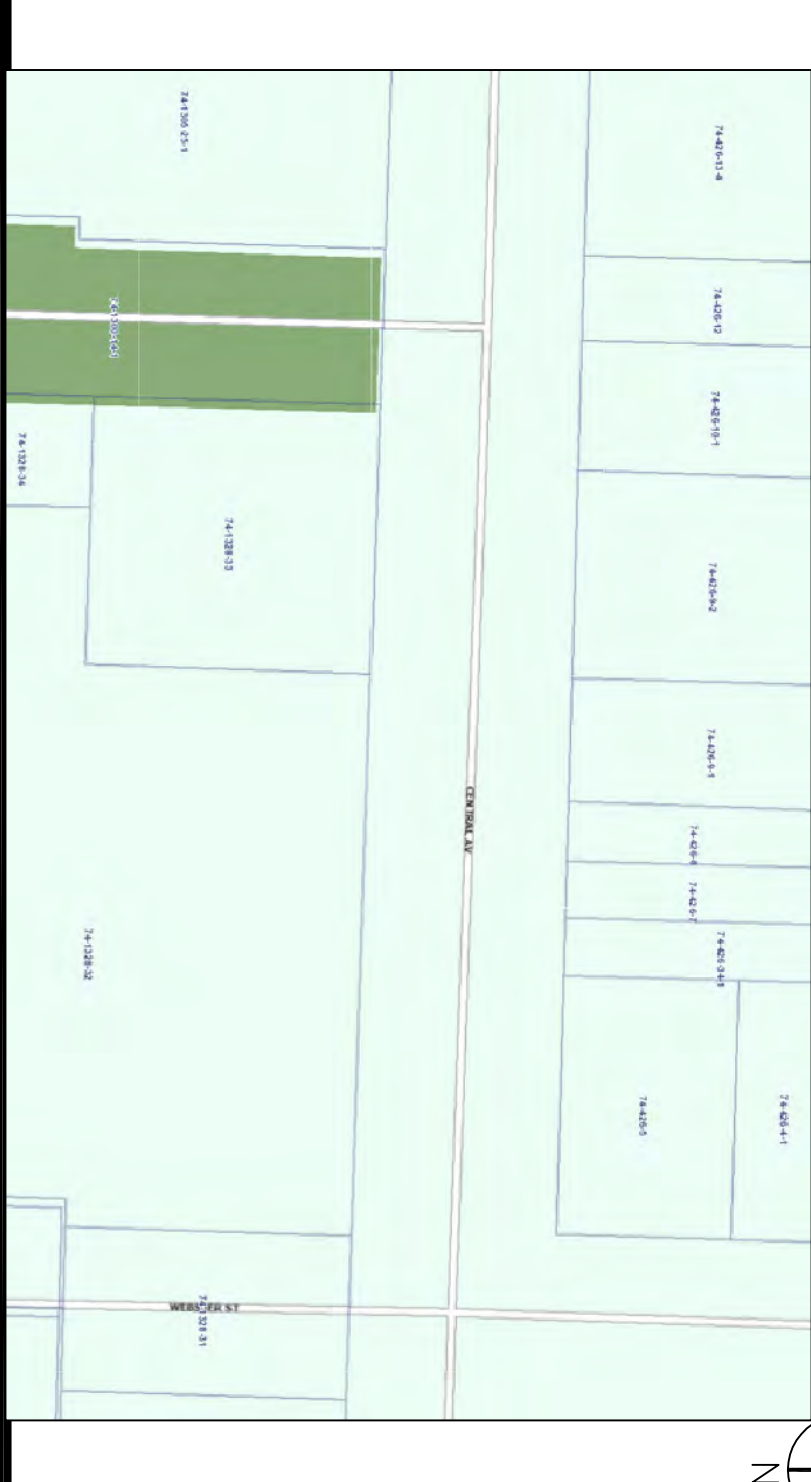


## LOCATION MAP



## GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED TO THE FOLLOWING CODES:
- |                                             |              |
|---------------------------------------------|--------------|
| a. CALIFORNIA BUILDING CODE                 | 2013 EDITION |
| b. CALIFORNIA MECHANICAL CODE               | 2013 EDITION |
| c. CALIFORNIA PLUMBING CODE                 | 2013 EDITION |
| d. CALIFORNIA ELECTRICAL CODE               | 2013 EDITION |
| e. CALIFORNIA FIRE CODE                     | 2013 EDITION |
| f. CALIFORNIA FEE CODE                      | 2013 EDITION |
| g. CALIFORNIA GREEN BUILDING STANDARDS CODE | 2013 EDITION |
| h. CALIFORNIA HISTORIC CODE                 | 2013 EDITION |
| i. CALIFORNIA RESIDENTIAL CODE              | 2013 EDITION |

2. CONTRACTOR SHALL ADHERE TO ALL CODES, RULES & REGULATIONS GOVERNING CONSTRUCTION, BUILDING ACCESS & THE USE OF FACILITIES AS SET BY FEDERAL, STATE & LOCAL BUILDING CODES.
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS IN THE DESIGN DWGS.
4. ASSUMPTIONS HAVE BEEN MADE REGARDING THE (E) STRUCTURE & CONDITIONS OF WALLS, FLOORS, CEILING & BUILDING COMPONENTS. CONTRACTOR SHALL VERIFY (E) CONDITIONS AS BUILDING STRUCTURE IS UNCOVERED. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY OF CONDITIONS DIFFERENT FROM DWGS. ARCHITECT DOES NOT ASSUME RESPONSIBILITY FOR (E) STRUCTURE OR ITS LOCATION & CONDITION.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS & WORKMANSHIP (U.N.O.) IN ACCORDANCE WITH ALL FEDERAL, STATE & LOCAL CODES
6. THE CONTRACTOR SHALL VERIFY ALL DWGS & (E) CONDITIONS IN THE FIELD & NOTIFY ARCHITECT, IN WRITING, OF ANY DISCREPANCIES PRIOR TO START OF WORK.
7. LARGE SCALE DWGS TAKE PRECEDENCE OVER SMALL SCALE DWGS.
8. ALL DWGS SHOWN ARE TO FACE OF FINISHED WALLS U.N.O.
9. NOTIFY THE OWNER & ARCHITECT IF MODIFICATIONS TO STRUCTURAL COMPONENTS ARE REQUIRED TO COMPLETE THE WORK & ARE NOT DESCRIBED IN THE CONTRACT DOCUMENTS.
10. THESE DWGS SHALL NOT BE SCALED.
11. CONTRACTOR IS RESPONSIBLE FOR THE DESIGN & CONSTRUCTION OF ANY TEMPORARY SHORING &/OR BRACING FOR ANY CONSTRUCTION.
12. REVIEW ALL EXISTING INTERIOR AND EXTERIOR CONDITIONS INCLUDING EXTERIOR SIDING, TRIM, FASADS, STRUCTURAL ELEMENTS, PLUMBING, ELECTRICAL, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD INSPECT ALL SURFACES AND CONSTRUCTION COMPONENTS PRIOR TO SUBMITTING BIDDING DOCUMENTATION. IF CONDITIONS ARE FOUND WHERE REPLACEMENT OF COMPONENTS OR FINISHES ARE REQUIRED THAT ARE NOT INDICATED IN THE DRAWINGS OR SPECIFICATIONS THEN A LINE ITEM IN THE BIDDING DOCUMENTS MUST BE PROVIDED INDICATING THE EXTENT OF WORK, COST OF THE MATERIALS, FABRICATION, INSTALLATION, ETC. & TIME REQUIRED TO EXECUTE THE LINE ITEM(S).

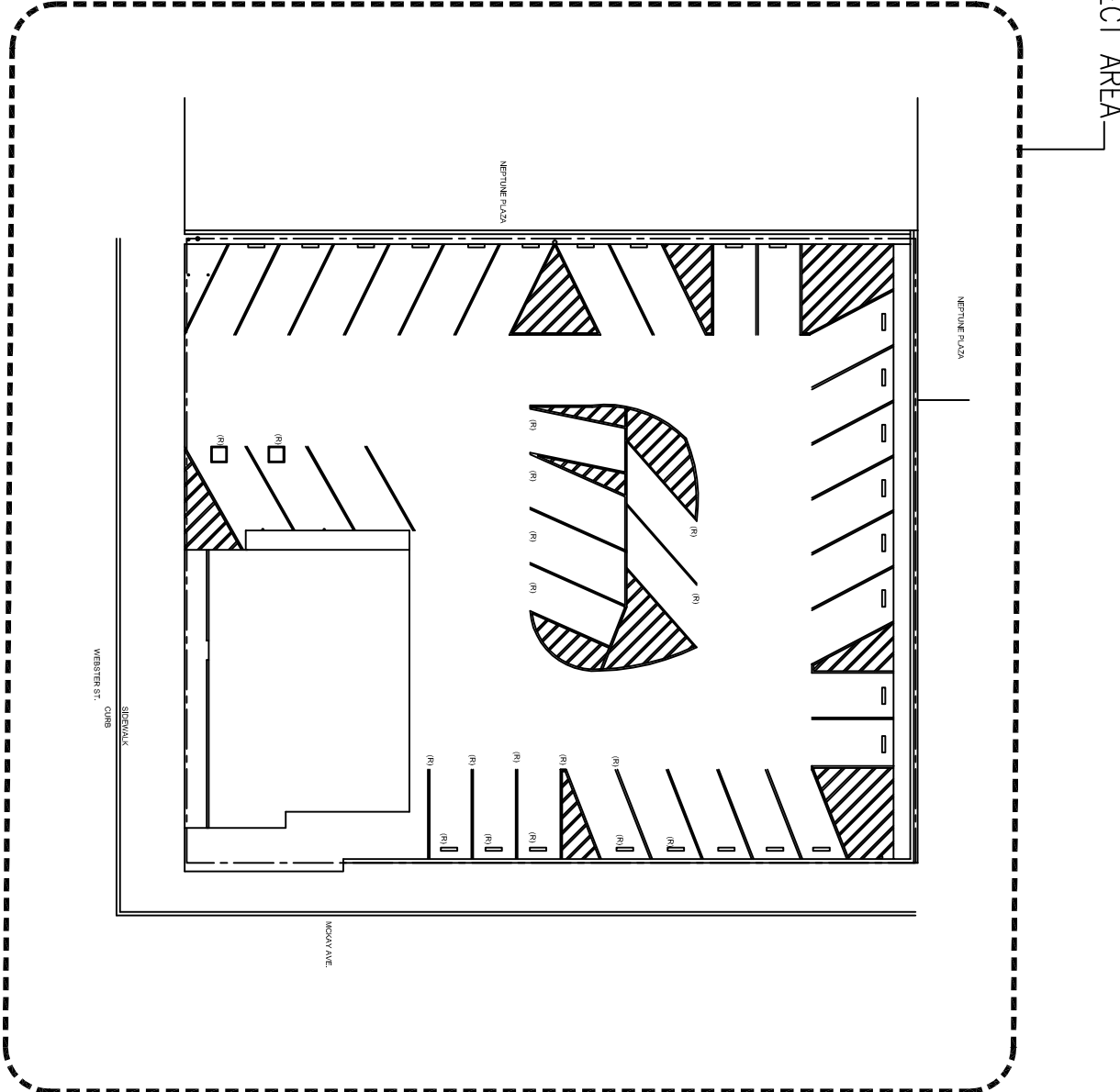
## ALAMEDA FIRE DEPT NOTES

1. EXITING, EXIT SIGNS, EGRESS ILLUMINATION AND PORTABLE FIRE EXTINGUISHERS MAY BE REQUIRED AS DETERMINED BY THE FIRE INSPECTOR.
2. ALL COMMERCIAL BUILDINGS ARE REQUIRED TO HAVE A KNOX KEY-LOCK BOX. IF THE BUILDING DOES NOT CURRENTLY HAVE ONE YOU WILL BE REQUIRED TO INSTALL ONE. PLEASE CONTACT FIRE INSPECTOR, TO OBTAIN A APPLICATION AND TO DETERMINE AN APPROVED LOCATION FOR ITS INSTALLATION.
3. ALL REQUESTS FOR FIRE INSPECTION SHALL BE MADE AT LEAST 48 HOURS IN ADVANCE. PLEASE CONTACT FIRE DEPARTMENT ADMINISTRATION TO SCHEDULE YOUR INSPECTIONS.
4. ALL BUILDINGS ARE REQUIRED TO BE PROVIDED WITH AN ADDRESS THAT IS CLEARLY VISIBLE FROM THE STREET OR ROADWAY. THE NUMERALS SHALL BE A MINIMUM OF 6 INCHES IN HEIGHT AND 1 INCH STROKE. THE NUMERALS SHALL BE OF CONTRASTING COLOR TO THEIR BACKGROUND, AND WHITE IN COLOR IF LOCATED ON GLAZING.

# DEMO NOTES

1. DEMOLITION IS NOT LIMITED TO WHAT IS SHOWN. DWGS. INDICATE GENERAL INTENT OF DEMOLITION AREAS ONLY. PLAN INDICATES THE GENERAL SCOPE OF DEMOLITION TO COMPLETE THE PROJECT AS SHOWN ON THE CONSTRUCTION PLAN.
2. CONTRACTOR TO VERIFY LOCATION OF (E) UTILITIES & SAFEGUARD PRIOR TO STARTING DEMO. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE, CAP, RECONNECT, RELOCATE OR REMOVE ANY &/OR ALL UTILITIES BEFORE, DURING & AFTER DEMO & (N) CONSTRUCTION.
3. THE CONTRACTOR SHALL COORDINATE WITH BUILDING OWNER THE REMOVAL OF DEBRIS.
4. WHERE (E) CONSTRUCTION IS REMOVED, ALL FIXTURES (OUTLETS, SWITCHES, THERMOSTATS, ETC.) SHALL ALSO BE REMOVED & CAPPED BEHIND FINISHED WALL UTILITIES. FIXTURES ARE TO BE REUSED &/OR RELOCATED. CONCEAL NO SWITCHES, JUNCTION BOXES, ETC. IN WALLS.
5. WHERE (E) CONSTRUCTION IS DISTURBED BY DEMOLITION OR NEW WORK, IT SHALL BE REPAIRED &/OR PATCHED TO MATCH (E) FINISH OR AS SPECIFIED IN THE DWGS.

# SITE PLAN & PROJECT AREA



## SITE DATA

1. INTERIOR TENANT IMPROVEMENT.
2. INSTALL (N) FLOOR FINISHES.
3. INSTALL (N) HAND WASH SINK, FREE STANDING BEVERAGE DISPENSERS & REFRIGERATORS.
4. ADD 28.25 SQ/FT FOR RENOVATED RESTROOM.

USE:	RETAIL - DINE-IN/TAKE OUT
CONSTRUCTION TYPE:	TYPE V, NON-RATED, NON-SPRINKLERED
OCCUPANCY:	B
NUMBER OF STORIES:	1
GROSS FLOOR AREA:	TENANT AREA: 2643 SF TOTAL

EXITS REQUIRED: 2  
EXITS PROVIDED: 3

LOT COVERAGE CALCULATION:  
NO CHANGES TO LOT COVERAGE

PROPOSED TENANT NAME: "NEPTUNE'S"

## OCCUPANCY LOAD CALCULATIONS

DESCRIPTION	AREA (NET)		
DINING AREA	598 SQ FT	15	40
PATIO DINING AREA	523 SQ FT	15	35
KITCHEN	351 SQ FT	200	2
HALLWAY	170 SQ FT		
RESTROOM	104 SQ FT		
WORK AREA	185 SQ FT		
LOBBY	287 SQ FT		
		100	8
WALK-IN STORAGE	101 SQ FT		
DRY STORAGE	120 SQ FT		
		300	1
TOTAL OCCUPANCY			86





## CONTACT INFO

OWNER:  
JOHN NGU  
P.O. BOX 431  
ALAMEDA, CA 94501  
510-507-4150

# SHEET INDEX

A1.0	TITLE PAGE, SITE PLAN & PROJECT INFO
A2.0	EXISTING & PROPOSED PLANS, AND FINISHING DETAILS
A2.1	APPLIANCES, PLAN, NOTES & DETAILS; MANDATORY MEASUREMENTS
A2.2	INTERIOR ELEVATIONS – KITCHEN & WORK AREAS
A2.3	WALK IN AND EXHAUST HOOD, NOTES & DETAILS
A3.0	EXISTING & PROPOSED ELECTRICAL PLANS AND NOTES
A4.0	EXISTING & PROPOSED PLUMBING PLAN, NOTES & DETAILS
A5.0	HANDICAP ACCESSIBILITY AND HARDWARE DETAILS
A6.0	EXISTING EXTERIOR ELEVATIONS & ROOF PLAN
A6.1	PROPOSED EXTERIOR ELEVATIONS

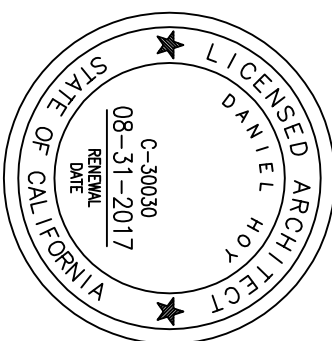
## WALL LEGEND

	NEW FULL HEIGHT WALL
	NEW PARTITION WALL
	EXISTING
	DEMOLITION

2-1044C TACTILE EXIT SIGN. SEE NOTES.

DANIEL HOY, AIA  
ARCHITECTURE

1351 WEBSTER STREET, SUITE B  
ALAMEDA, CALIFORNIA 94501  
P: 510-520-6528  
F: 510-864-1183  
E: [dhoyaia@earthlink.net](mailto:dhoyaia@earthlink.net)



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630 CENTRAL AVENUE  
ALAMEDA, CALIFORNIA, 94501

## COMMERCIAL TENANT IMPROVEMENT

**TITLE PAGE,  
SITE PLAN &  
PROJECT INFO**

# A1.0



## FINISH NOTES

1. FRP (FIBERGLASS REINFORCED PLASTIC), OR OTHER CONTINUOUS & WASHABLE SURFACE, AT WALLS WHERE INDICATED, TO 70" HT.
2. WHERE NEW WORK JOINS (E) WORK CONTRACTOR SHALL PROVIDE & INSTALL MATERIAL TO MATCH (E) PATTERN, COLOR, FINISH, TEXTURE & DESIGN, PATCH & REPAIR ALL MATERIALS & SURFACES THAT ARE AFFECTED BY THE NEW WORK. THERE SHALL BE NO VISUAL DISCREPANCIES BETWEEN NEW & (E) WORK. NOTIFY OWNER & ARCHITECT PRIOR TO COMMENCEMENT OF CONSTRUCTION IF MATCHING MATERIALS, DETAILS OR COLORS ARE NOT AVAILABLE.
3. ALL (E) DOORS TO REMAIN U.N.O.
4. PROVIDE & INSTALL ALL HARDWARE NOT NOTED (PULLS, STOPS, HINGES, ETC.) AS REQUIRED PER CODE & FOR A COMPLETE OPERATING SYSTEM.
5. COORDINATE KEYING WITH OWNER.
6. SUBMIT GYP. BD. FINISH SAMPLE TO OWNER FOR APPROVAL PRIOR TO INSTALLATION.
7. FOLLOW ALL MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR MATERIALS, FIXTURES & FINISHES.
8. ALL FINISHES: CC TO PROVIDE COLORS & MATERIAL SAMPLES FOR OWNER APPROVAL PRIOR TO ORDERING & INSTALLATION
9. PROVIDE BLOCKING WHERE REQUIRED BY MANUFACTURER, AT LOCATIONS REQUIRED BY CODE & AT ALL FIXTURES & EQUIPMENT.
10. WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO THE STRUCTURE. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER & LOWER THIRDS & SHALL MAINTAIN A MINIMUM CLEARANCE OF 4" FROM THE WATER HEATER CONTROLS. THE DIVISION OF THE STATE ARCHITECT REQUIRES THAT WATER HEATERS WITH A CAPACITY FROM 52 GAL TO 75 GAL HAVE AN ADDITIONAL STRAP INSTALLED AT MID-HEIGHT.
11. UNO, WHERE EXISTING MATERIALS OF DIFFERING QUALITY, DIMENSION, FABRICATION, ETC. ARE INSTALLED THE MATERIAL OF HIGHER QUALITY, DIMENSION, FABRICATION, ETC. SHALL BE USED FOR BIDDING PURPOSES WHERE "MATCH EXISTING" IS INDICATED.
12. UNO ALL TRIMS, CASINGS, BASEBOARDS, FINISHES, ETC.: MATCH EXISTING FOR BIDDING PURPOSES. SEE SPECIFICATIONS FOR FURTHER INFORMATION.
13. REVIEW ALL EXISTING INTERIOR AND EXTERIOR CONDITIONS INCLUDING EXTERIOR SIDING, TRIM, FASADS, STRUCTURAL COMPONENTS, PLUMBING, ELECTRICAL, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD INSPECT ALL SURFACES AND CONSTRUCTION COMPONENTS PRIOR TO SUBMITTING BIDDING DOCUMENTATION. IF CONDITIONS ARE FOUND WHERE REPLACEMENT OF COMPONENTS OR FINISHES ARE REQUIRED THAT ARE NOT INDICATED IN THE DRAWINGS OR SPECIFICATIONS THEN A LINE ITEM IN THE BIDDING DOCUMENTS MUST BE PROVIDED INDICATING THE EXTENT OF WORK AND COST OF THE MATERIALS, FABRICATION, INSTALLATION, ETC.
14. PROVIDE FINE BLOCKING & CHALK W/ APPROVED SEALANTS AT ALL LOCATIONS AS REQ'D BY CODE.
15. INSTALL/REPAIR (E) SUBFLOOR THROUGHOUT AS REQ'D FOR PROPER INSTALLATION OF (N) FINISHED FLOOR. IF DIFFERENCES IN HEIGHT ARE CAUSED BETWEEN (E) & (N) FLOORING AT TIME OF INSTALLATION NOTIFY ARCHITECT PRIOR TO INSTALLATION OF (N) FINISHED FLOOR.
16. VOC & FORMALDEHYDE LIMITS TO CONFORM TO TABLES 4.504.1-.3 & 5 OF THE CA GREEN BLDG CODE.

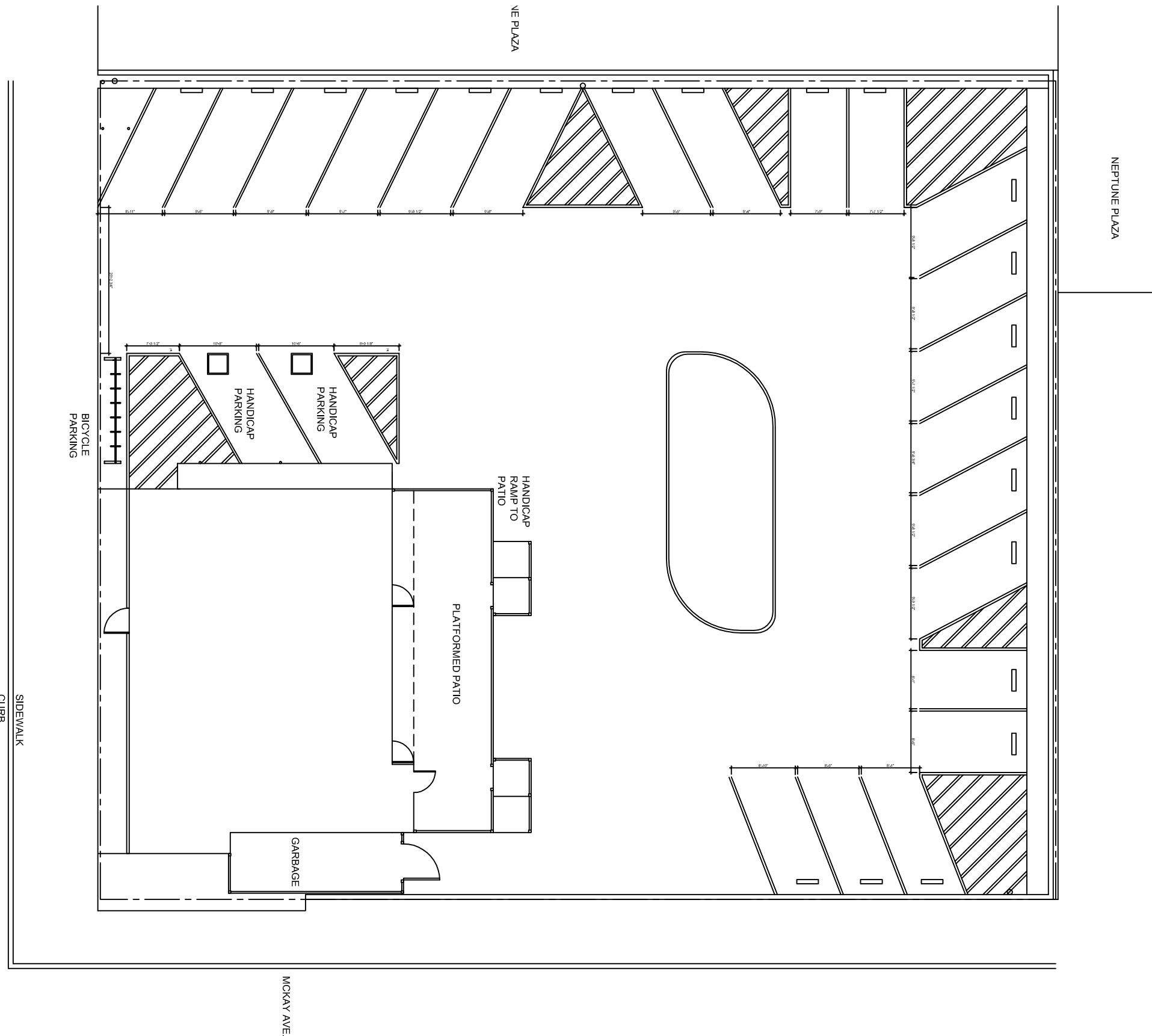
## GENERAL NOTES

- PROVIDE INTEGRAL COVE TILE OR STAINLESS STEEL COVE BASE WITH CAULKING, 4" HT., 3/8" RADIUS COVE, AT BAR AREA, (FINISH "T2") & AT ALL AREAS PER ACHH. RELOCATE MOP SINK PROVIDED AT (E) KITCHEN TENANT SPACE. SEE EQUIPMENT LIST FOR ALL MANUFACTURER LISTINGS. PROVIDE SEALED AND FINISH STRAPS AT ALL AREAS OF CASHIER AREAS. ALL HAND SINKS TO HAVE LIQUID SOAP AND PAPER TOWEL DISPENSERS INSTALLED. WATER HEATER STRAPS: STRAPPING POINTS SHALL BE AT POINTS WITHIN THE UPPER & LOWER THROUS & SHALL MAINTAIN A MIN. CLEARANCE OF 4" FROM THE WATER HEATER CONTROLS, PER CPC. DISHWASHING CHEMICALS, LOCATED IN (E) TENANT SPACE, SHALL BE STORED A MINIMUM OF 6" ABOVE THE FLOOR. ALL HAND WASH SINKS TO HAVE "WRIST" ACTION TYPE LEVERS.

