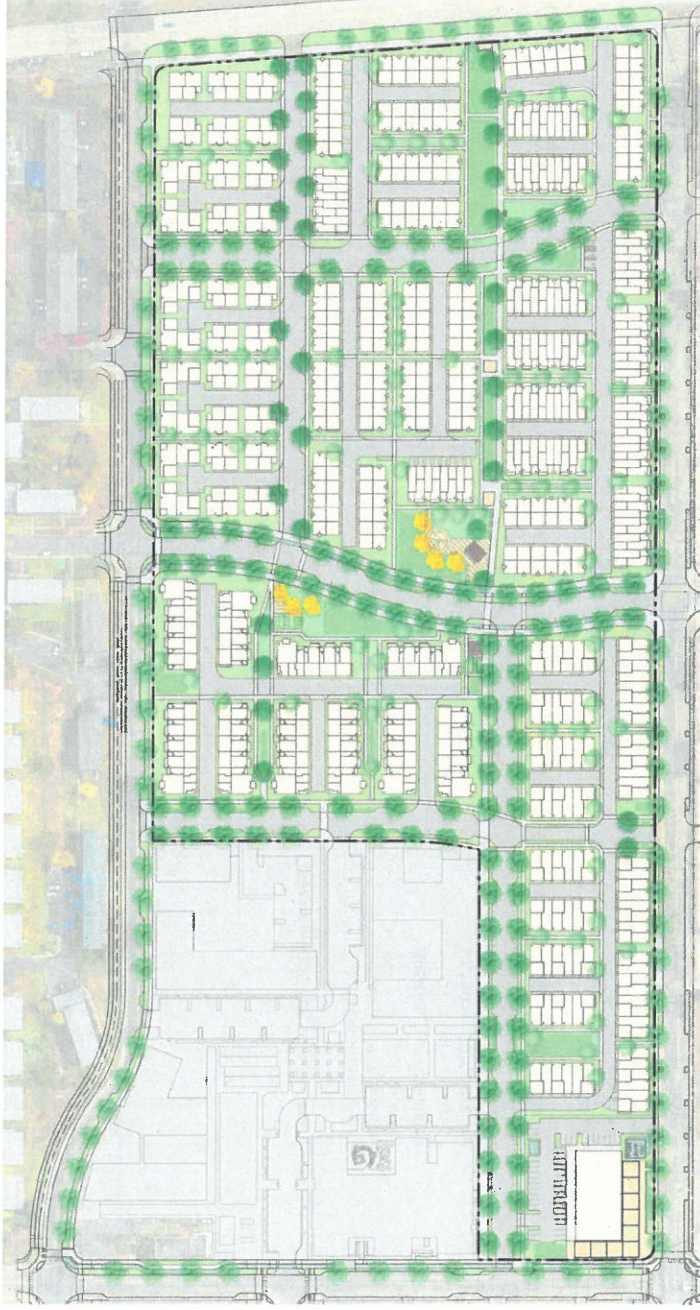




ALAMEDA POINT - WEST MIDWAY DEVELOPMENT PLAN

Project Sponsor: Brookfield Properties, Catellus Development Corp.

Prepared by: KTG Group INC., Woodley Architectural Group.INC., CBG Engineers, KayVictor, INC.

MAY 4, 2023

WEST MIDWAY
ALAMEDA, CA

Exhibit 2
Item 5-A, May 22, 2023
Planning Board Meeting

COVER SHEET



SITE DEVELOPMENT PLAN
May 4, 2023

1

CONTEXT

Site Photo- Existing Conditions	04
Site Photo- Neighboring Context	05
Site Photos- Neighboring Context	06
Planning Context	07



WEST MIDWAY
ALAMEDA, CA





1. BUILDING 35
WEST MIDWAY
ALAMEDA, CA



2. PG&E GAS FACILITY



3. OPERATION DIGNITY



4. BUILDING 8



5. BUILDING 152- COMMISSARY

SITE PHOTOS- EXISTING CONDITIONS



1. BIG WHITES



2. CORPUS CHRISTI RD SINGLE FAMILY HOMES



3. ALAMEDA FOOD BANK & RED CROSS

WEST MIDWAY
ALAMEDA, CA



4. MAIN STREET LINEAR PARK



5. ALMANAC BEER & CO.



6. BUILDING 41



7. ALAMEDA POINT MULTIFAMILY DEVELOPMENT



8. ALAMEDA NAVAL AIR MUSEUM



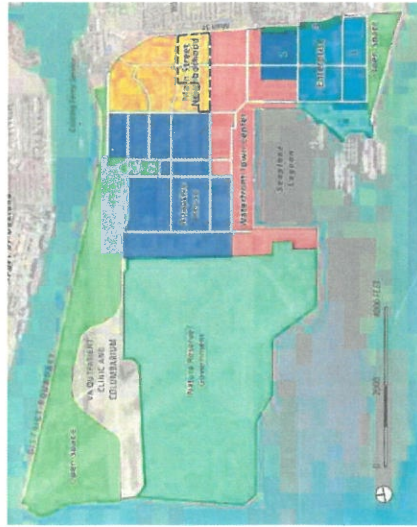
9. ALAMEDA WATERFRONT PARK

SITE PHOTOS- NEIGHBORING CONTEXT

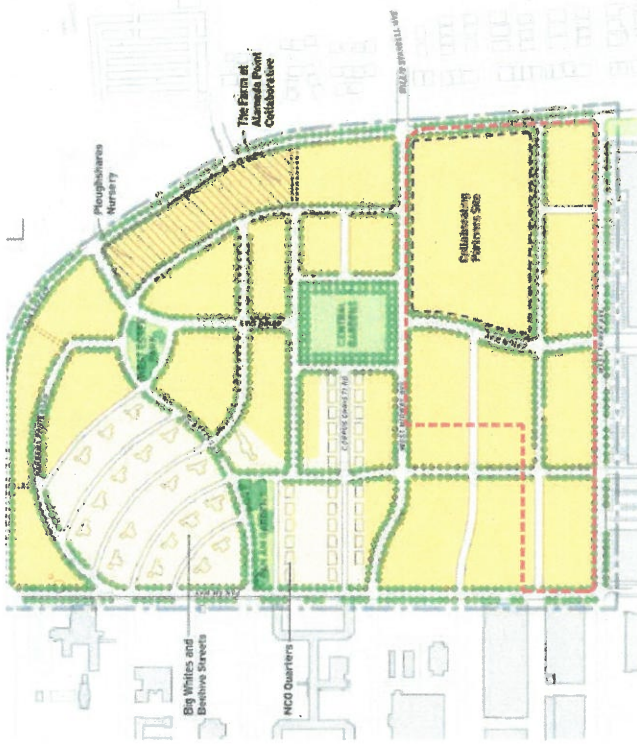




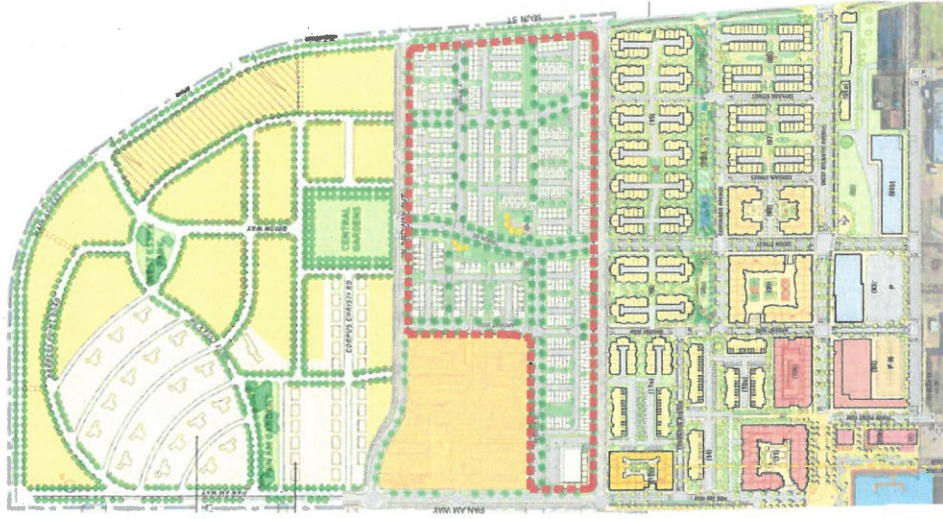
ALAMEDA POINT PLANNING GUIDE-OPEN SPACE FRAMEWORK
DRAWING FROM ALAMEDA POINT PLANNING GUIDE



ALAMEDA POINT - ZONING MAP
DRAWING FROM www.alamedaca.gov



MAIN STREET NEIGHBORHOOD PLAN
DRAWING FROM ALAMEDA POINT MAIN ST. NEIGHBORHOOD SPECIFIC PLAN



ILLUSTRATIVE SITE PLAN - ALL PHASES

WEST MIDWAY
ALAMEDA, CA



PLANNING CONTEXT

SITE DEVELOPMENT PLAN
May 4, 2023

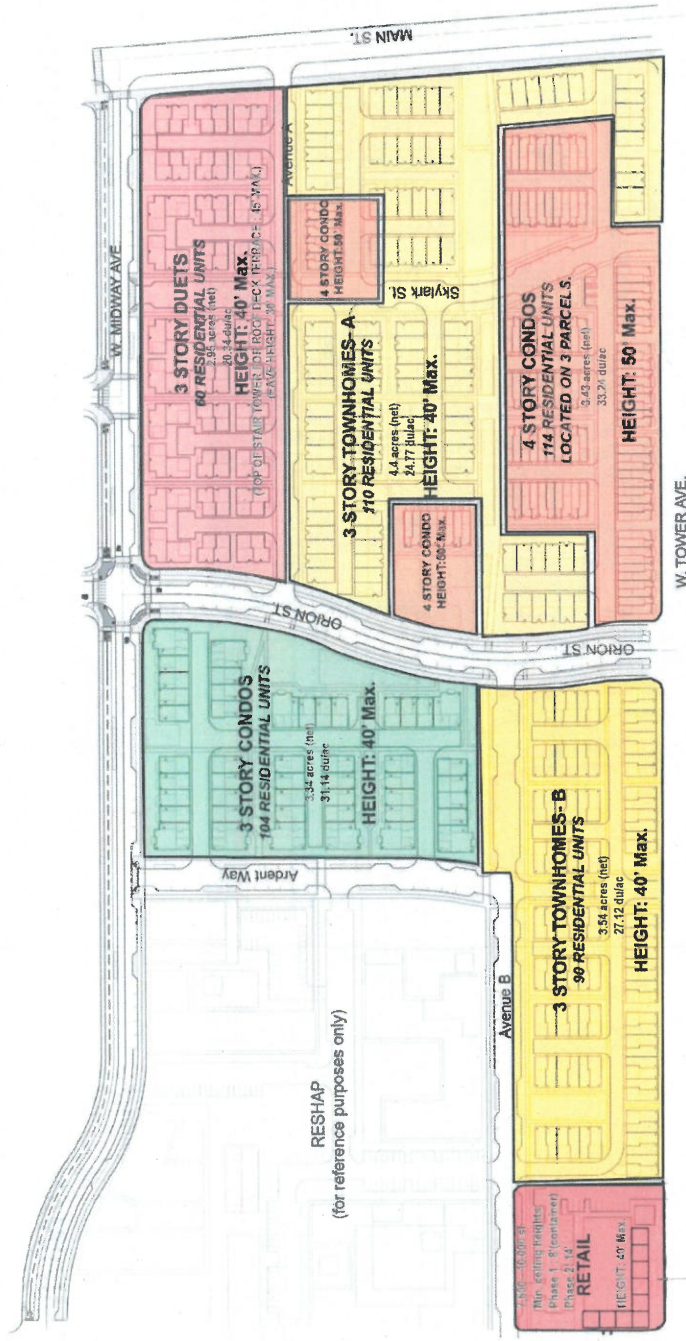
LAND USE & DEVELOPMENT

Illustrative Site Plan - All Phases	09
Land Use Diagram & Building Heights	10
Standard Lot Diagram	11
Building Height Sections	12
Vertical Construction Phasing Plan	13a
Infrastructure Phasing Plan - Phase 1	13b
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Affordable Housing	15
Architectural Character - Retail	16
Architectural Character - 3 Story duets	17a
Architectural Character - 3 Story TH-A & 3 Story Condos	17b
Architectural Character - 3 Story TH-B	17c
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Aerial View of Site	18



