

HOME 2 SUITES

1700 HARBOR BAY PARKWAY
ALAMEDA, CALIFORNIA

OWNER:

BALAJI ALAMEDA LLC

1700 HARBOR BAY PARKWAY
ALAMEDA, CALIFORNIA

ARCHITECT:

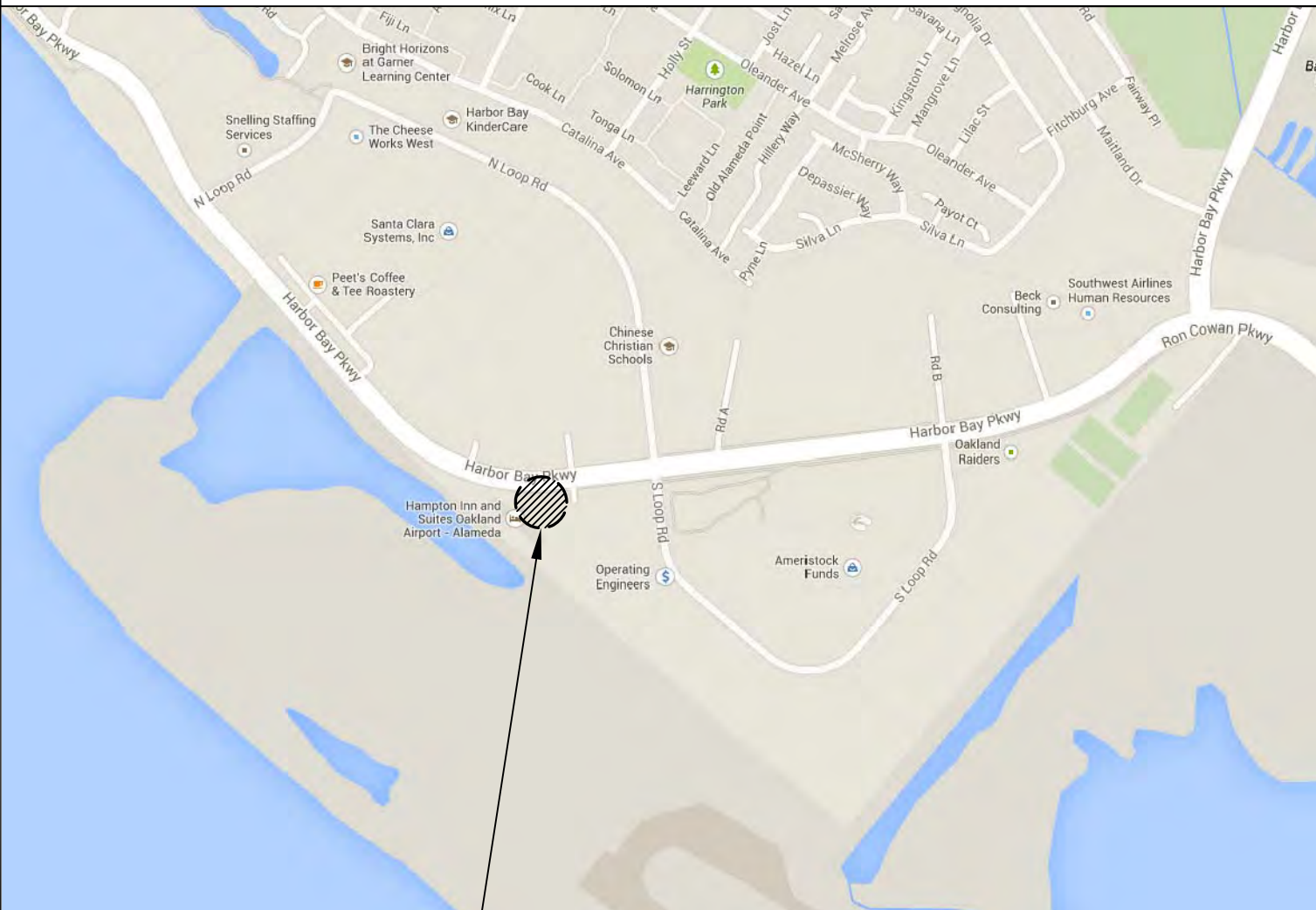
ARCHITECTURAL DIMENSIONS

300 FRANK H. OGAWA PLAZA, SUITE 375
OAKLAND, CALIFORNIA 94612
510.463.8300, FAX: 510.463.8395

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VICINITY MAP



PROJECT SITE

SUBMITTED TO:
THE CITY OF ALAMEDA

COMMUNITY DEVELOPMENT, PLANNING & BUILDING DEPARTMENT

FOR:
DESIGN REVIEW

ARCHITECTURAL
DIMENSIONS

300 Frank H. Ogawa Plaza, Suite 375
Oakland, CA 94612
TEL. 510.463.8300 • FAX. 510.463.8395

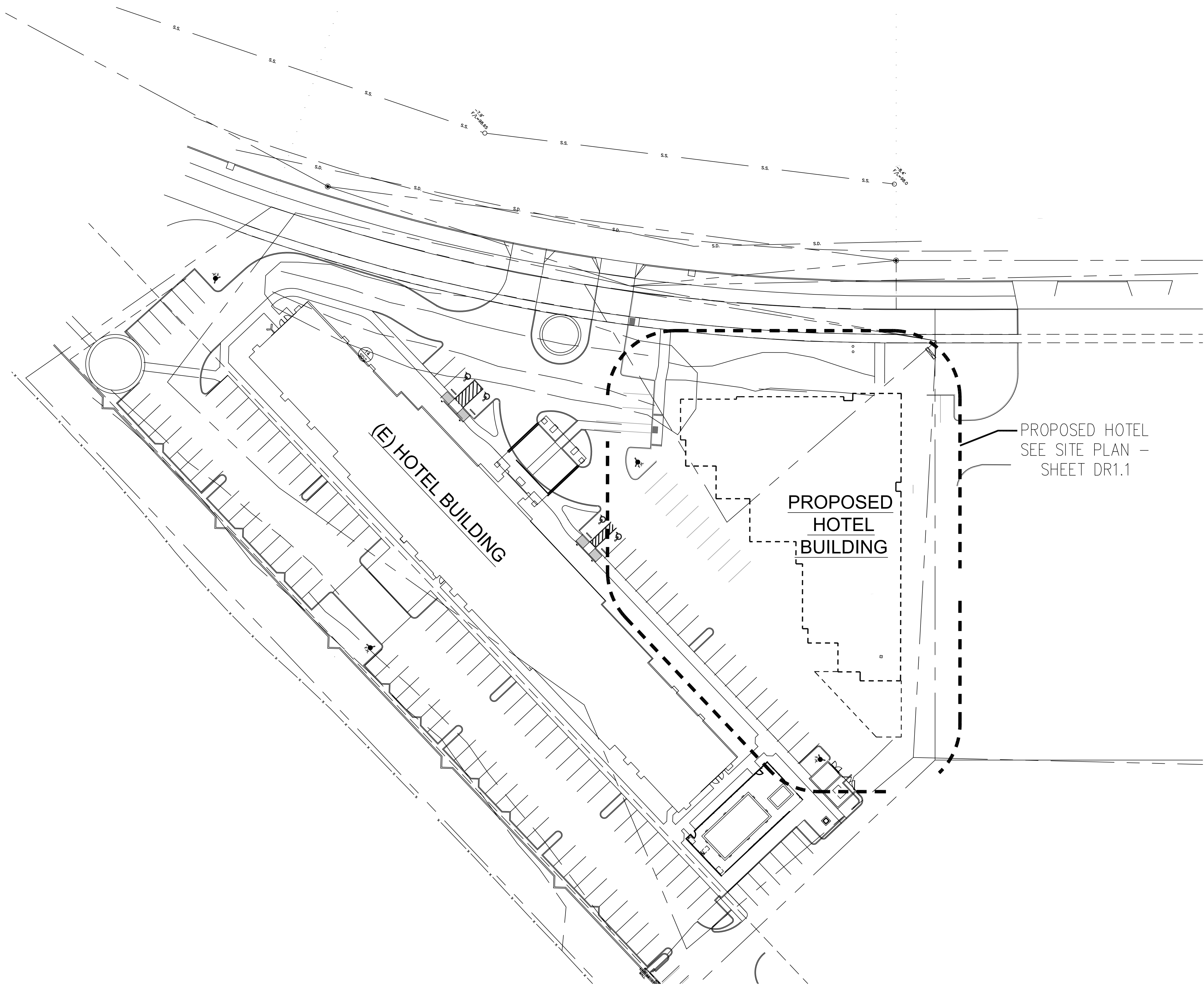
PROJECT INFO.

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1700 HARBOR BAY PKWY
ALAMEDA, CA

JOB NO.
RP002
DATE
08.11.2014

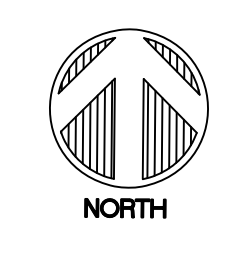
DRAWING NO.

DR-0



NOTE:
SEE SHEET L1.0 FOR (E) STREET TREES
TO REMAIN.

1 EXISTING SITE PLAN
SCALE: 1" = 30'



**ARCHITECTURAL
DIMENSIONS**

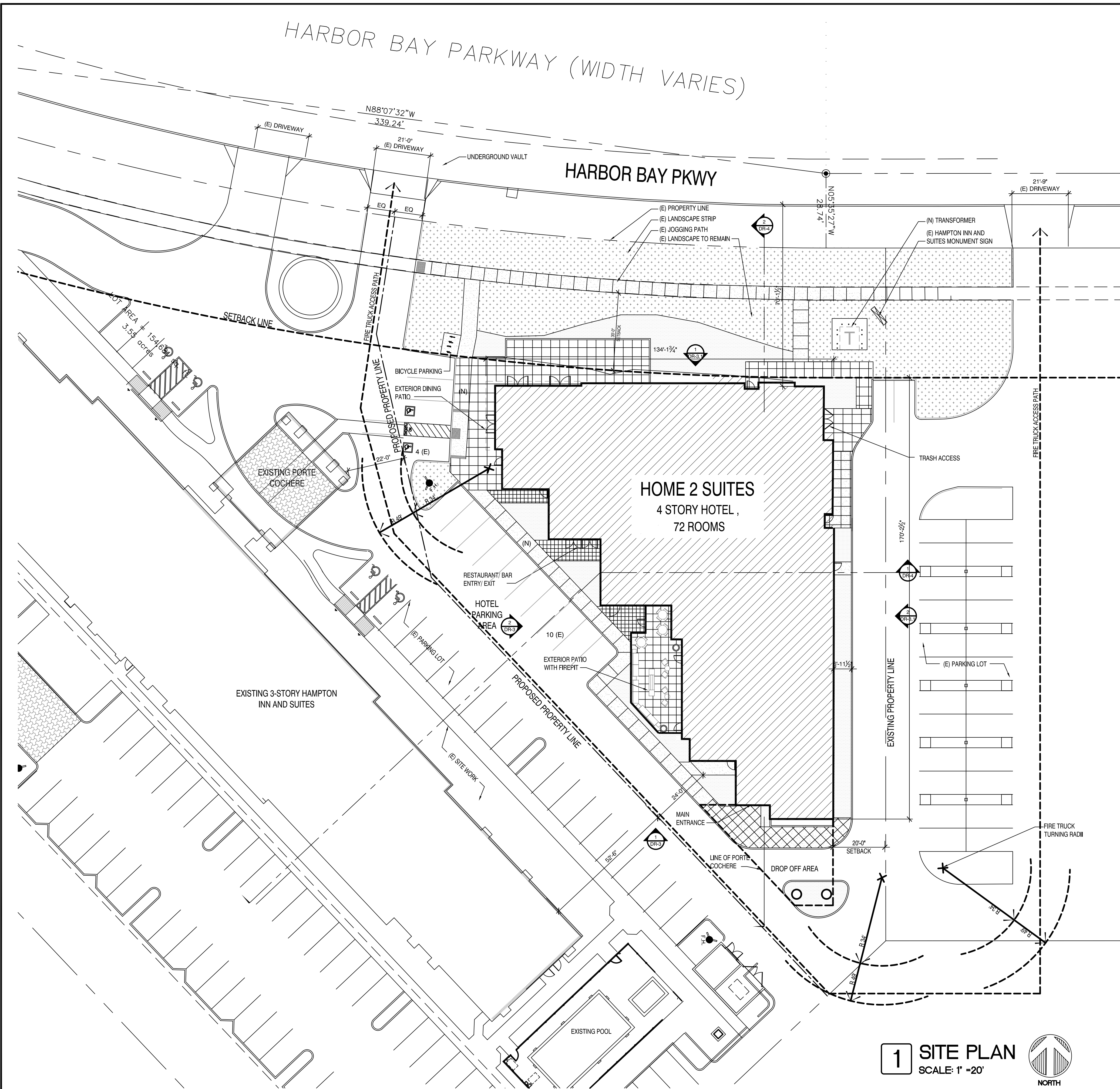
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1700 HARBOR BAY PKWY
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DRAWING NO.
DR-1