## FINISH SCHEDULE

SYMBOL	MATERIAL	NOTE
[E-E]	(E) QUARRY/NON-SLIP TILE TO REMAIN	PATCH & REPAIR AS REQD . PROVIDE OWNER APPD THRESHOLD AT SURFACE & MATERIAL TRANSITIONS.
[E-1]	NON-SLIP TILE	CONTRACTOR TO PROVIDE SAMPLE. OWNER TO APPROVE PRIOR TO PURCHASE & INSTALL
[E-2]	QUARRY TILE FLR W/TILE BASE	CONTRACTOR TO PROVIDE TILE SAMPLE. OWNER TO APPROVE PRIOR TO PURCHASE & INSTALL
[E-3]	1/4" EPOXY	CONTRACTOR TO PROVIDE TILE SAMPLE. OWNER TO APPROVE PRIOR TO PURCHASE & INSTALL
[E-E]	2-10ABC FIRE EXTINGUISHER	CONFIRM LOCATION W/FIRE MARSHAL

1. REVIEW ALL FINISH SELECTIONS & LOCATIONS W/OWNER PRIOR TO ORDERING & INSTALLATION.
  2. ALL OUTSIDE CORNERS TO RECEIVE MIL CORNER PROTECTORS TO MATCH (E).
- FLRS: NON-SLIP GRAY QUARRY TILE W/ EPOXY GROUT  
 WALLS: FRP  
 CEILINGS: GRP BD, SMOOTH FINISH (8'6"-9'6" IN HEIGHT)



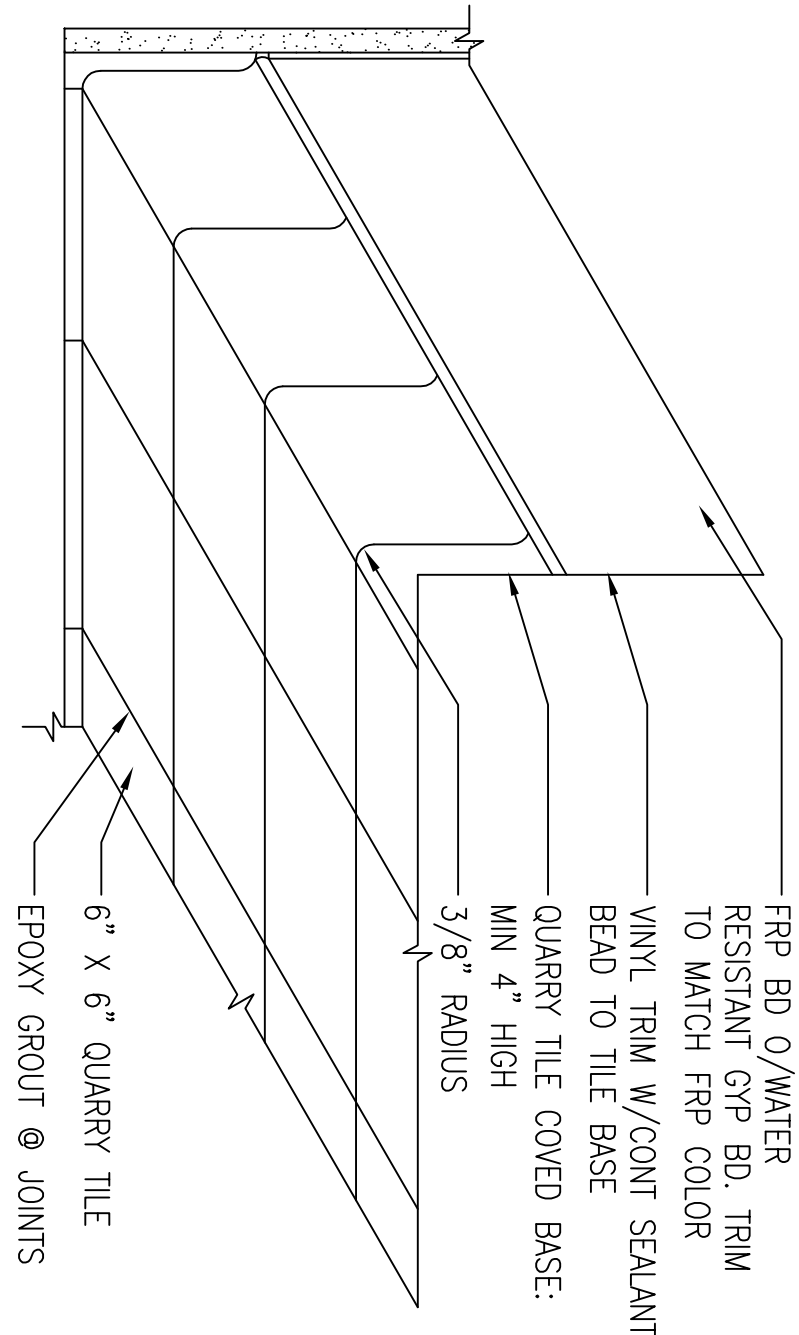
3  
PROPOSED PARKING/SITE PLAN  
1/16=1'-0"

## PARKING NOTES

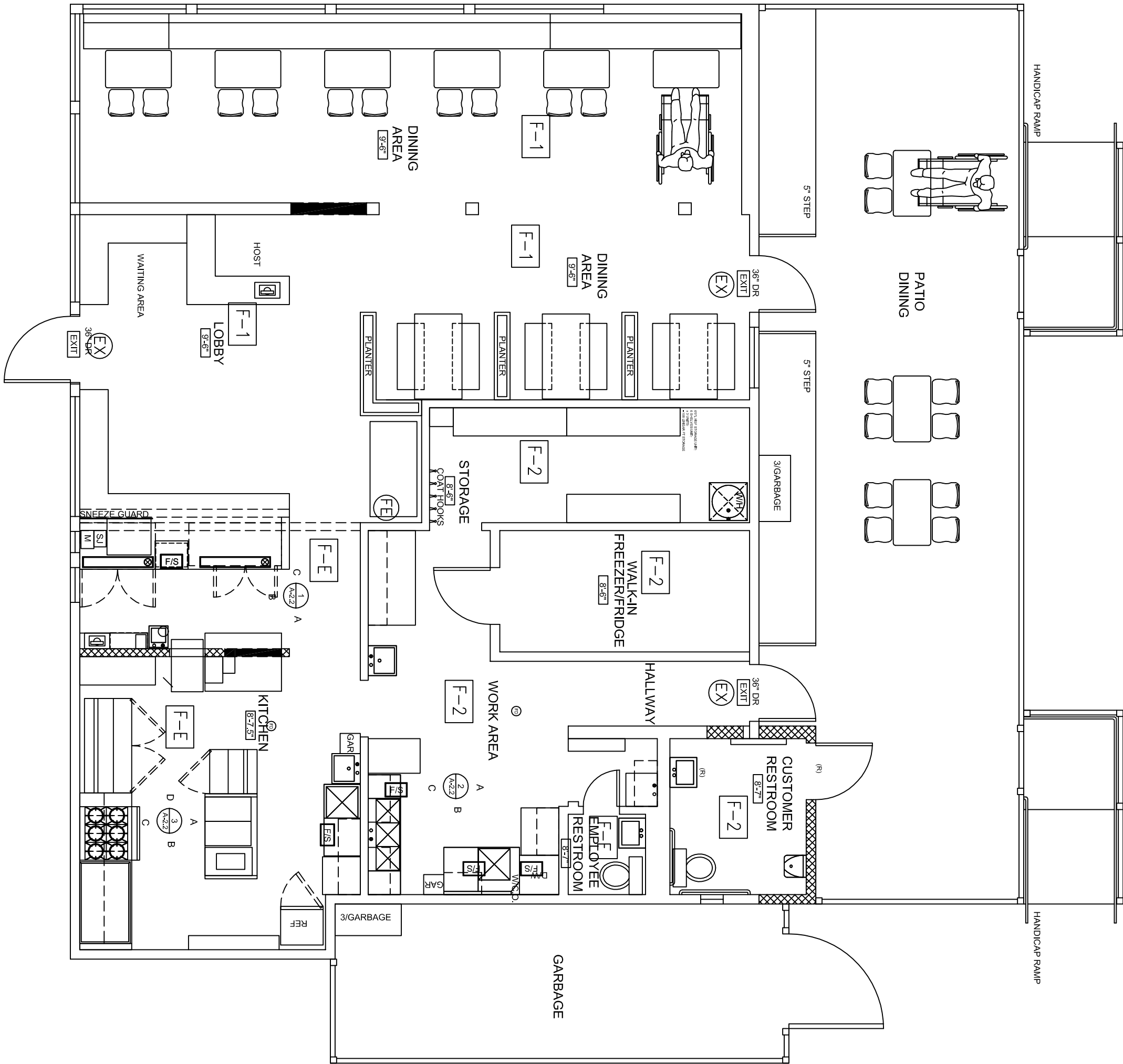
1. PARKING LINES TO BE REPAINTED EXCEPT THOSE TO BE REMOVED
2. (R) TO BE REMOVED
3. (N) NEW PARKING LINES/HANDICAP CLEARING TO BE PLACED
4. BICYCLE PARKING TO BE ADDED WITHIN 5.0' FEET OF ENTRANCE
5. BICYCLE PARKING MINIMUM 2'0" WIDE AND 6'0" DEEP

EXISTING PARKING SPOTS: 35  
PARKING SPOTS TO REMAIN: 21

HANDICAP PARKING: 2  
EMPLOYEE PARKING: 5  
BICYCLE PARKING: 6



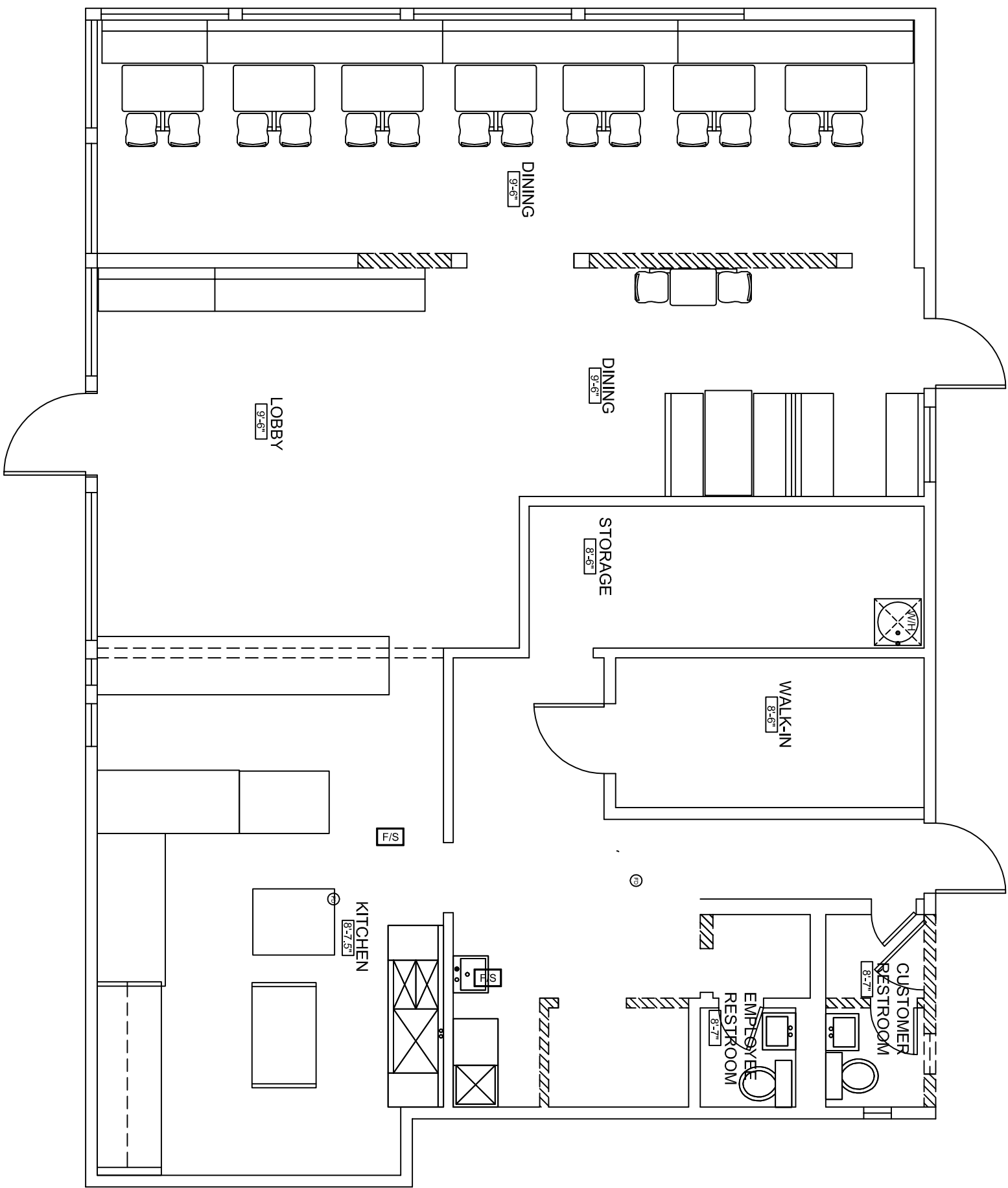
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	NIS



PLAN  
NORTH

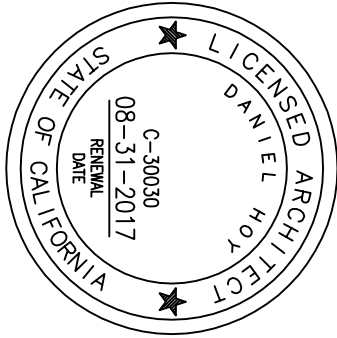
PROPOSED FLOORPLAN

2  
3/16" = 1'-0"



1	EXISTING FLOORPLAN
	3/16"=1'-0"

DANIEL HOY, AIA  
ARCHITECTURE  
1551 WEBSTER STREET, SUITE B1  
ALAMEDA, CALIFORNIA 94501  
P : 510-520-6528  
F : 510-864-1183  
E : [choyala@earthlink.net](mailto:choyala@earthlink.net)



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ALAMEDA, CALIFORNIA, 94501

## COMMERCIAL TENANT IMPROVEMENT

[illegible]

COMMERCIAL TENANT IMPROVEMENT  
NEPTUNE'S  
630 CENTRAL AVE.  
ALAMEDA, CA 94501

## EXISTING & PROPOSED PLANS FINISH DETAILS

# A2.0

APPLIANCE/FURNITURE SCHEDULE

SYMBOL ROOM /TYPE	MANUFACTURER	MODEL	DIMENSIONS	QT	NOTES
1	DINING	CUSTOM	23.75" x 41.75"	9	
2	DINING CHAIR	CUSTOM	16" X 17" x 18"	20	
3	BENCH SEATING	CUSTOM	22.25" x 121"	1	(E) – REFINISHED
4	BENCH SEATING	CUSTOM	17" x 42"	6	
5	DINING TABLE	CUSTOM	30" x 54"	3	
6	WATER HEATER	RHEEM	42V60F	1	
7	CHANGING STATION	KOALA KARE	KR200-11	1	
8	URNAL	AMERICAN STANDARD	6550.001.020	1	WALL MOUNTED
9	STORAGE SHELF	METRO	EZ180NC-4	3	BUILT ON SITE
10	WALK-IN FREEZER	RUSSEL	63.25" x 85"	1	(E)
11	WALK-IN COOLER	RUSSEL	88.5" x 85"	1	(E)
12	STORAGE CABINET		14.5" x 29"	1	MOUNTED ABOVE W/H
13	MOP SINK		20" x 21"	1	
14	BROOM RACK	BROBRICK	B-224	1	42" AFF
15	DRYING SHELF	REGENCY	NSF CHROME	4	60" AFF

GENERAL FIRE SAFETY NOTES

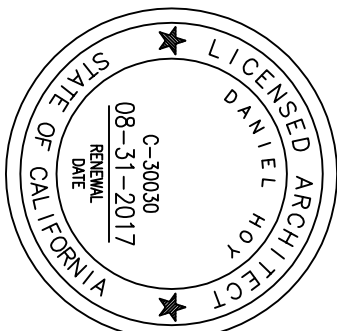
1. FRONT DOOR REQUIREMENT – THE FRONT DOOR SHALL HAVE A 10" KICK PLATE PER T-24 AND ADD NOTE ON TOP OF THE DOOR, STATING "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS" WITH 1" MIN. LETTER HEIGHT
2. EXIT DOORS – EXIT DOOR SHALL SWING TO THE DIRECTION OF TRAVEL AND TO HAVE AN APPROVED PANIC HARDWARE DEVICE AND WITH THE POSTED EXIT SIGN. DEAD BOLTS OR SURFACE MOUNTED LATCHES ARE NOT ALLOWED. INSTALL EMERGENCY POWER FOR LIGHTED EXIT AS REQUIRED. (WITH THE EXCEPTION OF "B" OCCUPANCY)
3. HANDICAP SIGNS – INSTALL THE INTERNATIONAL HANDICAP SIGN IN THE FRONT DOOR AREA.
4. STREET ADDRESS – INSTALL STREET ADDRESS NUMBER ON THE BUILDING SO AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY.
5. DINING ROOM OCCUPANCY – EACH DINING ROOM SHALL HAVE AN OCCUPANCY SIGN TO SHOW THE MAXIMUM SEATING.
6. LOCK BOX FOR FIRE MARSHAL – A KNOX LOCK BOX IS REQUIRED BY THE FIRE DEPARTMENT. THE EXISTING LOCK BOX LOCATION MAY BE INDICATED ON THE PLAN.

CALGREEN MANDATORY MEASURES

1. DIVERT A MIN OF 50% OF THE CONSTRUCTION WASTE TO RECYCLE OR SALVAGE PER SECTION 4.408.1.
2. PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS @ EXT. WALLS AGAINST THE PASSAGE OF RODENTS (4.506.1).
3. COVER DUCT OPENINGS & OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (4.405.1).
4. ADHESIVES, SEALANTS & CAULKS SHALL BE COMPLIANT W/VOC & OTHER TOXIC COMPOUNDS DURING CONSTRUCTION (4.504.2.1).
5. PAINTS, STAINS & OTHER COATINGS SHALL BE COMPLIANT W/VOC LIMITS (4.504.2.2).
6. AEROSOL, PAINTS & COATINGS SHALL BE COMPLIANT W/PRODUCT WEIGHTED MFR LIMITS FOR ROC & OTHER TOXIC COMPOUNDS (4.503.2.3). DOCUMENTATIONS SHALL BE PROVIDED TO VERIFY COMPLIANCE.
7. MIN. 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY W/THE VOC EMISSION LIMITS PER SECTION 4.504.4.
8. PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) & HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY W/LOW FORMALDEHYDE EMISSION STANDARDS (4.504.5).
9. CHECK MOISTURE CONTENT OF BLDG MATERIALS USED IN WALL & FLR FRAMING BEFORE ENCLOSURE (4.505.3).

ENVELOPE MANDATORY MEASURES: NONRESIDENTIAL		ENV/AM
Project Name		to be completed by 3/9/2015
DESCRIPTION		
Building Envelope Measures:		
§ 110.8(a): Insulating material shall have been certified by the manufacturer to comply with the California Quality Standards for Insulating Material, Title 20 Chapter 4, Article 3.		
§ 110.8(b): All Insulating Materials shall be installed in compliance with the flame spread rating and smoke density requirements of Sections 208.2 and 207 of Title 24, Part 2.		
§ 110.8(c): The opaque portions of framed glazing walls in nonresidential buildings shall have insulation with an installed R-value of no less than R-13 between framing members.		
§ 110.7(d): All Exterior doors and openings in the building that are observable sources of air leakage shall be caulked, gasketed, Manufacture, Insulation products and exterior door shall have an infiltration rate not exceeding 0.3 cfm/ft <sup>2</sup> of window area, 0.3 cfm/ft <sup>2</sup> door area for residential doors, 0.3 cfm/ft <sup>2</sup> of door area for nonresidential single doors (excluding and sliding), and 1.0 cfm/ft <sup>2</sup> for nonresidential double doors (excluding).		
§ 110.6(d): Fenestration U-factor shall be rated in accordance with NFRC 200, or NFRC 100, or the applicable default U-factor.		
§ 110.6(d): Fenestration SHGC shall be rated in accordance with NFRC 200, or NFRC 100 for alternate fenestration, or the applicable default SHGC.		
§ 110.6(d): Site Component Doors, Windows and Skylights shall be caulked between the unit and the building, and shall be weatherstripped (except for infrared glass doors) and be caulked between the unit and the building, and shall be		