WEST MIDWAY
ALAMEDA, CA

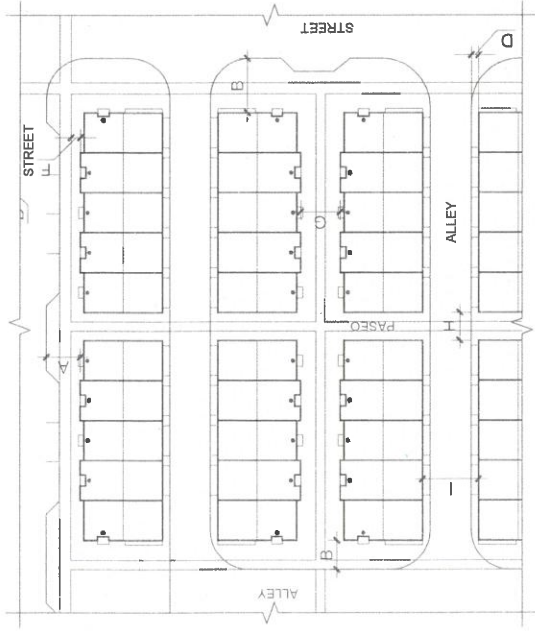




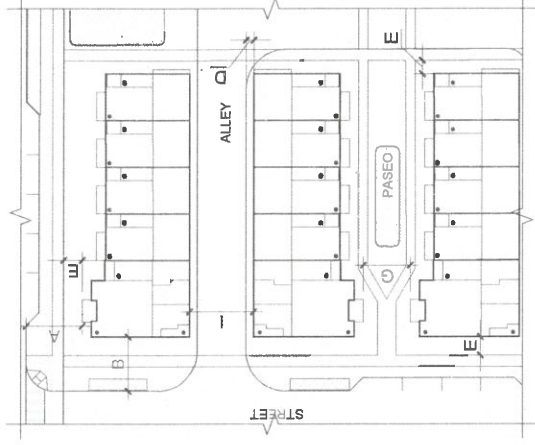
Note: Developer shall be permitted to incorporate up to 5 additional residential units within the commercial parcel. The exact size and configuration shall be determined at a later date.

LAND USE DIAGRAM & BUILDING HEIGHTS

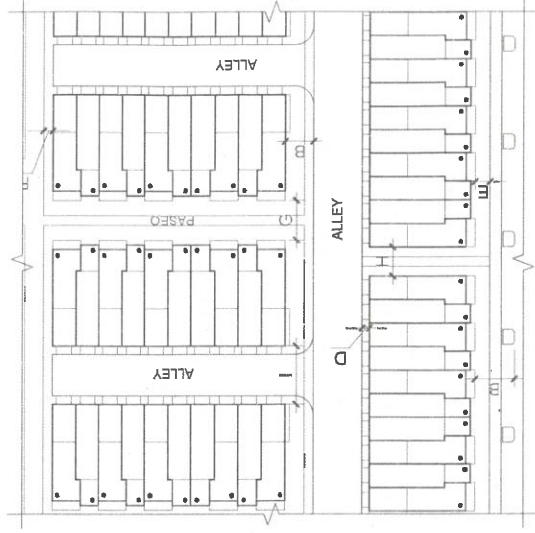




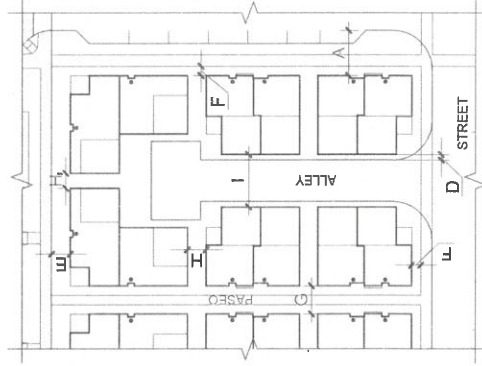
3 STORY TOWNHOMES - A



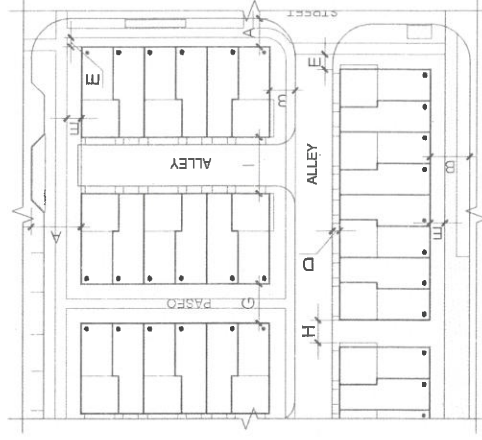
3 STORY CONDOS



4 STORY CONDOS



3 STORY DUETS



3 STORY TOWNHOMES - B

SETBACKS		HOUSING TYPOLOGY			
Types	Description	3 Story Duets	3 Story Condos	3 Story TH - A	4 Story Condos
A	Face of Curb To Face of Building (Front)	24'-0" min	24'-0" min	18'-0" min	24'-0" min
B	Face of Curb To Face of Building (Aerial Apparatus Access)	-	15' min - 30' max	15' min - 30' max	15' min - 30' max
C	Face of Curb To Face of Building (Side)	-	-	-	-
D	Face of Curb To Face of Building (Rear)	4'-0" min	4'-0" min	4'-0" min	4'-0" min
E	Back of Sidewalk To Face of Building (Public Street)	8'-0" min	10'-0" min	-	5'-0" min
F	Back of Sidewalk To Face of Building (Private Street)	5'-0" min	-	5'-0" min	-
G	Face of Building To Face of Building (Front)	15'-0" min	21'-0" min	21'-0" min	21'-0" min
H	Face of Building To Face of Building (Side)	8'-0" min	-	10'-0" min	12'-0" min
I	Face of Building To Face of Building (Rear)	28'-0" min	28'-0" min	28'-0" min	28'-0" min