PROJECT DATA

PROJECT CONDITIONS COMPLIANCE
STANDARD REQUIREMENTS PER CITY OF ALAMEDA ZONING ORDINANCE FOR
COMMERCIAL MANUFACTURING DISTRICT W/ PLAN DEVELOPMENT OVERLAY

SETBACK REQUIREMENTS

FRONT SETBACK REQUIREMENT:	50 FEET (MINIMUM)
FRONT SETBACK PROVIDED:	+50 FEET COMPLIES
SIDE SETBACK REQUIREMENT:	15 FEET (MINIMUM)
SIDE SETBACK PROVIDED:	+20 FEET COMPLIES
REAR SETBACK REQUIREMENT:	15 FEET (MINIMUM)
REAR SETBACK PROVIDED:	+25 FEET COMPLIES

LANDSCAPING REQUIREMENTS

EXISTING LANDSCAPE:	8,507 SF
PROPOSED LANDSCAPE:	3,245 SF
TOTAL LANDSCAPING PROVIDED:	11,752 SF = 29% (11,752 SF / 40,298 SF)
TOTAL HARDSCAPE PROVIDED:	18,806 SF (11,752 SF + 7,054 SF)
	47% (18,806 SF / 40,298 SF)

LOT COVERAGE REQUIREMENTS

MAX. LOT COVERAGE:	50%
PROPOSED LOT COVERAGE:	35% (14,359 SF / 40,298 SF) COMPLIES

BUILDING HEIGHT REQUIREMENTS

MAX. BUILDING HEIGHT:	100 FEET
PROPOSED BUILDING HEIGHT:	55'-8" FEET COMPLIES

BUILDING AREA

GROUND FLOOR:	14,646 S.F.
2ND FLOOR:	11,489 S.F.
3RD FLOOR:	13,675 S.F.
4TH FLOOR:	13,675 S.F.

TOTAL BUILDING AREA:	53,485 S.F.
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ROOM COUNT

ROOM TYPES	FLOOR LEVEL				
	GROUND	2ND	3RD	4TH	TOTAL
STUDIO	-	14	23	23	60
1 BD. RM.	-	2	2	2	6
STUDIO ADA	-	1	1	1	3
1 BD. RM. ADA	-	1	1	1	3
	18	27	27	27	72

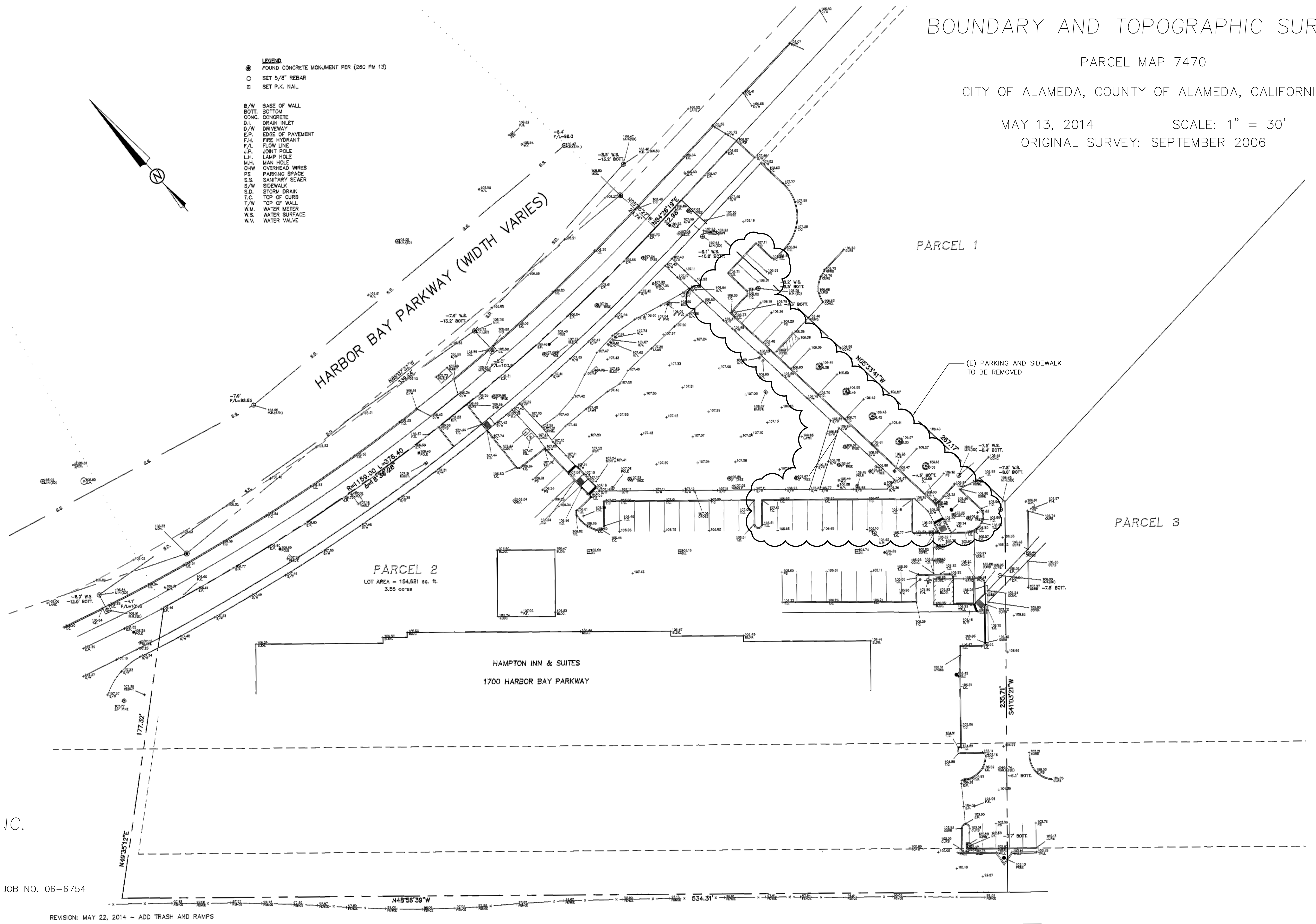
SITE PLAN LEGEND

- EXISTING LANDSCAPE TO REMAIN
- NEW LANDSCAPE AREA
- NEW DECORATIVE CONCRETE PAVING
- SIDEWALK PAVING
- NEW BUILDING FOOTPRINT

- LEGEND
- FOUND CONCRETE MONUMENT PER (260 PM 13)
 - SET 5/8" REBAR
 - SET P.K. NAIL

B/W BASE OF WALL
CONC. CONCRETE
D.I. DRAIN INLET
D/W DRIVEWAY
E.P. EDGE OF PAVEMENT
F.H. FIRE HYDRANT
F/L FLOW LINE
J.P. JOINT POLE
L.H. LAMP HOLE
M.H. MAN HOLE
OHW OVERHEAD WIRES
S.S. SANITARY SEWER
S/W SIDEWALK
T.C. TOP OF CURB
T/W TOP OF WALL
W.M. WATER METER

- LEGEND
- FOUND CONCRETE MONUMENT PER (260 PM 13)
 - SET 5/8" REBAR
 - SET P.K. NAIL
- B/W BASE OF WALL
BOTT. BOTTOM
CONC. CONCRETE
D.I. DRAIN INLET
D/W DRIVEWAY
E.P. EDGE OF PAVEMENT
F.H. FIRE HYDRANT
F/L FLOW LINE
J.P. JOINT POLE
L.H. LAMP HOLE
M.H. MAN HOLE
OHW OVERHEAD WIRES
PS PARKING SPACE
S.S. SANITARY SEWER
S/W SIDEWALK
S.D. STORM DRAIN
T.C. TOP OF CURB
T/W TOP OF WALL
W.M. WATER METER
W.S. WATER SURFACE
W.V. WATER VALVE



MORAN ENGINEERING, INC.
CIVIL ENGINEERS \ LAND SURVEYOR
1930 SHATTUCK AVENUE, SUITE
BERKELEY, CALIFORNIA 94704
(510) 848-1930
F.B. NO. 1120 HARBOR BAY SITE 2014.DWG JOB NO. 06-6754
F.B. NOS. 1120/1170/1178/1178.1

ARCHITECTURAL
DIMENSIONS

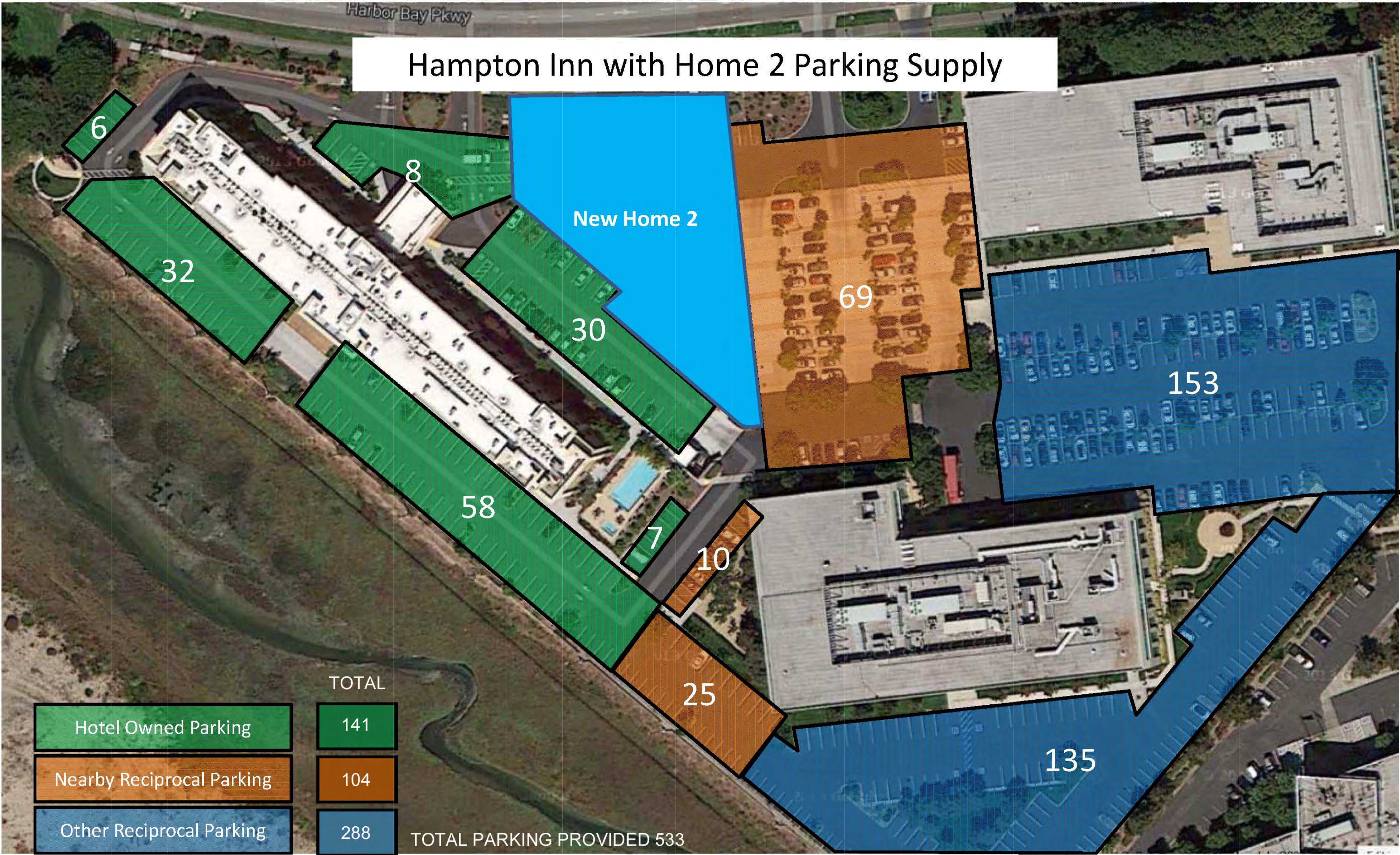
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DR-1.2



PARKING COUNT

USE	CODE REQUIRED	DEMAND STUDY*	DISABLED PROVIDED	PROVIDED PARKING
HAMPTON INN & SUITES	131	104	7	
HOME 2 SUITES	90	71		141
RESTAURANT	30	0**		
SUBTOTAL	251	175		141
NEARBY RECIPROCAL PARKING	-	-	6	104
OTHER RECIPROCAL PARKING	-	-		288
GRAND TOTAL	251	175	13	533

*PARKING DEMAND STUDY PERFORMED TO DEMONSTRATE THAT DEMAND IS LESS THAN CODE REQUIREMENTS
**DEMAND FOR HOTEL RESTAURANT PARKING IS ACCOUNTED FOR IN THE HOTEL DEMAND