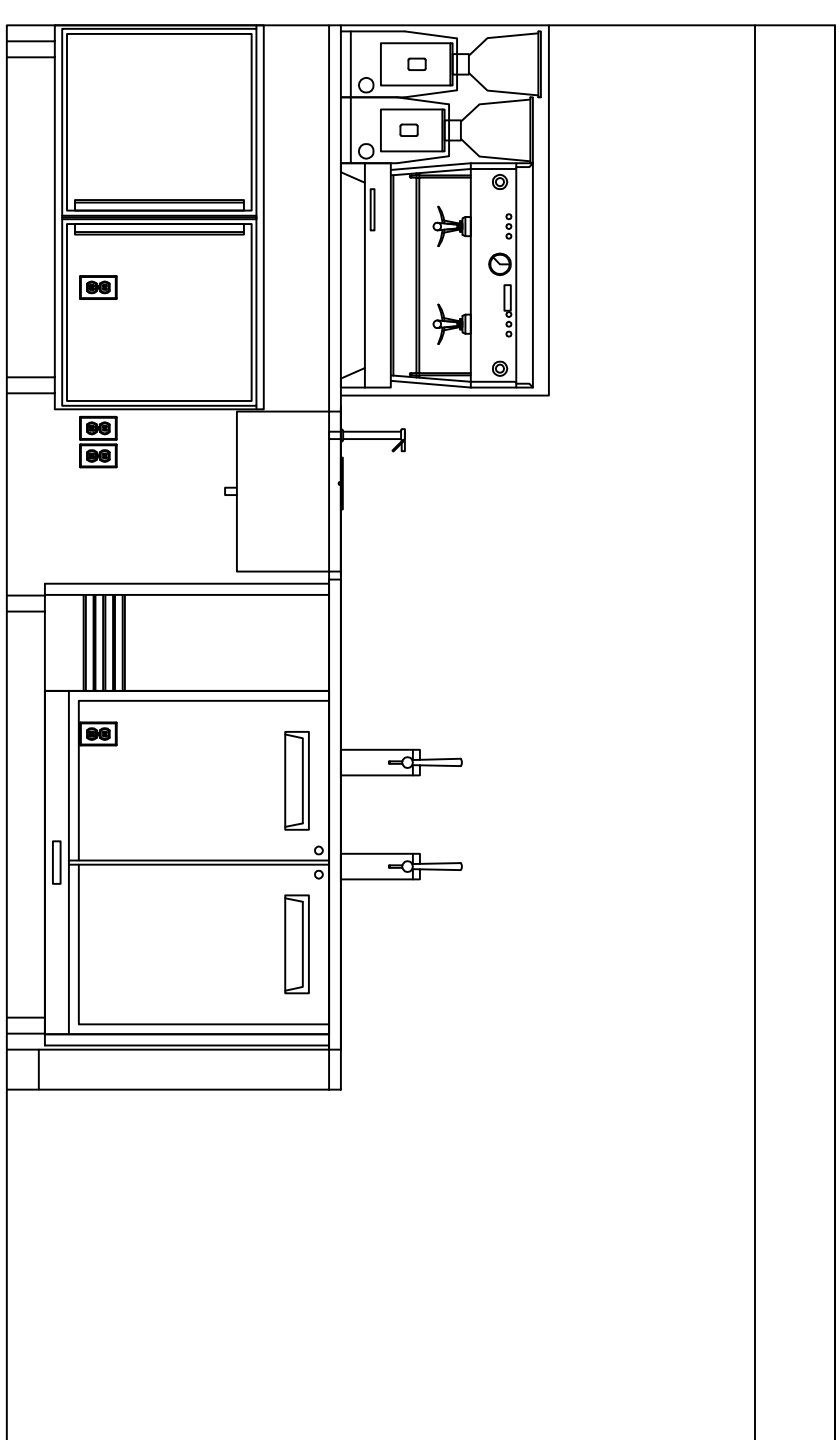
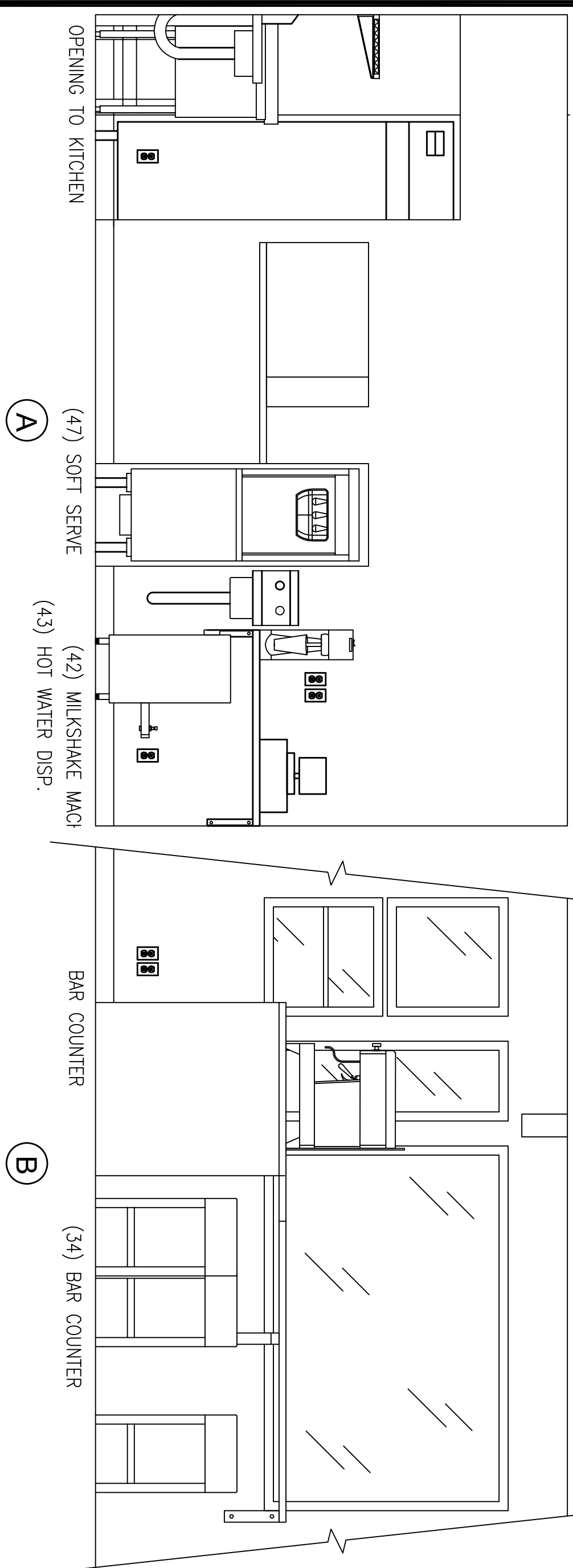
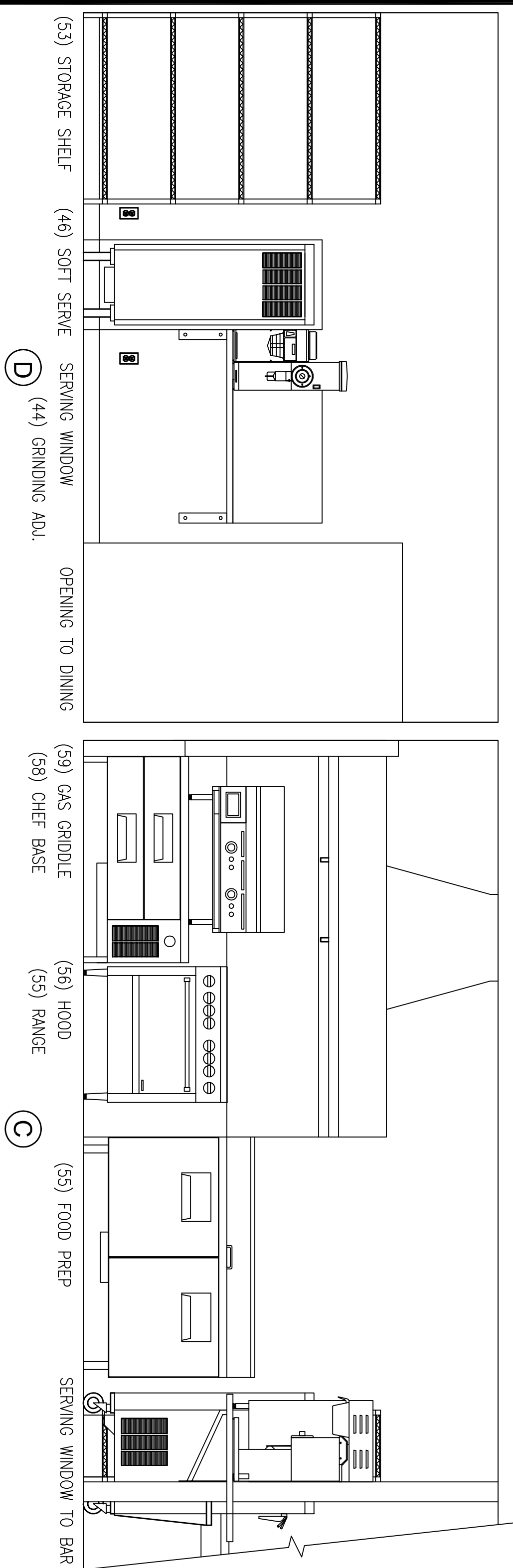
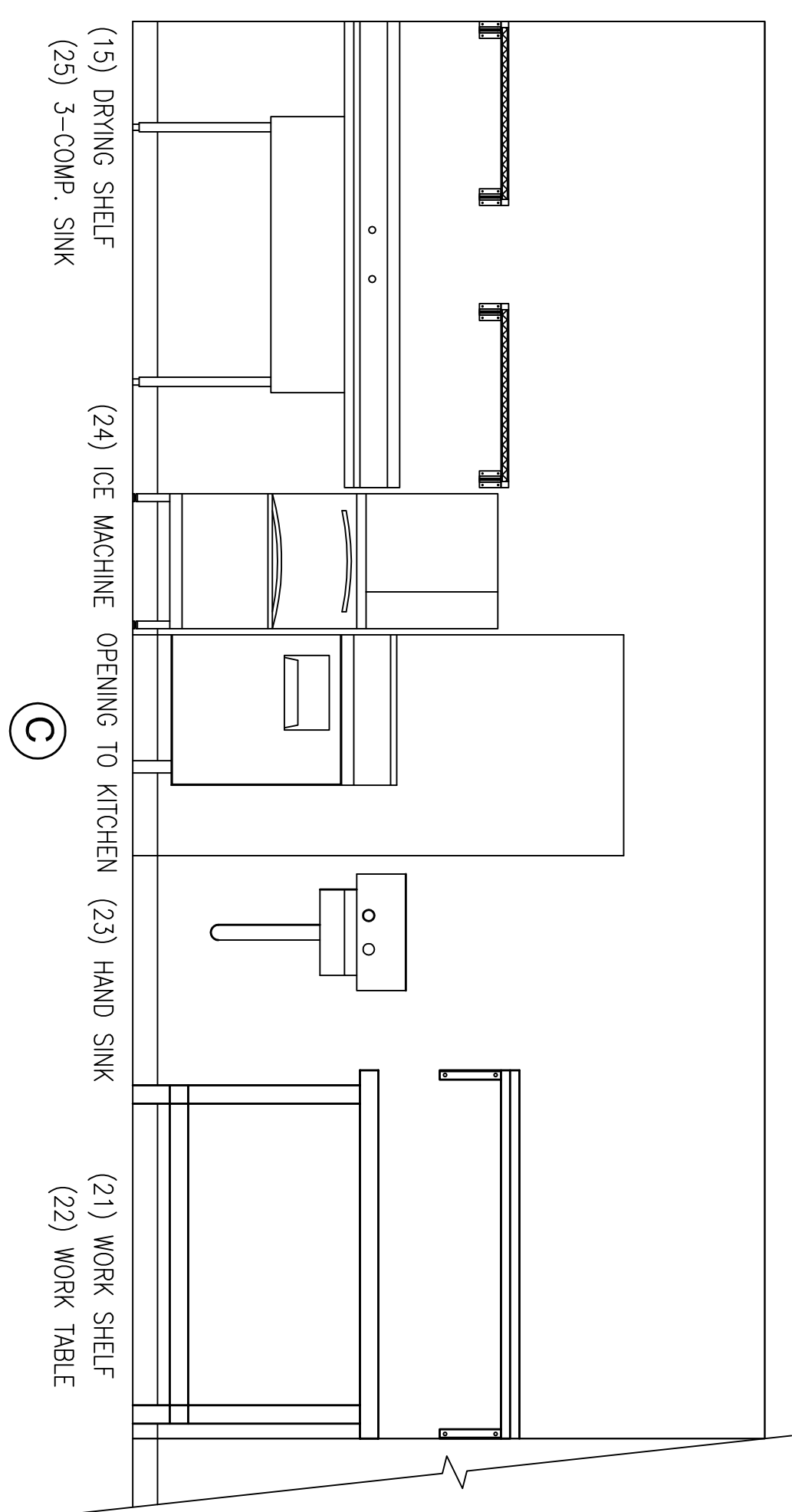
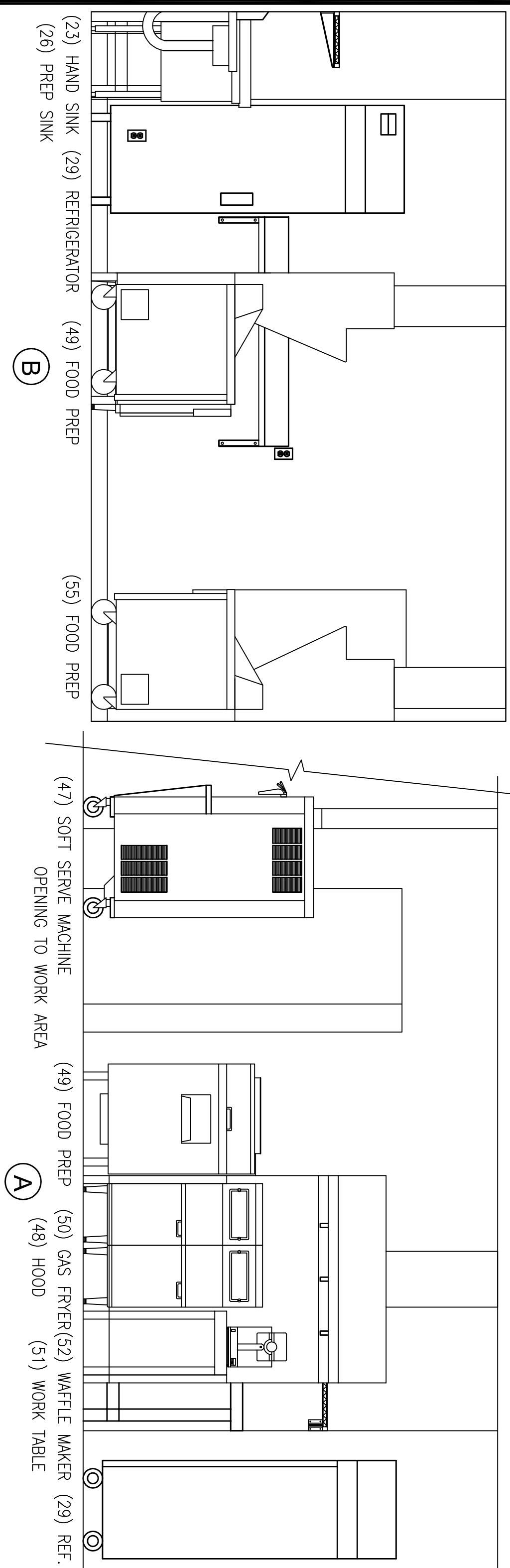
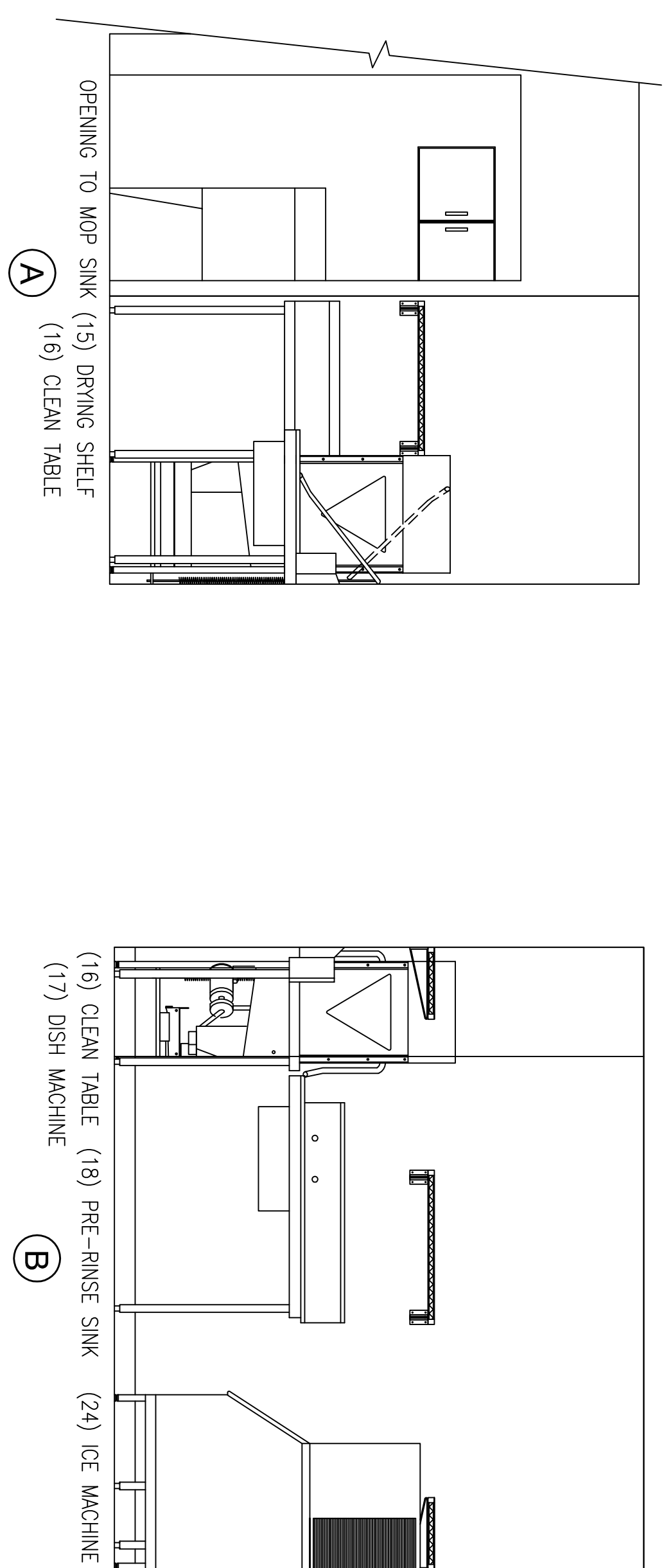
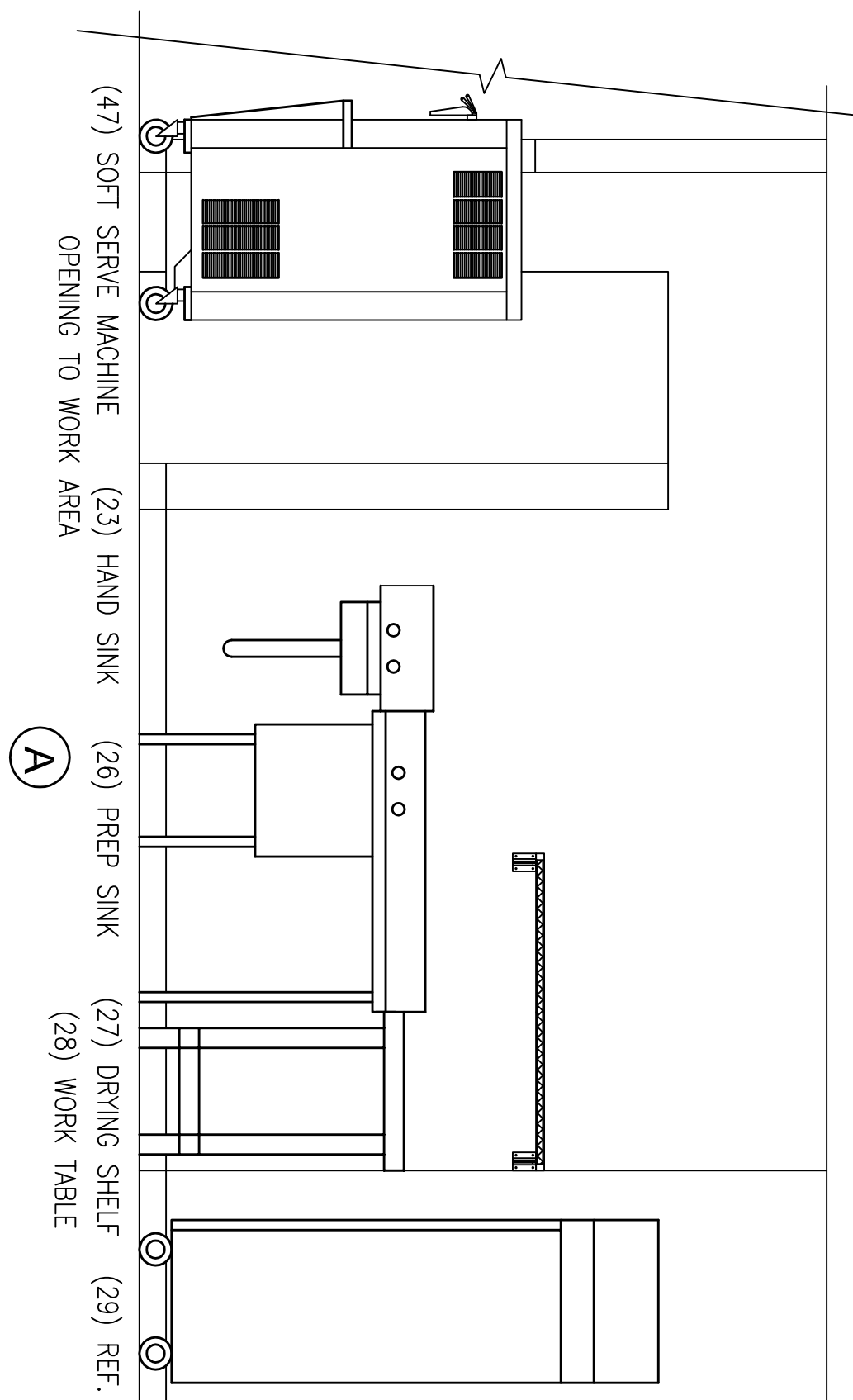
DANIEL HOY, AIA  
ARCHITECTURE  
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ALAMEDA, CALIFORNIA 94501  
P: 510-520-6528  
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ALAMEDA, CALIFORNIA, 94501

## COMMERCIAL TENANT IMPROVEMENT



3 KITCHEN INTERIOR ELEVATIONS  
1/2"=1'0"

\*ALL COOKING EQUIPMENT TO STAND ON LEGS OR FRONT LOCKING CASTERS

1  
BAR INTERIOR ELEVATIONS  
1/2"=1'0"

\*ALL COOKING EQUIPMENT TO STAND ON LEGS OR FRONT LOCKING CASTERS

# INTERIOR ELEVATIONS KITCHEN & WORK AREA

## A2.2

[illegible]

COMMERCIAL TENANT IMPROVEMENT  
NEPTUNE'S  
630 CENTRAL AVE.  
ALAMEDA, CA 94501



EXHAUST FAN INSTALLATION NOTES

- 1. EXHAUST FAN OUTLET: GREASE EXHAUST SHALL BE ON ROOF TOP. THE EXHAUST OUTLET SHALL BE 10" AWAY FROM THE MAKE-UP AIR UNIT. THE SWAMP COOLER, A/C UNIT AND PROPERTY LINE.
- 2. EXHAUST OUTPUT HEIGHT: THE EXHAUST FAN OUTLET SHALL BE 24" MINIMUM ABOVE THE ROOF/SURFACE. THE TOP OF THE BLOWER UNIT SHALL NOT BE ABLE TO BE SEEN FROM THE STREET LEVEL.
- 3. ELECTRICAL REQUIREMENTS: A) INSTALL ELECTRICAL INTERLOCK TO THE EXHAUST FAN MOTOR AND THE MAKE-UP AIR FAN OR SWAMP COOLER MOTOR. B) PROVIDE POWER DISCONNECT FOR EACH EQUIPMENT ON THE ROOF TOP AND A SEPARATE 115V GFCI SERVICE RECEPTACLE WITHIN 25' OF THE EQUIPMENT. C) HOOD FAN AND MAKE UP AIR FAN MUST BE SHUT DOWN WITH THE ACTIVATION OF THE FIRE-EXTINGUISHER SYSTEM.
- 4. UL LISTED: ALL MECHANICAL AND ELECTRICAL EQUIPMENT SHALL HAVE A UL LABEL OR HAVE DESIGN LIST/NUMBER.

GREASE HOOD INSTALLATION NOTES

- 1. FIRE PREVENTION SYSTEM: INSTALL A HOOD FIRE PREVENTION SYSTEM WITH A WET CHEMICAL TYPE. A SEPARATE PLAN TO BE APPROVED BY FIRE MARSHAL AND A SEPARATE PERMIT IS REQUIRED PRIOR TO THE INSTALLATION BY C-16 LICENSE CONTRACTOR.
- 2. HOOD MOUNTING: HOOD TO BE SECURED TO EACH OF THE WALL STUB WITH ¾" X 3 ½" HEX LAG SCREWS. FOR HOOD WIGHT OVER 100 LBS SHALL HAVE STEEL ROD OR CHAIN SUPPORTS FROM THE FRONT CORNERS OF THE HOOD TO THE CEILING JOIST.
- 3. HOOD FILTER: HOOD FILTER TO BE BAFFLE TYPE AT 45 DEGREES AND THE VELOCITY AT THE FILTER IS SUBJECT TO PERFORMANCE TEST PRIOR TO BUILDING FINAL. (A VELOCITY OF 250 FPM/MIN.)
- 4. HOOD LAMPS: INSTAL LAMPS AT A MAX. OF 6' A PART BETWEEN EACH LAMP. THE LAMP TO BE HOUSING IN THE VAPOR PROOF HOUSING HARDWARE.
- 5. HOOD TOP FLASHING: INSTALL METAL FLASHING BETWEEN THE TOP OF THE HOOD AND THE CEILING IF THE SPACE IS LESS THAN 12".

GREASE DUCT INSTALLATION NOTES

- 1. GREASE DUCT CONSTRUCTION: GREASE DUCT TO BE 16 GAUGE GALVANIZED METAL AND ALL JOINTS ARE WELDED WITHOUT ANY AIR HOLE IN THE DUCT.
- 2. DUCT CLEAN-OUT: PROVIDE CLEAN-OUT AT EACH 90 DEGREE TURN AND A MAX. OF 10' AT EACH HORIZONTAL DUCT. CLEAN-OUT DOORS SHALL BE APPROVED TYPE AND CLEAN-OUT COVER SHALL BE EASILY REMOVED WITHOUT ANY TOOLS.
- 3. DUCT MOUNTING: DUCT IS WELDED ON TOP OF THE HOOD AND DUCT. ALSO FIELD WELDED TO 2-ANGLE IRON RODS ARE SECURED ON TOP OF THE ROOF CURB.
- 4. DUCT HOUSING: DUCT TO BE INSTALLED WITH 3" MIN. TO 12" MAX. AIR SPACE INSIDE THE 1"HR RATED DUCT ENCLOSED SHAFT OR WRAPPED IN A 1-HR RATED 3-M DUCT WRAP MATERIAL OR THE DUCT HAVE TO BE 18" AWAY FROM ALL COMBUSTIBLE SURFACES.