WEST MIDWAY
ALAMEDA, CA

①

0 5 10 15 20 25 30 35 40 45 50 55 60 65 70 75 80 85 90 95 100

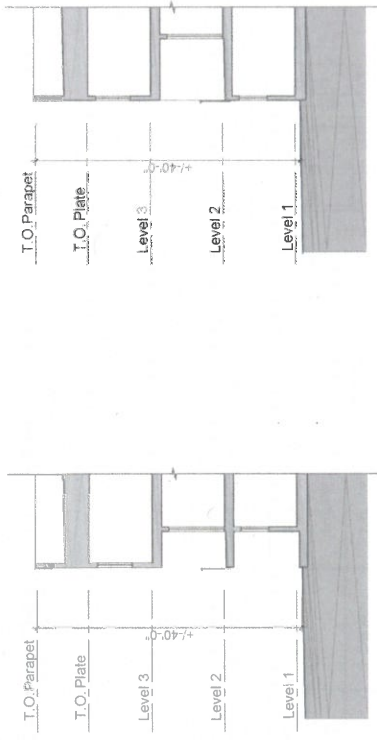
BUILDING SETBACKS



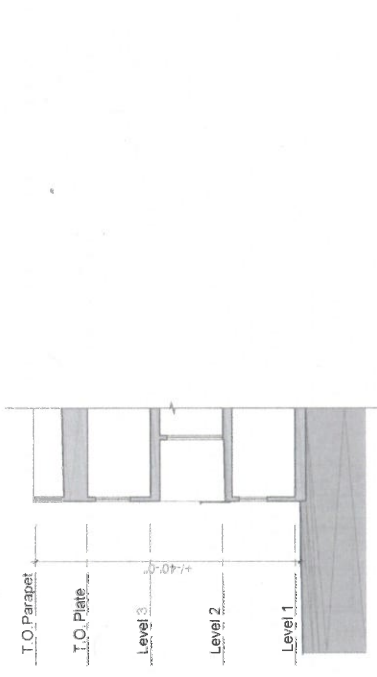
Brookfield
Properties



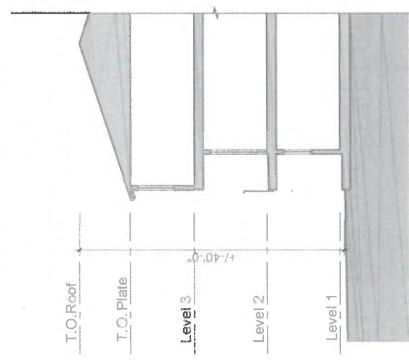
SITE DEVELOPMENT PLAN
May 4, 2023



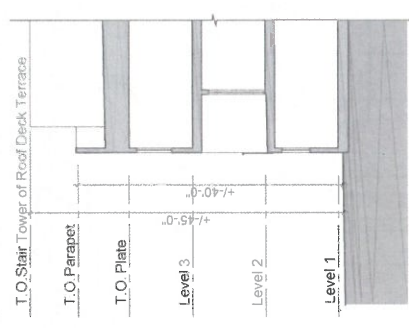
3 STORY TOWNHOMES - A



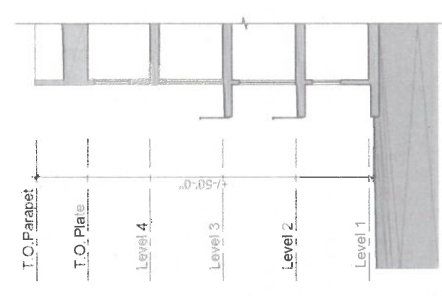
3 STORY TOWNHOMES - B



3 STORY CONDOS



3 STORY DUETS



4 STORY CONDOS

BUILDING HEIGHT DIAGRAM



WEST MIDWAY
ALAMEDA, CA



NTS

WEST MIDWAY
ALAMEDA, CA

VERTICAL CONSTRUCTION PHASING PLAN

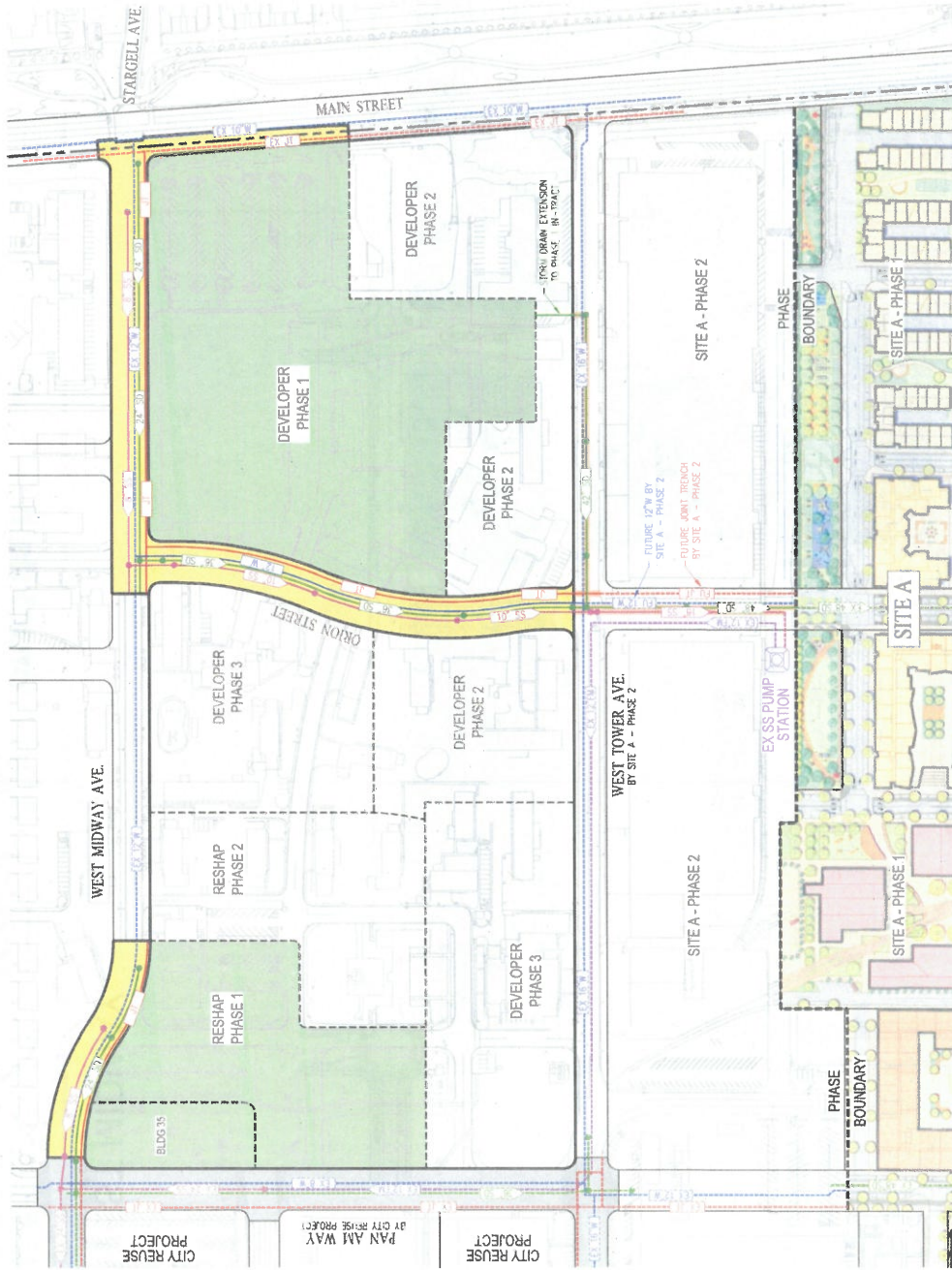


Brookfield
Properties



SITE DEVELOPMENT PLAN
May 1, 2022

13a



Schedule for Demolition, Site Improvement and Backbone Infrastructure^a

	Start	Finish
Reshap Phase 1:	2024	2025
Reshap Phase 2:	2028	2029
Developer Phase 1:	2025	2027
Developer Phase 2:	2026	2028
Developer Phase 3:	2027	2029

a. All dates subject to DCAI providing extending time for performance.

- LEGEND**
- BOUNDARY OF WEST MIDWAY PARCELS
 - STREET IMPROVEMENTS - BY OTHERS
 - OFF-SITE IMPROVEMENTS - PHASE 1
 - STREET IMPROVEMENTS - PHASE 1
 - DEVELOPMENT AREA - PHASE 1
 - EXISTING
 - PROPOSED
 - POTABLE WATER
 - JOINT TRENCH
 - STORM DRAIN & DIRECTION OF FLOW
 - SANITARY SEWER & DIRECTION OF FLOW
 - SANITARY SEWER FORCE MAIN & DIRECTION OF FLOW
 - SEWER PUMP STATION

INFRASTRUCTURE PHASING PLAN - PHASE 1

WEST MIDWAY
ALAMEDA, CA

SITE DEVELOPMENT PLAN
May 4, 2023
13B

UNIVERSAL RESIDENTIAL DESIGN ORDINANCE (A.M.C 30-18)

- a. *Visitability.* To ensure that all new residential dwellings units subject to the provisions of this section meet the basic needs of a wide range of guests to enter and use critical portions of the home, all units subject to this section shall include the following features:

1. An accessible exterior access to an accessible entry;

2. An accessible interior access from the accessible entry to an accessible powder room, accessible common use room or an accessible bedroom, and adaptable internal stairs;

3. Blocking within the walls to support future installation of grab bar/hand rails in all bathrooms; and

4. If ground floor open space is provided, then an accessible path of travel to the open space shall be provided.
- b. *Universal Design.* To ensure that a share of all new dwelling units are usable by the greatest number of people with the widest reasonable range of abilities or disabilities, to the greatest extent feasible, thirty (30%) percent of all new residential units in a residential development of five (5) or more units shall include the following features:

1. An accessible exterior access to an accessible entry;

2. An accessible interior access from the accessible entry to an accessible bathroom, an accessible common use room, an accessible bedroom, accessible kitchen, accessible common or private open space; accessible laundry facility, and adaptable internal stairs;

3. In determining the number of universally designed units required by this subsection, any decimal fraction less than 0.5 shall be rounded down to the nearest whole number, and any decimal fraction of 0.5 or more shall be rounded up to the nearest whole number.
- c. *Optional Features.* Any residential development that includes an on-site sales office in which a buyer may purchase a unit prior to completion of construction of the unit must offer buyers the opportunity to select and purchase additional universal design features from a pre-approved list of offered features. The seller of the residential dwelling units shall prepare a brochure or checklist of the additional universal design features and pricing for the features that will be offered. The brochure or checklist shall be reviewed and pre-approved by the Planning Board concurrently with the discretionary permits for the development. The office shall have an accessible exterior access to the primary entrance, and be fully accessible per the Americans with Disabilities Act (ADA).



Overall Stewardship Compliance					
Unit Count	Universal Design Ordinance Compliance				
	Visitability	Universal Access	Exempt*	Non-compliant Waiver	Grading Waiver
Dwets	26	26	-	-	8
3 Story TH - A	58	37	-	-	15
West Midway Neighborhoods	53	-	-	53	9
4 Story TH	79	-	-	-	11
3 Story TH - B	37	30	30	37	-
3 Story Condo	252	71	20	90	43
Total Units	51.72%	15.27%	4.18%	18.81%	9.06%
	Total Visitability Units (Visitability + Univ. Access)				
Total Universal Access Units	325				
	73				

* Section 30.18.3.2.6 exempts from compliance "New residential units located directly above a ground floor unit that meets the requirements of subsection 30-18.4.b"

Notes: Total calculations are based on a total unit count of 489 (subtreeding out existing units from the total number of units).

Note:
As part of the project approvals the applicant will be granted a waiver for the Universal Residential Design Ordinance. The waiver will allow up to 15% of the units to be universally designed and up to 50% of the units to be visitable and is necessary and appropriate to minimize housing costs in a development with townhouse and residential building types.



BROOKFIELD/CATELLUS				
Developable Block	Building Typology	Market	Total Units (du)	Construction Phase
1A	Duet	Market	24 du	1
1B	4-story Condo	Market	8 du	1
1B	3-story TH1	Market	7 du	1
1C	Duet	Market	36 du	1
1D	3-story TH1	Market	52 du	1
1D	4-story Condo	Market	8 du	1
1E	4-story Condo	Market	18 du	1
2A	3-story TH1	Moderate	2 du	1
2A	4-story Condo	Market	39 du	2
2B	3-story TH1	Market	20 du	2
2B	4-story Condo	Market	12 du	2
2B	4-story Condo	Market	58 du	2
2D	3-story TH2	Market	38 du	2
2D	3-story Condo	Market	2 du	2
3A	3-story Condo	Moderate	16 du	2
3A	3-story Condo	Market	13 du	2
3B	3-story TH2	Market	21 du	3
3C	N.A.	Workforce	28 du	3
Subtotal		Moderate	14 du	3
		Market	52 du	3
		Retail	du	3
			478 du	

LIMITS BY INCOME TYPE			
Very Low		0	0.0%
Low		0	0.0%
Transitional		0	0.0%
Manager		0	0.0%
Moderate		39	8.2%
Workforce - Income Qualified		44	9.2%
AFFORDABLE UNIT SUBTOTAL			
Workforce - Market Rate		21	17.4%
Market Rate		374	~4.6%
MARKET RATE UNIT SUBTOTAL			
			78.1%
TOTAL UNITS			82.6%
			100.0%
			478

West Midway Workforce Housing Program

The Minnesota State Trust's Workforce Specific Plan requires a minimum of 10% of the new housing within the plan area be designed and sold as rentals to "Workforce" households. The Specific Plan states in Section 3.4.1.0 (Exhibit A) "Workforce Housing - To provide opportunities for residents with a household income above \$14,000 (net residential income) but required to qualify for need-based affordable housing, at least ten percent (10 percent) of the units shall be designed to be affordable to households with a household income between 120 percent and 180 percent of area median income, at the discretion of the Planning Department. To achieve this requirement the development application shall include information about current and projected home sales prices or rental rates and the proposed unit design to justify and explain how at least 10 percent of the units have been designed to be affordable to the target household income levels."