BICYCLE PARKING COUNT

REQUIRED BY CITY OF ALAMEDA:

LONG TERM: 1/25 ROOMS (2 MINIMUM), 75 ROOMS = 3 SPACES

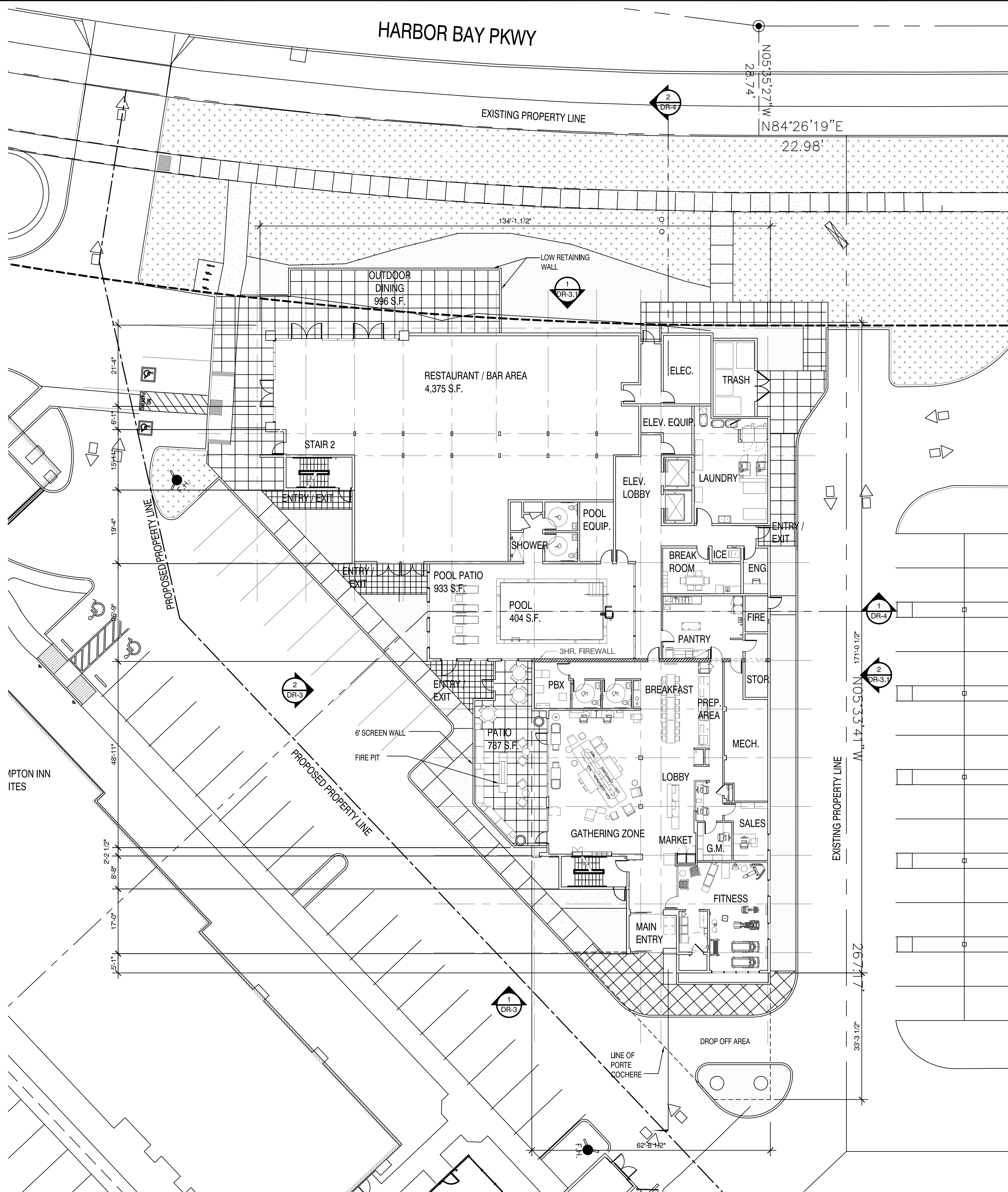
PROVIDED BY HOME 2 SUITES:

8 SPACES

1

PARKING SUPPLY MAP

SCALE: 1" = 40'

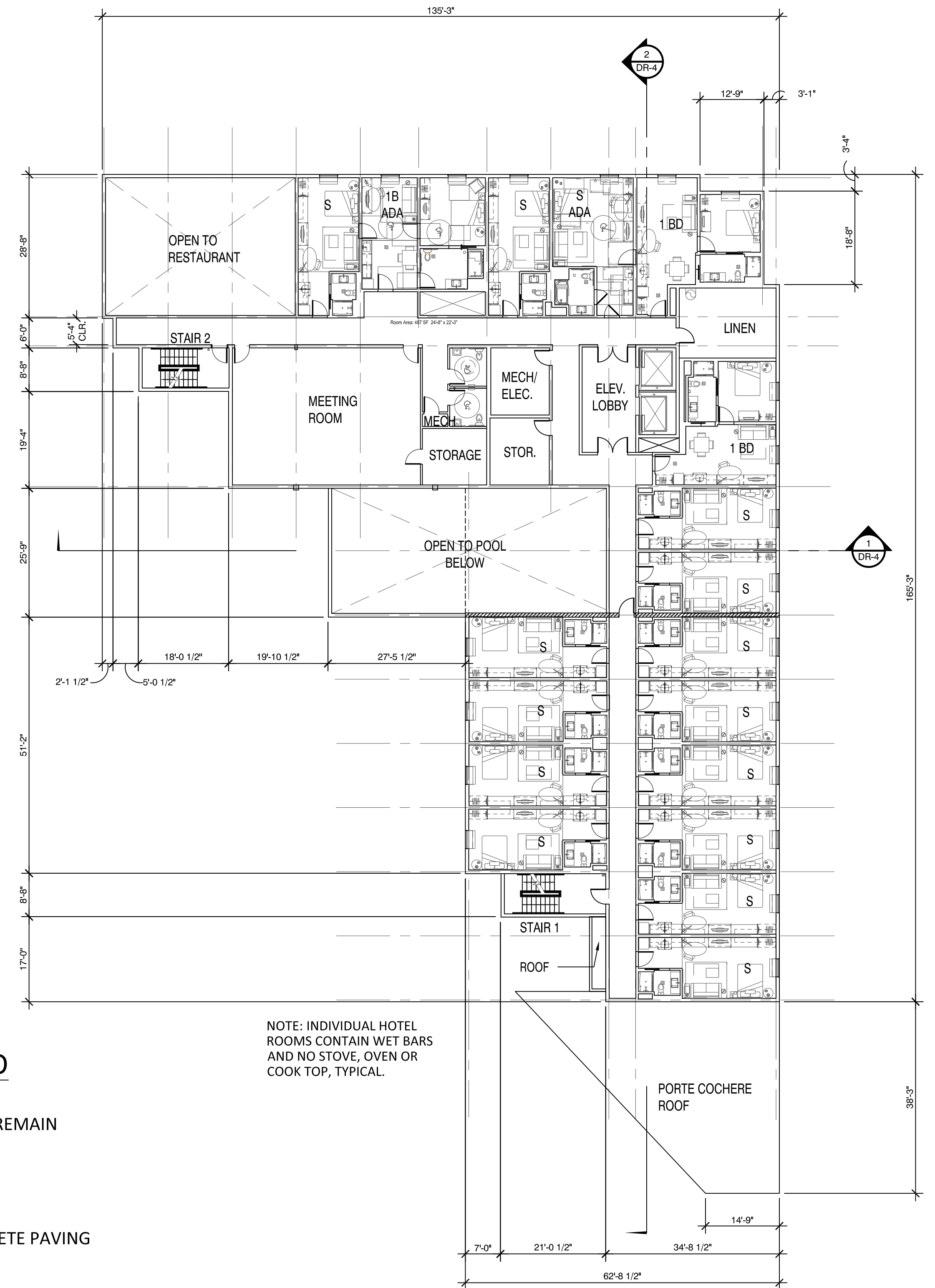


1 GROUND FLOOR PLAN
SCALE: 1/16" = 1'-0"



SITE PLAN LEGEND

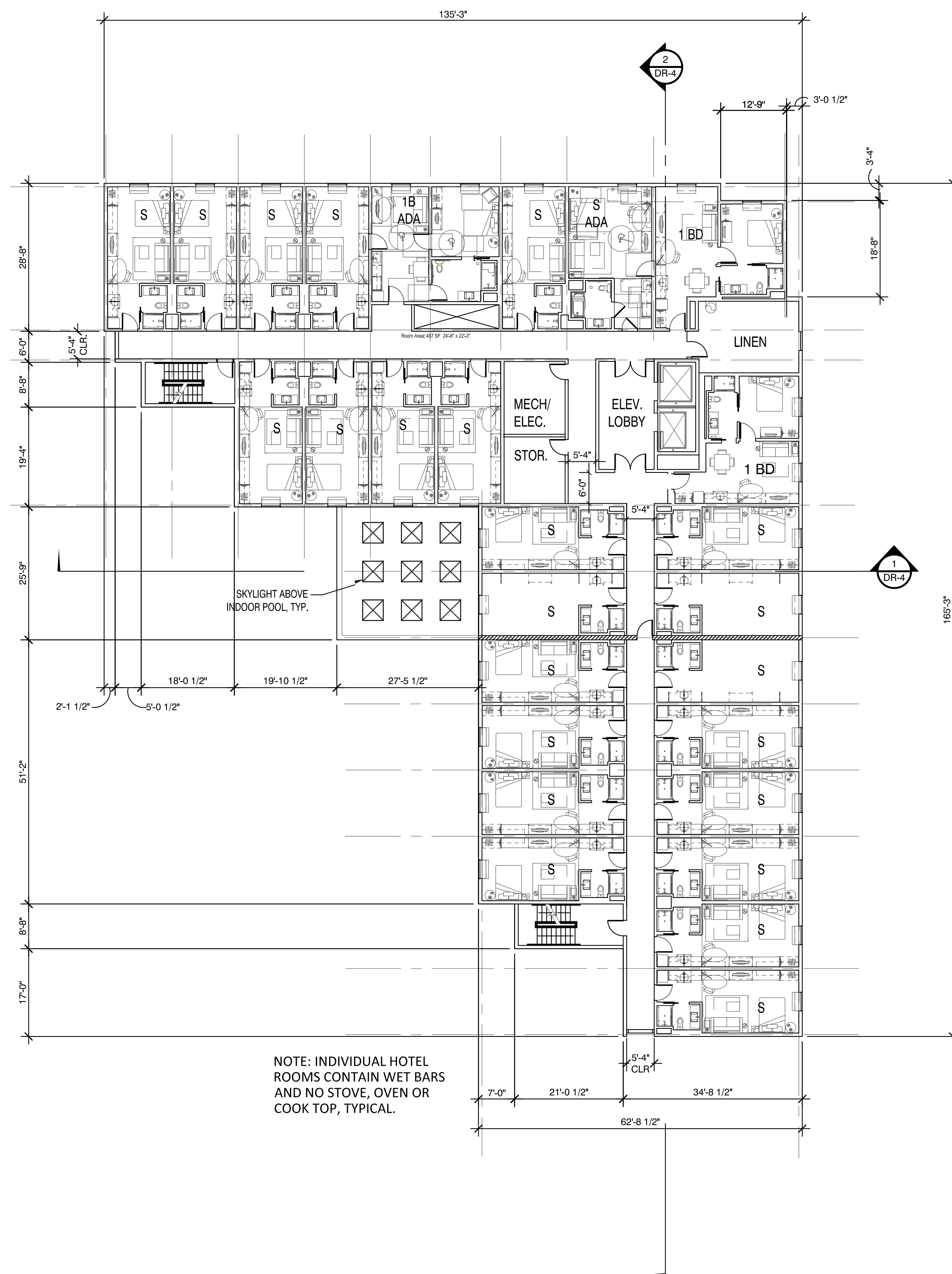
- EXISTING LANDSCAPE TO REMAIN
- NEW LANDSCAPE AREA
- NEW DECORATIVE CONCRETE PAVING
- SIDEWALK PAVING
- NEW BUILDING FOOTPRINT



