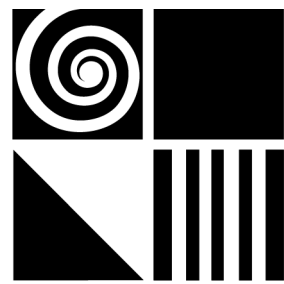




TENANT IMPROVEMENTS PLANNING PACKAGE

1801 HARBOR BAY PARKWAY ALAMEDA, CA 94502

ISSUED 08.28.2017



DGA planning | architecture | interiors

550 Ellis Street, Mountain View, CA 94043 650-943-1660
201 Filbert Street, 3rd Floor, San Francisco, CA 94133 415-477-2700
445 West Ash Street, San Diego, CA 92101 619-685-3990
400 Capitol Mall, Suite 1540, Sacramento, CA 95814 916-441-6800

CONSULTANTS

Landscape Architect
Creo Landscape Architecture
466 Geary Street, Suite 300
San Francisco, CA 94102
415.688.2506

Civil Engineer
Kier & Wright Civil Engineers & Surveyors, Inc.
3350 Scott Blvd. Bldg #22
Santa Clara, CA 95054
408.727.6665

SYMBOLS

1

A

GRID LINE NUMBER OR LETTER

1

A-501

DETAIL NUMBER
SHEET WHERE DETAIL IS DRAWN.
SAME DISCIPLINE

1

A-301

SECTION NUMBER
SHEET WHERE SECTION IS DRAWN.
SAME DISCIPLINE

△

DELTA
SEE DESCRIPTION BLOCK
ON SAME SHEET FOR DATE
& DESCRIPTION

○

KEYED NOTES SEE DESCRIPTION
LIST ON SAME SHEET

—

FILLED LINE INDICATES
PLAN NORTH
DASHED ARROW INDICATES
TRUE NORTH

GRID LINE

DETAIL

SECTION

DRAWING
REVISION

KEYNOTE

NORTH
ARROW

PROJECT DATA

PROJECT NAME:	TENANT IMPROVEMENTS, DEMOLITION
PROJECT ADDRESS:	1801 HARBOR BAY PARKWAY ALAMEDA, CA 94502
CONSTRUCTION TYPE	V A
OCCUPANCY:	GROUP B
EXISTING USE:	OFFICE
PROPOSED USE:	LAB / OFFICE
AUTOMATIC FIRE SPRINKLER SYSTEM:	BUILDING FULLY EQUIPPED (EXISTING)
TOTAL EXISTING SQUARE FOOTAGE:	60,544 SF
GROSS FLOOR AREA:	
FIRST FLOOR:	31,823 SF
SECOND FLOOR:	31,823 SF
TOTAL AREA:	63,646 SF

DRAWING INDEX

ARCHITECTURAL

Sheet Number	Sheet Name	PLANNING DEPT. RESPONSE - 08.14.2017
GENERAL		
GP001	COVER SHEET	■
CIVIL		
C1.0	PARITAL TOPOGRAPHIC SURVEY	■
C2.0	PRELIMINARY GRADING AND DRAINAGE	■
C2.1	PRELIMINARY GRADING AND DRAINAGE	■
C3.0	PARKING STRIPING PLAN	■
LANDSCAPE		
L1.00	NOTES AND LEGEND	■
L2.00	BUILDING 1801 - OVERALL SITE PLAN	■
L3.00	BUILDING 1801 - LANDSCAPE DETAIL PLAN	■
L4.00	BUILDING 1801 - FENCE SECTION AND ELEVATIONS	■
L5.00	BUILDING 1801 - VIEWS	■
L6.00	BUILDING 1801 - PRECEDENT IMAGERY	■
ARCHITECTURAL DEMOLITION		
AD101B	DEMOLITION PLAN - LEVEL 1, OVERALL	■
AD102B	DEMOLITION PLAN - LEVEL 2, OVERALL	■
ARCHITECTURAL		
AE101B	FLOOR PLAN - LEVEL 1, OVERALL	■
AE102B	FLOOR PLAN - LEVEL 2, OVERALL	■
AE103	ROOF PLAN	■
AR101B	REFLECTED CEILING PLAN - LEVEL 1	■
AR102B	REFLECTED CEILING PLAN - LEVEL 2	■
AE201	EXTERIOR ELEVATIONS	■
AP001	REFERENCE EXISTING SITE PHOTOS	■
AP002	REFERENCE EXISTING CAMPUS PARCEL MAP	■
QL901	CHEMICAL STORAGE SHED	■

SCOPE OF WORK

THE SCOPE OF WORK SHOWN IN THIS PACKAGE INVOLVES THE TENANT IMPROVEMENT OF AN EXISTING TWO-STORY COMMERCIAL BUILDING. ZONING: C-M. GENERAL PLAN: BUSINESS PARK. EXTERIOR WORK TO INCLUDE NEW LANDSCAPING, SEATING/GATHERING AREAS, SCREEN WALLS, NEW EXTERIOR DOUBLE DOORS AT REAR (SHIPPING AND RECEIVING), AND A NEW SCREENED 240 SQFT. CHEMICAL STORAGE SHED.

GOVERNING CODES

PART 2: 2016 CALIFORNIA BUILDING CODE (CBC)
PART 3: 2016 CALIFORNIA ELECTRICAL CODE (CEC)
PART 4: 2016 CALIFORNIA MECHANICAL CODE (CMC)
PART 5: 2016 CALIFORNIA PLUMBING CODE (CPC)
PART 6: 2016 CALIFORNIA ENERGY CODE
PART 9: 2016 CALIFORNIA FIRE CODE (CFC)
PART 11: 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)
PART 12: 2016 CALIFORNIA REFERENCE STANDARDS CODE
CALIFORNIA CODE OF REGULATIONS, TITLE 8 (CAL OSHA)
OTHER REGULATIONS:
NFPA (CURRENT EDITION)
CAL-OSHA - CALIFORNIA CODE OF REGULATIONS, TITLE 8
CITY OF ALAMEDA MUNICIPAL CODE ORDINANCES CURRENT EDITION AT TIME OF PERMIT

ACCESSIBILITY STANDARDS - FEDERAL REGULATIONS AND AMERICAN DISABILITIES ACT (ADA)

LOCATION PLAN



SITE MAP



PROJECT TEAM

TENANT

EXELIXIS

1851 HARBOR BAY PARKWAY
ALAMEDA, CA 94502
CONTACT: Dana Aftab
email: daftab@exelixis.com



PROJECT MANAGER

NOVA PARTNERS, INC.

855 EL CAMINO REAL, SUITE 307
PALO ALTO, CA 94301
TEL: 650.324.5324
FAX: 650.324.5327
CONTACT: Kelly Pratt
email: kelly@novapartners.com



ARCHITECT

DGA planning | architecture | interiors

550 ELLIS STREET
MOUNTAIN VIEW, CA 94043
TEL: 650.943.1660
FAX: 650.943.1670
CONTACT: Melinda Lau
email: mlau@dga-mv.com



GENERAL CONTRACTOR

XL Construction

343 SANSOME STREET, SUITE 505
SAN FRANCISCO, CA 94104
TEL: 415.358.6200
CONTACT: John Bonoso
email: jbonoso@xlconstruction.com



LANDSCAPE ARCHITECT

Creo Landscape Architecture

466 Geary Street, Suite 300
San Francisco, CA 94102
TEL: 415.688.2506 (x3)
CONTACT: Mike Mitchell
email: mike@creolandarch.com



CIVIL ENGINEER

Kier and Wright Civil Engineers & Surveyors, Inc.