MAKE UP AIR/EXHAUST FAN

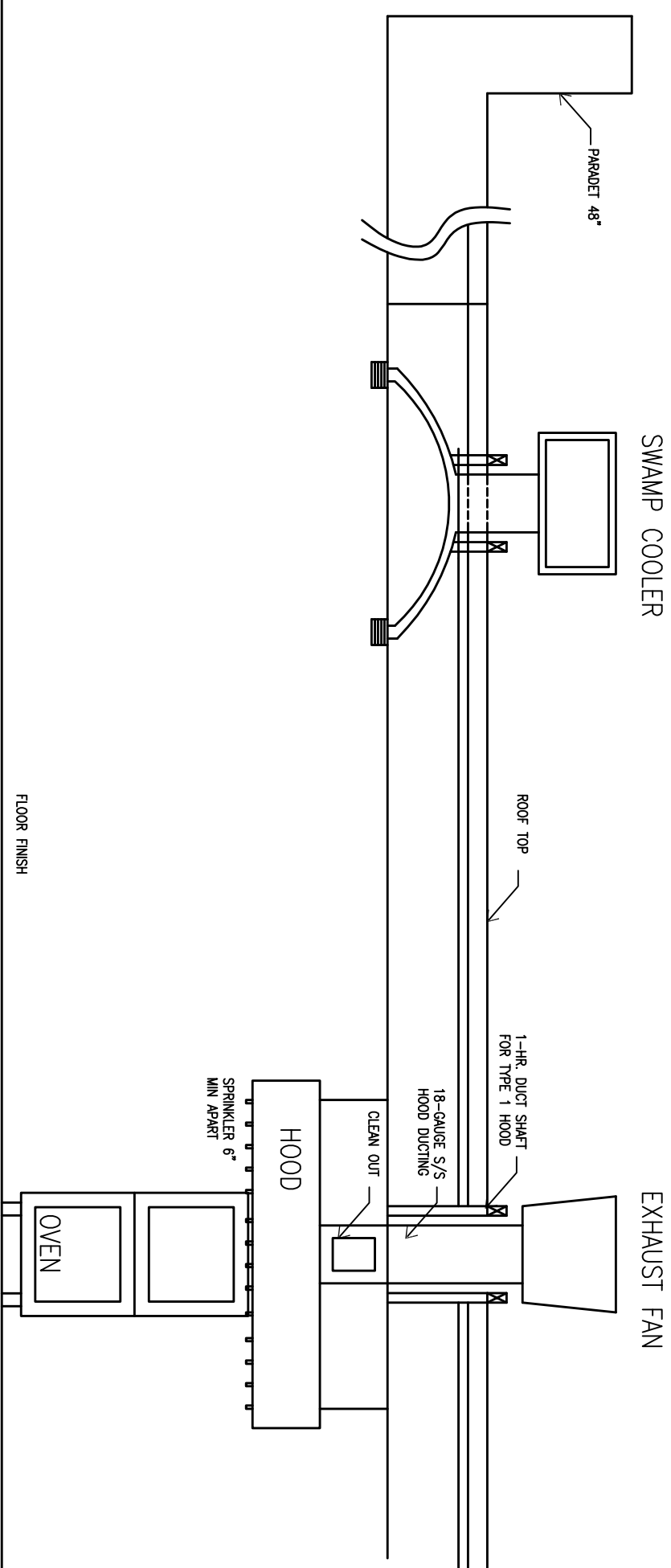
- 1. MAKE UP AIR VOLUME: THE MAKE UP AIR VOLUME RETURN BACK TO THE KITCHEN SHOULD BE 95%-100% OF THE HOOD FAN EXHAUSTED AMOUNT.
- 2. REGISTER LOCATION: THE MAKE UP AIR SHOULD BE DISPERSED EVENLY AROUND THE HOOD OR THE REGISTERS ON THE KITCHEN CEILING SUGGESTED TO BE 10' AWAY FROM THE HOOD FOR A LARGE AREA KITCHEN. FOR LIMITED KITCHEN SPACE THEY SHOULD BE 5' MIN. AWAY FROM THE LOWER EDGE OF THE GREASE HOOD.
- 3. REGISTER TYPE: THE MAKE UP AIR OUTLET SHALL BE DIFFUSED TYPE SO OUTPUT AIR CAN BE EVENLY DISTRIBUTED. THE VOLUME OF EACH FAN-OUT DUCT SHALL HAVE LESS THAN 2000 CFM WITH THE VELOCITY AT EACH 4 REGISTER OUTPUTS TO BE LESS THAN 600 CFM.
- 4. FILTER VELOCITY: THE GREASE FILTERS IN THE GREASE HOOD SHALL BE BAFFLE TYPE. THE VELOCITY AT THE CENTER OF EACH OF THE FILTER SHAVE AN AVERAGE OF 250 FPM MIN. THE FILTER VELOCITY TO BE VERIED BY THE INSPECTOR ON SITE OR SUBMIT AN AIR BALANCE REPORT WHICH IS TO BE DONE BY A QUALIFIED OR LICENSED HVAC TESTING PERSONNEL.

SWAMP COOLER INSTALLATION NOTES

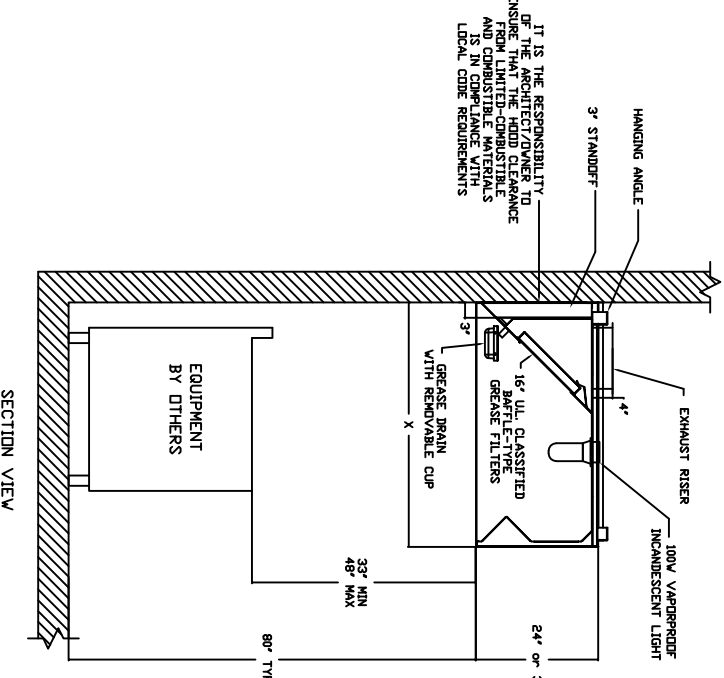
- 1. MOUNTING LOCATION: THE SWAMP COOLER TO BE 10' AWAY FROM THE GREASE HOOD EXHAUST OUTPUT, TOILET VENT, AND ALL THE SANITARY WASTE VENT OUTLETS.
- 2. WATERLINE: INSTALL A ½" WATER LINE WITH A SHUT-OFF VALVE FOR THE SWAMP COOLER ON THE ROOF.
- 3. OVERFLOW: THE WATER OVERFLOW LINE FOR THE SWAMP COOLER TO BE EXTENDED WITH A SLOPE TO THE STORM DRAIN ON THE ROOF TOP.
- 4. ELECTRICAL POWER: THE ELECTRICAL MOTOR POWER IS TO BE INTERLOCKED WITH THE EXHAUST FAN MOTOR. A POWER DISCONNECT NEAR THE SWAMP COOLER SHALL BE PROVIDED.

HOOD EXHAUST CALCULATIONS

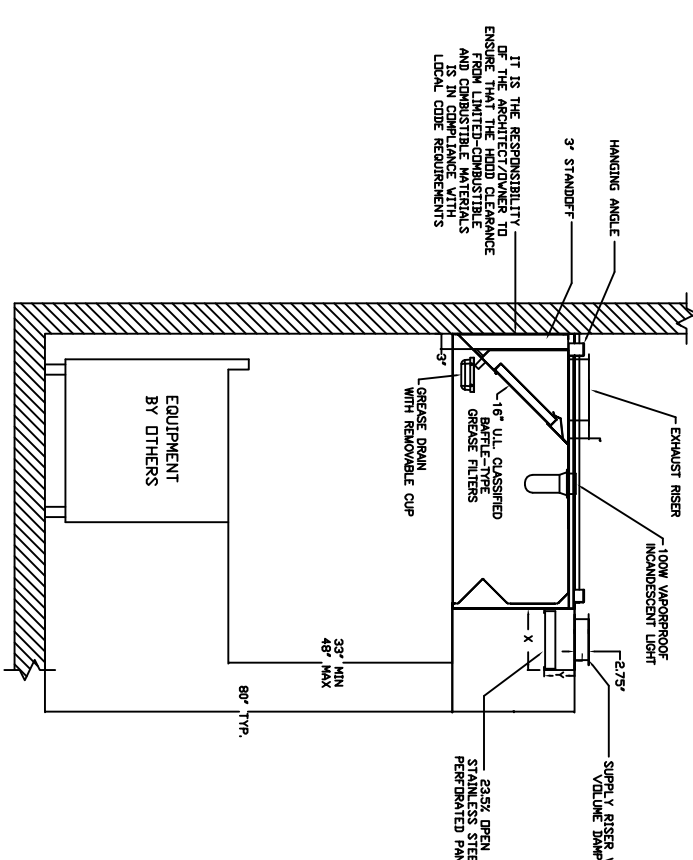
HOOD SIZE = 124" x 48"  
VOLUME = 250 x LENGTH = 250 x 124" = 2250 CFM OR 2700 FOR HIGHER VOL.  
FILTER SIZE = 16" x 20" x 2" (# OF FILTERS = 5)  
EFFECTIVE FILTER AREA = 5 x 1.75 = 8.75 SQ/FT  
FILTER VELOCITY = 2700/1.56 = 1730 FPM  
EXHAUST FAN: 1.0 HP (WT = 100LBS)  
SWAMP COOLER: ¾HP (WT = 150LBS)  
MAKE UP AIR: 2700 CFM/2000 CFM = 2 REGISTERS



4 EXAMPLE EXHAUST HOOD ELEVATION  
1/4"=1'0"

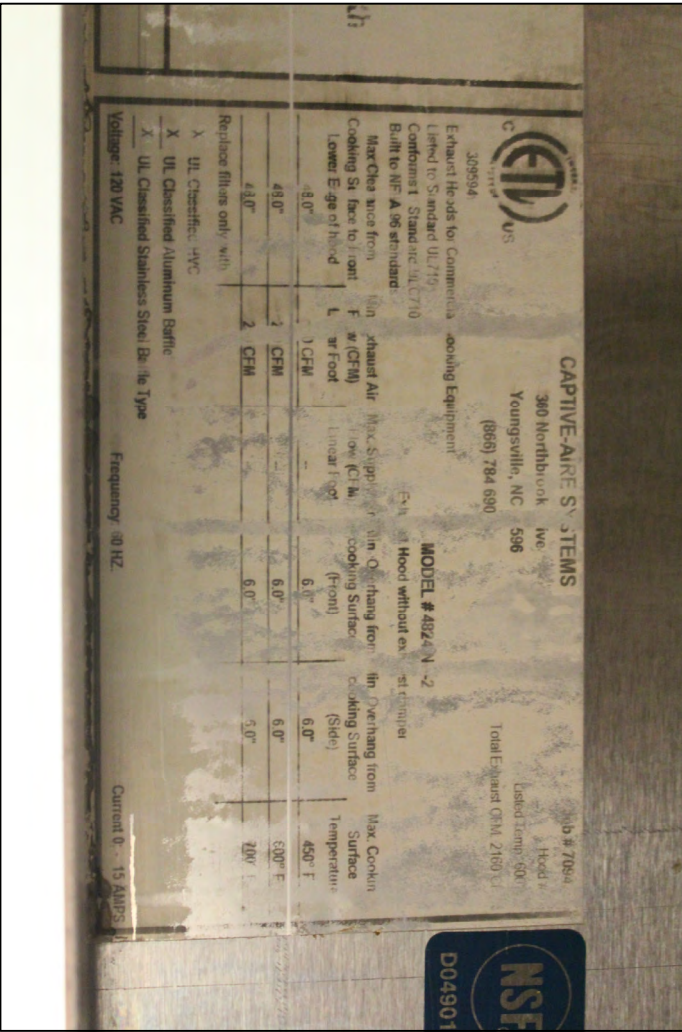


6 HOOD SECTION VIEW  
NTS



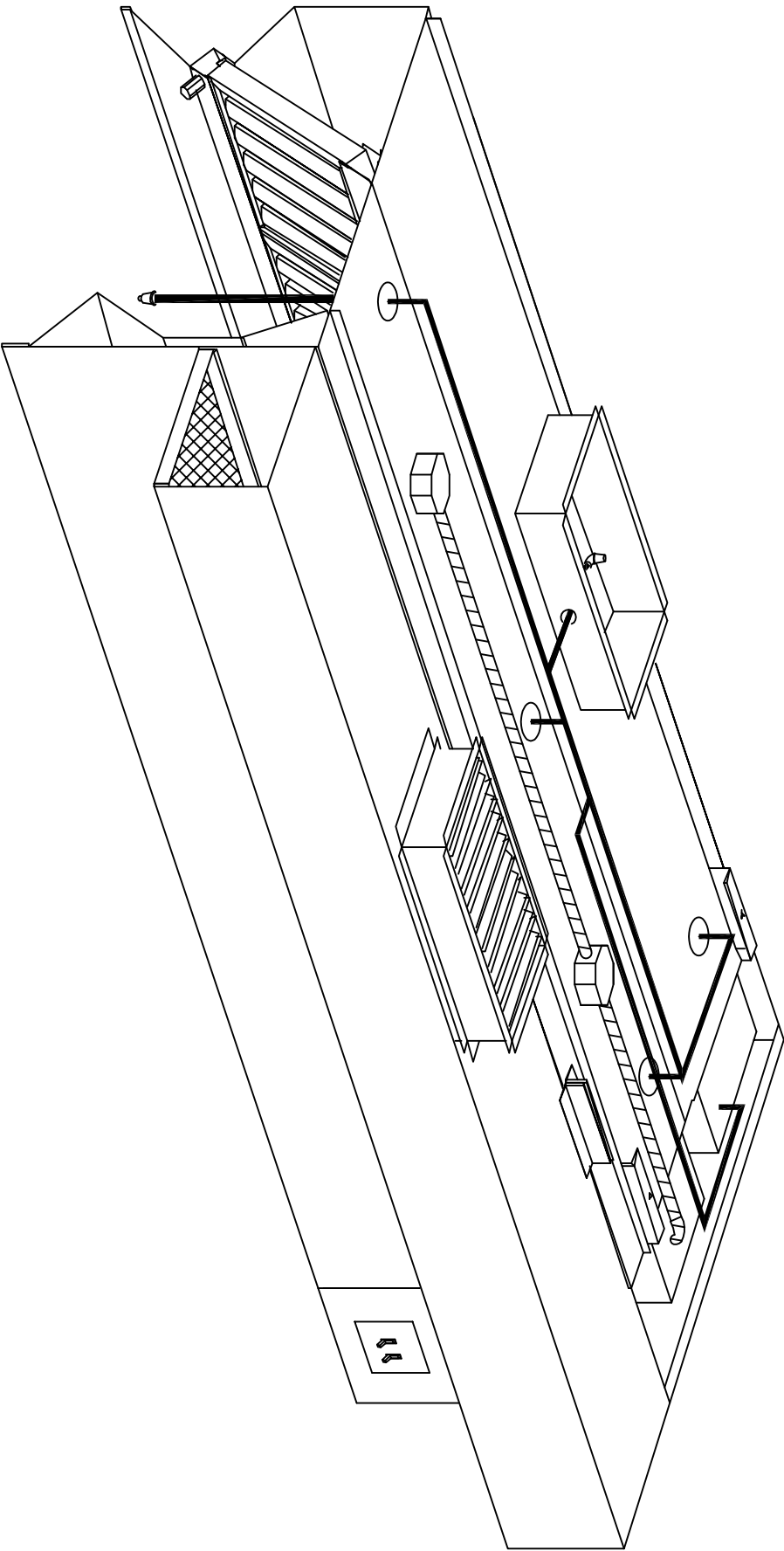
5 PSP ACCESSORY SECTION  
NTS

HOOD UL-LISTING CARD

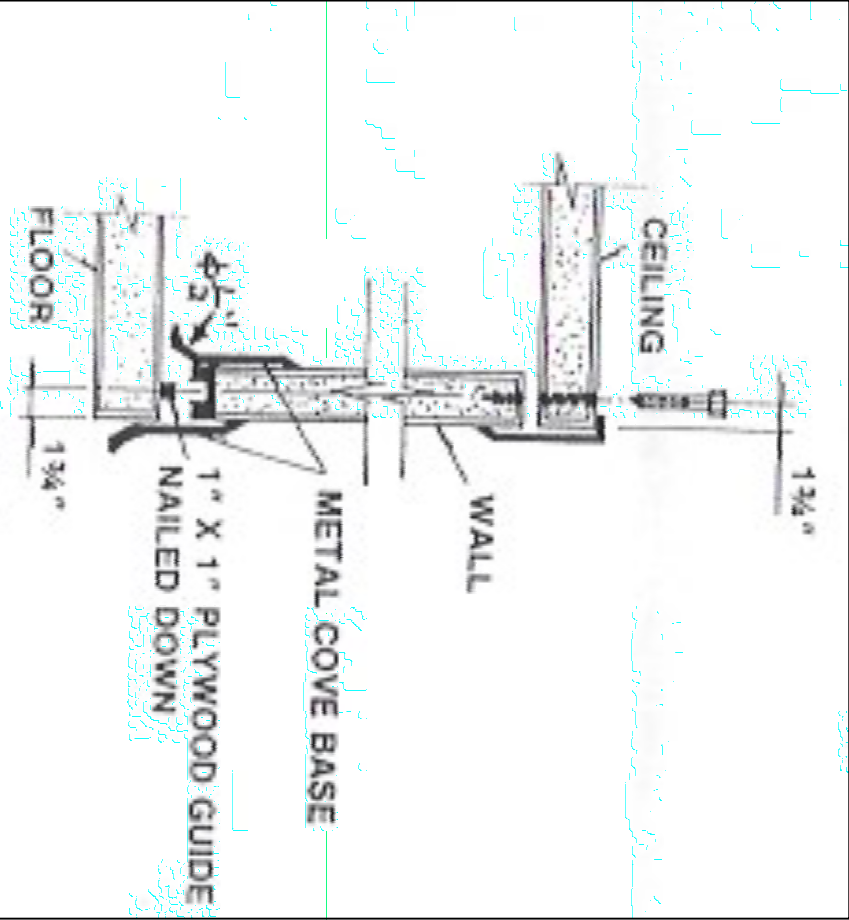


WALK-IN INSTALLATION NOTES

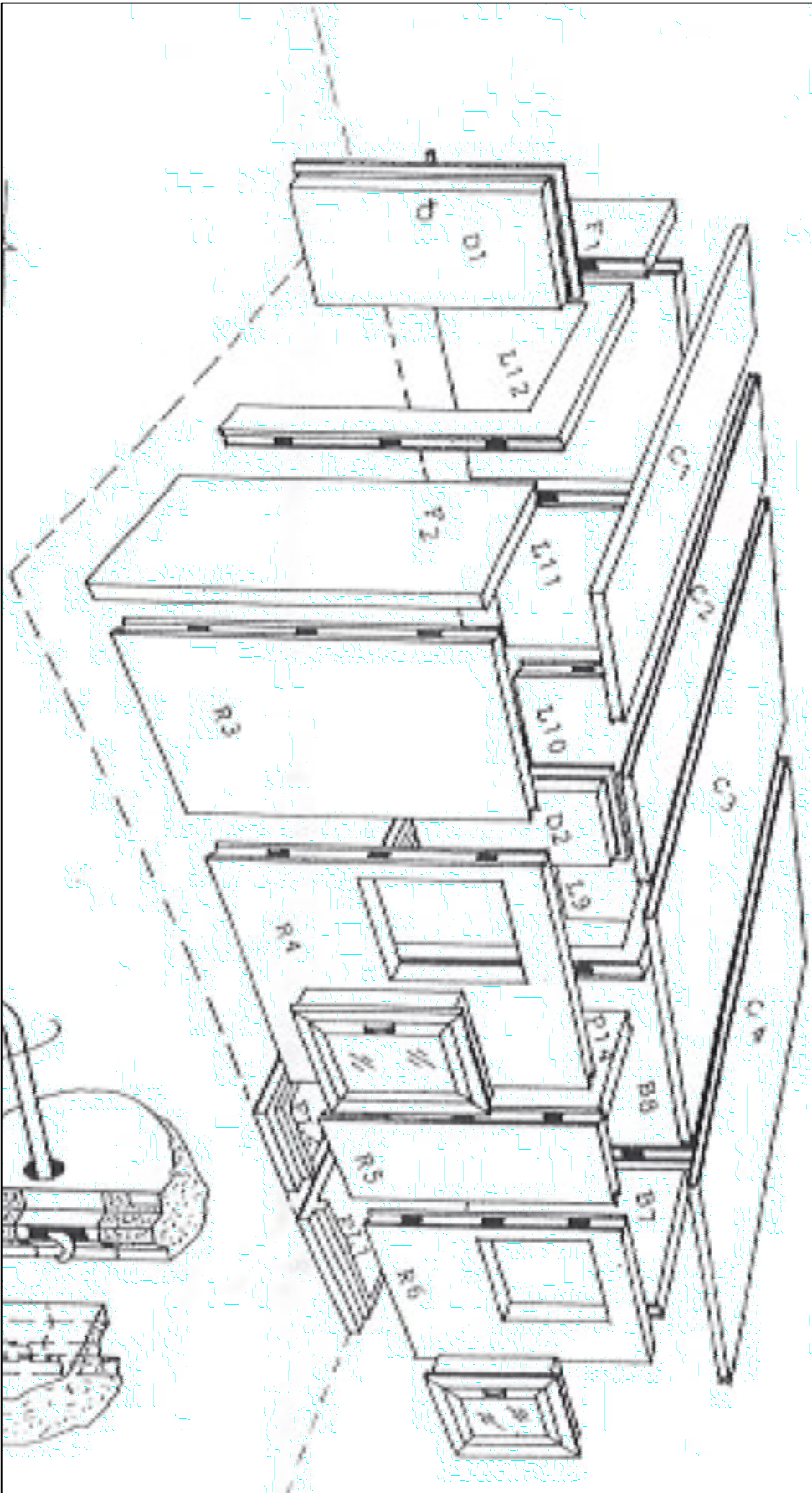
- 1. PANEL CONSTRUCTION: SHALL CONSIST OF EXTERIOR AND INTERIOR METAL COVER 4" POLYSTYRENE OR 4" URETHANE INSULATION. PANEL EDGE SHALL HAVE TONGUE AND GROOVES WITH N.S.F. APPROVAL PANEL GASKETS ON THE EXTERIOR AND INTERIOR OF ALL TONGUE EDGE. PANEL GASKETS SHOULD BE AGAINST LOW TEMPERATURE, OIL, WATER, FAN AND SUNLIGHT.
- 2. SECTION FASTENERS: WALL WALL SECTION AND CEILING SECTION JOINT SHALL BE FASTENED WITH STEEL CAM ACTION FASTENERS SHALL NOT EXCEED 46" ON CENTER SPACING.
- 3. METAL FINISH: INTERIOR AND EXTERIOR SURFACE CAN BE FINISHED WITH ANY ONE OF THE FOLLOWING: A) 24 OR 26 GAUGE GALVANIZED STEEL. B) STUCCO EMBOSSED ALUMINIUM STANDARD OR 0.032 THICK. C) 26 GAUGE STUCCO EMBOSSED GALVANIZED STEEL. D) 24 GAUGE TYPE 304 #3 FINISH STAINLESS STEEL. E) ZINCALUME.
- 4. DOOR WITH DOOR FRAME: DOOR SIDE ALL HINGES SHALL BE FLUSH CAM LIFT DESIGN, WITH MARROW BULB GASKETS OR MAGNETIC DOOR SPONGE RUBBER GASKETS. B) DOOR LOCK INTERIOR SHALL BE SAFETY RELEASE. DOOR STANDARD SIZE 32" x 78" 34" x 78" 36" x 78". C) FREEZER DOOR FRAMING SHOULD HAVE ANTI SWEAT HEATER FOR FREEZER DOOR SPECIAL.
- 5. THERMOMETER: EACH DOOR SECTION SHALL BE WITH ONE 2 ½" TEMPERATURE RANGE -40 F TO 60 F DEGREE THERMOMETER.