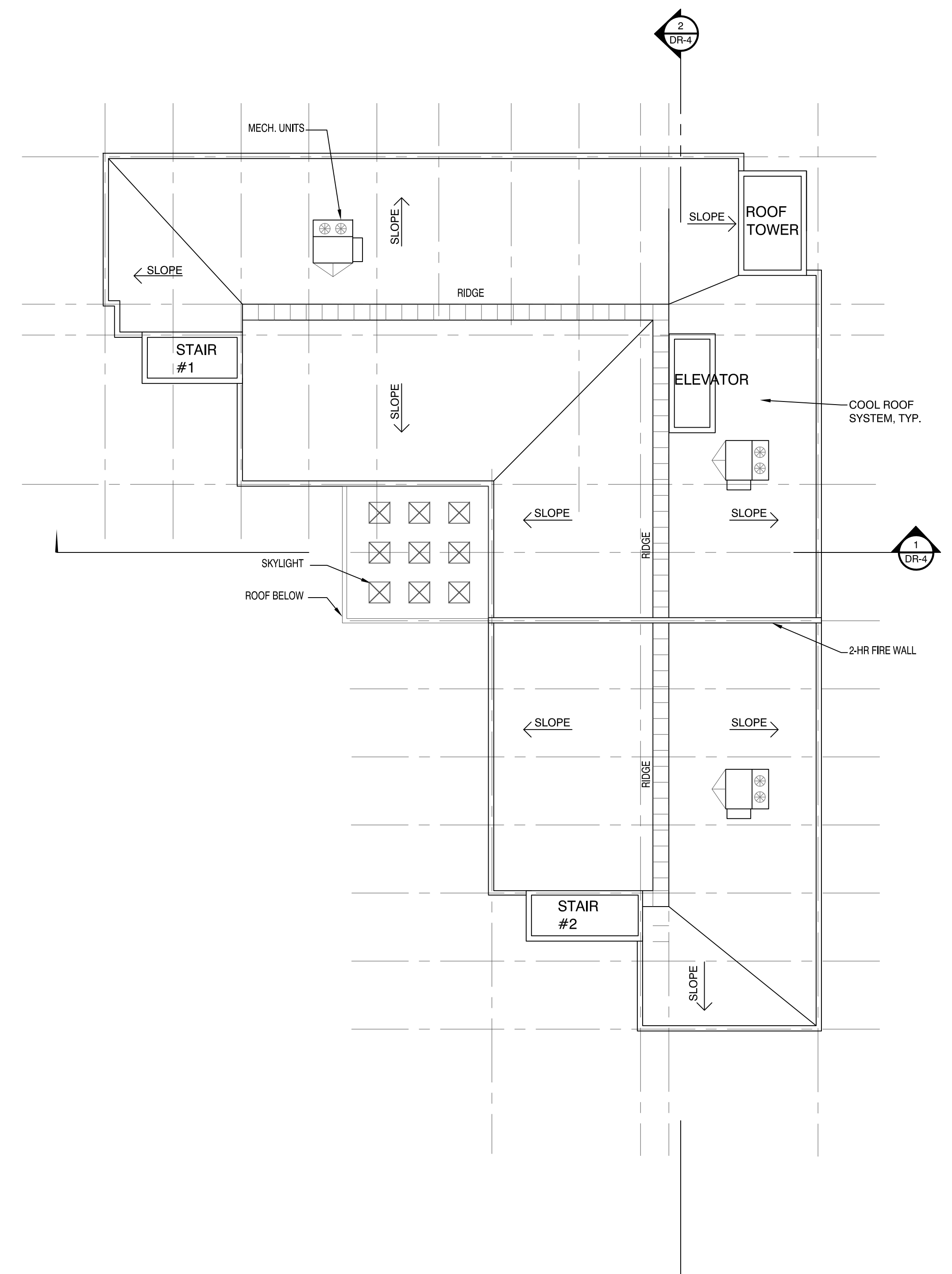
NOTE: INDIVIDUAL HOTEL ROOMS CONTAIN WET BARS AND NO STOVE, OVEN OR COOK TOP, TYPICAL.

2 2ND FLOOR PLAN
SCALE: 1/16" = 1'-0"



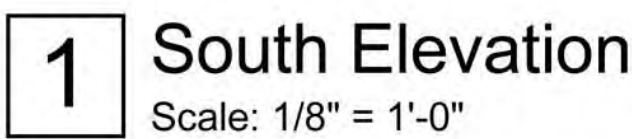


1 3RD AND 4TH FLOOR PLAN
SCALE: 1/16" = 1'-0"



2 ROOF PLAN
SCALE: 1/16" = 1'-0"

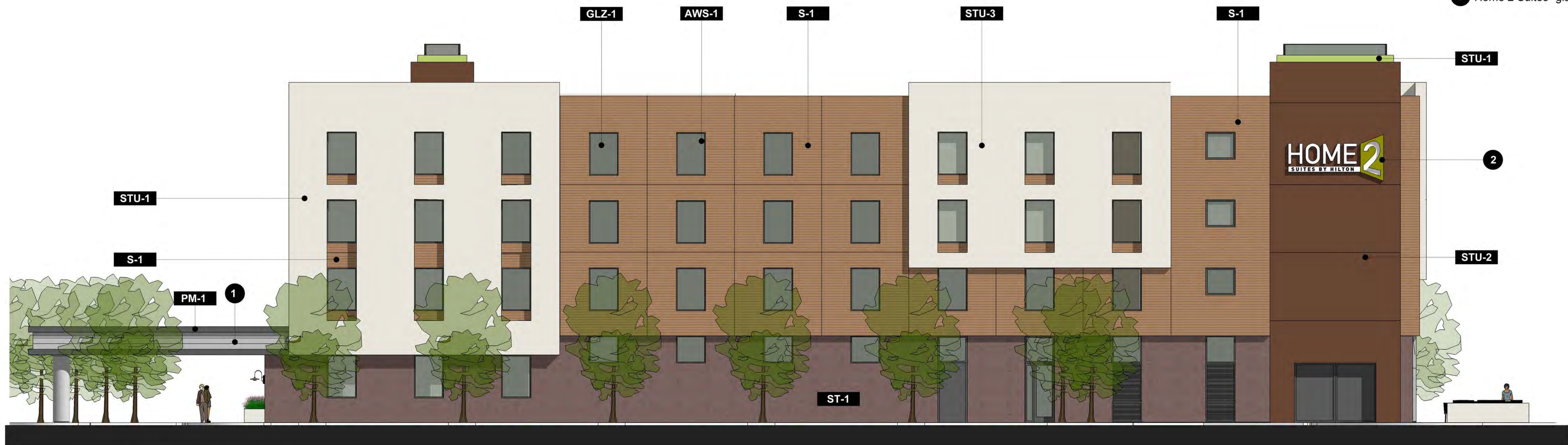




- 1 Porte Cochere
- 2 Internally illuminated channel letter signage. Proposed signage under separate permit- Shown here for reference only.
- 3 Home 2 Suites "glass crown" beacon



1 North Elevation
Scale: 1/8" = 1'-0"



2 East Elevation
Scale: 3/32" = 1'-0"

General Exterior Elevation Notes

- Colors indicated on this drawing are approximate and will vary depending on printer/monitor display source. Refer to submitted Colors and Materials Boards for true representation of all proposed finishes.
- All landscaping indicated on this drawing is diagrammatic and intended only to convey a sense of general landscaped areas.

Material/Finish Legend

See sheet DR-6 for Colors and Materials

- ST-1** Adhered Large Format Stone Veneer
- AWS-1** Aluminum Window System
- GLZ-1** Glazing (Vision Glass)
- PM-1** Painted Metal
- S-1** Siding
- STU-1** Painted Smooth Stucco
- STU-2** Painted Smooth Stucco
- STU-3** Painted Smooth Stucco

Keynotes

Note: Not all keynotes listed apply to this particular sheet.

- 1** Porte Cochere
- 2** Internally illuminated channel letter signage. Proposed signage under separate permit- Shown here for reference only.
- 3** Home 2 Suites "glass crown" beacon



Perspective looking looking North from parking lot
Scale: NTS



Perspective looking West on Harbor Bay Parkway
Scale: NTS



Perspective looking East on Harbor Bay Parkway
Scale: NTS



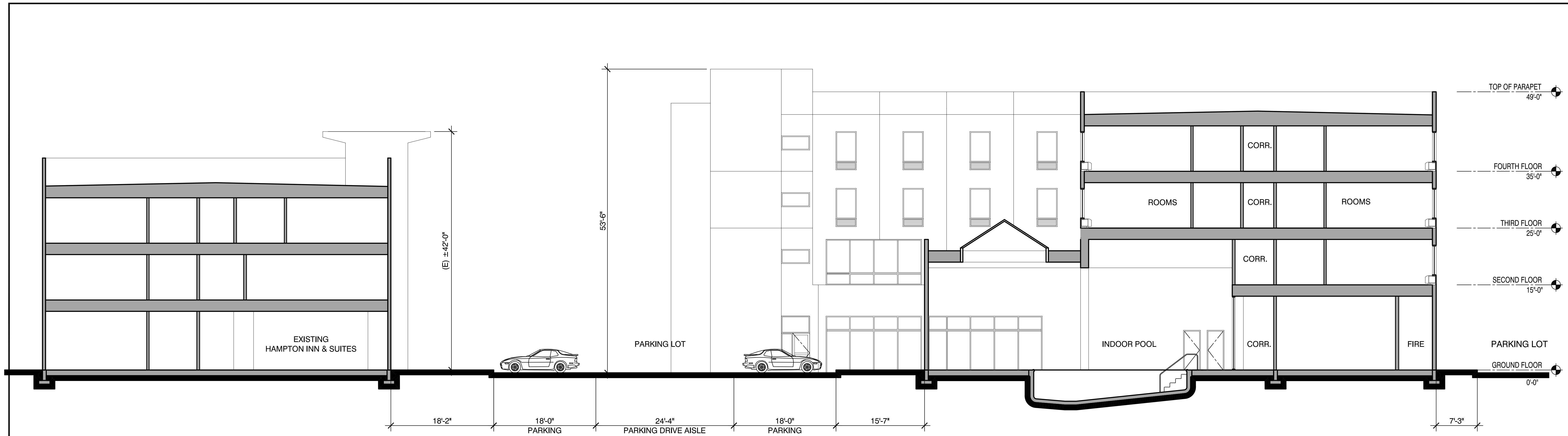
Aerial view of new Home 2 Suites & existing Hampton Inn & Suites
Scale: NTS



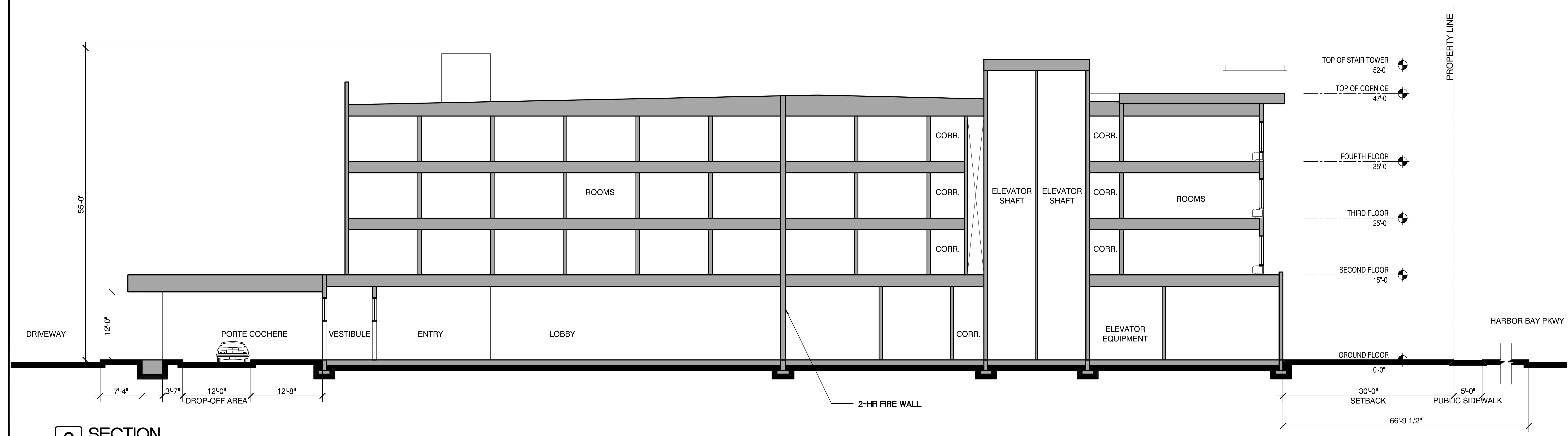
Looking Northwest between new and existing buildings
Scale: NTS