3350 Scott Blvd. Bldg #22
Santa Clara, CA 95054
TEL: 408.727.6665
CONTACT: Mohammad Mostaghim
email: mmostaghim@kierwright.com



RESPONSE TO COMMENTS 09.14.17
PLANNING DEPT. SUBMITTAL 08.28.17

NO. DESCRIPTION DATE



CLIENT EXELIXIS

PROJECT TENANT IMPROVEMENTS

ADDRESS 1801 HARBOR BAY PARKWAY
ALAMEDA, CA 94502

PROJECT NO. 17019

SCALE AS SHOWN

TITLE

COVER SHEET

GP001



DGA planning | architecture | interiors

550 Ellis Street, Mountain View, CA 94043 650-943-1660
201 Filbert Street, 3rd Floor, San Francisco, CA 94133 415-477-2700
445 West Ash Street, San Diego, CA 92101 619-685-3990
400 Capitol Mall, Suite 1540, Sacramento, CA 95814 916-441-6800

CONSULTANTS

KIER & WRIGHT
CIVIL ENGINEERS & SURVEYORS, INC.
3350 Scott Boulevard, Building 22 (408) 727-6665
Santa Clara, California 95054 fax (408) 727-5641

STAMP

KEY PLAN

RESPONSE TO COMMENTS 09.14.17

NO. DESCRIPTION DATE



CLIENT EXELIXIS

PROJECT TENANT IMPROVEMENTS

ADDRESS 1801 HARBOR BAY PARKWAY
ALAMEDA, CA 94502

PROJECT NO. 17121

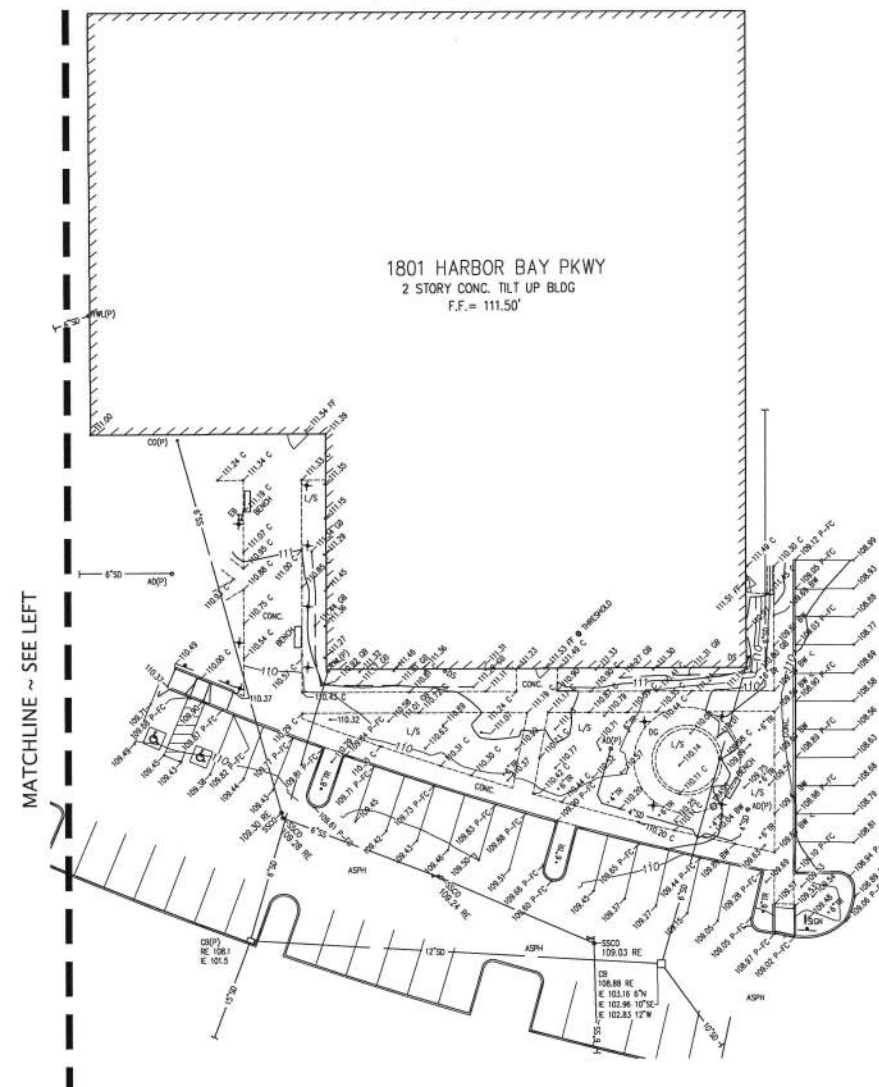
SCALE AS SHOWN

TITLE

**PARTIAL TOPOGRAPHIC
SURVEY**

CI.0

AREA 2



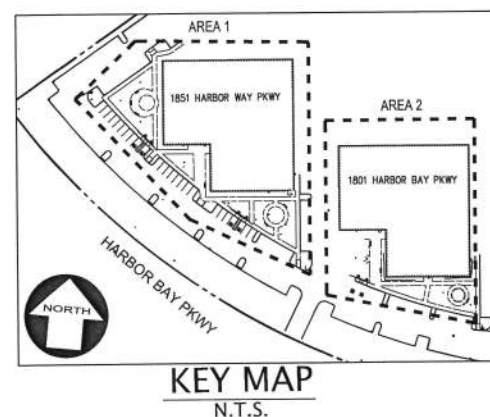
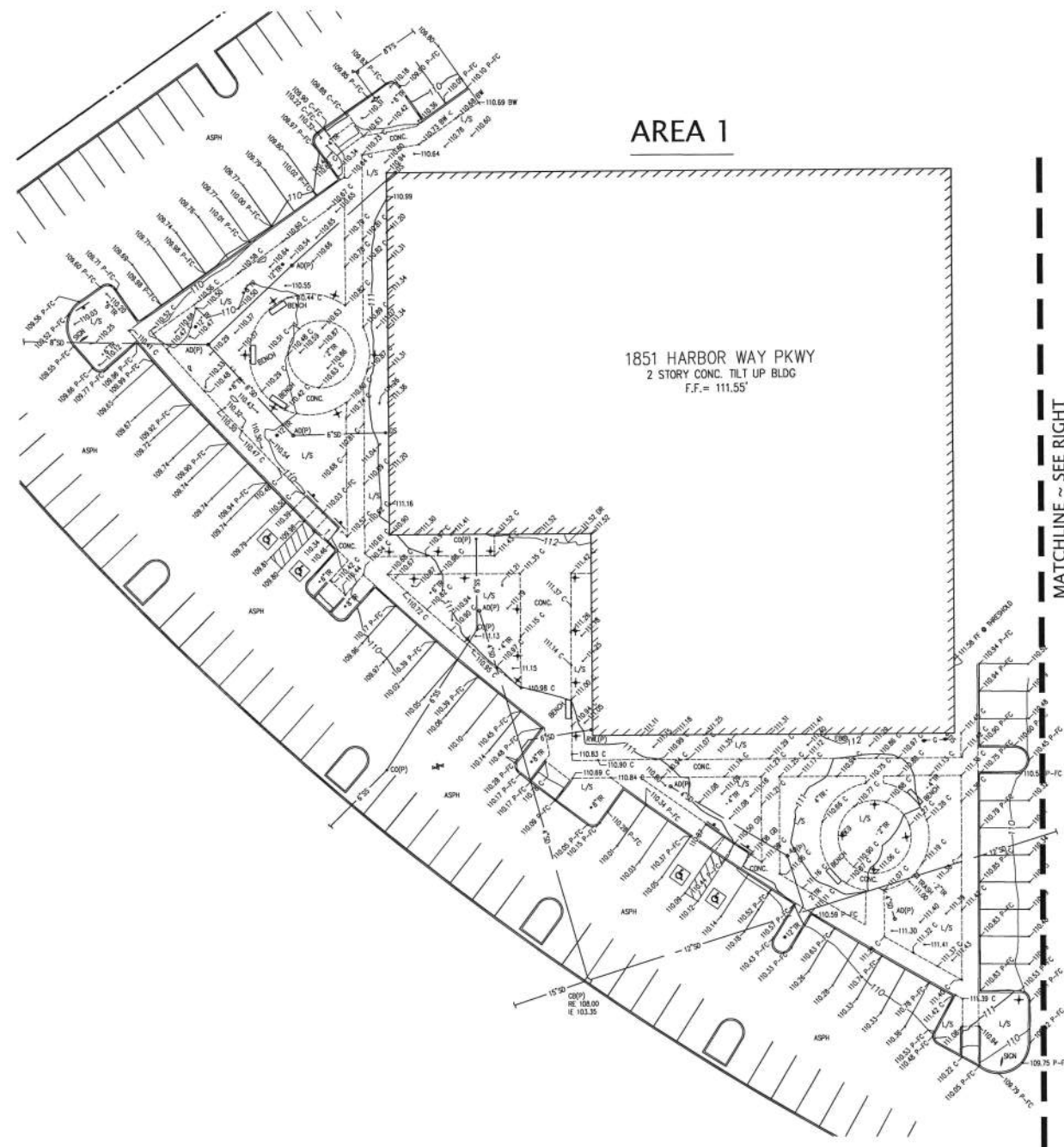
NOTES