3 ISO EXHAUST HOOD  
NTS

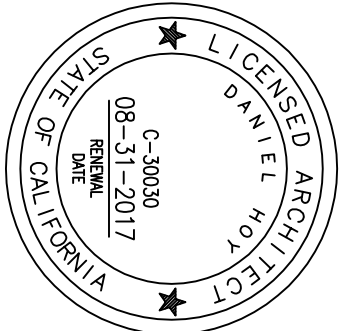


2 WALK IN DETAIL  
NTS



1 WALK IN FREEZER/COOLER ISO  
NTS

DANIEL HOY, AIA  
ARCHITECTURE  
1551 WEBSTER STREET, SUITE B1  
ALAMEDA, CALIFORNIA 94501  
P : 510-520-6528  
F : 510-864-1183  
E : dhovala@earthlink.net



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630 CENTRAL AVENUE  
ALAMEDA, CALIFORNIA, 94501

COMMERCIAL  
TENANT IMPROVEMENT

WALK-IN AND  
EXHAUST/HOOD  
NOTES AND DETAILS

A2.3

Project Number	Drawn By	Checked By
FE		BH
Issues	Revisions	Description
Number	Date	

COMMERCIAL TENANT IMPROVEMENT  
NEPTUNE'S RESTAURANT, LLC  
3300 CENTRAL AVE  
ALAMEDA, CA 94501



## ELECTRICAL NOTES

1. NO CHANGES TO KITCHEN ELECTRICAL.
2. ALL STANDARD ELECTRICAL WALL OUTLETS ARE TO BE MOUNTED VERTICALLY CENTERED.
3. ALL ELECTRICAL DEVICES (SWITCHES, PLUGS ETC) SHALL BE THE SAME COLOR AS THE COVER PLATE U.N.O
4. CONTRACTOR SHALL VERIFY & PROVIDE CORRECT OUTLETS FOR ALL LOCATIONS & SPECIAL EQUIPMENT AS NOTED.
5. ELECTRICAL CONTRACTOR SHALL PROVIDE CORRECT AMPERAGE FOR ALL EQUIPMENT AS INDICATED, IN ACCORDANCE WITH INSTALLATION & OPERATING REQUIREMENTS AS PROVIDED BY THE MANUFACTURER.
6. WHERE MONUMENTS ARE SHOWN NEXT TO EACH OTHER THEY SHALL BE LOCATED AS CLOSE AS POSSIBLE TO ONE ANOTHER. ONE COVER PLATE PER GANGED SWITCHES/OUTLETS
7. ELECTRICAL CONTRACTOR SHALL VERIFY & COORDINATE CONDUIT RUNS, CIRCUITING & WIRING AS REQUIRED TO PROVIDE COMPLETE ELECTRICAL SERVICE.
8. PROVIDE ALL REQUIRED GROUNDING AT PANELS, SUBPANELS, FEEDERS & BRANCH CIRCUITS.
9. ALL WIRE & CABLE SHALL BE COPPER, THWN OR THHN IF #8 & SMALLER. THW & THHN FOR #6 & LARGER. PROVIDE WIRING TESTS UPON COMPLETION OF WORK & MAKE ADJUSTMENTS AS NECESSARY FOR SATISFACTORY OPERATION OF SYSTEM.
10. VERIFY LOCATION OF ALL NEW OUTLETS, SWITCHES, LIGHT FIXTURES & OTHER ELECTRICAL APPLIANCES WITH OWNER PRIOR TO SETTING BOXES OR FIXTURES. COORDINATE FRAMING LAYOUT WITH LAYOUT OF RECESSED FIXTURES & REVIEW WITH CONTRACTOR PRIOR TO COMMENCEMENT OF FRAMING. CONCEAL ALL CONDUITS.
11. ALL SWITCHES & OTHER WALL MOUNTED DEVICES SHALL BE LOCATED 42" ABOVE FINISH FLOOR MEASURED TO CENTER OF SWITCH U.N.O. OUTLETS SHALL BE MOUNTED AT 18" ABOVE FINISHED FLOOR UNLESS OTHERWISE NOTED.
12. ALLOW FOR BREAKER ACCESS TO MAIN PANEL. PROVIDE CLEARANCES AS REQUIRED BY CODE.
13. ELECTRICAL SUBPANELS SHALL NOT BE LOCATED IN CLOSETS OR OTHER LOCATIONS WHERE ADEQUATE ACCESS WILL BE REDUCED.
14. ALL EQUIPMENT SHALL BE NEW & LISTED BY, & BE APPROVED BY, A TESTING LABORATORY & SHALL BE INSTALLED AS PER ANY INSTRUCTIONS INCLUDED IN THE LISTING & LABELING. DESCRIPTIONS PREVAIL OVER CATALOG NUMBERS. SUBMIT A MATERIAL LIST ON ALL MATERIALS PROPOSED FOR ACCEPTANCE BY OWNER.
15. FURNISH ALL LABOR & MATERIAL FOR A COMPLETE & OPERABLE SYSTEM. ALL LABOR & MATERIAL SHALL BE GUARANTEED FOR 12 MONTHS AFTER ACCEPTANCE OF THE PROJECT BY THE OWNER.
16. ELECTRICAL RECEPTACLES WITHIN SIX FEET OF A SINK SHALL HAVE GFC PROTECTION. EXTERIOR OUTLETS SHALL BE WATERPROOF & HAVE GFI PROTECTION. OUTLETS SHALL BE SPACED PER REQUIREMENTS OF THE CEC.
17. SURFACE MOUNTED FIXTURES OR TRACK SHALL BE SECURED TO BUILDING STRUCTURE. NO TOGGLE BOLTS, ETC. PERMITTED. ALL FIXTURES SHALL BE ADEQUATELY SUPPORTED, SET LEVEL & TRUE.
18. CONTRACTOR SHALL VERIFY ELECTRICAL REQUIREMENTS OF EQUIPMENT & FIXTURES & SHALL MAKE ALL NECESSARY CONNECTIONS.
19. USE JOIST SPACE FOR HORIZONTAL RUNS. CONCEAL ALL CONDUIT & ROUGH WORK U.N.O.
20. THE ELECTRICAL DIAGRAMS INCLUDED IN THE CONTRACT DRAWINGS INDICATE THE GENERAL SCOPE OF THE WORK AND MAY NOT DEPICT ALL EXISTING FIELD CONDITIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE FIELD CONDITIONS OF ALL ROUTES, MATERIALS, DIMENSIONS, ETC. IF IT IS FOUND THAT FIELD CONDITIONS VARY FROM THE CONTRACT DRAWINGS THE CONTRACTOR SHALL SUBMIT THE DISCREPANCIES, IN WRITING, AT THE TIME OF BID SUBMISSION TO THE ARCHITECT.
21. PROVIDE FIRE BLOCKING & CAULK W/APPROVED SEALANTS AT ALL LOCATIONS AS REQ'D BY CODE.












## POWER/LIGHTING NOTES

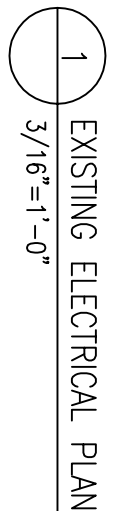
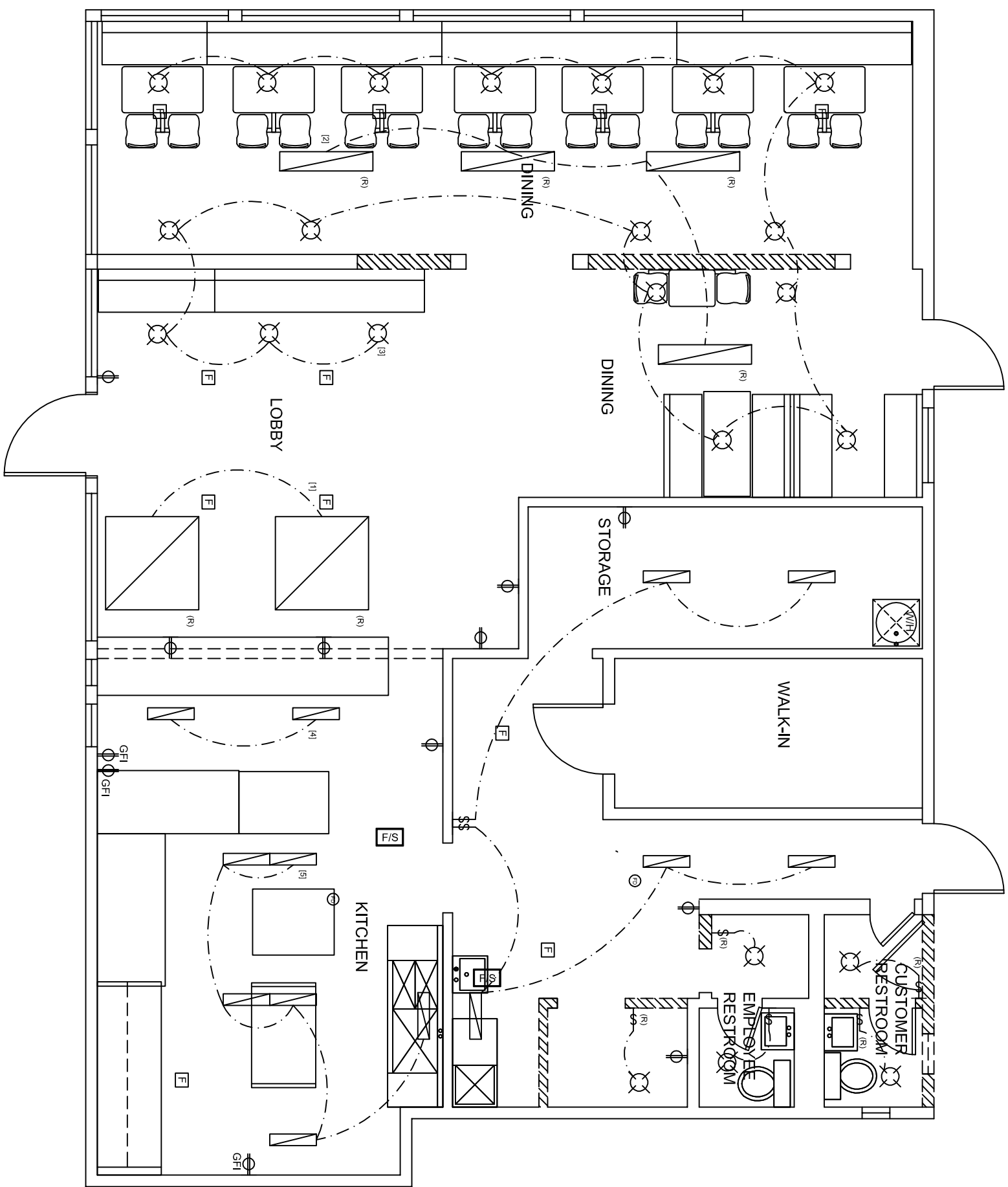
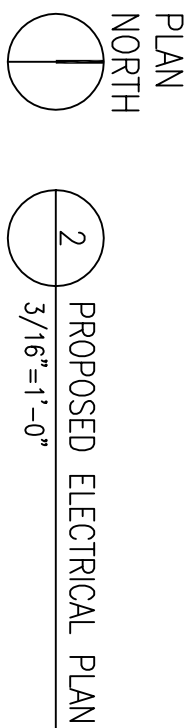
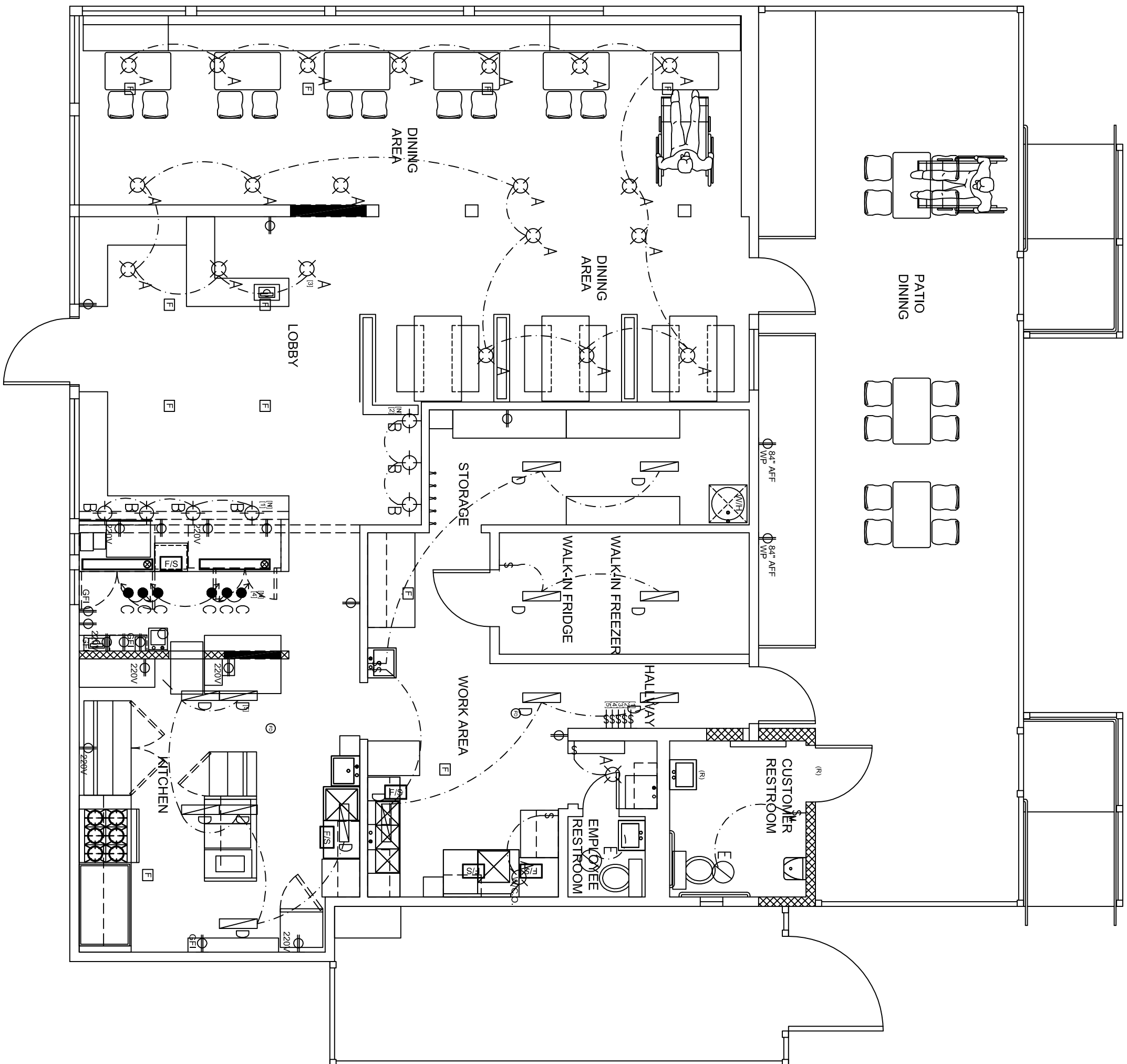
1. THE LIGHT INTENSITY IN THE FOLLOWING AREAS SHALL HAVE LIGHT INTENSITY OF 10 FOOT-CANDELES MEASURED 30" ABOVE FLOOR. THE AREAS ARE: FOOD AND UTILITY STORAGE ROOMS, REFRIGERATION STORAGE, REST ROOM AND DRESSING ROOM.
2. THE LIGHT INTENSITY IN THE KITCHEN, IN FOOD PREPARATION AREAS, AND ALL SERVICE AREAS SHALL HAVE 20 FOOT CANDLES OF LIGHT 30" ABOVE THE FLOOR.
3. ALL ELECTRICAL EQUIPMENTS SHALL HAVE THEIR OWN SEPARATE POWER.
4. ALL ELECTRICAL EQUIPMENTS THAT ARE NOT EQUIPPED WITH FACTORY INSTALLED CORDS SHALL BE "HARD-WIRE" TO THE ELECTRICAL SYSTEM.
5. NOTE ON GENERAL WALL RECEPTACLES-- ALL THE WALL RECEPTACLES ARE DUPLEX TYPE ON A 20 AMP CIRCUIT BREAKER.
6. ALL OUT-DOOR ELECTRICAL POWERS FOR COMPRESSORS ETC. SHALL HAVE WEATHER PROOF BOXES.
7. CEILING LIGHTS: PROVIDE AN AUTOMATIC TIMER TO TURN OFF ALL THE INTERIOR LIGHTS FOR THE KITCHEN AND DINING ROOMS DURING NON-BUSINESS HOURS.
8. REST ROOMS: PROVIDE OCCUPANCY SENSORY CONTROLS
9. OUTSIDE SIGN: PROVIDE AN AUTOMATIC TIMER ALSO FOR OUTSIDE SIGN.
10. PARKING LIGHTS: PROVIDE AN ASTRONOMIC TIMER FOR THE PARKING LIGHTS IF PARKING LOT IS INCLUDED.
11. EXIT/EMERGENCY LIGHTS: POWER TO THE EXIT LIGHTS SHALL BE ON AT ALL TIMES AND SHALL NOT PASS THROUGH ANY OF THE AUTOMATIC SHUT OFF CONTROLS.
12. OVERRIDE ON/OFF SWITCHES: LIGHTING SWITCH FOR THE INDIVIDUAL ROOMS AND AREAS SHALL HAVE AN ON/OFF SWITCH TO OVERRIDE THE AUTOMATIC TIMEAIR CONTROLS AND CONTRACTIONS.

## LIGHT FIXTURE SCHEDULE

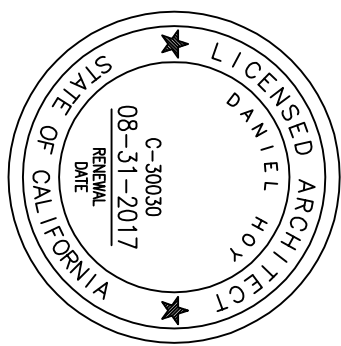
ID	DESCRIPTION	QTY
A	CEILING LIGHT INCANDESCENT 36 WATT	20
B	WALL MOUNTED LIGHT	7
C	RECESSED ADJUSTABLE SPOTLIGHT	6
D	FLUORESCENT CEILING LIGHT	12
E	RESTROOM WHITE 40 WATT FLUORESCENT	2

## ELECTRICAL LEGEND

	110 VOLT DUPLEX OUTLET
	110 VOLT DUPLEX OUTLET
	220 VOLT DUPLEX OUTLET
	RECESSED LIGHT SUITABLE FOR DAMP LOCATIONS
	SINGLE POLE SWITCH
	OCCUPANCY SENSOR SWITCH (MANUAL ON / AUTOMATIC OFF)
	RECESSED ADJUSTABLE SPOTLIGHT
	WALL MOUNTED LIGHT FIXTURE
	CEILING LIGHT INCANDESCENT 35 WATT
	RESTRICT WHITE 40 WATT FLUORESCENT
	FLUORESCENT LIGHT
	CEILING FAN
	NEW
	RE-LOCATE/REMOVE



DANIEL HOY, AIA  
ARCHITECTURE  
1551 WEBSTER STREET, SUITE B  
ALAMEDA, CALIFORNIA 94501  
P: 510-520-6528  
F: 510-864-1183  
E: [dhoysaia@earthlink.net](mailto:dhoysaia@earthlink.net)



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## COMMERCIAL TENANT IMPROVEMENT

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COMMERCIAL TENANT IMPROVEMENT  
NEPTUNE'S  
630 CENTRAL AVE.  
ALAMEDA, CA 94501

## EXISTING & PROPOSED PLANS ELECTRICAL

# A3.0



# PLUMBING NOTES

1. VERIFY LOCATION OF (E) PLUMBING & WATER DISTRIBUTION, DRAIN, WASTE & VENT LINES, ETC PRIOR TO INSTALLING NEW PLUMBING SYSTEM. REMOVE ALL ABANDONED WORK & RELOCATE & CONCEAL ITEMS TO REMAIN.
2. CONTRACTOR SHALL VERIFY PLUMBING REQUIREMENTS OF EQUIPMENT & FIXTURES & SHALL MAKE ALL NECESSARY CONNECTIONS FOR PROPER OPERATION. PLUMBING WORK SHALL BE COORDINATED WITH FUTURE, APPLIANCE & EQUIPMENT INSTALLED BY OTHER TRADES.
3. CONNECT NEW WASTE LINES TO (E) WASTE & SEWER LINE. UNDERGROUND WASTE PIPING & PIPING UNDER BUILDING TO BE SERVICE WEIGHT CAST IRON (ABS ACCEPTABLE IF APPROVED BY OWNER). NO-HUB OR APPROVED COMPRESSIBLE GASKET SEALS TO BE USED. ABOVE GROUND WASTE PIPING, 3" & LARGER, TO BE SERVICE-WEIGHT CAST IRON, NO HUB. ABOVE GROUND WASTE & VENT PIPING, 2-1/2" & SMALLER, TO BE COPPER TYPE DWV OR NO HUB CAST IRON WITH MATCHING DRAINAGE FITTINGS AT EXTERIOR APPLICATIONS. ABS AT INTERIOR APPLICATIONS IF APD BY OWNER.
4. ALL DOMESTIC WATER PIPING SHALL BE COPPER TUBING, TYPE L, HARD DRAWN WITH WROUGHT COPPER FITTINGS. USE 95-5 SOLDER IN ACCORDANCE WITH ASA.
5. PLUMBING FIXTURES SHALL CONFORM TO CALIFORNIA ENERGY COMMISSION REQUIREMENTS
  - a. LAUNDRY FAUCETS SHALL BE 1.5 GPM MAXIMUM
  - b. KITCHEN FAUCETS SHALL BE 1.8 GPM MAXIMUM
6. CONCEAL ALL PLUMBING IN JOIST SPACES, WALLS & SOFFITS & AS NOTED ON PLANS.
7. WATER HEATER SHALL BE ANCHORED OR STRAPPED TO THE STRUCTURE. STRAPPING POINTS SHALL BE AT POINTS WITHIN THE UPPER & LOWER THIRDS & SHALL MAINTAIN A MIN. CLEARANCE OF 4" FROM THE WATER HEATER CONTROLS. PER CPC/CBC.

8. THE PLUMBING DIAGRAMS INCLUDED IN THE CONTRACT DRAWINGS INDICATE THE GENERAL SCOPE OF THE WORK AND MAY NOT DEPICT ALL EXISTING FIELD CONDITIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE FIELD CONDITIONS OF ALL ROUTES, MATERIALS, DIMENSIONS, ETC. IF IT IS FOUND THAT FIELD CONDITIONS VARY FROM THE CONTRACT DRAWINGS THE CONTRACTOR SHALL SUBMIT THE DISCREPANCIES, IN WRITING, AT THE TIME OF BID SUBMISSION TO THE ARCHITECT.
9. PROVIDE FIRE BLOCKING & CAULK W/APPROVED SEALANTS AT ALL LOCATIONS AS REQ'D BY CODE.
10. PROVIDE EARTHQUAKE AUTOMATIC SHUT OFF VALVE IF REQUIRED AT ALL/ANY GAS METERS.

# WATER SUPPLY NOTES

1. HOT WATER: THE RESTAURANT SHALL HAVE THE HOT WATER SUPPLY SYSTEM TO SUPPLY AND MAINTAIN A 120 DEGREES AT ALL TIMES.
2. WATER HEATER: THE HOT WATER POWER SHALL BE ABLE TO SUPPLY AND MAINTAIN THE HOT WATER TO A 120 DEGREES WITH A CALCULATION TO SHOW THE BTU REQUIRED.
3. CHECK VALVE: THE COLD WATER SUPPLY TO THE AUTOMATIC HOT WATER BROILER AND SUCH SHALL BE INSTALLED WITH SHOT OFF VALVE AND A CHECK VALVE.
4. HOSE BIBB: HOSE BIBB WITH HIGH OR LOW TEMPERATURE SHALL INSTALL WITH NON-REMOVABLE ANTI-SYPHON DEVICE.
5. PIPE LABEL: ALL THE 180 DEGREE AND 120 DEGREE PIPING SHALL BE INSULATED, LABELED EVERY 20FT CHANCE OF DIRECTION, AND AT ANY PENETRATION OF A FLOOR, WALL, OR CEILING.