Looking Southeast between new and existing buildings
Scale: NTS



1 SECTION
SCALE: 1/8" = 1'-0"



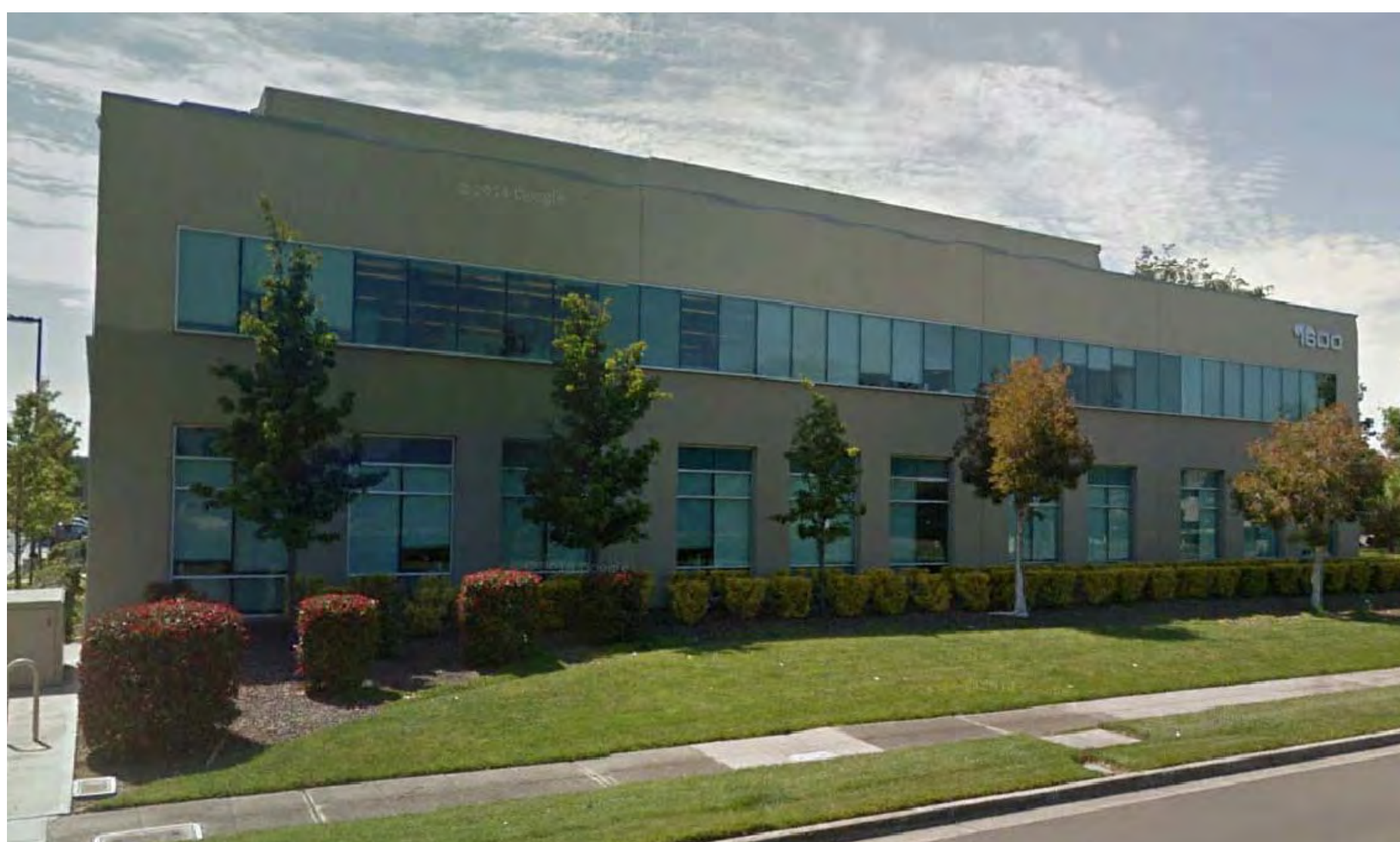
2 SECTION
SCALE: 1/8" = 1'-0"



① **Hampton Inn and Suites**
Looking South/West



② **1600 Harbor Bay Parkway**
Looking South/ East



③ **1600 Harbor Bay Parkway**
Looking North/ West



VICINITY MAP
N.T.S

PROPOSED HOTEL



④ **S Loop Road**
Looking South/West



⑤ **1501 Harbor Bay Parkway**
Looking North/ East



⑥ **The Waterfront**
Looking North/West

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DIMENSIONS

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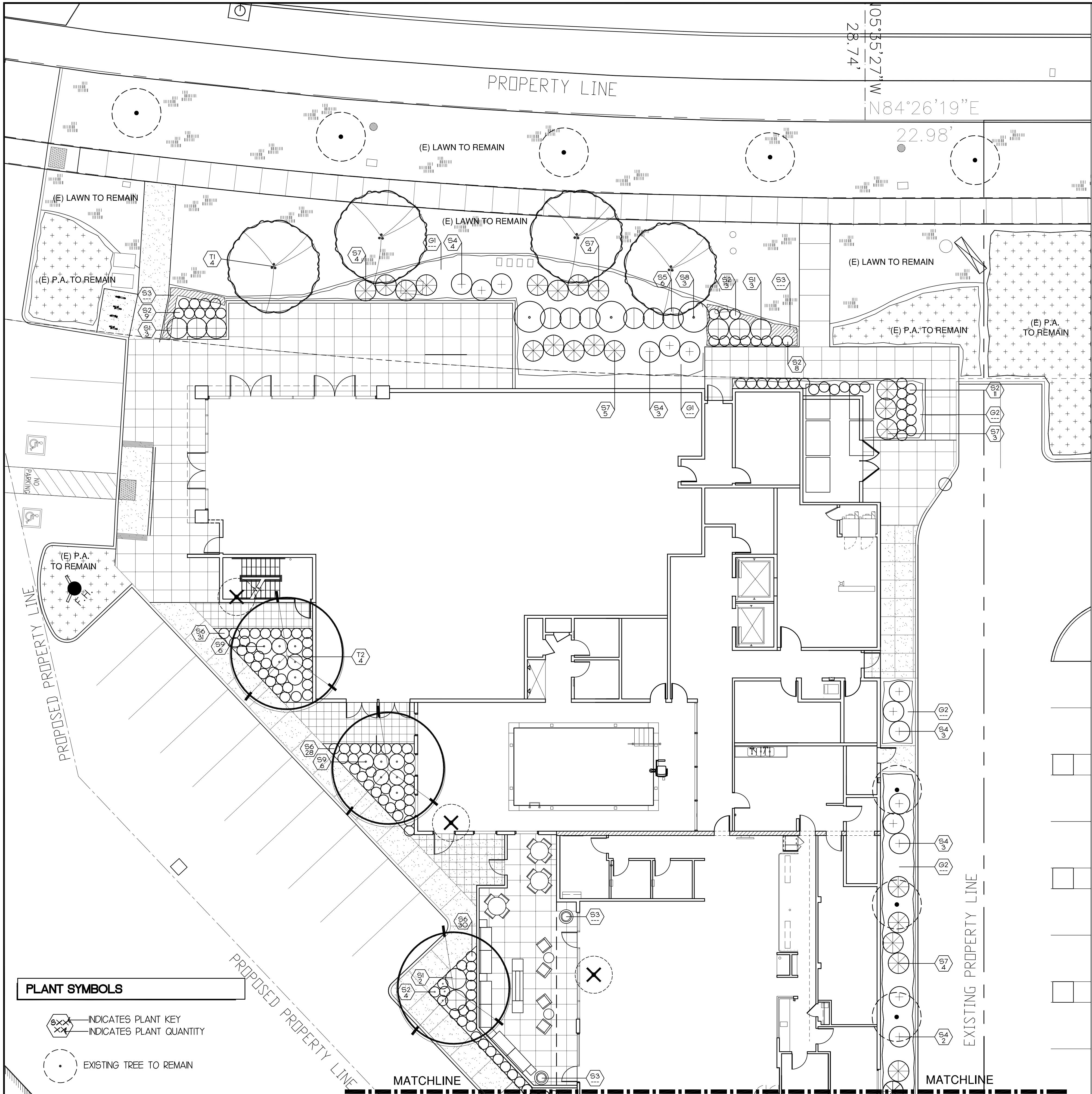
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DR-5





PLANT SYMBOLS

- INDICATES PLANT KEY
- INDICATES PLANT QUANTITY
- EXISTING TREE TO REMAIN

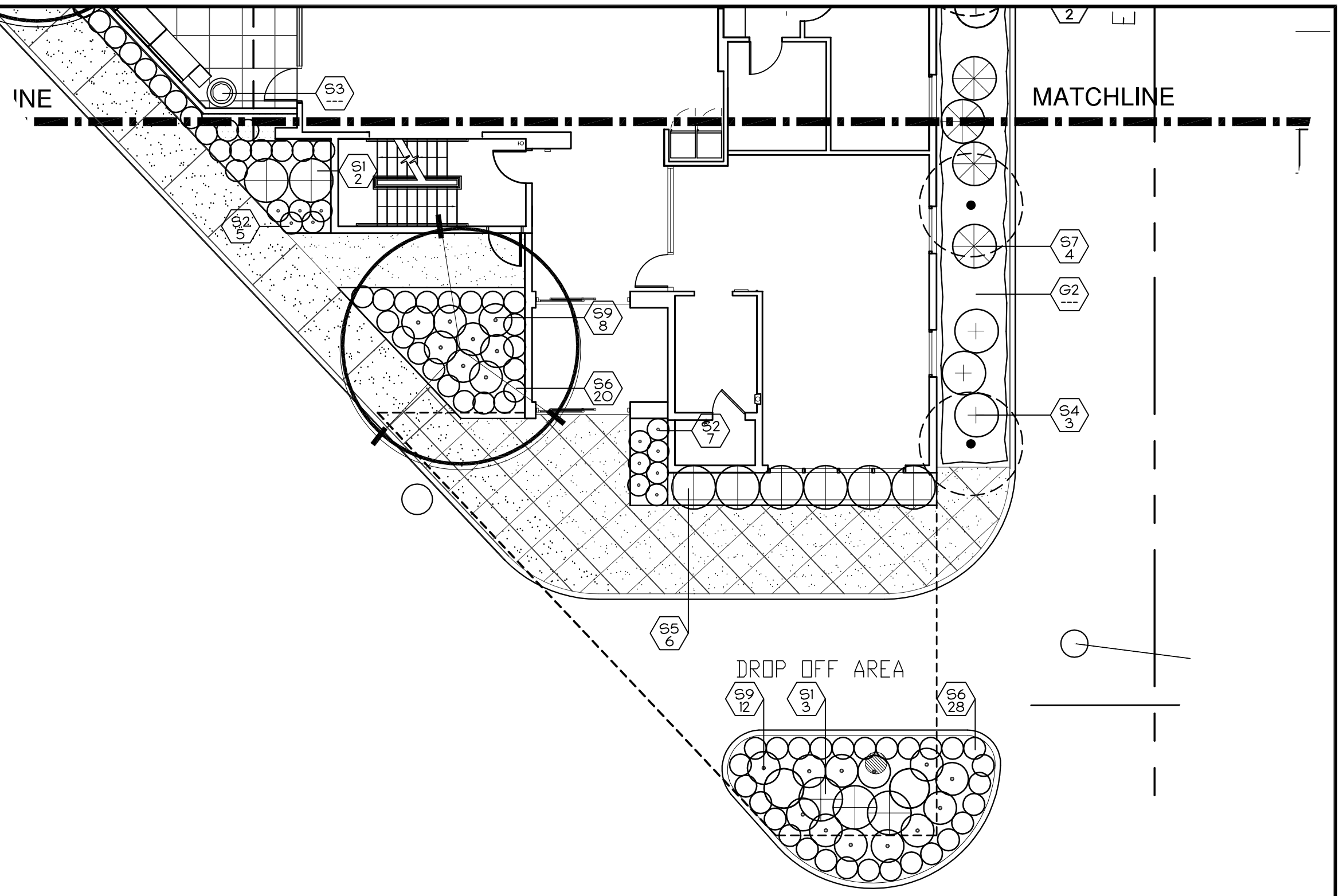
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REED ASSOCIATES
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477 SOUTH TAFFEE STREET
SUNNYVALE, CALIFORNIA 94086
408.481.9020 PH: 408.481.9022 FX: RALA.NET

PROJECT INFO.

HOME 2 SUITES
1700 HARBOR BAY PKWY
ALAMEDA, CA



LANDSCAPE ARCHITECT STATEMENT

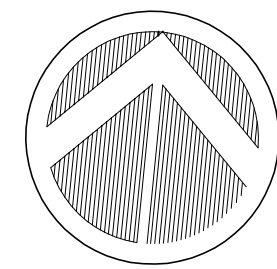
I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.



PLANT LIST:

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS	WUCOLS
TREES						
T1	ARBUTUS MARINA	STARWERRY TREE	-	24"BOX\MULTI		LOW
T2	PYRUS C. 'CAPITAL'	CAPITAL FLOWERING PEAR	-	24"BOX\STANDARD		MEDIUM
SHRUBS						
S1	PHORMIUM 'YELLOW WAVE'	HYBRID FLAX	-	5 GAL		LOW
S2	LIMONUM PEREZII	SEA LAVENDER	-	1 GAL		LOW
S3	ECHEVRIA 'IMBRICATA'	BLUE ROSE ECHEVRIA	-	1 GAL		LOW
S4	SALVIA CLEVELANDIAI	SAGE	-	5 GAL		LOW
S5	CHONDROPETALUM TECTORUM	CAPE RUSH	-	5 GAL		LOW
S6	JUNCUS PATENS	BLUE RUSH	-	5 GAL		LOW
S7	MULLENBERGIA RIGENS	DEER GRASS	-	5 GAL		LOW
S8	ARCTOSTAPHYLOS D. 'MCMINN'	MANZANITA MCMINN	-	5 GAL		LOW
S9	SANTOLINA ROSMARINFOLIA	SANTOLINA	-	5 GAL		LOW
GROUND COVERS						
G1	MAHONIA REPENS	CREeping OREGON GRAPE	---	5 GAL	24" O.C.	MEDIUM
G2	NEPETA FAASSENII	CATMIT	---	1 GAL	36" O.C.	LOW
G3	ARCTOSTAPHYLOS UVA URSI 'EMERALD CARPET'	MANZANITA EMERALD CARPET	---	5 GAL	36" O.C.	LOW

PLANT COUNT 9462



0 05 10 20
Scale 1" = 10 ft
sheet size = 24"x36"



PLANTING PLAN

JOB NO.
RP002
DATE.
08.11.2014

DRAWING NO.