- THIS IS NOT A BOUNDARY SURVEY. NO LIABILITY IS ASSUMED, BY KIER & WRIGHT, FOR THE EXISTENCE OF ANY EASEMENTS, ENCUMBRANCES, DISCREPANCIES IN BOUNDARY, OR TITLE DEFECTS NOT MENTIONED IN SAID DOCUMENTS AND THEREFORE NOT SHOWN ON THIS DRAWING. PROPERTY LINE PLAT ONLY (NO EASEMENTS SHOWN).
- ALL DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES). HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
- BENCHMARK: CUT SQUARE AT TOP OF THE CURB AT THE EAST RETURN AT THE NORTHEAST CORNER OF HARBOR BAY PARKWAY AND "K" ROAD. ELEVATION = 105.70 (CITY OF ALAMEDA DATUM).
TBM: FF AT THE SOUTHERLY DOOR TO 1801 HARBOR BAY PARKWAY. ELEVATION = 111.50'
- BASIS OF BEARINGS:
THE BEARING OF SOUTH 31° 11' 35" EAST TAKEN ON THE MONUMENT LINE BETWEEN U.S.C. & G.S. MONUMENTS "MATT-MEL" AND "MATT-FIT" AS SAID MONUMENTS ARE SHOWN ON THAT CERTAIN TRACT MAP NUMBER 2332 FILED FOR RECORD ON APRIL 17, 1964, IN BOOK 48 OF MAPS AT PAGE 58, OFFICIAL RECORDS OF ALAMEDA COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.

LEGEND

	BUILDING LINE
	CONCRETE CURB
	CONCRETE CURB & GUTTER
	CONTOUR LINE
	OBSOLETE CONTOUR LINE
	PROPERTY LINE
	SANITARY SEWER MANHOLE & CLEANOUT
	STORM DRAIN MANHOLE & CATCH BASIN
	SIDEWALK
	SPOT ELEVATION
	ANGLE POINT
	LANDSCAPE LIGHT
	FIRE HYDRANT
	GAS METER
	TRAFFIC SIGN
	TREE
	UTILITY BOX
	WATER VALVE
	AREA DRAIN
	BUILDING
	BACK OF WALK
	CONCRETE
	CATCH BASIN
	CLEANOUT
	DECOMPOSED GRANITE
	DOWNSPOUT
	ELECTRIC BOX
	FACE OF CURB
	FINISH FLOOR
	GRADE BREAK
	INVERT ELEVATION
	LANDSCAPE PAVEMENT
	PARKWAY
	PER PLAN
	RIM ELEVATION
	SANITARY SEWER CLEANOUT
	TEMPORARY BENCHMARK
	TREE

AREA 1





550 Ellis Street, Mountain View, CA 94043	650-943-1660
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445 West Ash Street, San Diego, CA 92101	619-685-3990
400 Capitol Mall, Suite 1540, Sacramento, CA 95814	916-441-6800

CONSULTANTS



KIER & WRIGHT
CIVIL ENGINEERS & SURVEYORS, INC.
3350 Scott Boulevard, Building 22 (408) 727 6665
Santa Clara, California 95054 fax (408) 727 5641

STAMP

KEY PLAN

RESPONSE TO COMMENTS 09.14.17

NO.	DESCRIPTION	DATE
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CLIENT **EXELIXIS**

PROJECT	TENANT IMPROVEMENTS
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ADDRESS 1801 HARBOR BAY PARKWAY
ALAMEDA, CA 94502