# WATER HEATER CALCULATIONS

FIXTURES	# OF COMPARTMENTS	x GPH	GPH
3-COMPARTMENT SINK	3	25	75
HAND WASH SINK	3	5	15
FOOD PREP SINK	1	10	10
MOP SINK	1	10	10

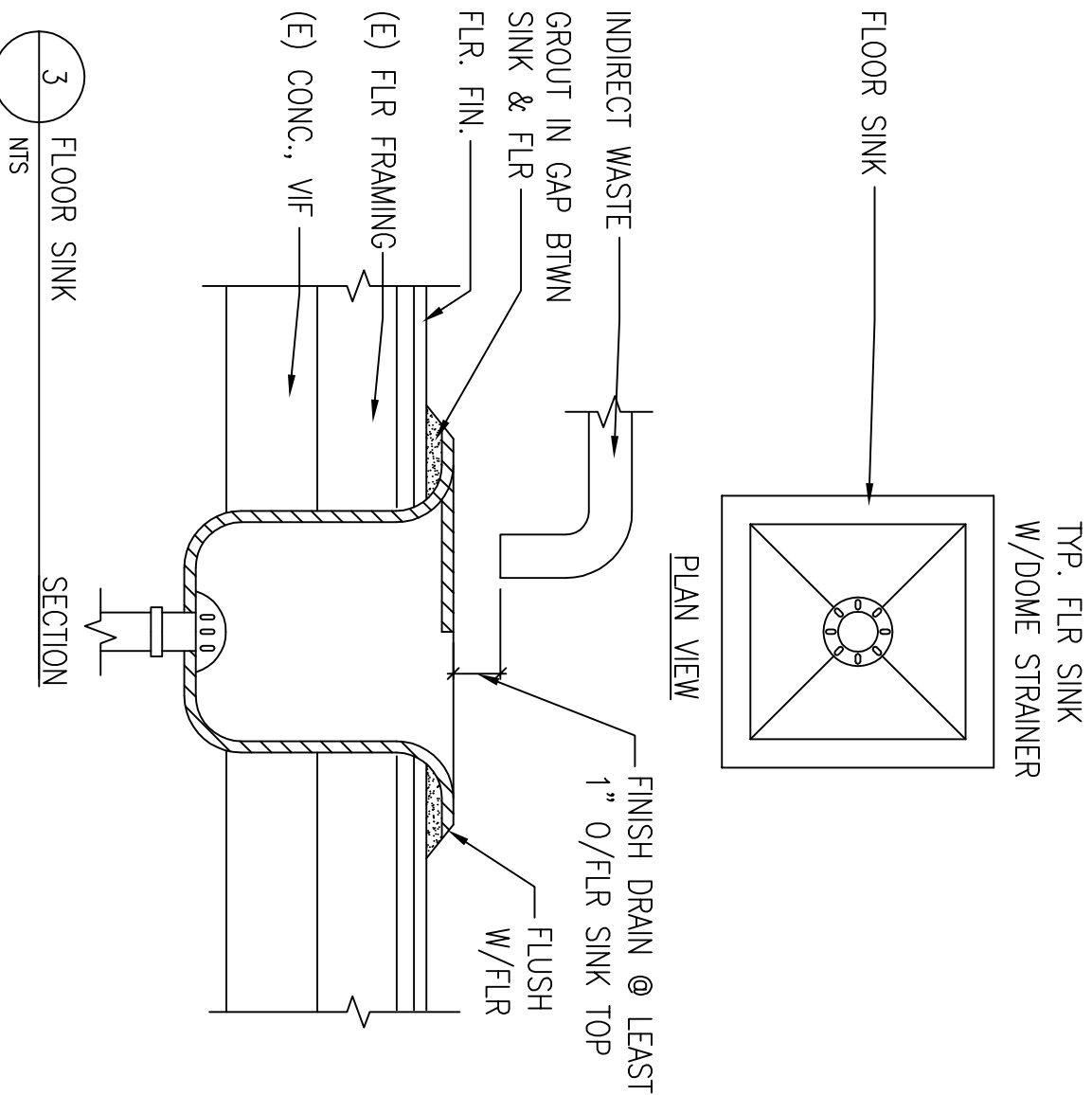
TOTAL GALLONS PER HOUR = 110 GPH

$$\text{BTU INPUT} = \text{TOTAL GPH} \times 0.4 = 110 \text{ GPH} \times 0.4 = 44 \text{ GPH}$$
$$\begin{aligned} \text{TOTAL FLOW RATE} &= \text{BTU INPUT} \times 660 \text{ (GAS)} = 44 \text{ GPH} \times 660 = 29,040 \text{ BTU} \\ &= \text{BTU INPUT} \times .15 \text{ (ELECTRICAL)} = 44 \text{ GPH} \times 0.15 = 6.6 \text{ KW} \end{aligned}$$

## PLUMBING FIXTURES SCHEDULE

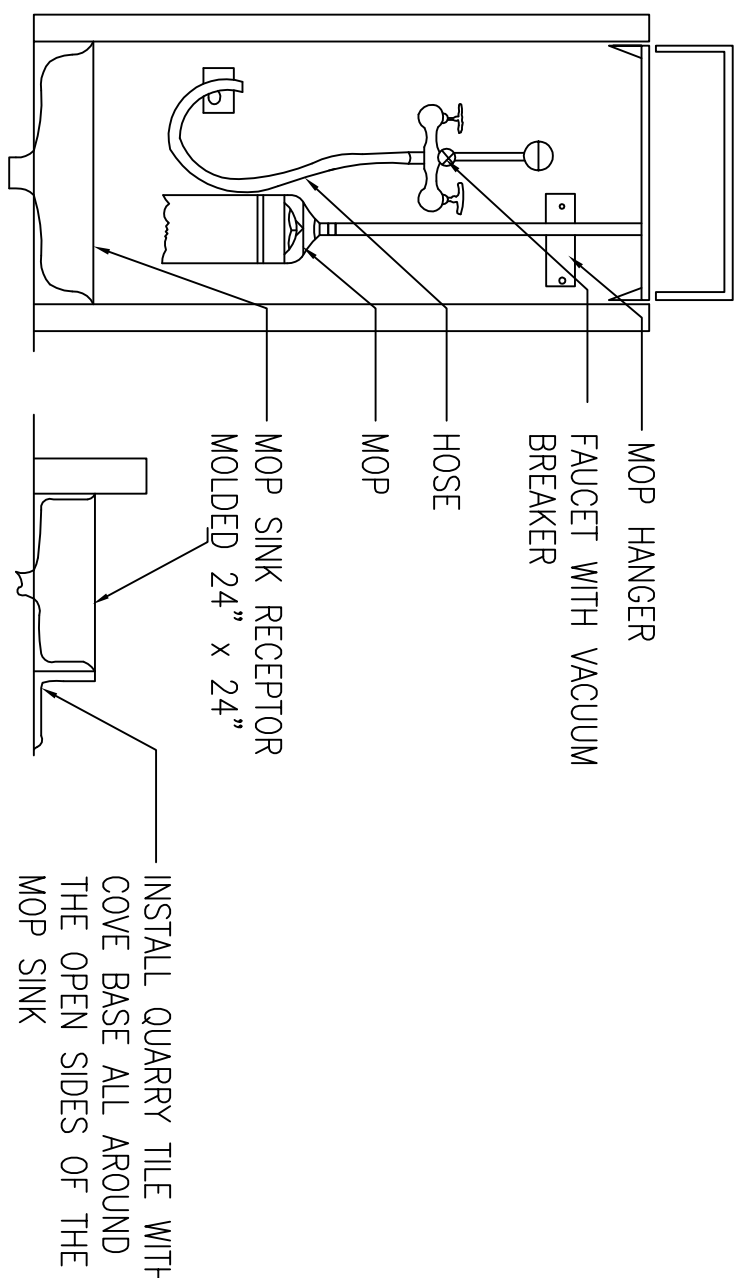
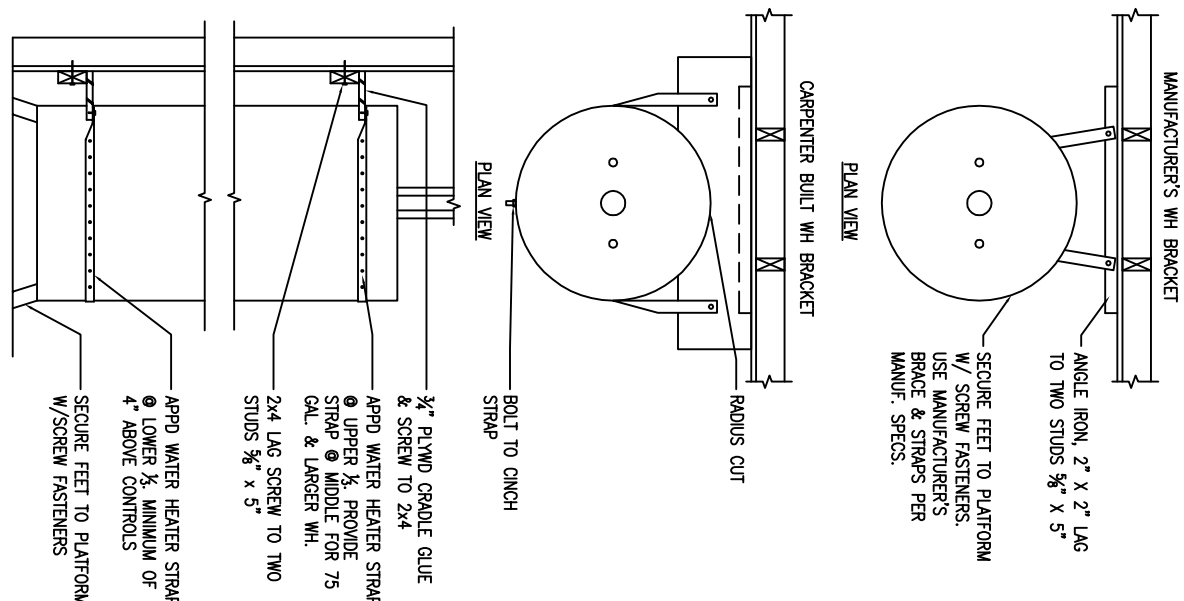
FIXTURE	WATER PIPE SIZES	DRAIN TO SANITARY			MODEL	NOTES
		COLD	HOT	F/S WASTE G/T		
3-COMPARTMENT SINK	½"	½"	YES	YES	ADVANCE TABCO	
PREP SINK	½"	½"	YES		WESTERN STAR 2MS1717X2D18	INDIRECT DRAIN; FOR INGREDIENT PREP.
HAND SINK	½"	½"	YES		T&S MODEL 7-PS-60	W/ DUAL SPLASH GUARDS MIN. 6"
MOP SINK	½"	½"	YES			
DISMACHINE	½"	½"	YES		ECOLAB ES-2000	
EMPLOYEE LAVATORY	½"	½"	YES		KOHLER K-2005	INSULATE HOT WATER PIPE & "p" TRAP LINE
CUSTOMER LAVATORY	½"	½"	YES		KOHLER K-2005	INSULATE HOT WATER PIPE & "p" TRAP LINE
WATER HEATER	¾"	¾"			PHIEM RCD-156-82	P/T RELEASE TO BACK AREA, 6" S. STEEL, LESS
FLOOR SINK					ZURN Z 1900	
FLOOR DRAIN					ZURN Z 415	
RESTROOM SINK	½"	½"	YES		GLACIER BAY 13-0010-ADA	WALL-MOUNTED
RESTROOM FAUCET					MOEN L4601	
RESTROOM GRAB BAR					KOHLER K-10546-BS	48"
RESTROOM GRAB BAR					KOHLER K-10544-BS	36"
URINAL					AMERICAN STANDARD 6550.001.020	

\*ALL HAND SINKS  
TO BE  
INSTALLED W  
WALL-MOUNT  
LIQUID SOAP  
AND SINGLE  
TOWEL  
DISPENSERS.



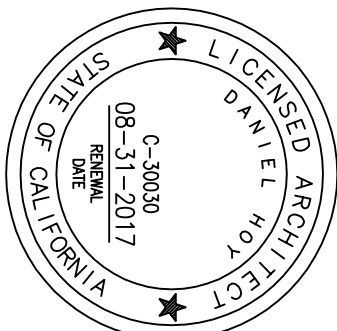
# PLUMBING LEGEND

- ☐ MOP SINK
  - ☐ WALL CLEAN-OUT
  - ☐ FLOOR DRAIN
  - ☐ FLOOR SINK
  - ☐ GREASE TRAP
  - ☐ HOSE BIB
  - ☐ HOT/COLD WATER



**DANIEL HOY, AIA**  
ARCHITECTURE

1551 WEBSTER STREET, SUITE B1  
ALAMEDA, CALIFORNIA 94501  
P : 510-520-6528  
F : 510-864-1183  
E : dhoyaya@earthlink.net



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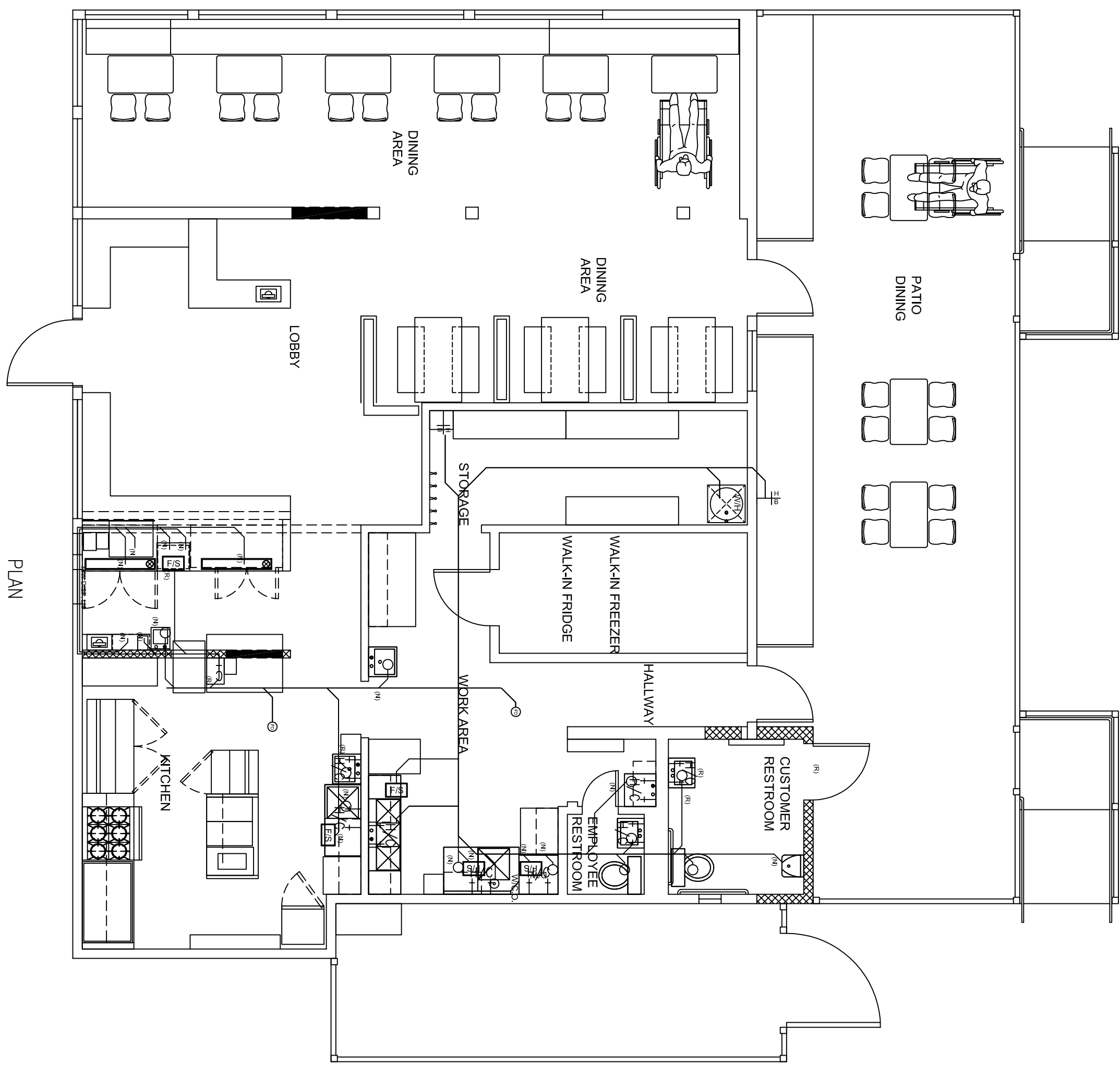
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# PLUMBING PLANS, NOTES & DETAILS

# A.4.0

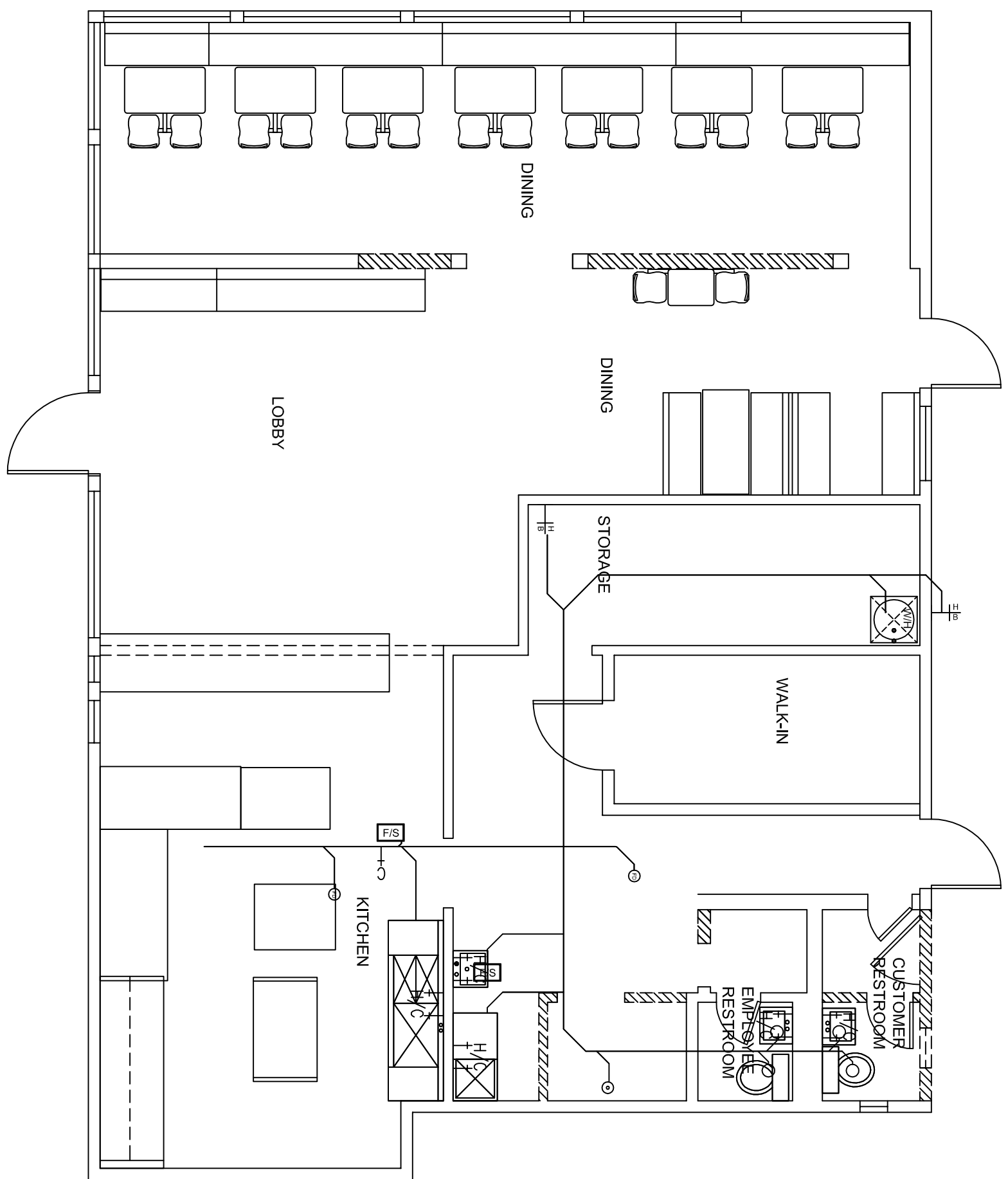


PLAN NORTH

PROPOSED PLUMBING PLAN

2

3/16" = 1'-0"



## 1 EXISTING PLUMBING PLAN



## HANDICAP ACCESS NOTES

1. MAIN ENTRANCE AREA- THE ENTRY DOOR THRESHOLD SHALL NOT BE MORE THAN 1/2" HIGH. THE LANDING ON BOTH SIDES TO BE LEVEL WITH LESS THAN 1/2" PER FT. SLOPE. A NOTE STATING "THIS DOOR MUST REMAIN UNLOCKED DURING BUSINESS HOURS" AND 1" SIZE LETTERS ARE REQUIRED.
2. THE FRONT DOOR: THE FRONT DOOR SHALL HAVE 10" KICK PLATE AND AN INTERNATIONAL SIGN AS SHOWN IN THE DETAILS.
3. EXIT DOOR: THE FIRE EXIT DOOR SHALL HAVE EMERGENCY PANIC HARDWARE. EXIT DOOR SHALL BE OPERABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
4. DOOR HANDLES: ALL INTERIOR DOOR HANDLES SHALL BE SINGLE LEVER TYPE.
5. SWITCHES, THERMOSTATIC AND CONTROL DEVICES: INSTALL ALL WALL SWITCHES AND CONTROL DEVICES BETWEEN 15" TO 48" MAX. FROM THE FINISH FLOOR LEVEL.
6. WALL RECEPTACLES: INSTALL WALL RECEPTACLES WITH A MIN. OF 15" TO 48" MAX. FROM THE FINISH FLOOR LEVEL.
7. FAUCET HANDLES: FAUCET HANDLES FOR THE SINKS IN THE KITCHEN TO HAVE A SINGLE LEVER KNOBS WITH A 5/16S OR LESS TO ACTIVATE.
8. ASILE CLEARANCE: PROVIDE 36" CLEAR WIDE ACCESS AISLES THROUGHOUT THE EMPLOYEE COMMON WORK AREA.
9. HANDICAP DINING TABLE: THE DINING ROOM SHALL BE PROVIDED WITH SOME HANDICAP ACCESSIBLE TABLES. THE ACCESSIBLE TABLES SHALL HAVE A CLEAR AREA UNDER THE TABLE OF 27"H X 30"W X 19"D KNEE SPACE FOR WHEELCHAIR TO TURN.
10. TABLES FOR WHEELCHAIR: HANDICAP TABLES PROVIDED FOR THIS DINING ROOM NEED MIN. OF 2.
11. AISLE WIDTH: ASILE CLEARANCE BETWEEN DINING TABLES TO HAVE A MINIMUM OF 44" FOOD PREPARATION AREA AND FOOD SERVICE AREA SHALL HAVE A 36" WIDE CLEAR AISLES FOR WHEELCHAIR ACCESS.
12. CASHIER TABLE: THE CASHIER TABLE SHALL HAVE A PORTION OF THE TABLE PROVIDED WITH A 34"H X 36"W SPACE FOR WHEELCHAIR ACCESSIBILITY.

## HANDICAP RESTROOM NOTES:













1. TOILET DOOR CLEARANCE: ALL TOILET DOORS SHALL HAVE A 36" DOOR CLEARANCE, SELF-CLOSING, AND TIGHT-FITTED TYPE. PROVIDE A 60" CIRCULAR FLOOR CLEARANCE SPACE FOR WHEELCHAIR MANEUVER.
2. DOOR SIGNS: INSTALL HANDICAP SIGNS ON THE TOILET DOORS AND BRAILLE ON THE SIGN OR ON THE WALL.
3. INSULATIONS: INSULATE THE TOILET LAATORY SINK DRAIN PIPE (P-TRAP) AND THE HOT WATER SUPPLY PIPES.
4. WATER CLOSERS: HANDICAP TOILET BOWL SEAT TO BE AT 17"-19" HIGH. THE TOILET FLUSH SYSTEM SHOULD BE A 1.6 GALLON PER FLUSH TYPE.
5. GRAB-BARS: INSTALL GRAB-BARS AT 36" ON THE BACK AND ON THE SIDE WALL OF THE TOILET BOWL AT 42" LENGTH WITH 24" BEYOND THE FRONT OF THE TOILET BOWL.
6. MIRROR AND SOAP: INSTALL SOAP HOLDING, MIRROR, TOWEL HOLDER WITH PROPER HEIGHT AS SHOWN IN DETAILS.
7. TOILET EXHAUST: THE TOILET EXHAUST FAN AND THE LIGHTING SHALL BE ACTIVATED TOGETHER BY THE SAME ON/OFF SWITCH.
8. ELECTRICAL PANEL: INSTALL A 115V GFCI WALL RECEPTACLE 48" HIGH AND WITHIN 5' OF THE LAATORY.
9. INTERIOR WALL PLUMBING: INSTALL FRP PANEL 48" HIGH MIN. AND ON ALL 4 WALLS OF THE TOILET.
10. INTERIOR FINISHES (HEALTH CODE REQUIREMENT): A) INSTALL FRP MIN. 48" HIGH ON ALL 4 WALLS OR INSTALL CERAMIC TILES. B) FLOOR TO BE CERAMIC TILES WITH INTEGRATED 3/8" RADIUS CORNER BASE AND MIN. OF 5" HIGH.
11. CEILING AND WALL SHALL BE SMOOTH WASHABLE SURFACES, LIGHT COLOR, AND WITH ENAMEL PAINT.