L1.0

PLANT NOTES:

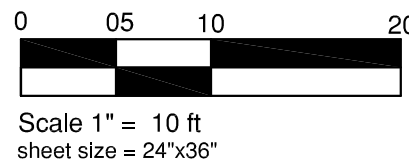
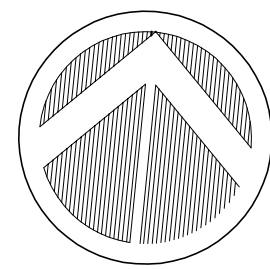
1. THE CONTRACTOR SHALL VERIFY PLANT QUANTITIES FROM THE PLANTING PLAN. QUANTITIES SHOWN IN THE LEGEND ARE FOR CONVENIENCE ONLY.
2. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND THE PLANTING PLAN.
3. PLANT GROUND COVER IN SHRUB AREAS AS NOTED, USE TRIANGULAR SPACING.
4. SEE DETAIL AND SPECIFICATION SHEETS FOR ADDITIONAL INFORMATION.
5. THERE WILL BE NO MATERIALS OR PLANT MATERIALS SUBSTITUTIONS WITHOUT APPROVAL OF THE OWNER OR THE LANDSCAPE ARCHITECT.
6. ALL SLOPES PLANTED WITH LAWN NOT TO EXCEED A 3:1 SLOPE. ALL SLOPES PLANTED WITH GROUND COVER NOT TO EXCEED A 2:1 SLOPE.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS (2% MIN)
8. IN THE EVENT OF ANY DISCREPANCIES BETWEEN THIS PLAN AND ACTUAL SITE CONDITIONS, THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY.
9. ENTIRE SITE IS TO BE ROUGH GRADED BY THE GRADING CONTRACTOR TO WITHIN FOOT OF FINISH GRADE. LANDSCAPE CONTRACTOR IS TO FINE GRADE ALL LANDSCAPE AREAS.
10. ALL SITE UTILITIES ARE TO BE PROTECTED DURING CONSTRUCTION. IN THE EVENT OF CONFLICT BETWEEN THE PLANS AND UTILITIES THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT. ANY DAMAGE TO UTILITIES, STRUCTURES, OR OTHER FEATURES TO REMAIN, AND CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
11. THE WORK IN THESE DRAWINGS AND SPECIFICATIONS MY RUN CONCURRENTLY WITH WORK BY OTHERS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CONTRACTORS.
12. PRIOR TO ANY DIGGING OR TRENCHING, CALL UNDERGROUND SERVICE ALERT -1800.227.2600
13. PROTECT EXISTING STORM DRAIN INLETS DRAIN INLETS, WITH FUTER FABRIC, FOR THE DURATION OF THE PROJECT.

BAYFRIENDLY NOTES:

1. DURING ROUGH GRADING ACTIVITIES, ALL EXISTING AND PROPOSED LANDSCAPE AREAS IDENTIFIED ON PLANS SHALL BE FENCED TO PROHIBIT PARKING, MATERIAL STORAGE AND STAGING ACTIVITIES WHICH COULD RESULT IN SOIL COMPACTION.
2. CONTRACTOR SHALL AVOID WORKING ON SOIL WHEN WET TO PREVENT SOIL COMPACTION.
3. SOIL IS SPECIFIED TO BE AMENDED IN A MANNER THAT WILL BRING THE SOIL ORGANIC MATTER CONTENT TO A MINIMUM OF 5% BY DRY WEIGHT.
4. FERTILIZERS AND SOIL AMENDMENTS THAT ARE PROHIBITED BY ORGANIC MATERIALS RESEARCH INSTITUTE (OMRI) IN ITS GENERIC MATERIALS LIST SHALL NOT BE USED ON PROJECT. PLEASE CONTACT LANDSCAPE ARCHITECT IF THERE IS ANY CONFLICTING INFORMATION IN BID DOCUMENTS.
5. SYNTHETIC CHEMICAL PRE-EMERGENTS ARE PROHIBITED. REFER TO SPECIFICATIONS FOR MORE INFORMATION.
6. WHEN POSSIBLE USE COMPOST BERMS OR BLANKETS TO CONTROL EROSION CONTROL. REFER TO EROSION CONTROL PLAN FOR MORE INFORMATION.
7. DIVERT 50% OF LANDSCAPE CONSTRUCTION AND DEMOLITION WASTE.
8. LANDSCAPE MAINTENANCE CONTRACTOR IS PROHIBITED FROM SHEARING ANY PLANT MATERIAL.
9. NONE OF THE PLANT MATERIAL SPECIFIED IS ON THE CAL-IPC INVASIVE SPECIES LIST, SHALL INSTALLER FIND ANY CONFLICTING INFORMATION, PLEASE CONTACT LANDSCAPE ARCHITECT IMMEDIATELY.
10. NO NEW TURF SPECIFIED FOR THIS PROJECT.
11. DURING ON-GOING MAINTENANCE, CONTRACTOR IS TO AVOID WORKING ON SOIL WHILE WET TO AVOID COMPACTION.
12. DURING ON-GOING MAINTENANCE, RE-APPLY ORGANIC MULCH TO A DEPTH OF 3".
13. DURING ON-GOING MAINTENANCE, CHECK IRRIGATION EQUIPMENT AND SOIL MOISTURE PERIODICALLY AND REPLACE ANY BROKEN EQUIPMENT IMMEDIATELY.
14. CONFIRM THAT AT LEAST ONE LANDSCAPE MAINTENANCE CONTRACTOR IS TRAINED IN IPM OR IS A BAY-FRIENDLY QUALIFIED PROFESSIONAL.
15. DURING ON-GOING MAINTENANCE, CONFIRM ALL OIL LEAKS ARE REPAIRED IMMEDIATELY AND OFF-SITE.
16. MAINTENANCE CONTRACTOR RESPONSIBLE FOR SEPARATING PLANT DEBRIS FROM OTHER REFUSE AND TAKEN TO A FACILITY WHERE IT WILL BE USED TO PRODUCE COMPOST OR MULCH.
17. A COMPLETED BAY FRIENDLY SITE ANALYSIS FORM WILL BE SUBMITTED PRIOR TO 100% DESIGN DEVELOPMENT DOCUMENTS.
18. AN INSTALL AND ON-GOING INTEGRATED PEST MANAGEMENT SPECIFICATION WILL BE INCORPORATED INTO LANDSCAPE PLANS.
19. PLEASE SEE ATTACHED BAY FRIENDLY MODEL MAINTENANCE SPECIFICATION.

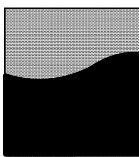
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PLANTING NOTES PLAN

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L1.1



T1. ARBUTUS MARINA
STRAWBERRY TREE



T2. PYRUS C. 'CAPITAL'
CAPITAL FLOWERING PEAR



S7. MUHLENBERGIA RIGENS
DEER GRASS



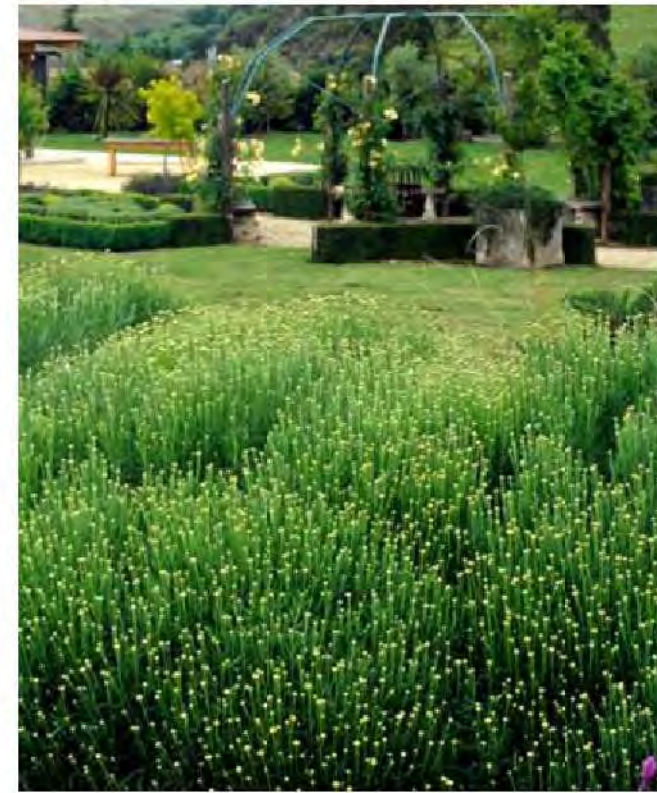
S8. ARCTOSTAPHYLOS D. 'MCMINN'
MANZANITA MCMINN



S1. PHORMIUM 'YELLOW WAVE'
HYBRID FLAX



S2. LIMONIUM PEREZII
SEA LAVENDER



S9. SANTOLINA ROSMARINIFOLIA
SANTOLINA



G1. MAHONIA REPENS
CREEPING OREGON GRAPE



S3. ECHEVERIA 'IMBRICATA'
BLUE ROSE ECHEVERIA



S4. SALVIA CLEVELANDII
SAGE



G2. NEPETA FAASSENII
CATMIT



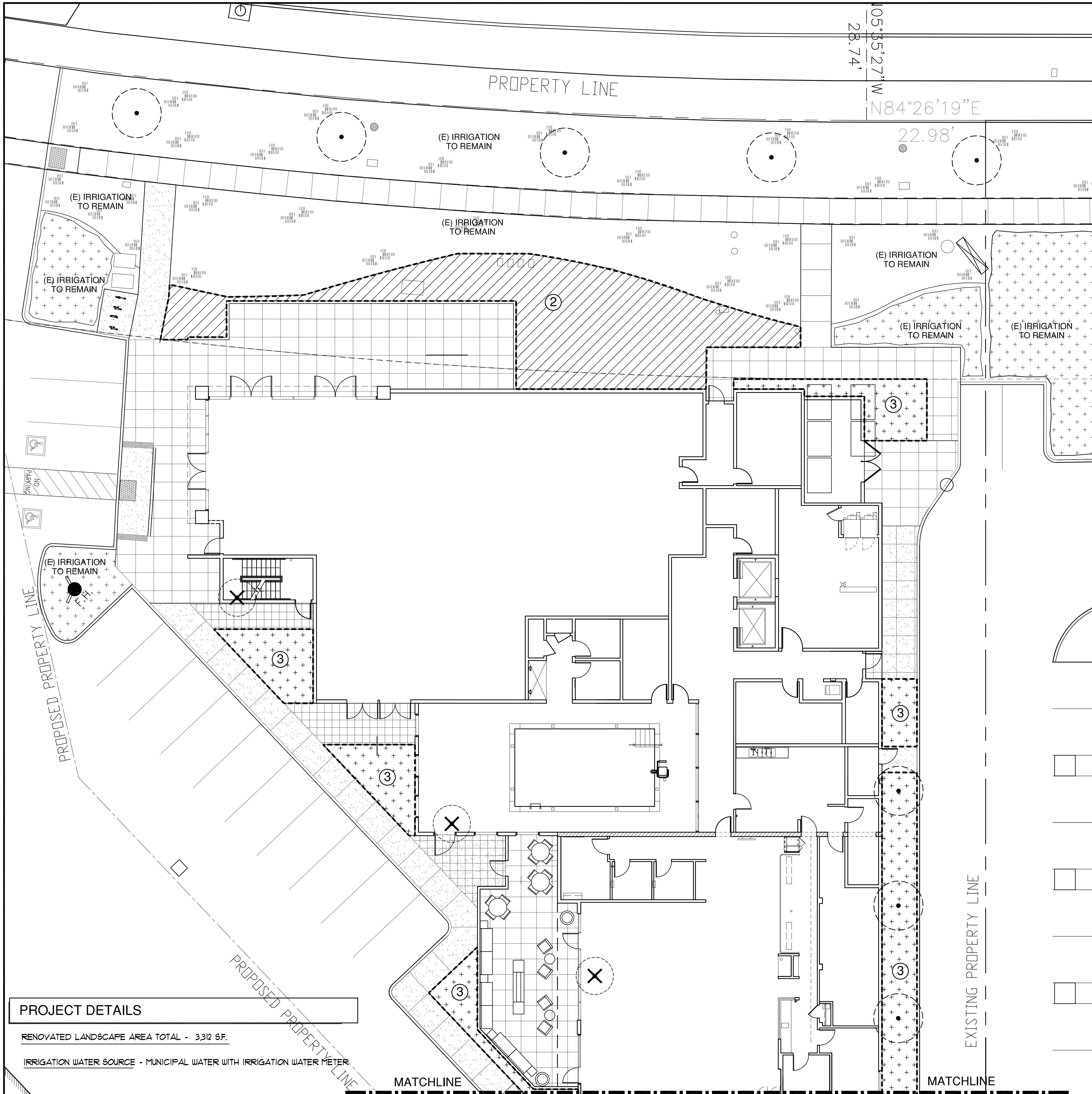
G3. ARCTOSTAPHYLOS 'EMERALD CARPET'
MANZANITA



S5. CHONDROPETALUM TECTORUM
CAPE RUSH



S6. JUNCUS PATENS
BLUE RUSH



PROJECT DETAILS

RENOVATED LANDSCAPE AREA TOTAL - 3,312 SF.