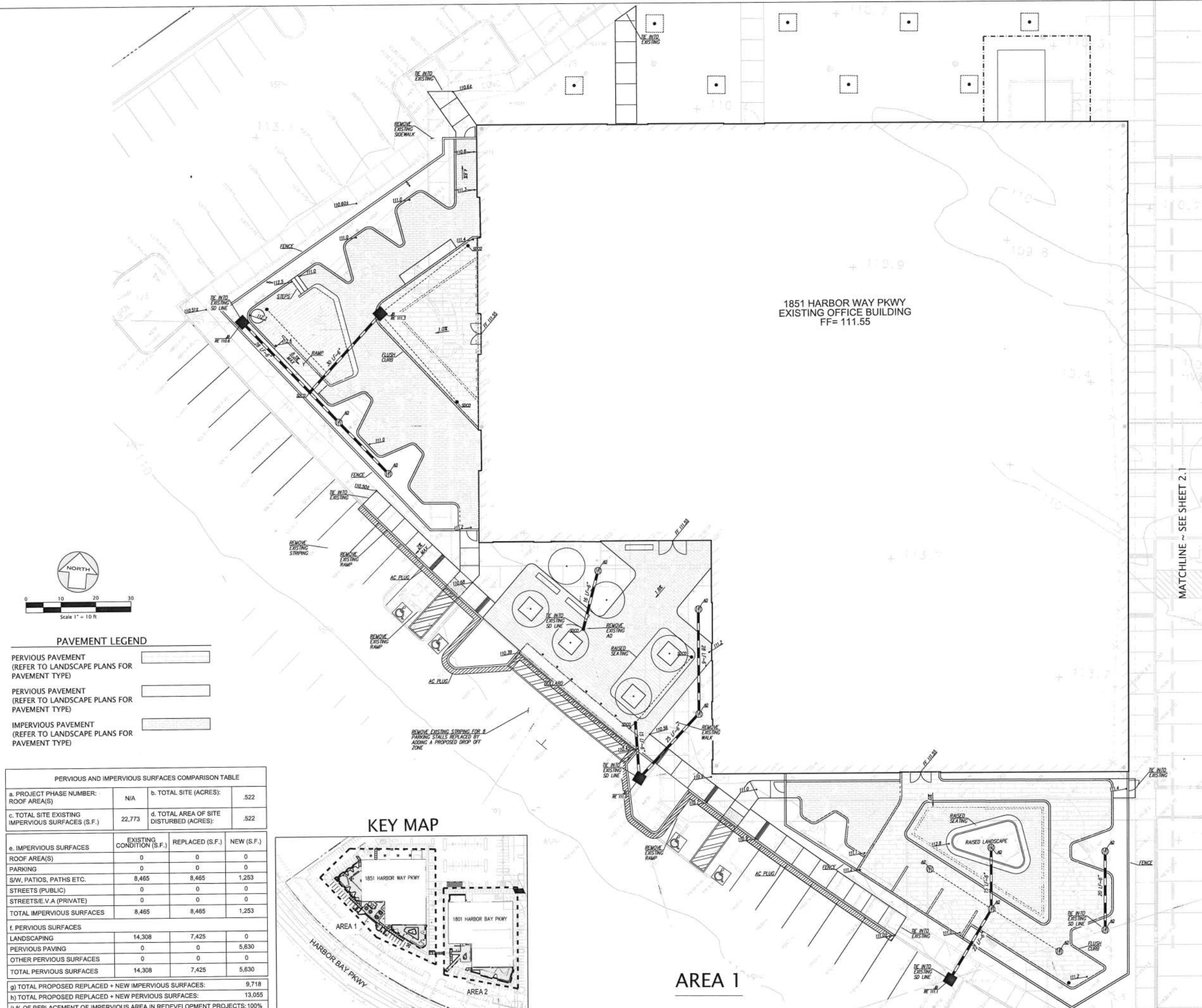
PROJECT NO. 17121

SCALE AS SHOWN

TITLE

PRELIMINARY GRADING AND DRAINAGE

C2.0



CONSULTANTS



KIER & WRIGHT
CIVIL ENGINEERS & SURVEYORS, INC.
3350 Scott Boulevard, Building 22 (408) 727 6665
Santa Clara, California 95054 fax (408) 727 5641

STAMP

KEY PLAN

RESPONSE TO COMMENTS 09/14/17

NO	DESCRIPTION	DATE
----	-------------	------



CLIENT **EXELIXIS**

PROJECT	TENANT IMPROVEMENTS
---------	---------------------

ADDRESS 1801 HARBOR BAY PARKWAY
ALAMEDA, CA 94502

PROJECT NO. 17121

SCALE AS SHOWN

TITLE

PARKING STRIPING PLAN






C3.0



CONSULTANTS

STAMP

KEY PLAN

LANDSCAPE MATERIAL LEGEND		
KEY	DESCRIPTION	DETAIL# / SHEET #
	CONCRETE PAVING: TYPE 1	N/A
	PAVER: TYPE 1	N/A
	PAVER: TYPE 2	N/A
	WOOD DECKING	N/A
	TACTILE WARNING DOMES	N/A

IRRIGATION DESIGN CRITERIA

1. IRRIGATION DESIGN TO COMPLY WITH ALL 1988 REQUIREMENTS. FOLLOW THE STATEWIDE MODEL ORDINANCE DESIGN GUIDELINES AND CITY REQUIREMENTS WITH USE OF WATER EFFICIENT LANDSCAPING AND LOW WATER-WISE PLANTS. ALL PLANTED AREAS SHOWN WILL BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM.
2. THE IRRIGATED SYSTEMS WILL BE A PERMANENT BELOW GROUND AUTOMATED SYSTEMS ADEQUATE FOR THE ESTABLISHMENT AND MAINTENANCE OF ALL PLANT MATERIAL.
3. ALL TREE, SHRUB AND GROUND COVER AREAS WILL BE IRRIGATED BY A PERMANENT, AUTOMATIC, UNDERGROUND DRIP OR LOW FLOW IRRIGATION SYSTEM. TREE, SHRUB, AND GROUND COVER AREAS SHALL BE ON SEPARATE VALVES.
4. ALL IRRIGATION SYSTEMS SHALL BE DESIGNED, MAINTAINED AND MANAGED TO MEET OR EXCEED MINIMUM EFFICIENCY.
5. ALL IRRIGATION EQUIPMENT SHALL BE SCREENED APPROPRIATELY FROM VIEW IN PUBLIC AREAS.
6. THE FINAL IRRIGATION PLAN SHALL ACCURATELY AND CLEARLY IDENTIFY:
 - A) LOCATION AND SIZE OF WATER METERS FOR THE LANDSCAPE.
 - B) LOCATION, TYPE AND SIZE OF ALL COMPONENTS OF THE IRRIGATION SYSTEM, INCLUDING AUTOMATIC CONTROLLERS, MAIN AND LATERAL LINES, VALVES, SPRINKLER HEADS, RAIN SWITCHES, QUICK COUPLERS, AND BACKFLOW PREVENTION DEVICES.
 - C) STATIC WATER PRESSURE AT THE POINT OF CONNECTION TO THE PUBLIC WATER SUPPLY.
 - D) FLOW RATE (GPM) OF EACH MAIN, LATERAL, AND REMOTE CONTROL VALVE SIZE.
 - E) QUICK COUPLERS WILL BE LOCATED AT EVERY 80 TO 100 FEET ALONG THE IRRIGATION MAIN LINE.
7. IRRIGATION SYSTEM AND FINAL DESIGN SHALL BE PROVIDED AT A LATER DATE.
9. IRRIGATION SYSTEM FEATURES EMPLOYED TO ACHIEVE WATER CONSERVATION GOALS INCLUDE:
 - A) SMART IRRIGATION CONTROLLERS CAPABLE OF RESPONDING TO ON-SITE WEATHER CONDITIONS.
 - B) CONTROLLERS WITH MULTIPLE PROGRAMS.
 - C) WATERING SCHEDULES EMPLOYING SHORT CYCLES.
 - D) RAIN SHUT-OFF DEVICES TO PREVENT OVER IRRIGATION AFTER SIGNIFICANT PRECIPITATION.
 - E) DUMP AND OVERFLOW DEVICES FOR SHRUBS AND TREES IN PLANTER AREAS WHICH HAVE A SHRUB DENSITY THAT WILL CAUSE EXCESSIVE SPRAY INTERFERENCE OF AN OVER-HEAD SYSTEM.
 - F) USE OF FLOW REDUCERS TO MITIGATE SPRAY OF BROKEN HEADS NEXT TO SIDEWALK, STREETS, AND DRIVEWAYS.

SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER USE
SEE PLAN	LAG SPP	<i>Lagerstromia</i> spp.	GRAPE MYRTLE	24" BOX	SEE PLAN	L
SEE PLAN	PLA COL	<i>Platanus Occidentalis</i> 'Columbia'	COLUMBIA SYCAMORE	24" BOX	SEE PLAN	M
POTENTIAL SHRUB, GRASSES, PERENNIALS + GROUNDCOVER PLANTING SCHEDULE						
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WATER USE
Y Y Y Y Y	ACH MOO	<i>Achillea 'moonshine'</i>	YARROW	1 GAL	2'-3'	L
Y Y Y Y Y	ARC SUN	<i>Arctostaphylos 'sunset'</i>	MANZANITA	5 GAL	4'	L/V/L
Y Y Y Y Y	AGA ATT	<i>Agave attenuata</i>	FOX TAIL AGAVE	5 GAL	5'	L/V/L
Y Y Y Y Y	AGA BLU	<i>Agave 'blue glow'</i>	BLUE GLOW AGAVE	5 GAL	2'	L/V/L
Y Y Y Y Y	ALO SPP	<i>Aloe</i> spp	ALOE	1 GAL	4'	L
Y Y Y Y Y	ANI SPP	<i>Anigozanthos</i> spp	KANGAROO PAW	5 GAL	3'	L
Y Y Y Y Y	ART MON	<i>Artemisia californica 'montana'</i>	CALIFORNIA SAGEBRUSH	1 GAL	3'	L/V/L
Y Y Y Y Y	BOU BLO	<i>Bouteloua gracilis 'blond ambition'</i>	BLUE GRAMA GRASS	1 GAL	2.5'	L/V/L
Y Y Y Y Y	BUL FUR	<i>Bulbine frutescens</i>	ORANGE STALKED BULBINE	1 GAL	2'	L/V/L
Y Y Y Y Y	CHA NOB	<i>Chamaemelum nobile</i>	CHAMOMILE	1 GAL	1'	L/V/L
Y Y Y Y Y	COT SIL	<i>Cotula 'silver mound'</i>	COTULA	1 GAL	2'	L/V/L
Y Y Y Y Y	ECH SPP	<i>Echeveria</i> spp	HENS & CHICKS	1 GAL	1'	L/V/L
Y Y Y Y Y	ERI KAR	<i>Erigeron karwinskianus</i>	FLEABANE	1 GAL	2'	L/V/L
Y Y Y Y Y	FES SIS	<i>Festuca 'siskiyou blue'</i>	BLUE FESCUE	1 GAL	18"	L
Y Y Y Y Y	HEL SEM	<i>Helictotrichon sempervirens</i>	BLUE OAT GRASS	1 GAL	18"	L
Y Y Y Y Y	LAV PRO	<i>Lavandula x intermedia 'provence'</i>	LAVENDAR	1 GAL	18"	L/V/L
Y Y Y Y Y	LEY CON	<i>Leymus condensatus 'canyon prince'</i>	CANYON PRINCE WILD RYE	1 GAL	2'-6"	L/V/L
Y Y Y Y Y	NAS TEN	<i>Nassella tenuissima</i>	MEXICAN FEATHER GRASS	1 GAL	18"	L
Y Y Y Y Y	RHA EVE	<i>Rhamnus californica 'eve case'</i>	COFFEEBERRY	5 GAL	6'	L/V/L
Y Y Y Y Y	RHU ADI	<i>Rhumorpha adiantiformis</i>	LEATHERLEAF FERN	5 GAL	3'-0"	M/L
Y Y Y Y Y	SAN ROS	<i>Santolina rosmarinifolia</i>	GREEN SANTOLIA	5 GAL	2'	L
Y Y Y Y Y	SED ANG	<i>Sedum angelinia</i>	ANGELIA STONECROP	1 GAL	12"	L/V/L
Y Y Y Y Y	WES MOR	<i>Westringia fruticosa 'morning light'</i>	COAST ROSEMARY	5 GAL	3'	L/V/L
Y Y Y Y Y	RHA ALT	<i>Rhamnus Alternus</i>	ITALIAN BUCKTHORN-HEDGE	15 GAL	3'-0"	L/V/L

- THIS PROJECT SHALL COMPLY WITH THE CITY OF ALAMEDA LANDSCAPE DOCUMENT PACKAGE REQUIREMENTS FOR PROJECTS 2,500 SF OR GREATER
 - a. LANDSCAPE DOCUMENT CHECKLIST COMPLIANCE
 - b. WATER EFFICIENT LANDSCAPE ORDINANCE COMPLIANCE
 - c. SOIL MANAGEMENT REPORT COMPLIANCE
 - d. LANDSCAPE DESIGN PLAN COMPLIANCE
 - e. IRRIGATION DESIGN PLAN COMPLIANCE

EXISTING LANDSCAPE SQUARE FOOTAGE AREAS	7,622 SF
PROPOSED LANDSCAPE SQUARE FOOTAGE AREAS	4,821 SF
NET PLANTING AREA	-2,801 SF

CLIENT **EXELIXIS**

PROJECT TENANT IMPROVEMENTS

ADDRESS 1801 HARBOR BAY PARKWAY
ALAMEDA, CA 94502

PROJECT NO. 17019

SCALE	N/A
-------	-----

TITLE

**BUILDING 1801 - NOTES
AND LEGENDS**

LI.00

CONSULTANTS

Creo
landscape architecture

STAMP

KEY PLAN

[illegible]

CLIENT: **EXELIXIS**

PROJECT	TENANT IMPROVEMENTS
---------	---------------------

ADDRESS 1801 HARBOR BAY PARKWAY
ALAMEDA, CA 94502

PROJECT NO. 17019

SCALE 1"=20'-0"

TITLE _____

**BUILDING 1801 - OVERALL
SITE PLAN**

L2.00



CONSULTANTS

Creo :: 409 Geary Street, Suite 300
San Francisco, CA 94102
L415.885.2506
landscape architecture :: www.creolandscape.com

STAMP

KEY PLAN

[illegible]

CLIENT	EXELIXIS
PROJECT	TENANT IMPROVEMENTS
ADDRESS	1801 HARBOR BAY PARKWAY ALAMEDA, CA 94502
PROJECT NO.	17019
SCALE	1"=10'-0"
TITLE	

BUILDING 1801
LANDSCAPE DETAIL PLAN

L3.00



CONSULTANTS

Creo : 466 Geary Street, Suite 300
: San Francisco, CA 94102
: 415.861.2656
landscape architecture : www.creolandscape.com

STAMP

KEY PLAN

RESPONSE TO COMMENTS	09/14/17
PLANNING APPLICATION	03/25/17

NO.	DESCRIPTION	DATE
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CLIENT **EXELIXIS**

PROJECT	TENANT IMPROVEMENTS
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ADDRESS 1801 HARBOR BAY PARKWAY
ALAMEDA, CA 94502