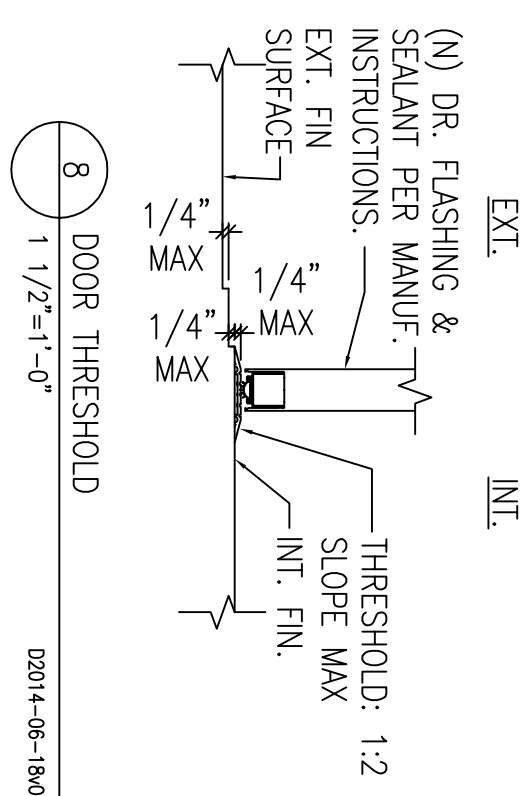
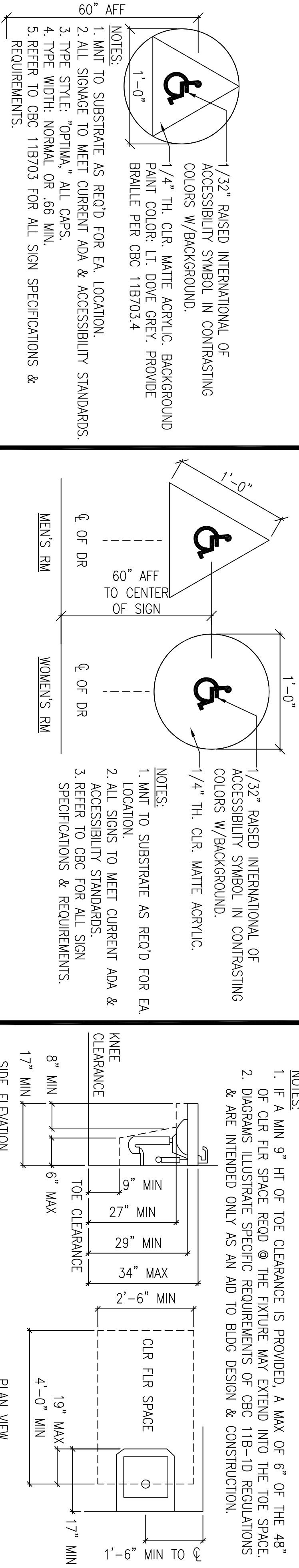
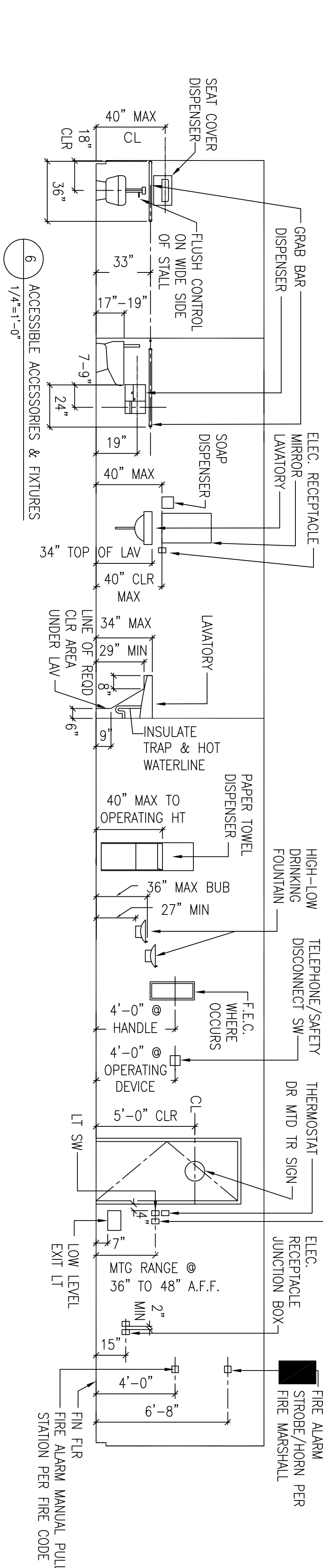
## DOOR SCHEDULE

1. VERIFY ALL DIMS /W/OWNER PRIOR TO FINAL FRAMING.
2. ALL DOOR STYLES TO BE APD BY OWNER PRIOR TO ORDERING.
3. ALL DOORS SHALL BE EQUIPPED WITH SINGLE-EFFORT, NON-GRASP HARDWARE (I.E. LEVER) MOUNTED AT SAME HT. ABOVE FLR. AS (E).
4. DOORS SHALL SWING TO THE FULLY OPEN POSITION WHEN AN OPENING FORCE NOT EXCEEDING 5 POUNDS IS APPLIED TO THE LATCH SIDE.
5. DOOR HARDWARE @ ALL EXIT DRS. SHALL ALLOW DRS. TO BE OPENED FROM THE INSIDE W/O KEY, SPECIAL KNOWLEDGE, OR EFFORT.
6. DOORS SHALL MEET THE APPLICABLE REQUIREMENTS OF CBC AND ACCESSIBILITY.
7. DOOR UTES IN RATED DOORS SHALL BE STL FRAME W/SAFETY GLASS.
8. CONTRACTOR SHALL REVIEW DOOR SCHEDULE FOR DOOR FRAME AND HARDWARE REQUIREMENTS. PROVIDE SUBMITTAL TO ARCHITECT FOR REVIEW. VERIFY ALL DIMS. & CONDITIONS PRIOR TO ORDERING OR FABRICATION.
9. MANUALLY OPERATED EDGE OR SURFACE MOUNTED FLUSH BOLTS OR ANY OTHER TYPE OF DEVICE THAT MAY BE USED TO CLOSE OR RESTRAIN A DOOR OTHER THAN BY OPERATION OF THE LOCKING DEVICE IS NOT PERMITTED.
10. DOOR HARDWARE SHALL BE CENTERED BETWEEN 30" AND 44" ABOVE FLOOR.
11. KEY LOCKSETS PER OWNER DIRECTION.

NUMBER	SIZE	THICKNESS	MATERIAL	FRAME	FINISH	HARDWARE DETAILS
①	EXISTING TO REMAIN					SELF-CLOSING AT ENT/RESTROOM DRS
②	OUTDOOR-GATE	3/0 x 6/5	4-0"	GATE		
③	OUTDOOR-GATE	3/0 x 6/5	4-0"	GATE		
④	RESTROOM	3/0 x 7/0	1-3/4"	STL		SELF-CLOSING AT RESTROOM DR
⑤	OUTDOOR-GATE	5/0 x 6/5	4-0"	GATE		

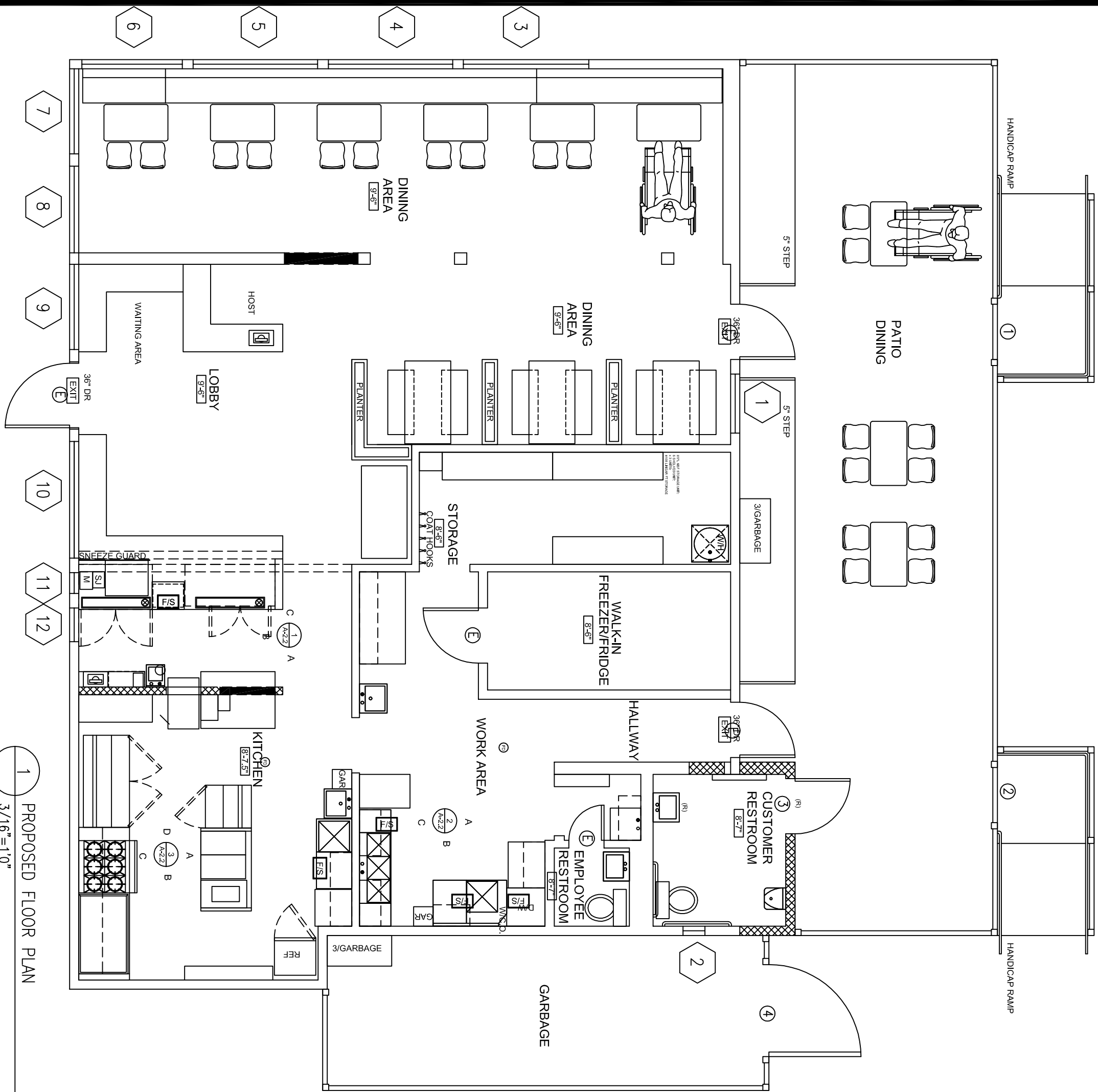
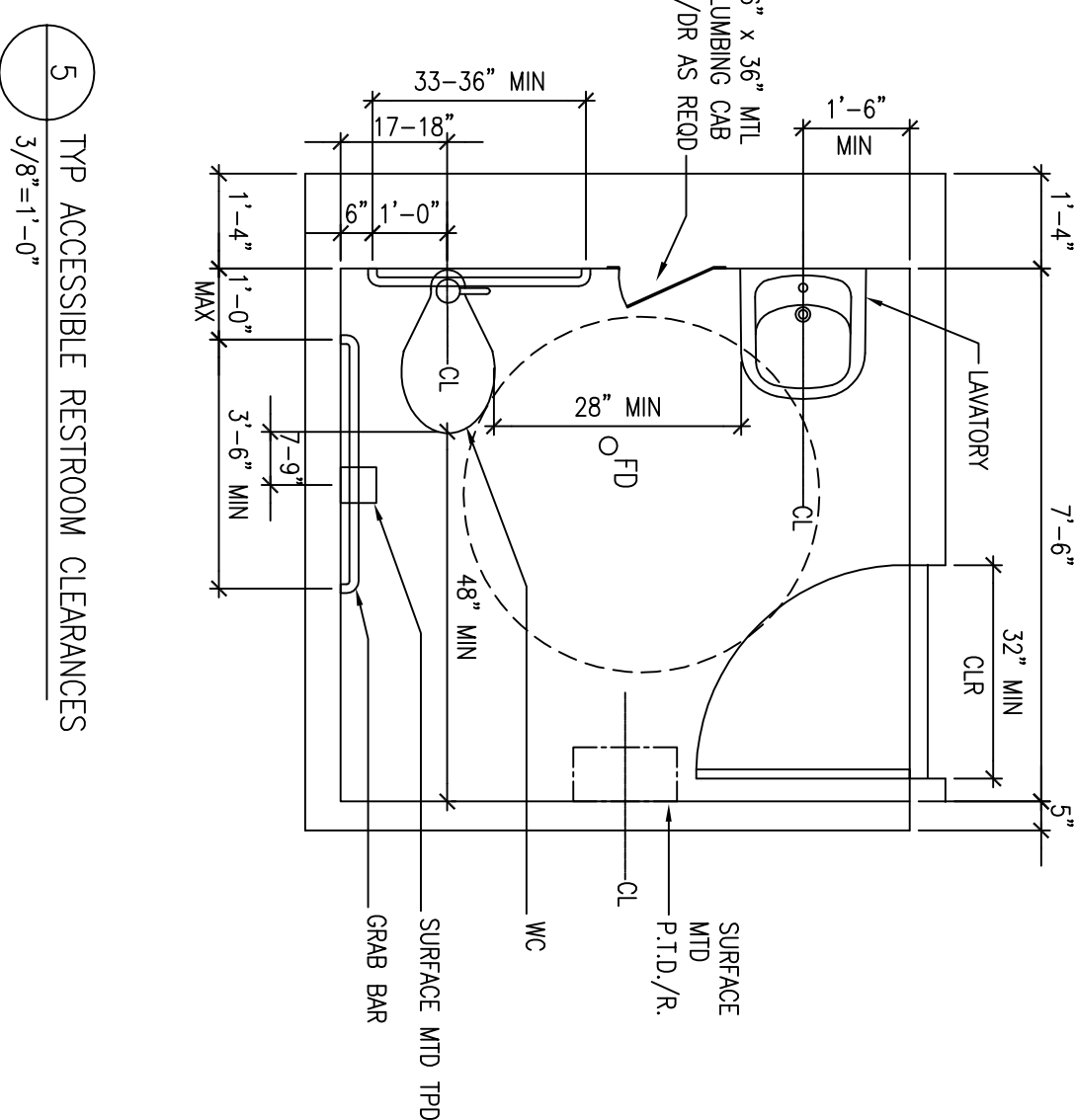
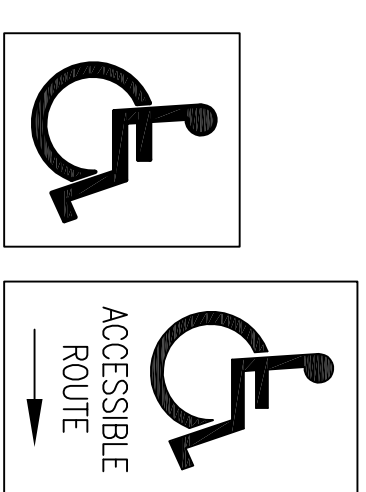
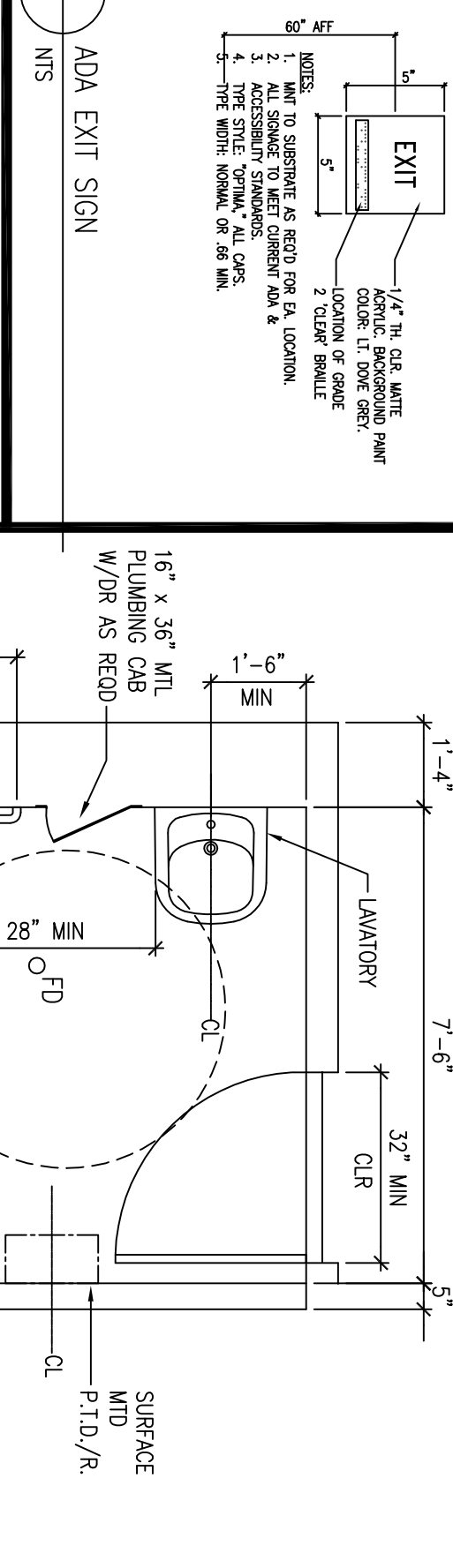
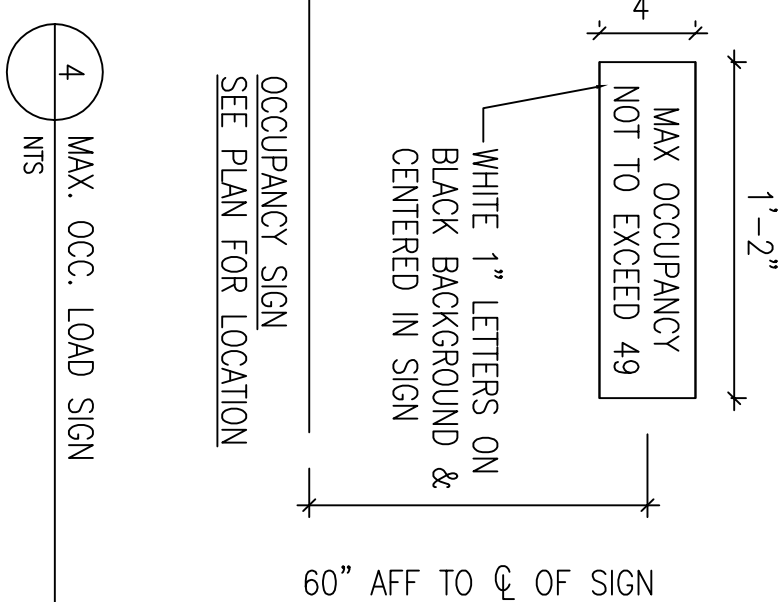
## WINDOW SCHEDULE

SYMBOL	TYPE	MATERIAL	RO W	RO HT	CLR W	CLR HT	HT, FROM FIN. F.L.R.	NOTE
	FIXED	GLASS	3'-3.5"	2'-8.5"	3'-2.5"	2'-7.5"	3'11.25"	CHANGE BROWN TO CLEAR INT
	FIXED	GLASS	1'-3.25"	2'-8.75"	1'-2.25"	2'-7.75"	3'11.25"	CHANGE BROWN TO CLEAR INT
	FIXED	GLASS	5'-10.75"	4'-3.25"	6'-9.75"	4'-2.25"	3'-4"	CHANGE BROWN TO CLEAR INT
	FIXED	GLASS	6'-10"	4'-3.25"	6'-9"	4'-2.25"	3'-4"	CHANGE BROWN TO CLEAR INT
	FIXED	GLASS	5'-10.25"	4'-3.25"	6'-9.25"	4'-2.25"	3'-4"	CHANGE BROWN TO CLEAR INT
	FIXED	GLASS	5'-6.5"	4'-1.5"	5'-5.5"	4'-0.5"	3'-4"	CHANGE BROWN TO CLEAR INT
	FIXED	GLASS	4'-8.5"	4'-1.5"	4'-7.5"	4'-0.5"	3'-4"	CHANGE BROWN TO CLEAR INT
	FIXED	GLASS	4'-9.5"	4'-1.5"	4'-8.5"	4'-0.5"	3'-4"	CHANGE BROWN TO CLEAR INT
	FIXED	GLASS	4'-8.5"	4'-1.5"	4'-7.5"	4'-0.5"	3'-4"	CHANGE BROWN TO CLEAR INT
	FIXED	GLASS	6'-5"	4'-1.5"	6'-4"	4'-0.5"	3'-4"	CHANGE BROWN TO CLEAR INT
	FIXED	GLASS	1'-2.5"	2'-1.75"	1'-1.5"	2'-0.75"	3'-4"	CHANGE BROWN TO CLEAR INT
	FIXED	GLASS	1'-11"	2'-1.75"	1'-10"	2'-0.75"	3'-4"	CHANGE BROWN TO CLEAR INT



## RESTRM FINISH SCHEDULE

FLOORS: NON-SLIP TILE W/ EPOXY GROUT  
\*FLOORING TO EXTEND 4'0" TO SURROUNDING WALL  
WALLS: FRP  
CEILINGS: GYP BD, SMOOTH FINISH (8'6"-9'6" IN HEIGHT)



DANIEL HOY, AIA  
ARCHITECTURE  
1551 WEBSTER STREET, SUITE B1  
ALAMEDA, CALIFORNIA 94501  
P : 510-520-6528  
F : 510-584-1183  
E : dhoyata@earthlink.net

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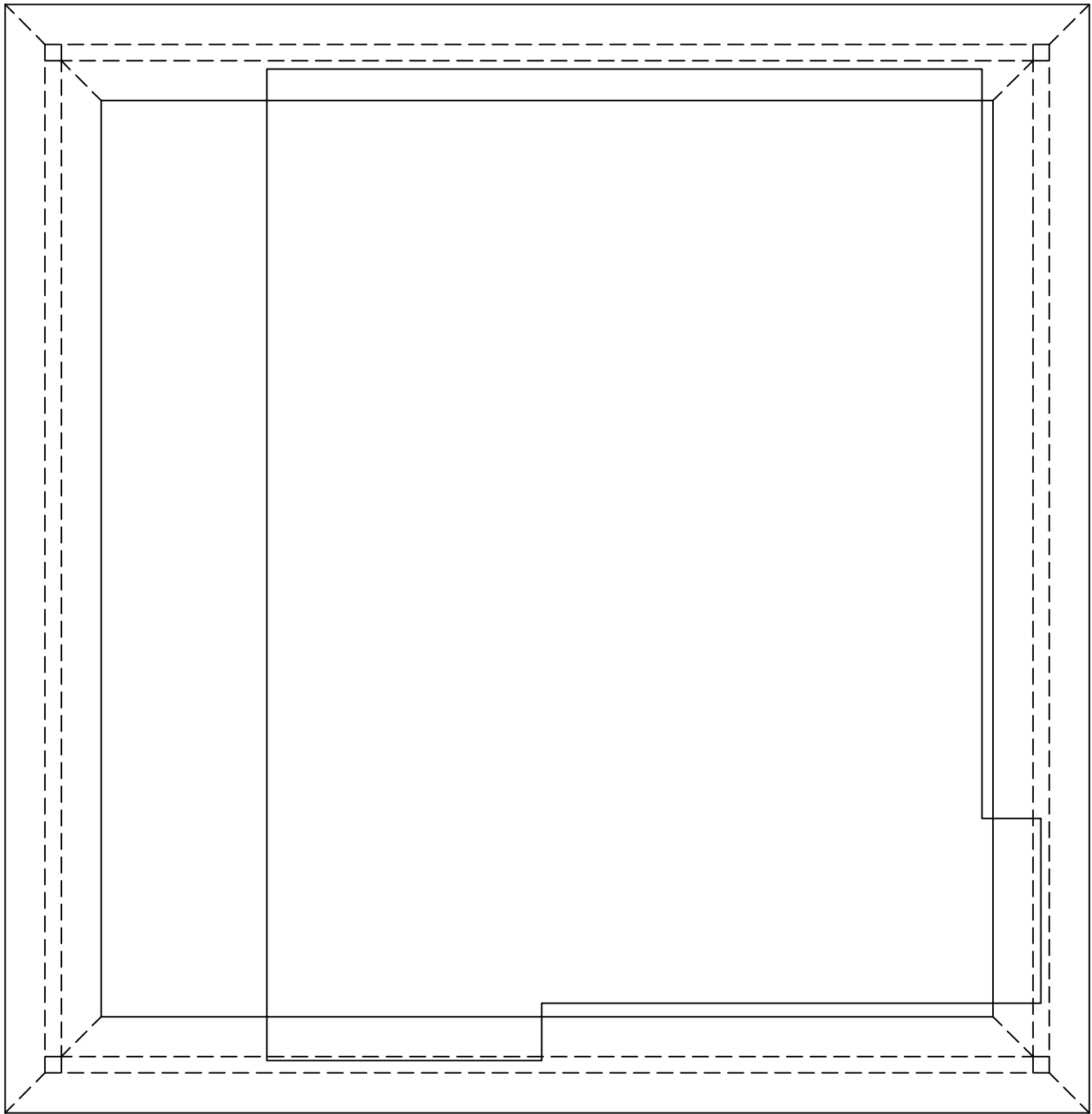
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## HANDICAP ACCESSIBILITY & HARDWARE DETAILS