IRRIGATION WATER SOURCE - MUNICIPAL WATER WITH IRRIGATION WATER METER

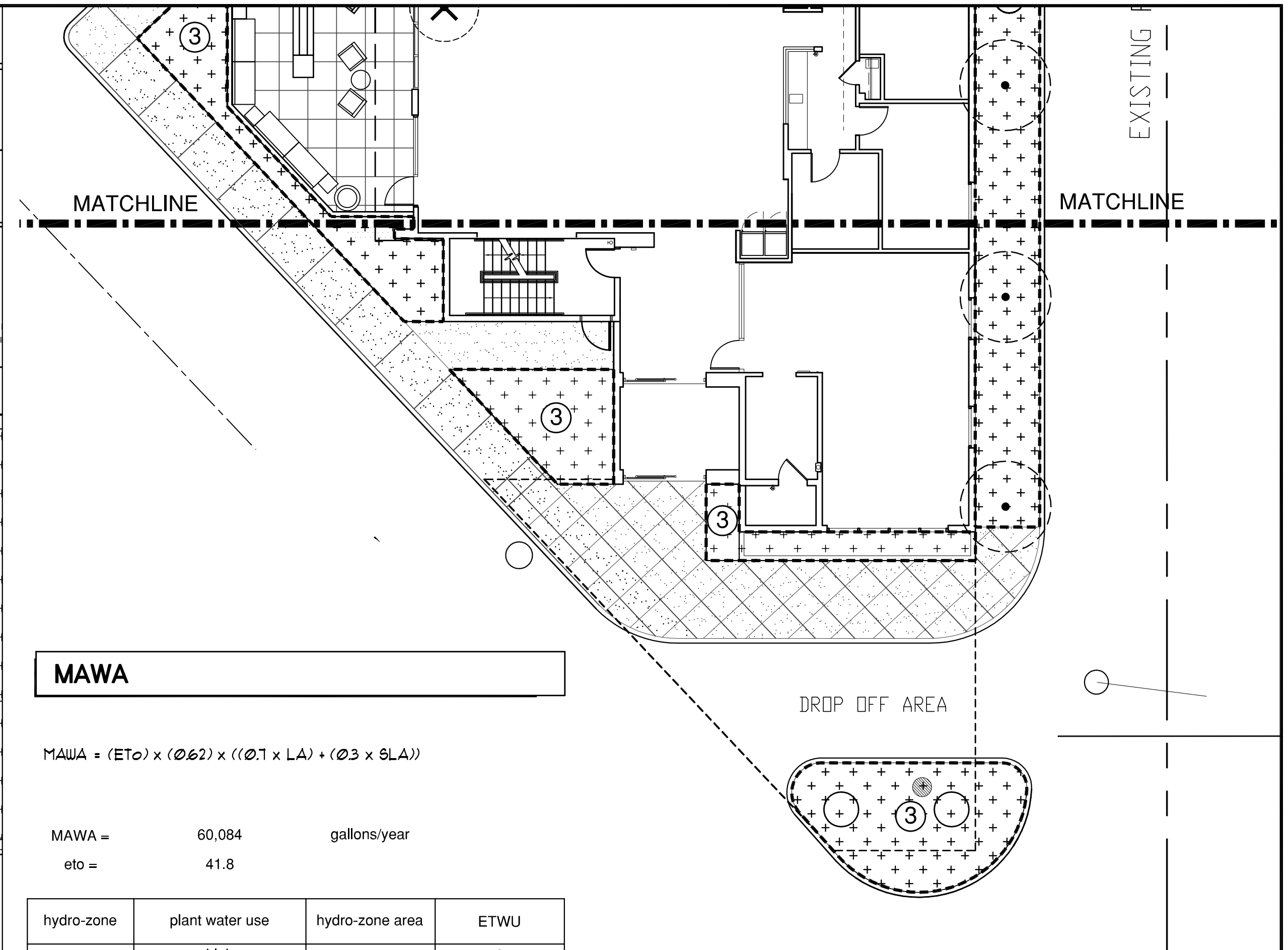
ARCHITECTURAL
DIMENSIONS

300 Frank H. Ogawa Plaza, Suite 375
Oakland, CA 94612
TEL. 510.463.8300 • FAX. 510.463.8395

REED ASSOCIATES
LANDSCAPE ARCHITECTURE
477 SOUTH TAAFFE STREET
SUNNYVALE, CALIFORNIA 94086
408.481.9020 PH: 408.481.9022 FX: RALA.NET

PROJECT INFO.

HOME 2 SUITES
1700 HARBOR BAY PKWY
ALAMEDA, CA



MAWA

$$MAWA = (ETO) \times (\phi 62) \times ((\phi 1 \times LA) + (\phi 3 \times SLA))$$

MAWA = 60,084 gallons/year
eto = 41.8

hydro-zone	plant water use	hydro-zone area	ETWU
1	high	0	0
2	medium	1,333	24,182
3	low	1,979	35,901
		3,312	60,084

LANDSCAPE ARCHITECT STATEMENT

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.



ETWU

ESTIMATED WATER USE (ETWU)

$$ETWU = (ETO) \times (\phi 62) \times \left(\frac{PF \times HA}{IE} + SLA \right)$$

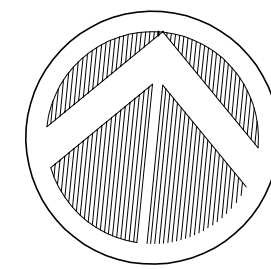
ETWU = 32,389 gallons/year
eto = 41.8

irrigation valve	plant water use	plant factor	hydro-zone area	PFxHA	irrigation efficiency	ETWU
1	high	0.7	0	0	0.70	0
2	medium	0.5	1,333	667	0.85	20,321
3	low	0.2	1,979	396	0.85	12,068
TOTAL			3,312	1,062		32,389

IRRIGATION HYDRO-ZONE LEGEND

PLANTS ARE GROUPED TO HAVE MATCHING WATER REQUIREMENTS AND MICRO-CLIMATE CHARACTERISTICS.

- HIGH WATER REQUIREMENT (turf)**
0 - square feet (NO NEW HIGH WATER USE PLANTINGS)
(over head spray irrigation)
- MEDIUM WATER REQUIREMENT (shrubs/g.c.)**
1,333 - square feet
(drip line emitter irrigation)
- LOW WATER REQUIREMENT (shrubs/g.c.)**
1,979 - square feet
(drip line emitter irrigation)



0 05 10 20
Scale 1" = 10 ft
sheet size = 24"x36"



JOB NO.
RP002
DATE:
08.11.2014

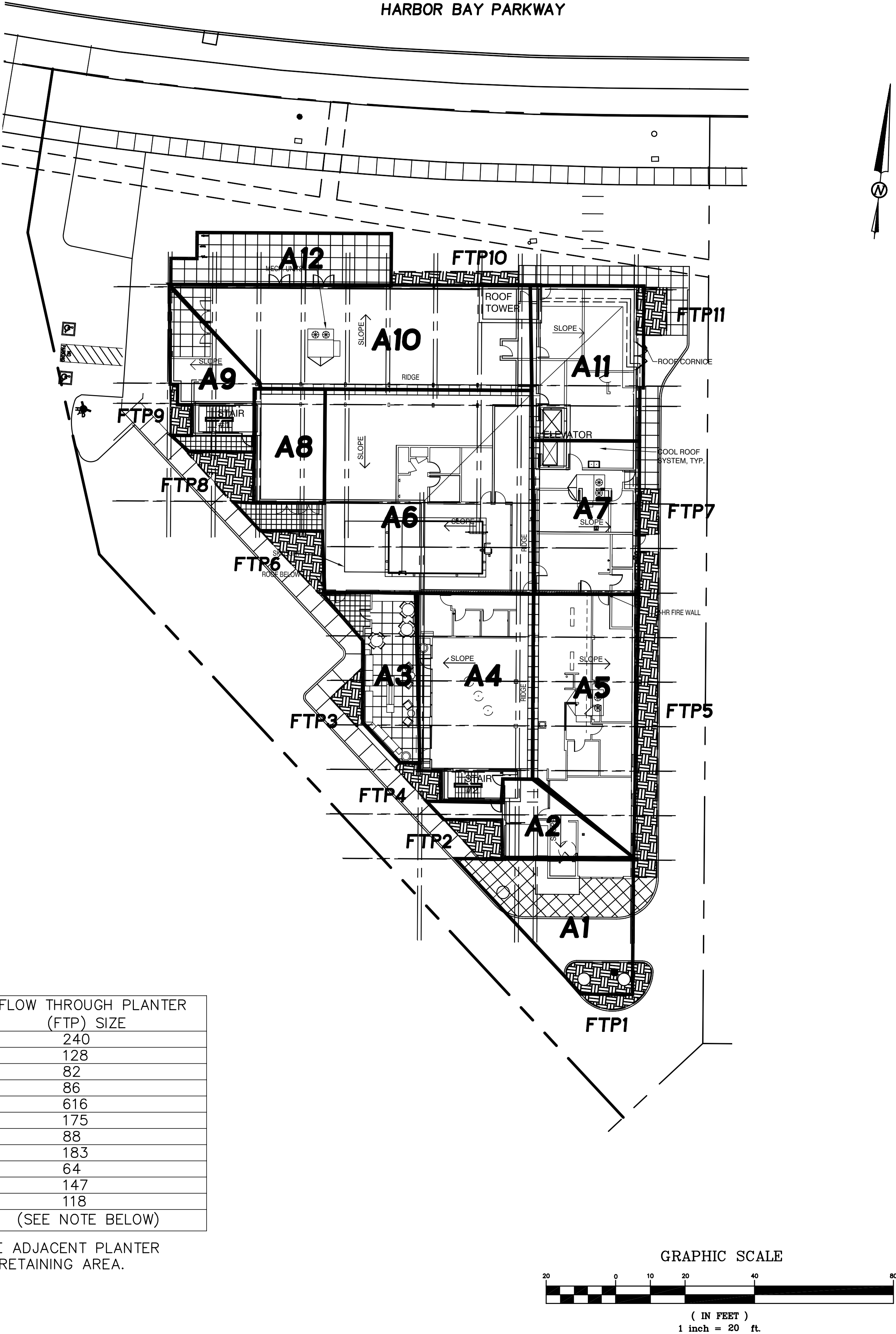
DRAWING NO.

L2.0

PRELIMINARY HYDROZONE PLAN

IMPERVIOUS SURFACE	AREA (SF)	4% AREA	FLOW THROUGH PLANTER (FTP) SIZE
A1	1281	51	240
A2	640	26	128
A3	792	32	82
A4	1859	74	86
A5	1928	77	616
A6	3691	148	175
A7	1341	54	88
A8	668	27	183
A9	764	31	64
A10	2718	109	147
A11	1425	57	118
A12	895	36	(SEE NOTE BELOW)

NOTE: A12 WILL SHEET FLOW TO THE ADJACENT PLANTER WHICH WILL ACT AS A SELF RETAINING AREA.