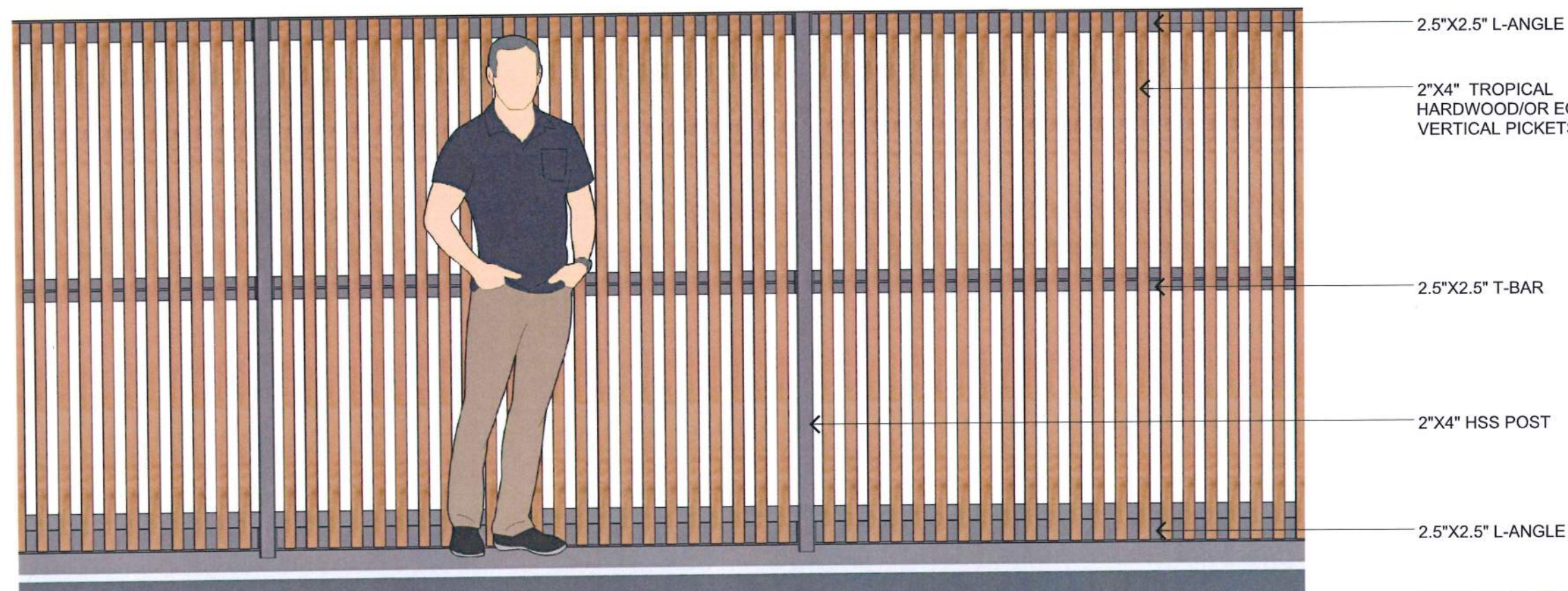
PROJECT NO. 17019

SCALE	N/A
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	TITLE
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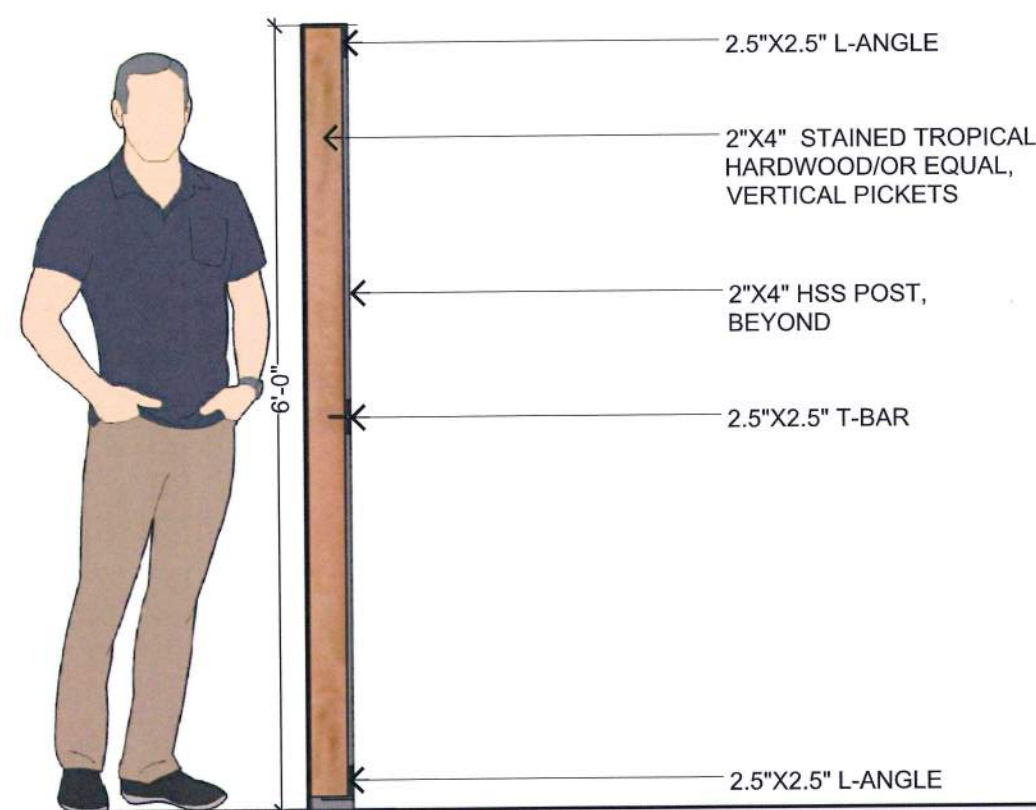
**BUILDING 1801 - FENCE
SECTION AND ELEVATION**

L4.00

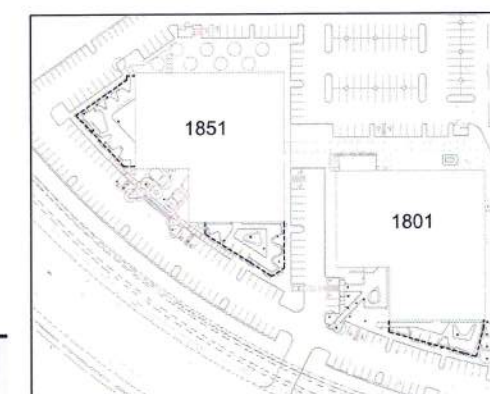


① TYPICAL FENCE ELEVATION - (HEDGE PLANTING NOT SHOWN FOR CLARITY)

NOTE: STEEL HSS POSTS,
ANGLES, BARS & ALL GATE
HARDWARE SHALL BE HOT
DIPPED GALVANIZED &
FIELD PAINTED W/ DARK
GREY TNEMIC PAINT.



(2) TYPICAL FENCE SECTION (6' TALL AT COURTYARDS, 10' TALL AT CHEMICAL STORAGE SHED)



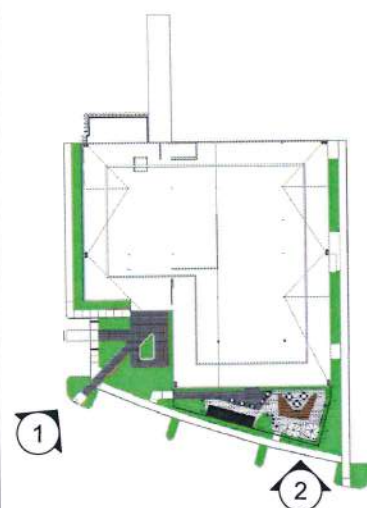
KEYPLAN

CONSULTANTS

Creo : 455 Geary Street, Suite 300
: San Francisco, CA 94102
: 415.888.2505
landscape architecture : www.creoarchitecture.com

STAMP

KEY PLAN



CLIENT
EXELIXIS

PROJECT	TENANT IMPROVEMENTS
---------	---------------------

ADDRESS 1801 HARBOR BAY PARKWAY
ALAMEDA, CA 94502

PROJECT NO. 17019

SCALE	N/A
-------	-----

TITLE

**BUILDING 1801 - BUILDING
VIEWS**

L5.00

DGA planning | architecture | interiors

550 Ellis Street, Mountain View, CA 94043	650-943-1660
201 Filbert Street, 3rd Floor, San Francisco, CA 94133	415-477-2700
445 West Ash Street, San Diego, CA 92101	619-685-3990
400 Capitol Mall, Suite 1540, Sacramento, CA 95814	916-441-6800

CONSULTANTS

Creo : 406 Geary Street, Suite 300
: San Francisco, CA 94102
landscape architecture : t.415.868.2905
: www.creolandscape.com