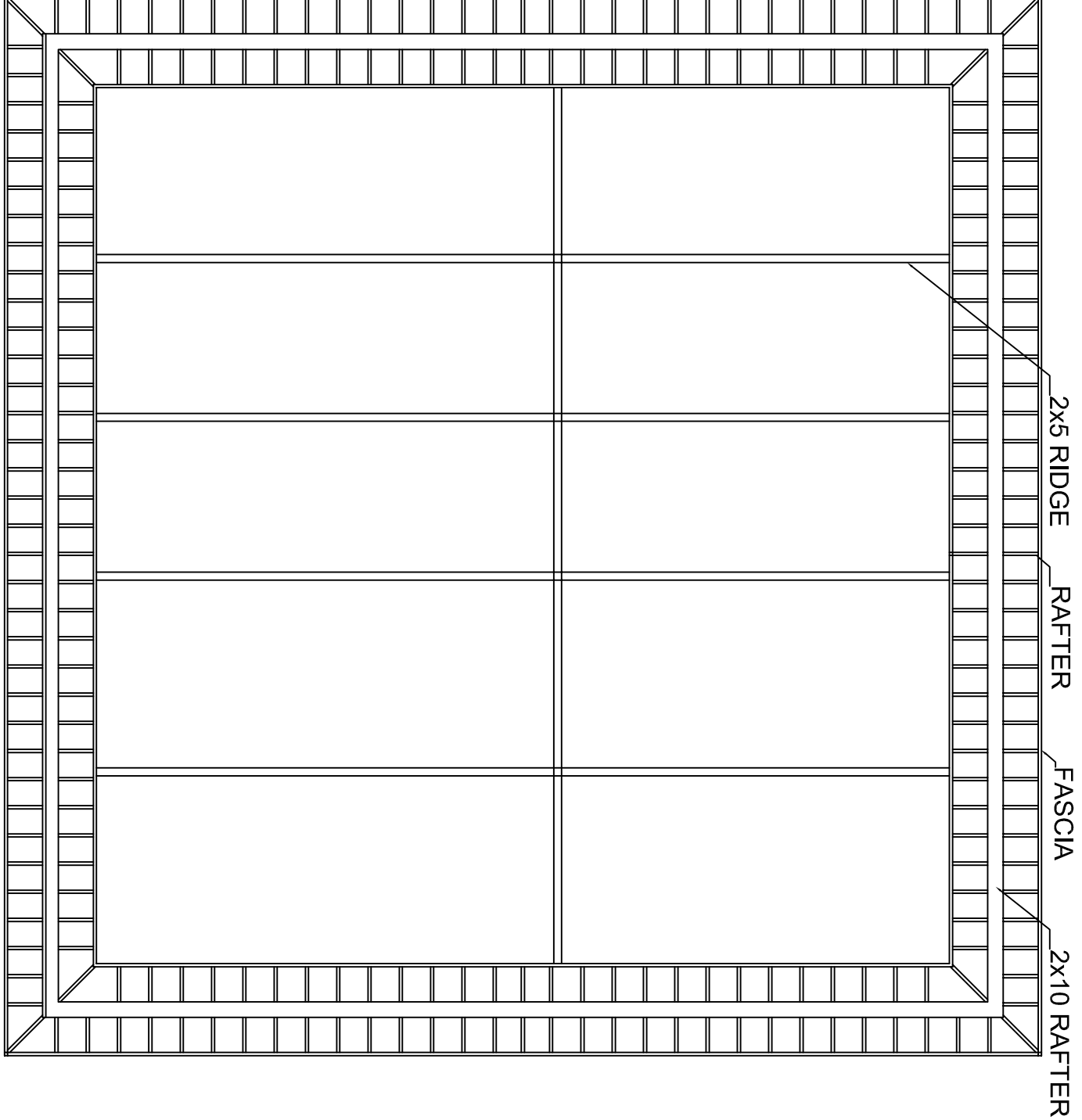
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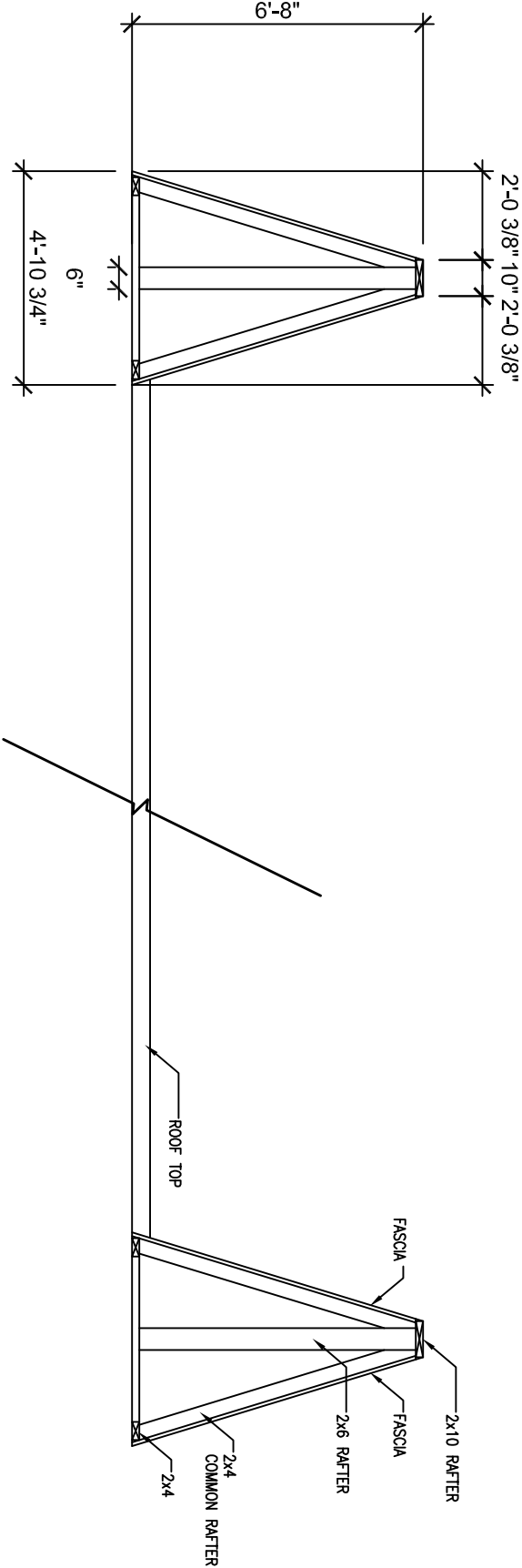


PLAN  
NORTH

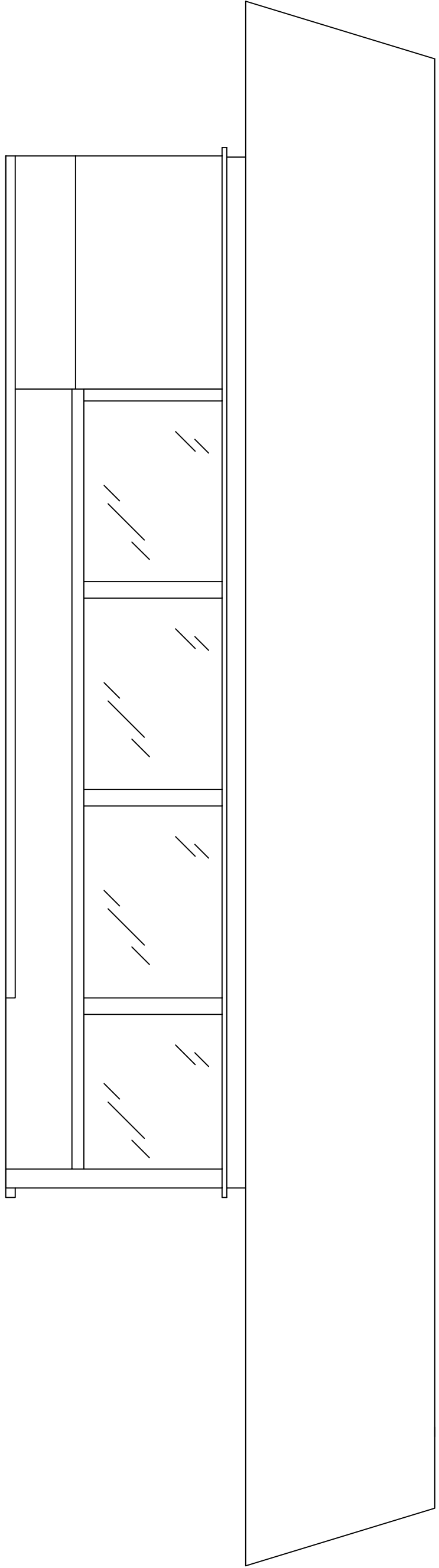
5 ROOF PLAN  
1/8"=1'-0"



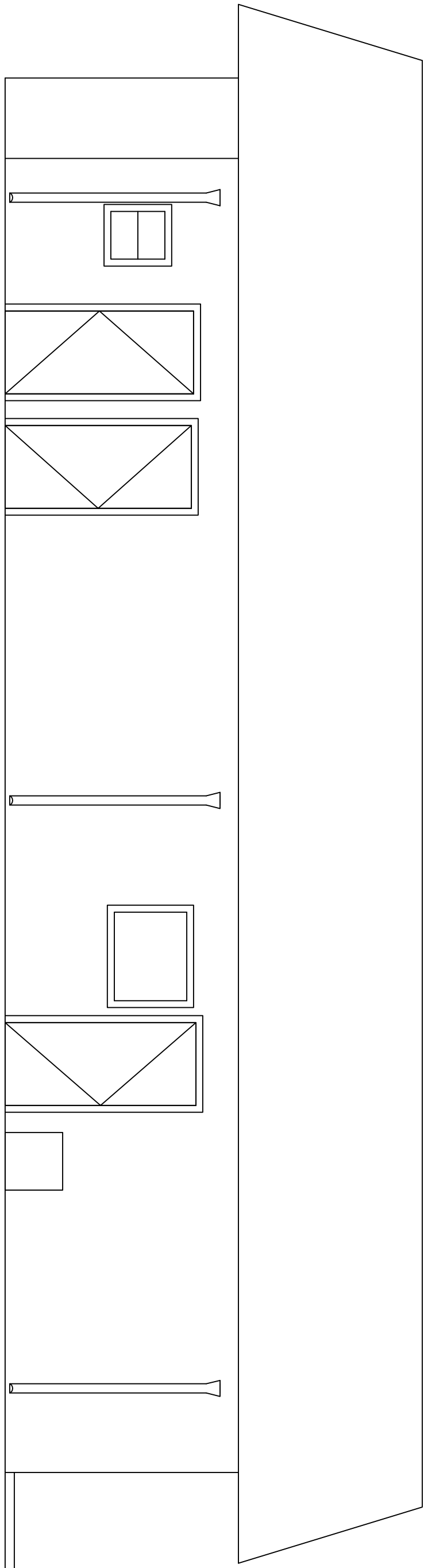
6 ROOF STRUCTURE PLAN  
1/8"=1'-0"



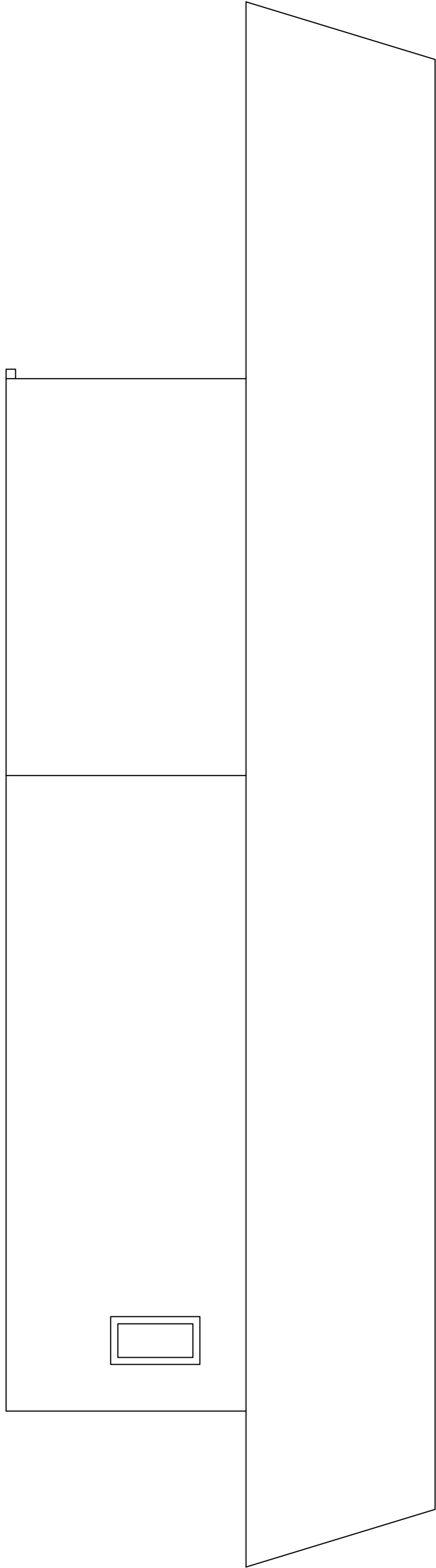
7 ROOF SECTION DETAIL  
1/4"=1'-0"



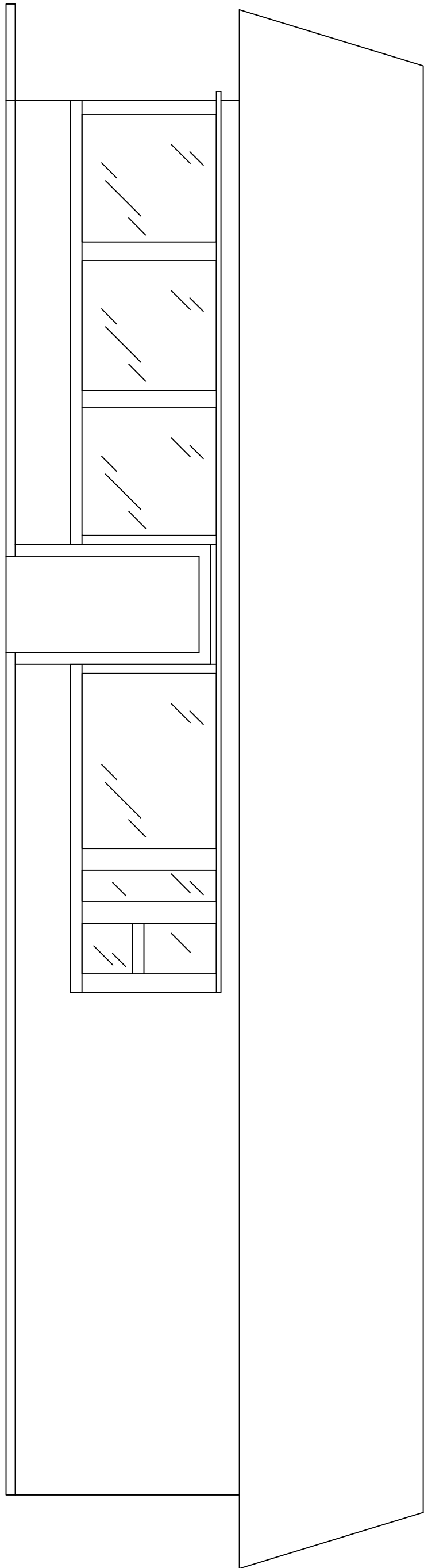
4 EAST EXISTING EXTERIOR ELEVATION  
1/4"=1'-0"



3 SOUTH EXISTING EXTERIOR ELEVATION  
1/4"=1'-0"

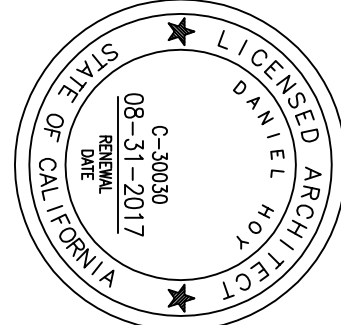


2 WEST EXISTING EXTERIOR ELEVATION  
1/4"=1'-0"



1 NORTH EXISTING EXTERIOR ELEVATION  
1/4"=1'-0"

DANIEL HOY, AIA  
ARCHITECTURE  
1551 WEBSTER STREET, SUITE B1  
ALAMEDA, CALIFORNIA 94501  
P : 510-520-6528  
F : 510-864-1183  
E : dhoysai@earthlink.net



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FH			BH
Issues	Revisions	Description	
Number	Date		

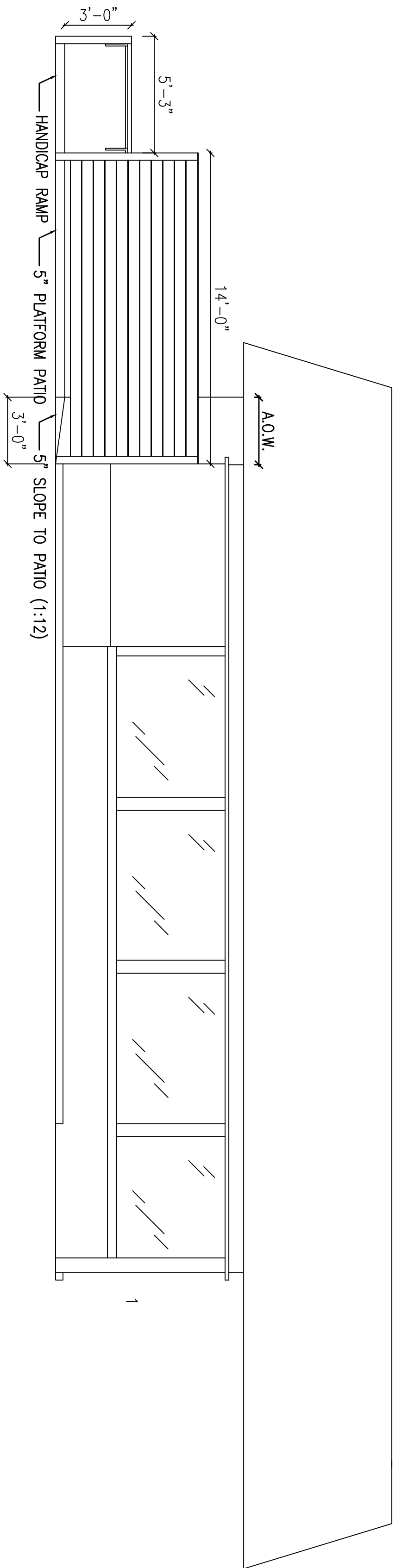
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EXISTING EXTERIOR  
ELEVATIONS  
& ROOF PLAN

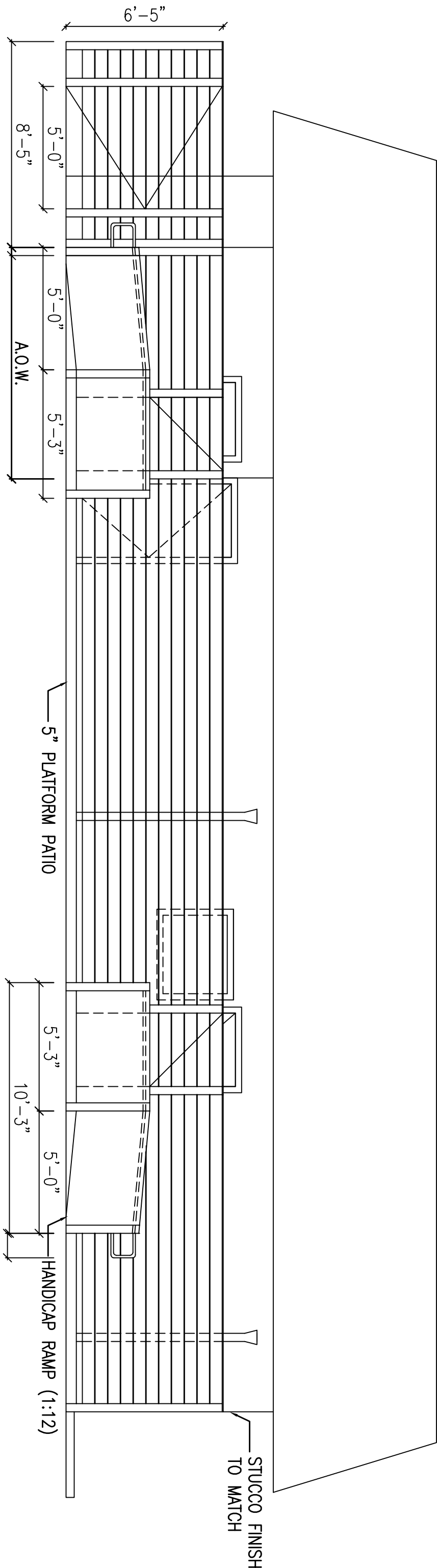
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EXTERIOR MATERIALS SCHEDULE

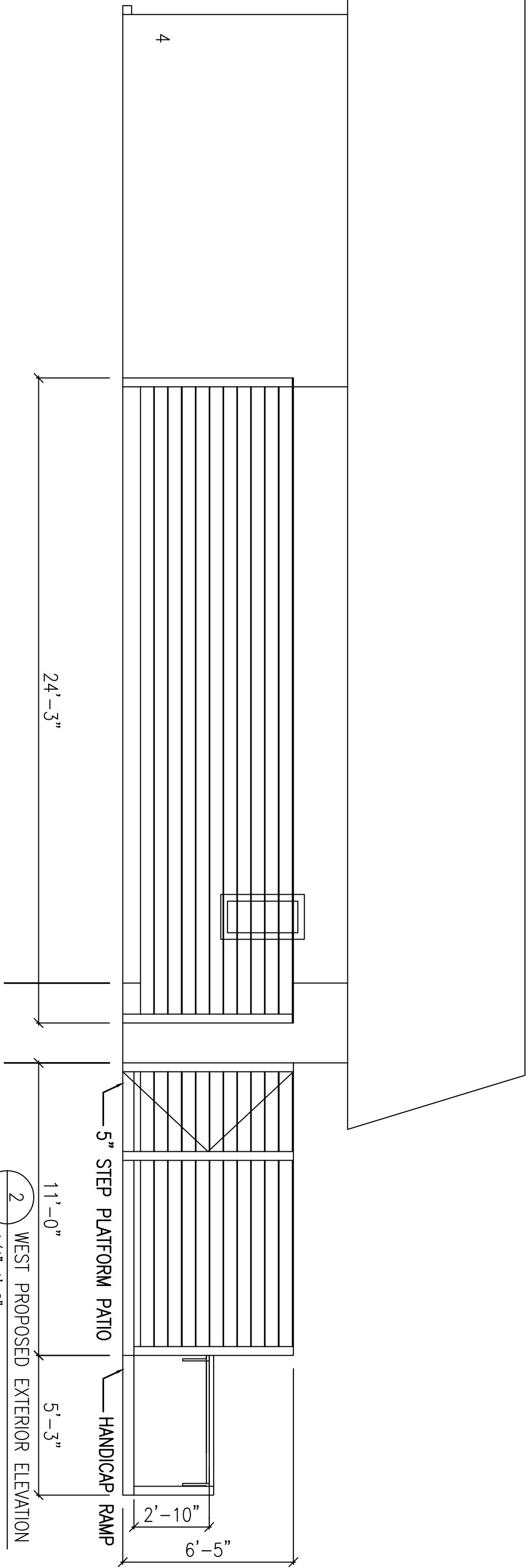
	MATERIAL(S)	NOTES
1	WINDOWS	TO REMAIN
2	ENTRANCE DOOR	DOUGLAS FIR WOOD (N)
3	BULK HEAD	DOUGLAS FIR WOOD (N)
4	WALLS & TRIM DETAILS	LATEX EXTERIOR PAINT BEIGE STUCCO



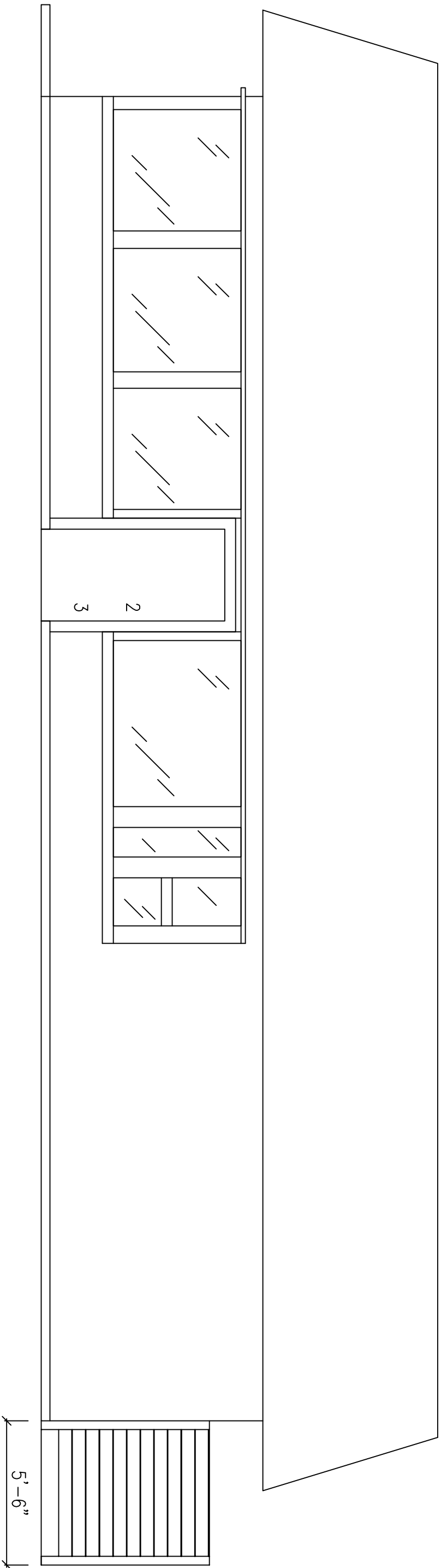
4 EAST PROPOSED EXTERIOR ELEVATION  
1/4"=1'-0"



3 SOUTH PROPOSED EXTERIOR ELEVATION  
1/4"=1'-0"

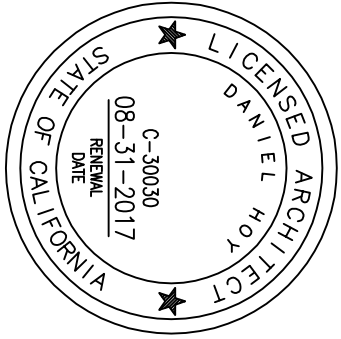


2 WEST PROPOSED EXTERIOR ELEVATION  
1/4"=1'-0"



1 NORTH PROPOSED EXTERIOR ELEVATION  
1/4"=1'-0"

DANIEL HOY, AIA  
ARCHITECTURE  
1851 WEBSTER STREET, SUITE B1  
ALAMEDA, CALIFORNIA 94501  
P : 510-820-6828  
F : 510-864-1183  
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Issues <input type="checkbox"/> Revisions <input checked="" type="checkbox"/>	PE	DH
Number	Date	Description

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EXTERIOR  
ELEVATIONS  
PROPOSED

A6.1