The Program is an "affordable by design" strategy that will address how Workforce units will be designed and incorporated into the overall plan. The Workforce Housing units are planned to be for-sale, not-rent restricted units.

Workforce Housing that fits the definition of "Affordable by Design", will be comparable to the market rate. The following factors will distinguish these units from true market rate homes, including:

- Smaller square footage – approximately 10% smaller than typical market rate homes through a combination of more efficient layouts, fewer bulk-in features and smaller bedrooms and bathroom counts.
- Reduced parking – Workforce homes will have no more than 1 single car garage space with convenient access to transit (ferry and bus).
- Streamlined parking – Historically, homes in Alameda and many California cities, were designed with very simple parking in order to reduce construction costs. Those homes will incorporate this concept in the design.
- Efficient material choices – reducing the number of materials used in a home can reduce material and labor costs. A simplified material palette does not, however, translate into less interesting design. The Craftsman and Mission Revival bungalows of the early 20th century, the affordable by design homes of their day, often have materials that can provide a rich look when combined with the right trim details, colors, and proportions. Today's affordable by design homes may be built in the traditional to hold down material and labor costs.

WEST MIDWAY
ALAMEDA, CA

Key elements of the West Midway Workforce Housing program:

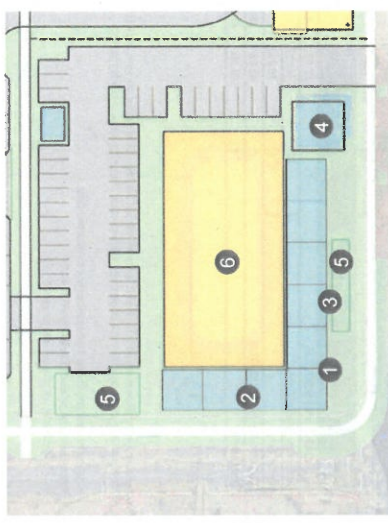
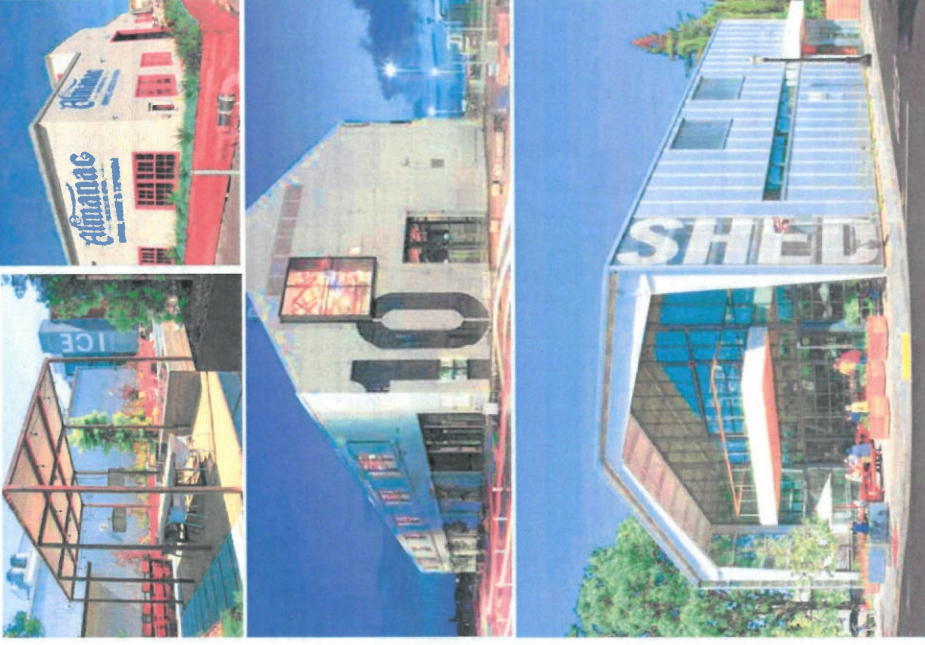
- The Workforce Housing program is driven by "Affordable by Design". Townsfolk that build, own, and manage Workforce housing units will be designed to be smaller and more efficient than the typical market-rate units and may have fewer built-in amenities and finishes, but otherwise comparable to the market-rate units. All Workforce units will be developed in a single-family attached or semi-detached building typology.
 - Smaller unit sizes and simpler finishes will reduce construction costs.
 - Smaller unit sizes will also allow for higher densities
 - All Workforce units will have one-car garages or less.
 - Target living square footages by bedroom counts:
 - 1 Bedroom Unit - Less than 950 SF
 - 2 Bedroom Unit - Less than 1,200 SF
 - 3 Bedroom Unit - Less than 1,600 SF
- The 104 unit neighborhood to the immediate east of RESAP and at the southwest corner of Orion and West Midway is designed to fulfill the workforce requirement. The number of units that will require income verification is included in the development plan neighborhood phasing and unit matrix. This neighborhood will also provide some of the moderate priced restricted units.
 - A Workforce Housing Buyer ("Buyer") shall be a qualified buyer household that earns not more than 180% of the Area Median Income for Alameda County during the year the unit is offered for sale.
 - Workforce Housing unit Buyers will be qualified at the time they submit an application for home purchase. Brookfield Mortgage company (or a non-affiliated outside mortgage company) will qualify all buyers and provide notification to the City as to the income verification.

AFFORDABILITY PLAN

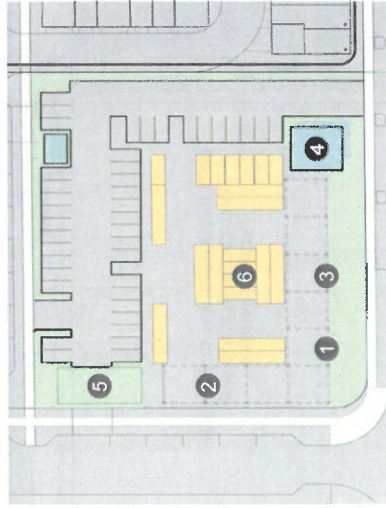
1. PHASE ONE COMMERCIAL : NIMBLE, FLEXIBLE COMMERCIAL SPACE TO EXPERIMENT AND SEE WHAT CREATES GREATEST SYNERGY WITH ADJACENT FOOD AND BEVERAGE OPERATIONS
PHASE ONE SCHEDULE : ESTIMATED TO BE OPERATIONAL IN SPRING 2026 DEPENDENT ON COMPLETION OF PAN AM WAY IMPROVEMENTS, INFRASTRUCTURE IMPROVEMENTS, AND MARKET CONDITIONS



2. PHASE TWO COMMERCIAL : MORE PERMANENT STRUCTURES REPLACE PHASE ONE AS COMMERCIAL HUB AS NEIGHBORHOOD MATURES
PHASE TWO SCHEDULE : ESTIMATED TO BE OPERATIONAL IN FALL 2031 DEPENDENT ON COMPLETION OF PHASE 3 IMPROVEMENTS AND MARKET CONDITIONS



PHASE 1- SITE PLAN



LEGEND (PHASE 1 AND PHASE 2)

1. Seating Plaza
2. Canopy Structure with shade and lighting
3. Low Landscape walls
4. Utility Screening
5. Storm water landscape
6. Phased Commercial Concept

WEST MIDWAY
ALAMEDA, CA

ARCHITECTURAL CHARACTER-RETAIL "PHASE ONE & TWO"