SUN UMBRELLA



CAFE SEATING



TRASH RECEPTACLES



BENCH SEATING



TYPE 1: PERMEABLE MODULAR RECTANGULAR PAVERS AND PERMEABLE MODULAR SQUARE PAVERS



TYPE 2: CONCRETE UNIT PAVERS



EXPOSED AGGREGATE PAVING TO MATCH EXISTING



LIGHTS: BEGA 77 175



WOOD AND STEEL TRELLIS



6' TALL PRIVACY FENCE



EXELIXIS®

CLIENT **EXELIXIS**

PROJECT	TENANT IMPROVEMENTS
---------	---------------------

ADDRESS 1851 HARBOR BAY PARKWAY
ALAMEDA, CA 94502

PROJECT NO. 17019

SCALE	N/A
-------	-----

TITLE	
-------	--

**BUILDING 1801 -
PRECEDENT IMAGERY**

L6.00



DGA planning | architecture | interiors

550 Ellis Street, Mountain View, CA 94043 650 943-1660
201 Filbert Street, 3rd Floor, San Francisco, CA 94133 415-477-2700
445 West Ash Street, San Diego, CA 92101 619-685-1990
400 Capitol Mall, Suite 1540, Sacramento, CA 95814 916-441-6800

CONSULTANTS
Landscape Architect
Crew Landscape Architecture
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Civil Engineer
Kier & Wright Civil Engineers & Surveyors, Inc.
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Santa Clara, CA 95054
408.727.6665

(E) CONDITIONS AND DEMO GENERAL NOTES:

1. CONTRACTOR IS TO REVIEW WITH THE OWNER THE STATUS OF ANY EXISTING MATERIALS TO BE DEMOLISHED AND REMOVED OR MODIFIED TO CONFIRM THAT ALL HAVE BEEN TESTED OR CONFIRMED THAT THEY DO NOT CONTAIN ANY HAZARDOUS MATERIALS. DISCOVERY OF ANY EXISTING HAZARDOUS MATERIALS WITHIN ITEMS DESIGNATED TO BE REMOVED OR DISTURBED BY THE PROPOSED CONSTRUCTION SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S PROJECT REPRESENTATIVE.
2. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. DRAWINGS ARE NOT TO BE SCALED. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE SHOWN ON THE DRAWINGS. "AS-BUILT" OR "RECORD" DRAWING DATA ON THESE DRAWINGS ARE AS PRECISE AS COULD BE OBTAINED DURING ROUTINE FIELD VERIFICATIONS, BUT THEIR ACCURACY CANNOT BE GUARANTEED. EXACT LOCATIONS, DISTANCES, ELEVATIONS AND SIMILAR DATA SHALL BE GOVERNED BY ACTUAL FIELD CONDITIONS AND BY THE OWNER'S INSTRUCTIONS.
3. CONTRACTOR TO VERIFY THAT ALL EXISTING RATED WALLS, INCLUDING ALL PENETRATIONS, WERE CONSTRUCTED TO MEET CURRENT REQUIREMENTS FOR A RATED WALL ASSEMBLY. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES AND UPGRADE ANY WALLS AND PENETRATIONS THAT DO NOT COMPLY. REFER TO DRAWINGS TO IDENTIFY ACTUAL REQUIRED RATING OF WALLS. DO NOT REMOVE ANY MECHANICAL, PLUMBING, ELECTRICAL, FIRE SUPPRESSION, PHONE, DATA, COMMUNICATIONS, INTERCOM, SECURITY COMPONENTS, OR OTHER SYSTEMS WITHOUT THE WRITTEN AUTHORIZATION OF THE OWNER, CLIENT, ARCHITECT OR ENGINEER AS REQUIRED FOR PROPER DOCUMENTATION.
5. MINIMIZE INTERFERENCE WITH ADJACENT ROOMS, FURNISHINGS AND STRUCTURE. MAINTAIN EGRESS AND ACCESS TO BUILDING.
6. ALL EXISTING FLOORING AND BASE TO BE REMOVED, U.O.N.
7. CLEAN AND PREPARE SUBFLOORS FOR INSTALLATION OF NEW FLOORING AND BASE.
8. STUB DEMOLISHED UTILITIES AS REQUIRED.

DEMOLITION PLAN LEGEND

- 2 AREA NOT IN SCOPE OF WORK (BY OTHERS)
- EXISTING DOOR TO BE DEMOLISHED
- EXISTING DOOR TO REMAIN
- EXISTING WALL, NON-RATED
- EXISTING WALL TO BE DEMOLISHED

DEMOLITION PLAN KEY NOTES:

- 1 DEMOLISH PLUMBING FIXTURES, STALL PARTITIONS, COUNTERTOP, AND ACCESSORIES
- 2 DEMOLISH FLOOR FINISH AND BASE. PREPARE EXPOSED SLAB TO RECEIVE NEW FINISH.
- 5 DEMOLISH PLUMBING FIXTURES, CASEWORK, AND ACCESSORIES.
- 6 DEMOLISH (E) PANEL AND ASSOCIATED CONDUIT.
- 7 DEMOLISH RAISED FLOOR SYSTEM.
- 8 DEMOLISH STAIR FINISH, BASE, AND HANDRAILS.
- 9 DEMOLISH (E) RT
- 10 DEMOLISH (E) DISCONNECT

STAMP

KEY PLAN

RESPONSE TO COMMENTS 09.14.17
PLANNING DEPT. SUBMITTAL 08.28.17

NO. DESCRIPTION DATE

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PROJECT TENANT IMPROVEMENTS

ADDRESS 1801 HARBOR BAY PARKWAY
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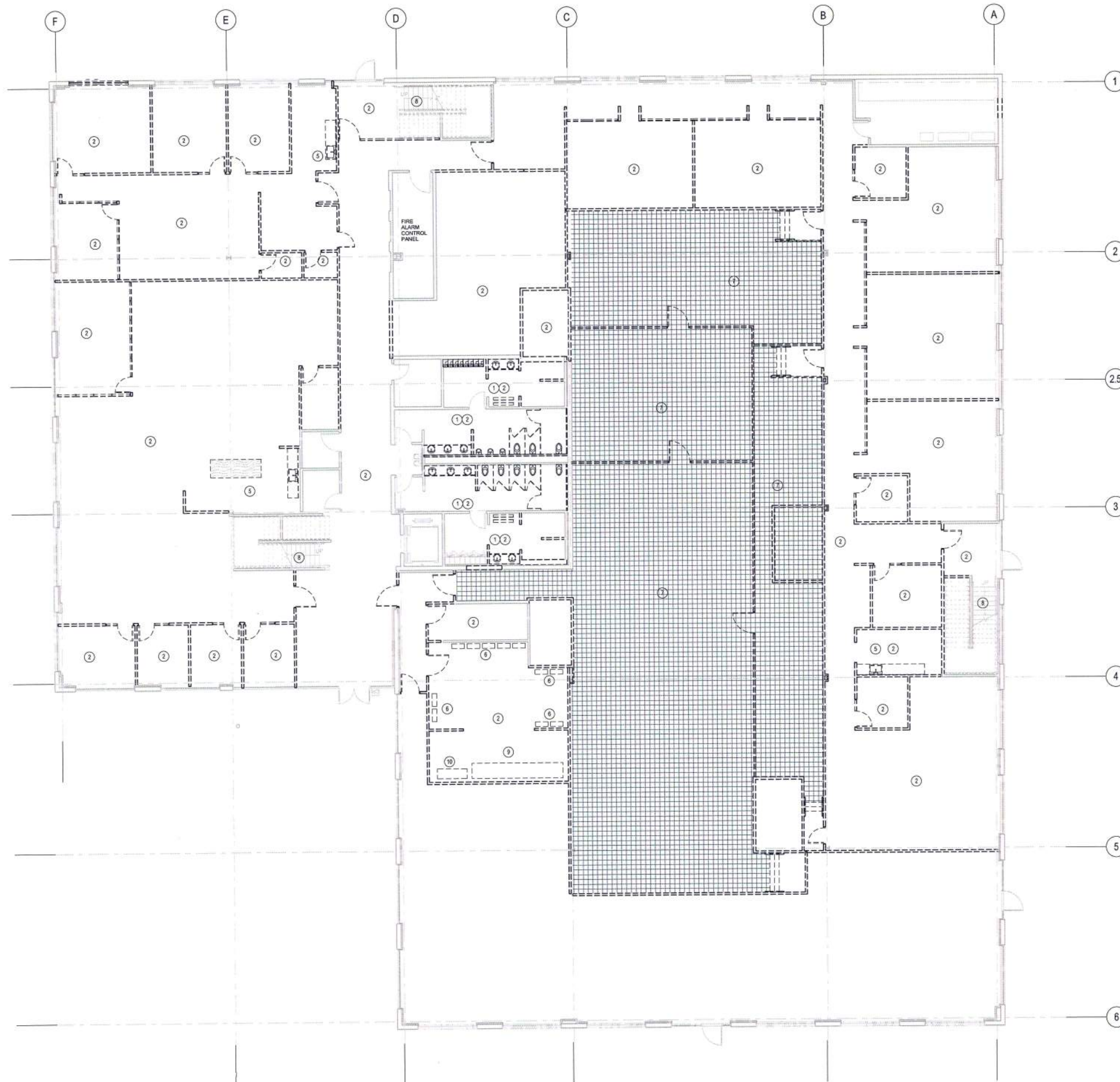
PROJECT NO. 17019