CONCEPTUAL
STORMWATER
TREATMENT SITE PLAN

DRAWING	Home2Suites
SCALE	1" = 20'
DATE	JULY 10, 2014
REVISIONS	
JOB NO.	F14-154

HOME 2 SUITES
1700 HARBOR BAY PARKWAY
ALAMEDA, CALIFORNIA

FRANCO CIVIL ENGINEERING
1930 SHATTUCK AVENUE, SUITE A
BERKELEY, CALIFORNIA 94704
(510) 848-1930 FAX (510) 848-9725

OWNERS’ STATEMENT

THE UNDERSIGNED HEREBY STATE THAT THEY ARE THE OWNERS OF THE LAND DELINEATED AND EMBRACED WITHIN THE EXTERIOR BOUNDARY LINES ON THE HEREON EMBODIED PARCEL MAP ENTITLED "PARCEL MAP 10275, ALAMEDA, CALIFORNIA"; THAT SAID OWNER ACQUIRED TITLE TO SAID LAND BY VIRTUE OF THE DEED RECORDED DECEMBER 31, 2012 UNDER SERIES NO. 2012–434786, RECORDS OF ALAMEDA COUNTY, CALIFORNIA; THAT SAID OWNERS CONSENT TO THE PREPARATION OF AND FILING OF THIS PARCEL MAP.
AND, SAID OWNER HEREBY ESTABLISHES A RECIPROCAL INGRESS/EGREES EASEMENT FOR THE BENEFIT OF PARCEL 1.
AND SAID OWNER HEREBY ESTABLISHES INGRESS/EGRESS, PARKING AND UTILITY EASEMENT FOR THE BENEFIT OF PARCEL A.

IN WITNESS WHEREOF, WE HAVE CAUSED THIS STATEMENT TO BE EXECUTED THIS ____ DAY OF _____, 2014.

PRAVIN L. PATEL
BALAJI ALAMEDA, LLC

SIMA P. PATEL

DHRUV PATEL, MANAGING MEMBER

OWNERS’ ACKNOWLEDGMENT

STATE OF CALIFORNIA
COUNTY OF ALAMEDA

ON _____ BEFORE ME, _____

A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED PRAVIN L. PATEL, SIMA P. PATEL AND DHRUV PATEL, WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE, TO BE THE PERSONS WHOSE NAMES ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME IN THEIR AUTHORIZED CAPACITIES, AND THAT BY THEIR SIGNATURES ON THE INSTRUMENT THE PERSONS, OR THE ENTITY UPON BEHALF OF WHICH THE PERSONS ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

SIGNATURE OF NOTARY PUBLIC: _____

PRINTED NAME OF NOTARY: _____

PRINCIPAL COUNTY OF BUSINESS: _____

COMMISSION EXPIRES: _____

COMMISSION NUMBER: _____

SURVEYOR’S STATEMENT

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF DHRUV PATEL IN MAY OF 2014. I HEREBY STATE THAT THIS PARCEL MAP SUBSTANTIALLY CONFORMS TO THE APPROVED OR CONDITIONALLY APPROVED TENTATIVE PARCEL MAP, IF ANY. I HEREBY STATE THAT THE MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED, AND THAT THE MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

DATE: _____

ROBERT J. BRUNEL, LS 4961

CITY ENGINEER’S STATEMENT

THIS MAP CONFORMS TO THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCES.

DATE: _____, RCE
CITY ENGINEER, CITY OF ALAMEDA

CITY SURVEYOR’S STATEMENT

I, _____, CITY SURVEYOR FOR THE CITY OF ALAMEDA, STATE OF CALIFORNIA, DO HEREBY CERTIFY THAT I HAVE EXAMINED THE HEREIN EMBODIED PARCEL MAP ENTITLED "PARCEL MAP 10275, ALAMEDA, CALIFORNIA" AND FOUND THE PARCEL MAP TO BE TECHNICALLY CORRECT.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND THIS ____ DAY OF _____, 2014.

DATE: _____, LS
CITY SURVEYOR, CITY OF ALAMEDA

CITY CLERK’S STATEMENT

I, LARA WEISIGER, CITY CLERK AND CLERK OF THE COUNCIL OF THE CITY OF ALAMEDA, COUNTY OF ALAMEDA, DO HEREBY CERTIFY THAT SAID COUNCIL DID, AT A REGULAR MEETING THEREOF HELD ON THE ____ DAY OF _____, BY RESOLUTION NO. _____, ACCEPT ON BEHALF OF THE PUBLIC ALL EASEMENTS OFFERED FOR DEDICATION TO THE PUBLIC FOR USE IN CONFORMITY WITH THE TERMS OF THE OFFERS OF DEDICATION.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND THIS ____ DAY OF _____, 2014.

DATED: _____

LARA WEISIGER
CITY CLERK AND CLERK OF THE
COUNCIL OF THE CITY OF ALAMEDA,
COUNTY OF ALAMEDA, STATE OF CALIFORNIA

BY: _____
DEPUTY COUNTY CLERK

CLERK OF THE BOARD OF SUPERVISORS
STATEMENT

I, CHERYL PERKINS, ASST. CLERK OF THE BOARD OF SUPERVISORS OF THE COUNTY OF ALAMEDA, STATE OF CALIFORNIA, DO HEREBY STATE THAT CERTIFICATES HAVE BEEN FILED AND DEPOSITS HAVE BEEN MADE IN CONFORMANCE WITH THE REQUIREMENTS OF SECTION 66492 AND 66493 OF THE GOVERNMENT CODE OF THE STATE OF CALIFORNIA.

DATED: _____

CHERYL PERKINS
ASST. CLERK OF THE BOARD OF SUPERVISORS,
COUNTY OF ALAMEDA, STATE OF CALIFORNIA

BY: _____
DEPUTY COUNTY CLERK

RECORDER’S STATEMENT

FILED THIS _____ DAY OF _____, 2014, AT ____ M. IN BOOK _____ OF MAPS, AT PAGE _____, AT THE REQUEST OF _____

PATRICK O’CONNELL
COUNTY RECORDER, IN AND FOR
COUNTY OF ALAMEDA, STATE OF CALIFORNIA

BY: _____
DEPUTY COUNTY RECORDER

OWNER/SUBDIVIDER:
BALAJI ALAMEDA, LLC
c/o DHRUV PATEL
P.O. BOX 2548
OAKLAND, CA 94614
510–407–0308

PARCEL MAP 10275
ALAMEDA, CALIFORNIA

A TWO LOT SUBDIVISION OF PARCEL 2
PARCEL MAP 7470 (260 M 13)
CITY AND COUNTY OF ALAMEDA, CALIFORNIA

AUGUST 2014

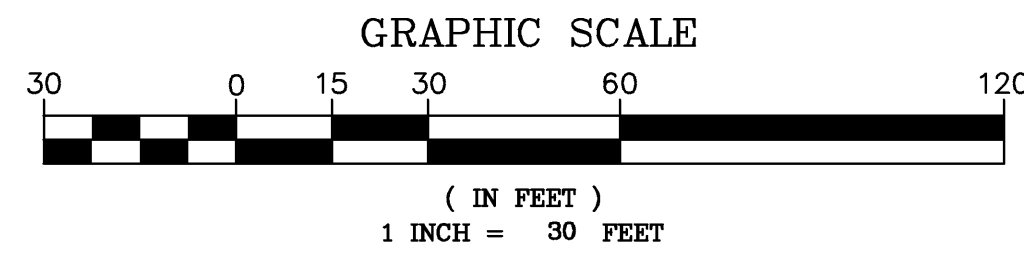
MORAN ENGINEERING, INC.

1930 SHATTUCK AVENUE, SUITE A
BERKELEY, CALIFORNIA 94704
(510) 848–1930

HAMPTON INN PM.DWG JOB NO. 06–6754

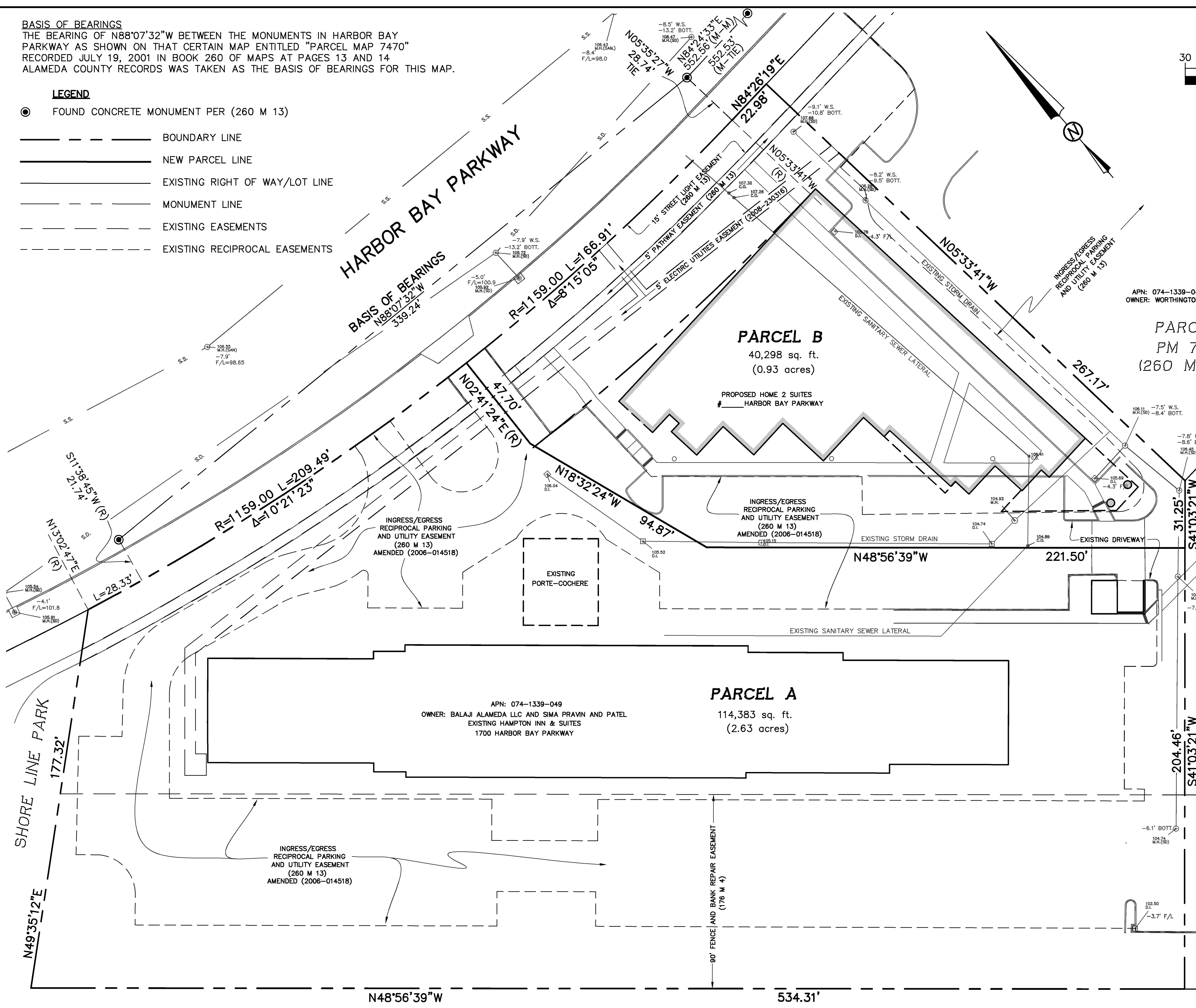
BASIS OF BEARINGS
THE BEARING OF N88°07'32"W BETWEEN THE MONUMENTS IN HARBOR BAY PARKWAY AS SHOWN ON THAT CERTAIN MAP ENTITLED "PARCEL MAP 7470" RECORDED JULY 19, 2001 IN BOOK 260 OF MAPS AT PAGES 13 AND 14 ALAMEDA COUNTY RECORDS WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS MAP.

- LEGEND**
- FOUND CONCRETE MONUMENT PER (260 M 13)
 - BOUNDARY LINE
 - NEW PARCEL LINE
 - EXISTING RIGHT OF WAY/LOT LINE
 - MONUMENT LINE
 - - - EXISTING EASEMENTS
 - - - EXISTING RECIPROCAL EASEMENTS



EASEMENT NOTES:
AN ACTIVITIES RELATED TO AIRPORT OPERATIONS EASEMENT EXISTS IN THE AIRSPACE ABOVE AND OVER THE SURFACE OF THIS PROPERTY PER (1992-048968).

EASEMENTS EXIST OVER THIS PROPERTY PER (2003-274956) AND WERE AMENDED PER (2006-014518) AND (2006-438652).



APN: 074-1339-048
OWNER: WORTHINGTON CALIFORNIA INVESTMENTS, LLC

PARCEL 1
PM 7470
(260 M 13-14)

APN: 074-1339-050
OWNER: WORTHINGTON CALIFORNIA INVESTMENTS, LLC

PARCEL 3
PM 7470
(260 M 13-14)

OWNER/SUBDIVIDER:
BALAJI ALAMEDA, LLC
c/o DHUV PATEL
P.O. BOX 2548
OAKLAND, CA 94614
510-407-0308

PARCEL MAP 10275 ALAMEDA, CALIFORNIA

A TWO LOT SUBDIVISION OF PARCEL 2
PARCEL MAP 7470 (260 M 13)
CITY AND COUNTY OF ALAMEDA, CALIFORNIA

AUGUST 2014 SCALE: 1" = 30'

MORAN ENGINEERING, INC.

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BERKELEY, CALIFORNIA 94704
(510) 848-1930

HAMPTON INN PM.DWG JOB NO. 06-6754