KEY MAP



WEST MIDWAY
ALAMEDA, CA

ARCHITECTURAL CHARACTER- 3 STORY DUETS



Brookfield
Properties



SITE DEVELOPMENT PLAN
May 4, 2023

3 story Townhome - A



3 story Condos



KEY MAP

WEST MIDWAY
ALAMEDA, CA



Brookfield
Properties

CATELLUS

ARCHITECTURAL CHARACTER- 3 STORY TOWNHOMES - A & 3 STORY CONDOS

SITE DEVELOPMENT PLAN
May 4, 2023

17b



KEY MAP



WEST MIDWAY
ALAMEDA, CA

ARCHITECTURAL CHARACTER- 3 STORY TOWNHOMES - B



SITE DEVELOPMENT PLAN
May 1, 2020



KEY MAP



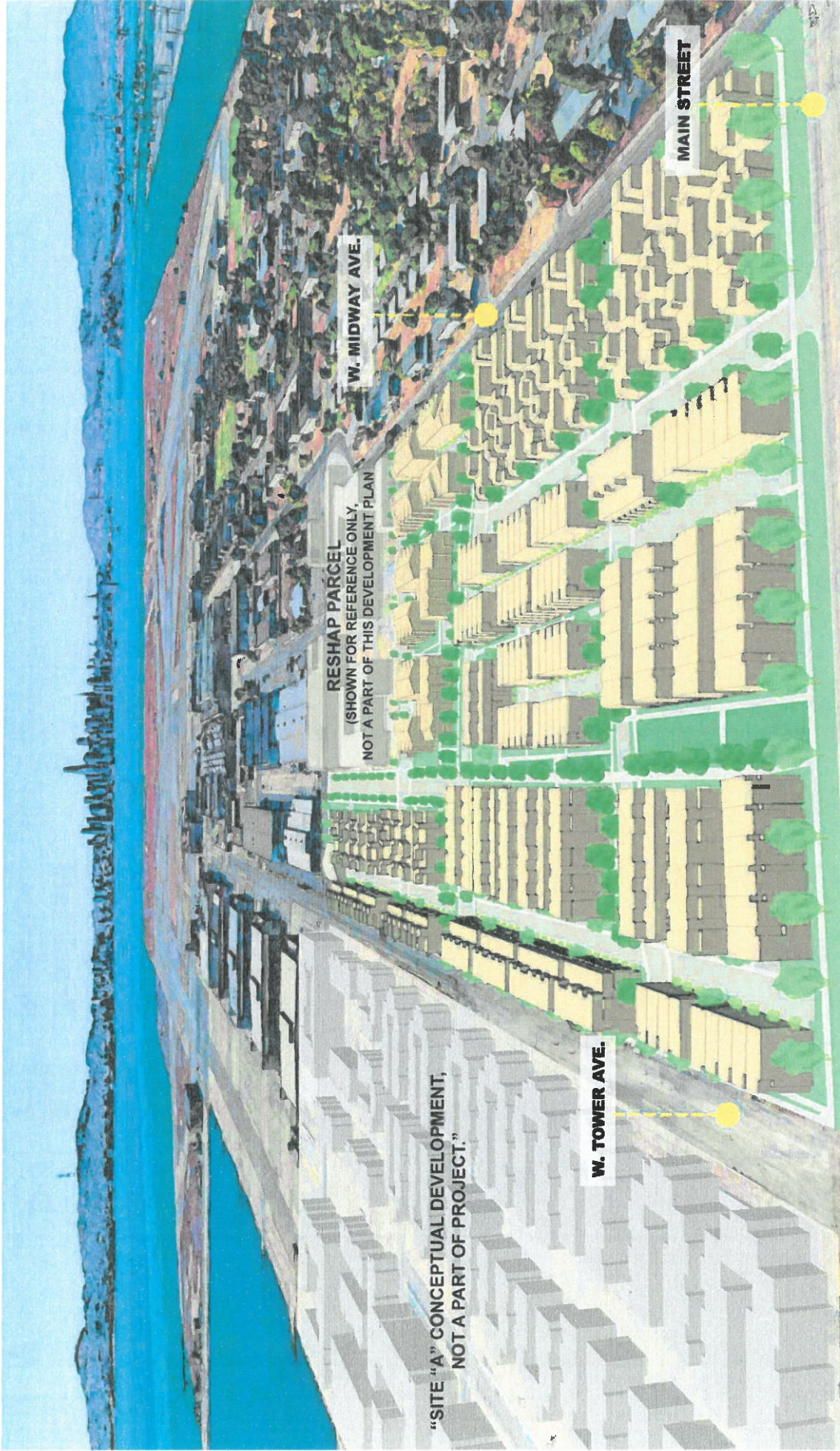
WEST MIDWAY
ALAMEDA, CA

ARCHITECTURAL CHARACTER- 4 STORY CONDOS



SITE DEVELOPMENT PLAN
May 4, 2022

17d



WEST MIDWAY
ALAMEDA, CA

CONCEPTUAL AERIAL VIEW OF SITE LOOKING WEST



SITE DEVELOPMENT PLAN
May 4, 2023



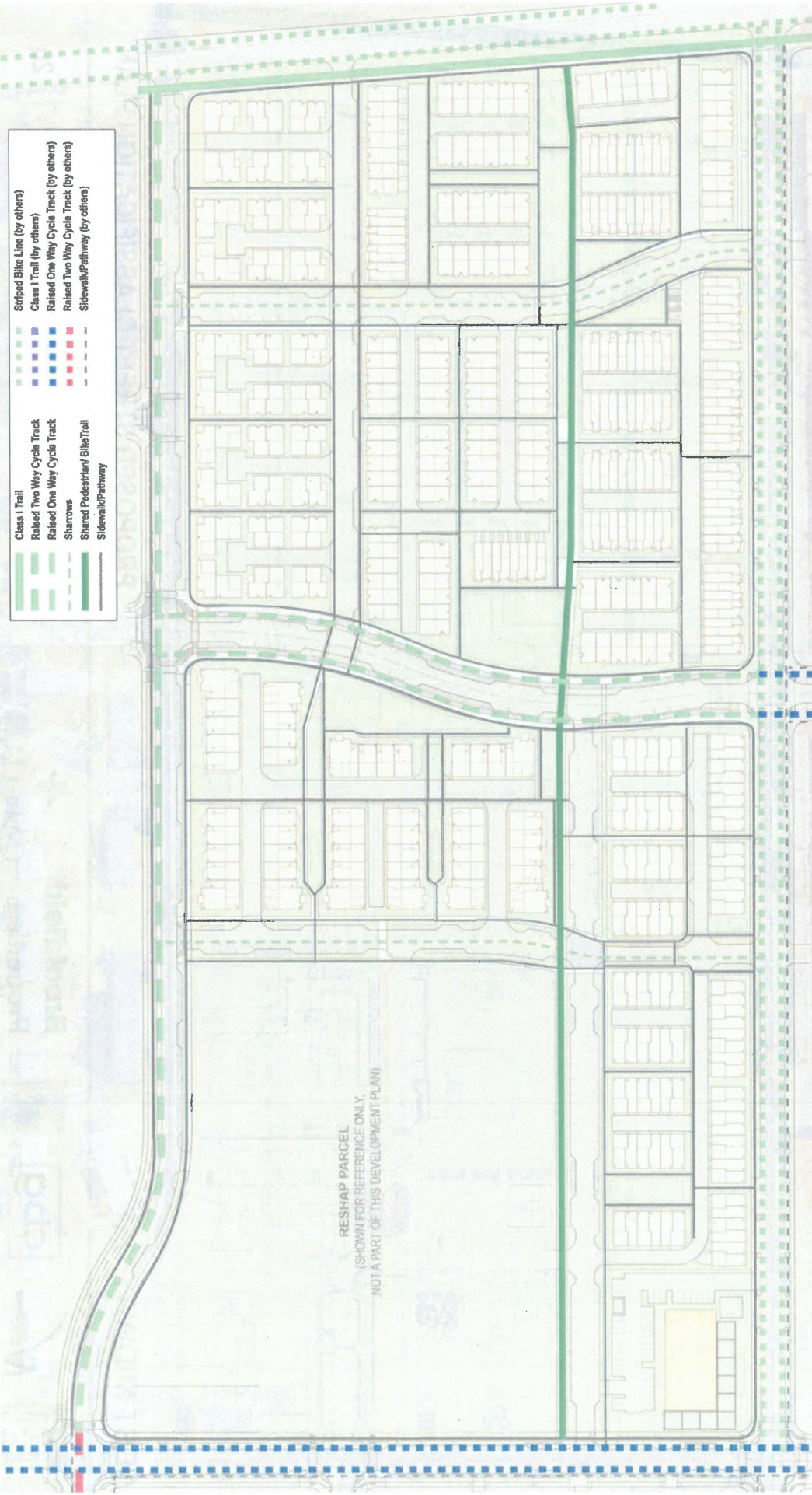
TRANSPORTATION & CIRCULATION

Proposed Street Classification Plan	20
Bike & Pedestrian Circulation Plan	21
Transit Plan	22
Parking Plan	23
Street Sections	24a
Street Sections	24b

WEST MIDWAY
ALAMEDA, CA







WEST MIDWAY
ALAMEDA, CA

BIKE & PEDESTRIAN CIRCULATION PLAN





WEST MIDWAY
ALAMEDA, CA

TRANSIT PLAN

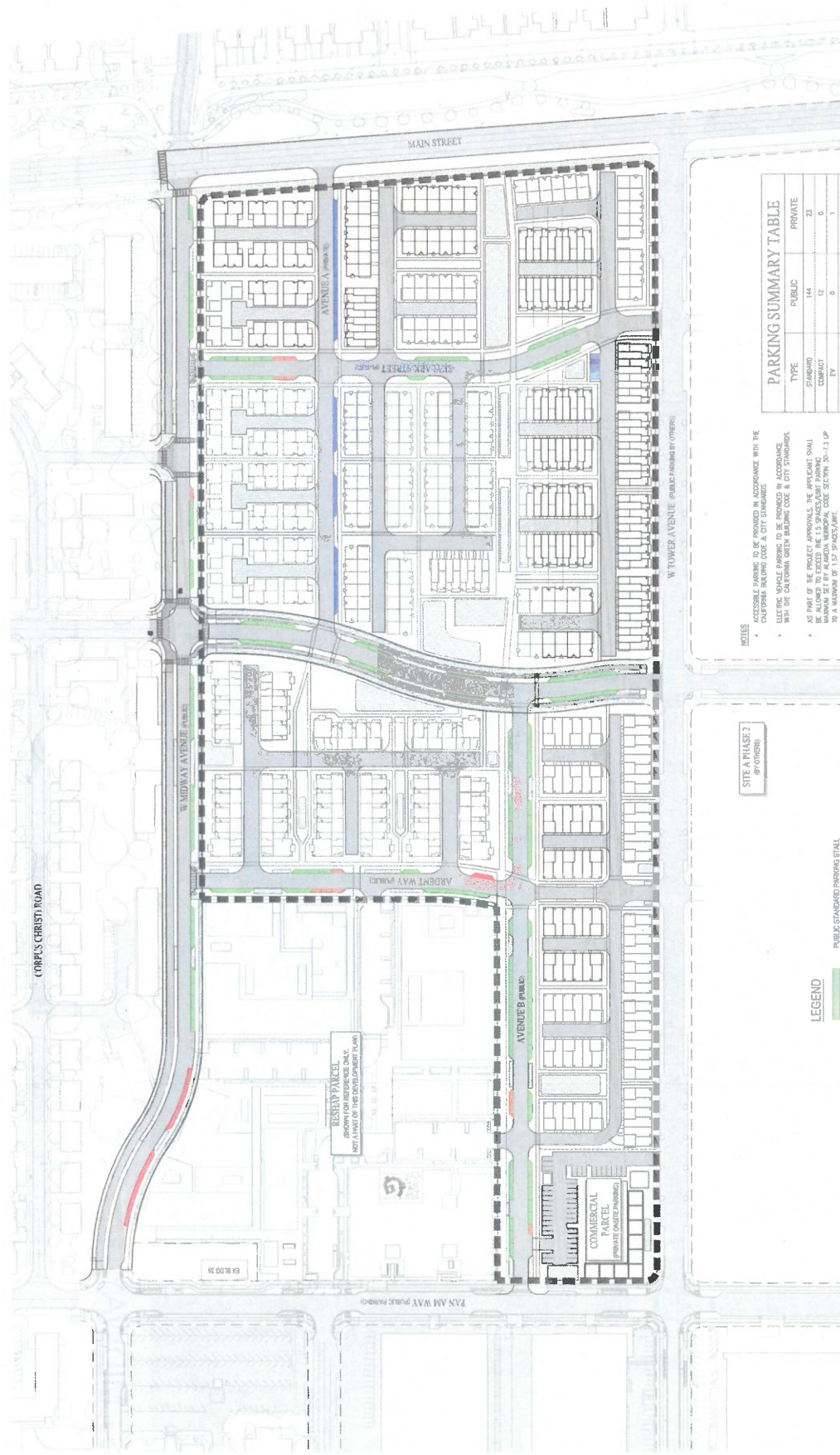


Brookfield
Properties



SITE DEVELOPMENT PLAN
May 4, 2023

22

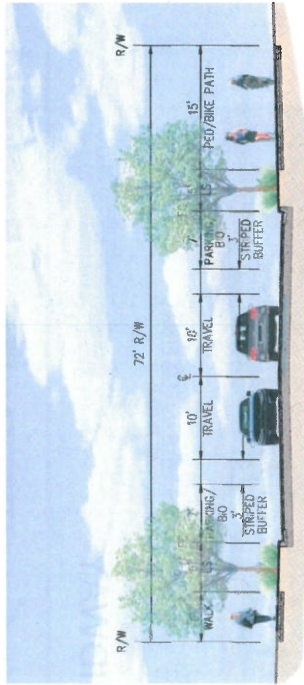


WEST MIDWAY ALAMEDA, CA

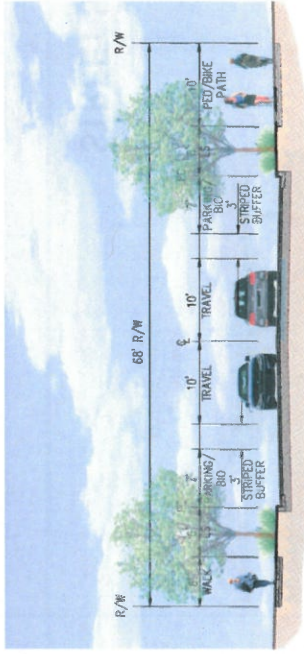
PARKING PLAN

PARKING SUMMARY TABLE

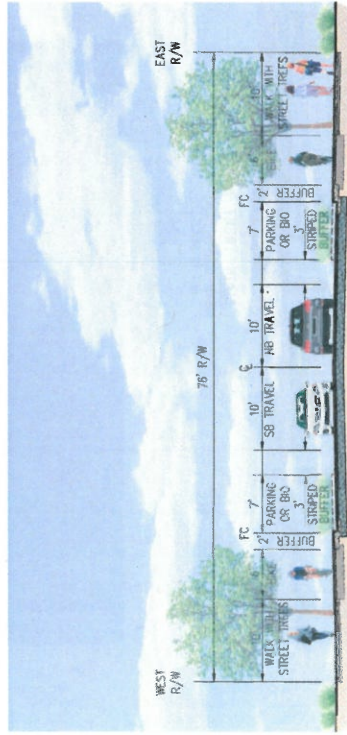
TYPE	PUBLIC	PRIVATE
STANDARD	144	20
COMPACT	12	0
ACCESSIBLE	0	2
TOTAL	156	20



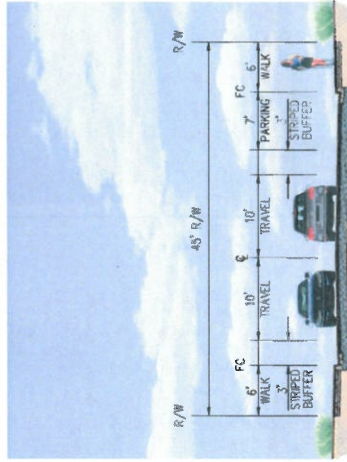
AVENUE B
(WEST OF ARDENT WAY)
NOT TO SCALE



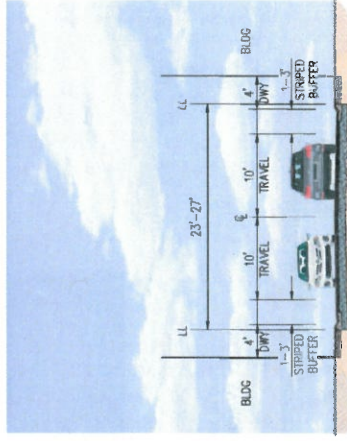
AVENUE B
(EAST OF ARDENT WAY)
NOT TO SCALE



ORION STREET
NOT TO SCALE



AVENUE A
(PRIVATE STREET)
NOT TO SCALE



TYPICAL ALLEY
(PRIVATE STREET)
NOT TO SCALE

WEST MIDWAY
ALAMEDA, CA

STREET SECTIONS



Brookfield
Properties

CATELLUS

SITE DEVELOPMENT PLAN
JAN 4, 2023

24b



OPEN SPACE

Illustrative Site Plan	26
Framework Plan	27
Greenway Plaza and Active Park	28
Orion Green	29
Greenway Corridor	30
Project Sustainability	31

WEST MIDWAY
ALAMEDA, CA



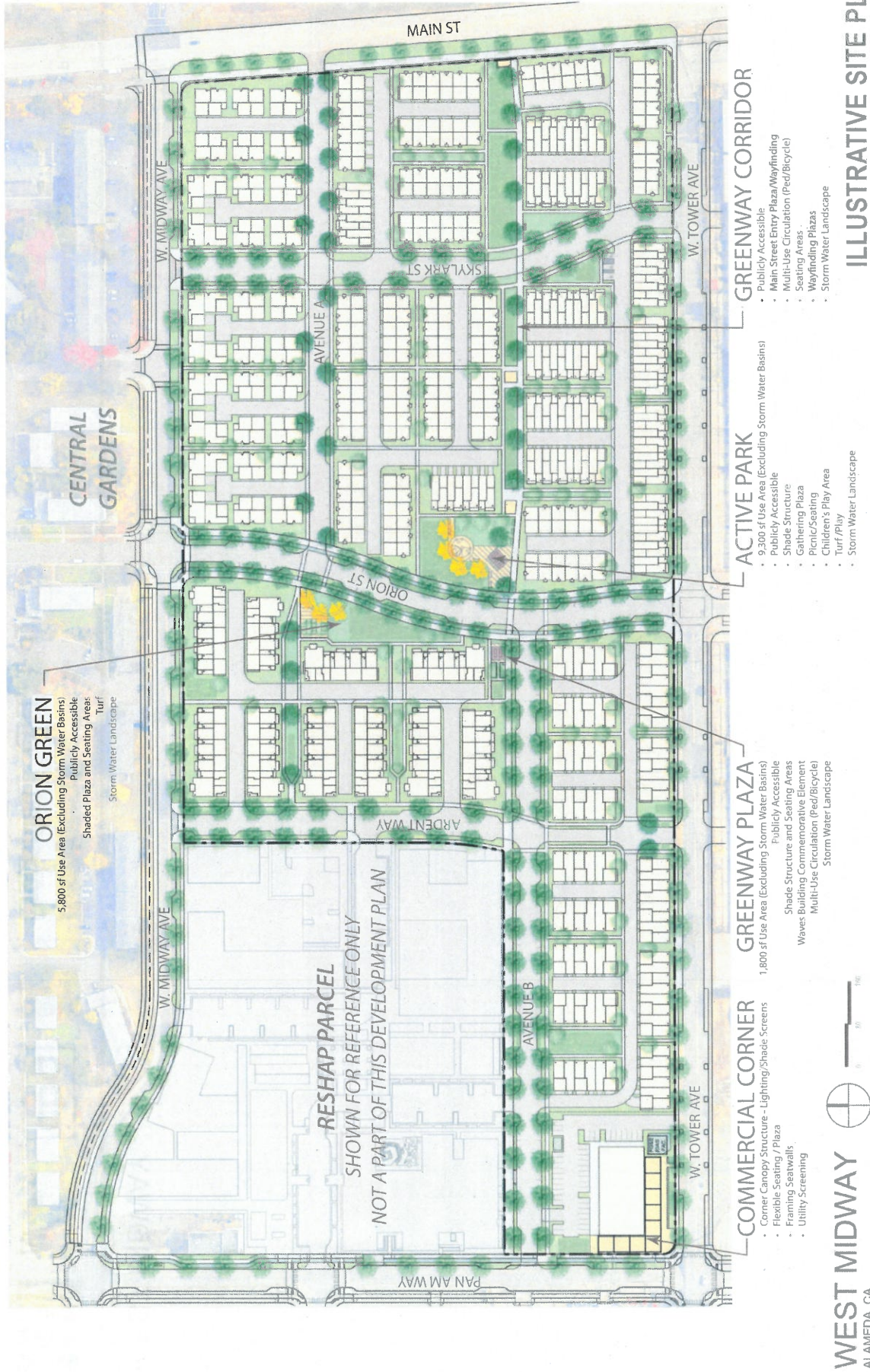


DIAGRAM LEGEND:

- STREET GRID
- LANDSCAPE GRID
- GENERAL LANDSCAPES
- STORM WATER LANDSCAPES

ORION GREEN
 5,800 sf Use Area (Excluding Storm Water Basins)
 Publicly Accessible
 Shaded Plaza and Seating Areas
 Turf
 Storm Water Landscape

CENTRAL GARDENS



RESHAP PARCEL
 SHOWN FOR REFERENCE ONLY
 NOT A PART OF THIS DEVELOPMENT PLAN

COMMERCIAL CORNER
 1,800 sf Use Area (Excluding Storm Water Basins)
 Publicly Accessible
 Corner Canopy Structure - Lighting/Shade Screens
 Flexible Seating / Plaza
 Framing Seatwalls
 Utility Screening

GREENWAY PLAZA
 1,800 sf Use Area (Excluding Storm Water Basins)
 Publicly Accessible
 Shade Structure and Seating Areas
 Waves Building Commemorative Element
 Multi-Use Circulation (Ped/Bicycle)
 Storm Water Landscape

ACTIVE PARK
 9,300 sf Use Area (Excluding Storm Water Basins)
 Publicly Accessible
 Shade Structure
 Gathering Plaza
 Picnic/Seating
 Children's Play Area
 Turf/Play
 Storm Water Landscape

GREENWAY CORRIDOR
 Publicly Accessible
 Main Street Entry Plaza/Wayfinding
 Multi-Use Circulation (Ped/Bicycle)
 Seating Areas
 Wayfinding Plazas
 Storm Water Landscape

WEST MIDWAY
 ALAMEDA, CA



FRAMEWORK PLAN



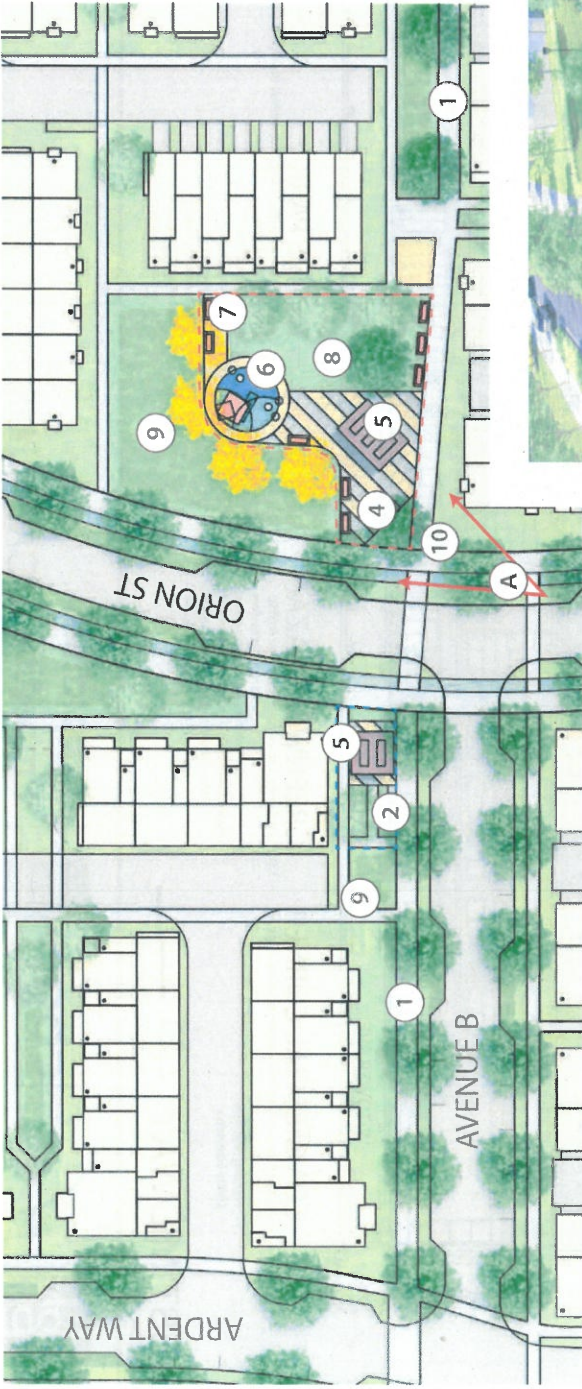


DIAGRAM LEGEND:

- 1 10' WIDE PED/BICYCLE PATH
- 2 WAVES BUILDING
- 3 COMMEMORATIVE ELEMENTS
- 4 BENCHES/SEATING
- 5 GATHERING PLAZA
- 6 SHADE STRUCTURE AND TABLES
- 7 CHILDREN'S PLAY AREA
- 8 SHADED PICNIC
- 9 TURF / PLAY
- 10 STORM WATER LANDSCAPES
- 11 PUBLIC ACCESSIBILITY SIGNAGE



WEST MIDWAY
ALAMEDA, CA

GREENWAY PLAZA AND ACTIVE PARK



DIAGRAM LEGEND:

- 1 5' SIDEWALK
- 2 ENTRY/WAYFINDING ELEMENTS WITH PUBLIC ACCESSIBILITY SIGNAGE
- 3 GATHERING PLAZA WITH SHADED BENCHES/SEATING
- 4 TURF / PLAY
- 5 STORM WATER LANDSCAPES



5,800 sf
Use Area

Orion Green shall be publicly accessible with a public access easement and signage

ORION GREEN



WEST MIDWAY
ALAMEDA, CA

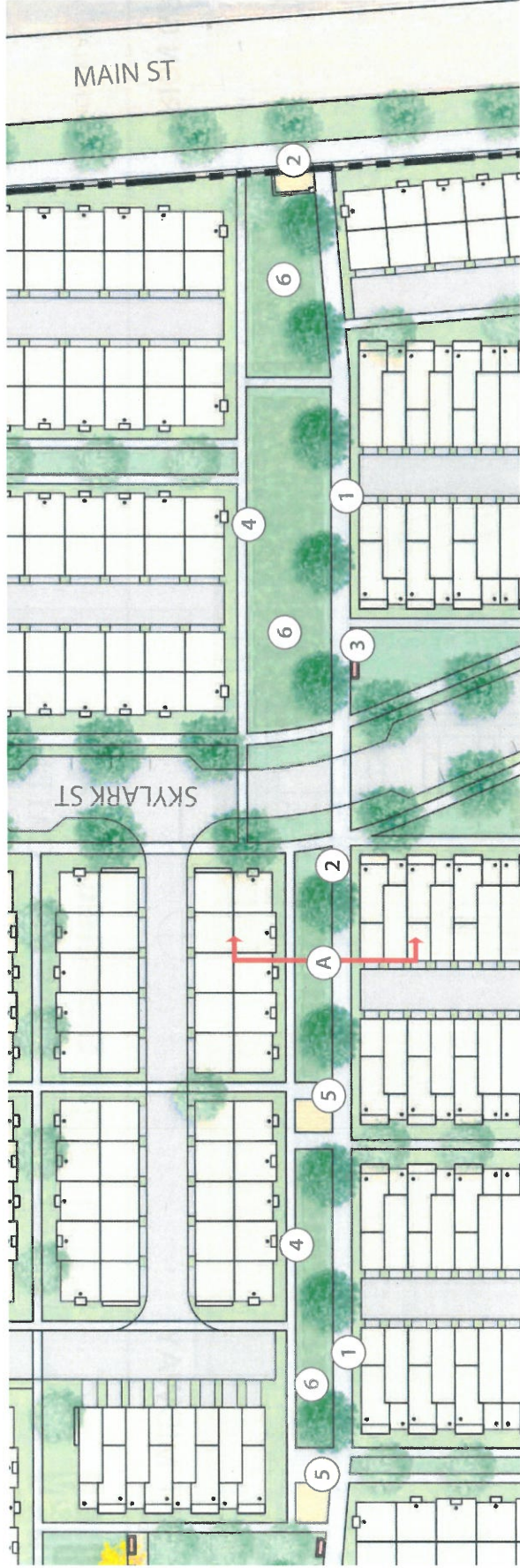
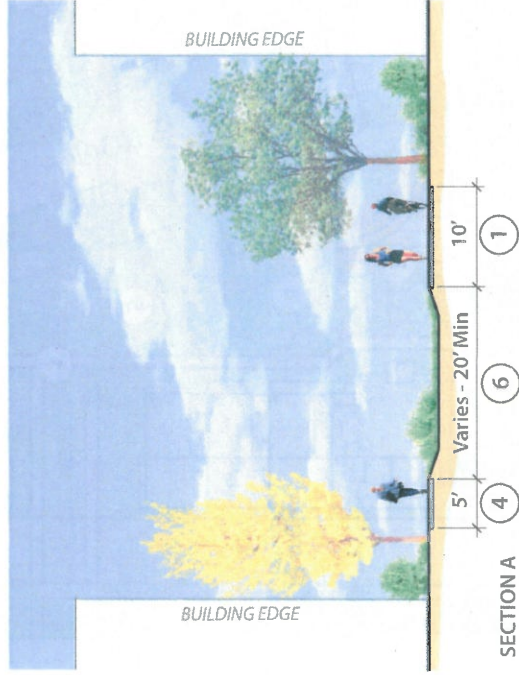


DIAGRAM LEGEND:

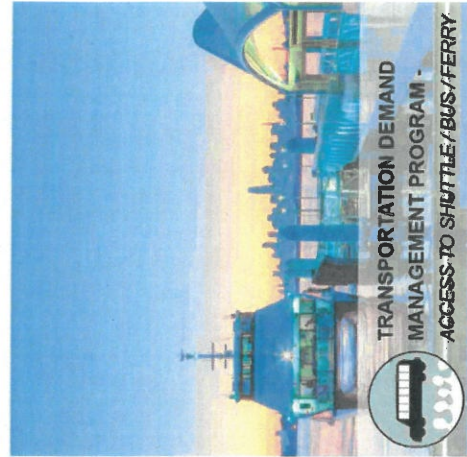
- 1 10' WIDE PED/BICYCLE PATH
- 2 ENTRY PLAZA/MARKER, WAYFINDING ELEMENTS AND PUBLIC ACCESSIBILITY SIGNAGE
- 3 BENCHES/SEATING
- 4 5' SIDEWALK
- 5 GATHERING PLAZA
- 6 STORM WATER LANDSCAPES



WEST MIDWAY
ALAMEDA, CA

GREENWAY CORRIDOR





All residential construction shall be all electric (no gas service) in compliance with City of Alameda and State of California requirements.

WEST MIDWAY
ALAMEDA, CA

PROJECT SUSTAINABILITY





TECHNICAL EXHIBITS

Conceptual Stormwater Treatment Plan	33
Fire Access Plan	34
Water Collection Plan	35
Utility Plan	36

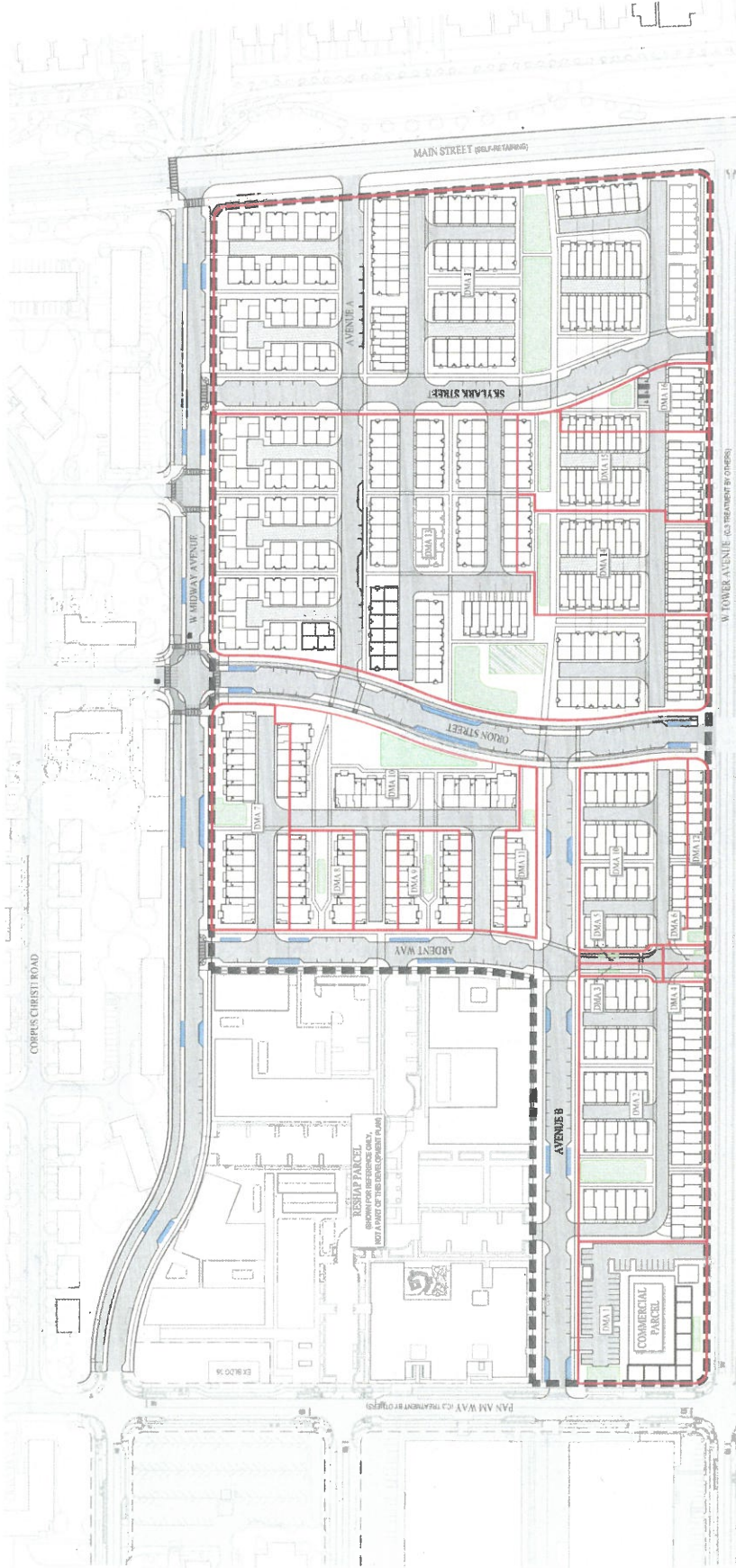
WEST MIDWAY
ALAMEDA, CA



Brookfield
Properties



SITE DEVELOPMENT PLAN
May 4, 2023



DRAINAGE MANAGEMENT AREA SUMMARY TABLE

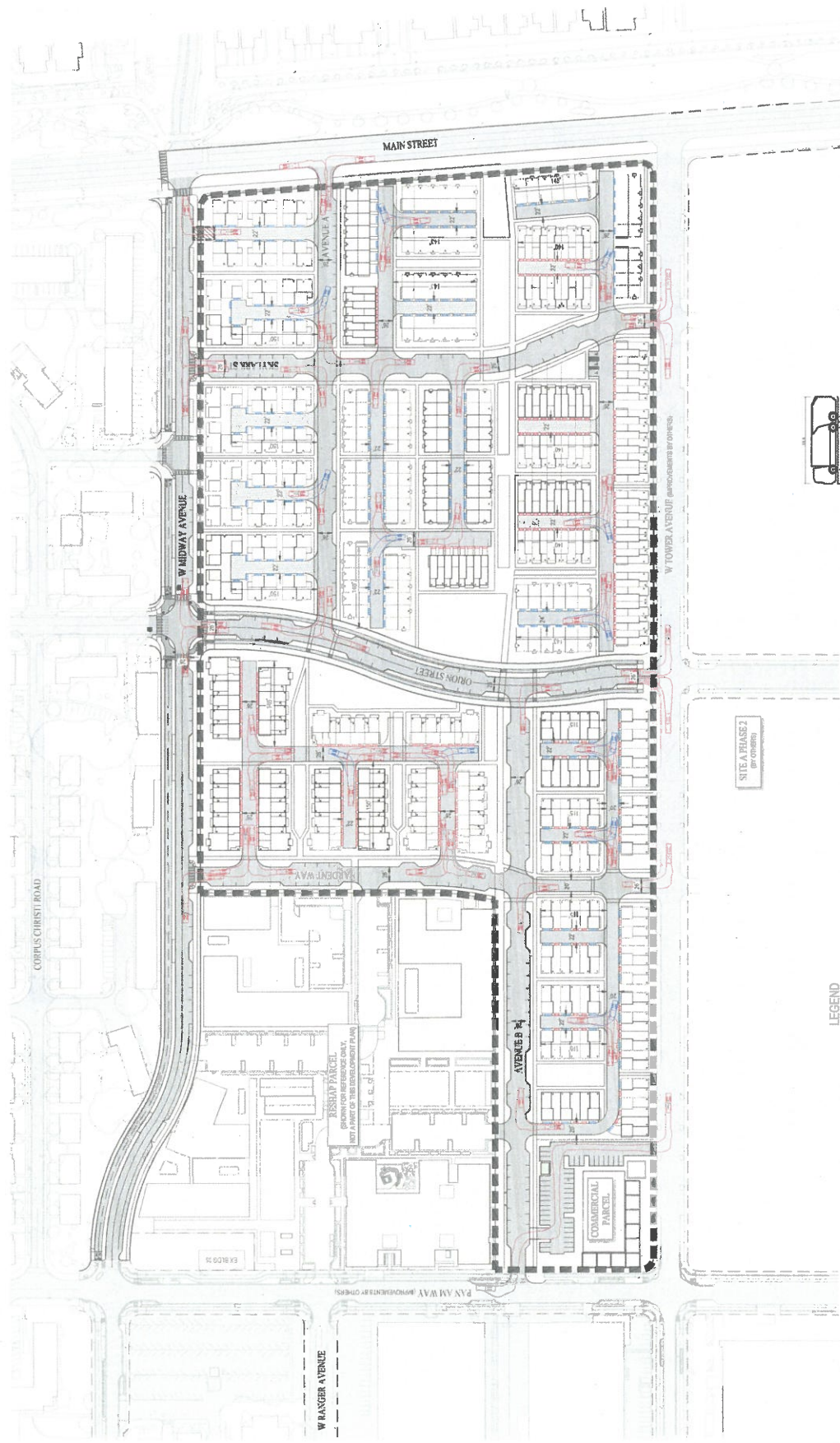
DMA #	TOTAL AREA (SF)	TOTAL PERVIOUS AREA (SF)	REQUIRED BIOTRETENTION AREA (SF)	PROVIDED BIOTRETENTION AREA (SF)
1	10,791	2,265	4,107	4,108
2	10,791	2,265	4,107	4,108
3	10,791	2,265	4,107	4,108
4	10,791	2,265	4,107	4,108
5	10,791	2,265	4,107	4,108
6	10,791	2,265	4,107	4,108
7	10,791	2,265	4,107	4,108
8	10,791	2,265	4,107	4,108
9	10,791	2,265	4,107	4,108
10	10,791	2,265	4,107	4,108
11	10,791	2,265	4,107	4,108
12	10,791	2,265	4,107	4,108
13	10,791	2,265	4,107	4,108
14	10,791	2,265	4,107	4,108
15	10,791	2,265	4,107	4,108
TOTAL	161,754	28,605	31,605	31,605

DRAINAGE MANAGEMENT AREA SUMMARY TABLE

DMA #	TOTAL AREA (SF)	TOTAL PERVIOUS AREA (SF)	REQUIRED BIOTRETENTION AREA (SF)	PROVIDED BIOTRETENTION AREA (SF)
1	10,791	2,265	4,107	4,108
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7	10,791	2,265	4,107	4,108
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14	10,791	2,265	4,107	4,108
15	10,791	2,265	4,107	4,108
TOTAL	161,754	28,605	31,605	31,605

NOTES:
 1. TOTAL DRAINAGE MANAGEMENT AREAS TO BE DETERMINED IN 15-15-15 STAGE OF DESIGN.
 2. BIOTRETENTION PLANTINGS TO BE SIZED IN ACCORDANCE WITH THE CALIFORNIA WATER PLANTING DESIGN HANDBOOK, 2015 EDITION.

WEST MIDWAY ALAMEDA, CA CONCEPTUAL STORMWATER TREATMENT PLAN



WASTE COLLECTION PLAN

WEST MIDWAY
ALAMEDA, CA

LEGEND

- SINGLE CAR DRIVEWAY
- TRANSIT/RECEIPT COLLECTION
- ZONE CONFIGURATION
- COMMERCIAL PARCEL
- TRASH ENCLOSURE

PROPOSED PAVEMENT

- EXISTING PAVEMENT
- TO BE PAVED
- PERVIOUS PAVEMENT
- WASTE TRUCK ACCESS

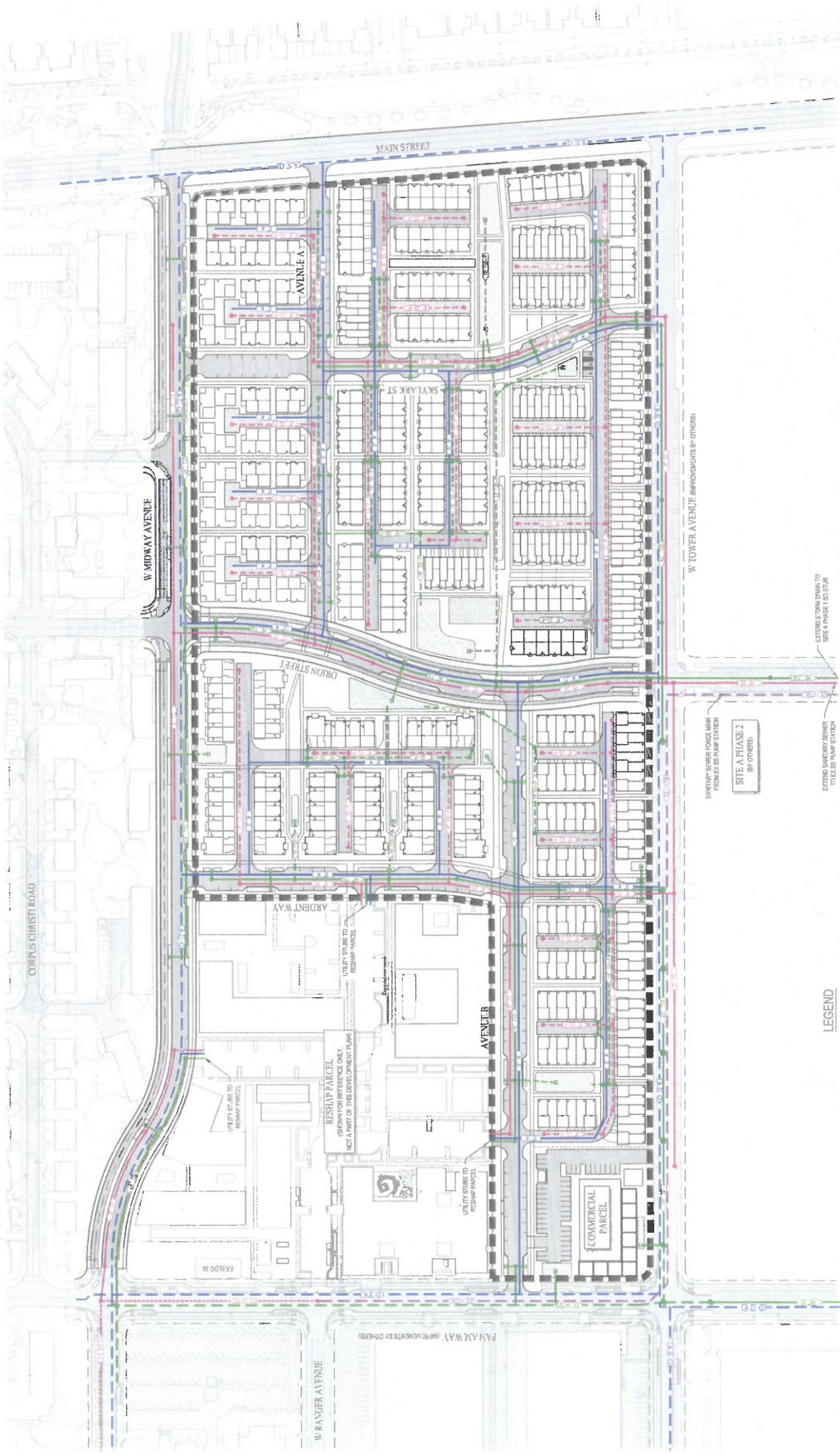
NOTES

1. TRASH ENCLOSURE = 8' PER UNIT
2. SINGLE CAR DRIVEWAY AREA
3. TRANSIT/RECEIPT COLLECTION
4. TRASH ENCLOSURE (L.P.)
5. RECYCLE RECEPTACLE (L.P.)
6. RECYCLE TRUCK ACCESS
7. RECYCLE TRUCK ACCESS
8. RECYCLE TRUCK ACCESS

WASTE TRUCK ACCESS

WASTE TRUCK ACCESS

WASTE TRUCK ACCESS



UTILITY PLAN

WEST MIDWAY
ALAMEDA, CA

SITE DEVELOPMENT PLAN
MAY 4, 2023