SCALE 1/8" = 1'-0"

TITLE

DEMOLITION PLAN -
LEVEL 1, OVERALL

AD101B



1 DEMOLITION PLAN - LEVEL 1
SCALE: 1/8" = 1'-0"



550 Ellis Street, Mountain View, CA 94043	650-943-1660
201 Filbert Street, 3rd Floor, San Francisco, CA 94133	415-477-2700
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KEY PLAN

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RESPONSE TO COMMENTS	09.14.17
PLANNING DEPT. SUBMITTAL	08.28.17

NO.	DESCRIPTION	DATE
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ALAMEDA, CA 94502

PROJECT NO. 17019

SCALE $1/8" = 1'-0"$

TITLE _____

DEMOLITION PLAN -
LEVEL 2, OVERALL

ADI02B

(F) CONDITIONS AND DEMO GENERAL NOTES:

1. REFER TO DRAWING NO. AD101 FOR EXISTING CONDITIONS AND DEMO GENERAL NOTES

DEMOLITION PLAN LEGEND

AREA NOT IN SCOPE OF WORK
(BY OTHERS)

- 7 EXISTING DOOR TO BE DEMOLISHED

EXISTING DOOR TO REMAIN

EXISTING WALL
NON-RATED

EXISTING WALL TO BE DEMOLISHED

DEMOLITION PLAN KEY NOTES:

- 1 DEMOLISH FOLDING PARTITION SYSTEM
- 2 DEMOLISH FLOOR FINISH AND BASE. PREPARE EXPOSED SLAB TO RECEIVE NEW FINISH.
- 3 DEMOLISH PLUMBING FIXTURES, STALL PARTITIONS, COUNTERTOP, AND ACCESSORIES
- 4 DEMOLISH STAIR FINISH, BASE, AND HANDRAILS.
- 5 DEMOLISH (E) PANEL AND ASSOCIATED CONDUIT.
- 6 DEMOLISH (E) CONDUIT.



Graphic Scale: 1 inch = 8 feet

FLOOR PLAN GENERAL NOTES:

1. REFER TO GENERAL REQUIREMENT NOTES, CODE COMPLIANCE GENERAL NOTES, AND NEW CONSTRUCTION GENERAL NOTES ON DRAWING NO. A401.
2. FOR TYPE INTERIOR FRAMING DETAILS REFER TO DRAWING NO. A4511.
3. REFER TO DRAWING NO. A401 FOR THE WALL TYPE SCHEDULE AND TYPE DETAILS.
4. PROVIDE CABINETRY IN WALLS AT, BUT NOT LIMITED TO, ALL LAB CASEWORK (BASE CABINETS, UPPERS, TALL CABINETS), FUME HOODS, BSCS, FREE STANDING VESSES, METRO RACKS, PALLET RACKS, STORAGE EQUIPMENT (E.G., AID KITS, FIRST AID KITS, ETC.), FREE STANDING FLAMMABLE STORAGE CABINETS, CYLINDER RACKS, WALL MOUNTED EQUIPMENT, EQUIPMENT REQUIRING SECURING (RESTROOM, RESTROOM ACCESSORIES, CRASH RALLS, WHITE BOARDS, AND GUARDRAILS). REFER TO DETAIL 22A0511 FOR TYPICAL BACKING DETAILS FOR ITEMS THAT WEIGH AND SUPPORT LESS THAN A TOTAL OF 100 LBS. ITEMS THAT WEIGH AND SUPPORT MORE THAN 100 LBS. WILL REQUIRE STRUCTURALLY ENGINEERED DETAILS AND CALCULATIONS.
5. PURL ROUND ALL EXPOSED STRUCTURAL COLUMNS AND BEAMS, U.O.N.
6. HOT WATER AND DRAIN PIPES ACCESSIBLE UNDER LABORATORIES SHALL BE INSULATED OR OTHERWISE COVERED.
7. WHEN MORE THAN ONE SWITCH IS REQUIRED, GANG SWITCHES WITH ONE COVER PLATE.
8. ELECTRICAL PANEL LOCATIONS THAT ARE OUTSIDE OF THE ELECTRICAL ROOMS/ CLOSETS SHOULD BE LOCATED PER ARCHITECTURAL DRAWINGS. WHERE DISCREPANCIES OCCUR BETWEEN ARCHITECTURAL AND ELECTRICAL CONTACT THE ARCHITECT FOR THEIR DIRECTION.
9. EXAMINE AND VERIFY THAT ALL CABINETS AND PANELS TO BE PROVIDED HAVE ADEQUATE DEPTH ACCOMMODATE THE CABINET/PANEL.
10. A. AT NON RATED WALLS INSTALL PER DETAIL A3E14.
B. AT FIRE RATED WALLS PER DETAIL A3E14. WALLS MUST EITHER BE AN APPROVED FIRE TESTED, LISTED AND LABELED ASSEMBLY AS INSTALLED PER DETAIL A3E14, OR AT FIRE RATED OF THE WALL MUST CONTINUE BEHIND THE ACCESSORY PER DETAIL A4E151 AT 1-HOUR RATED WALLS, OR DETAIL A3E14 AT 2-HOUR FIRE RATED WALLS.
11. RECESSED PANELS AT FIXTURES IN SOUND-RATED WALLS SHALL BE CONSTRUCTED PER DETAIL A3E14.
12. PROVIDE CONTROL JOINTS AT GYP/SOUND BOARD WALLS PER SPECIFICATION SECTION 0921 AND PER DETAIL 11E14.
13. OUTLET BOXES ON OPPOSITE SIDES OF A WALL SHALL BE SEPARATED BY 24" MINIMUM OR PER DETAIL A3E14.
14. PROVIDE IDENTIFICATION OF FIRE RESISTIVE RATINGS ON EXISTING AND NEW FIRE RATED WALLS PER DETAIL 11E14.
15. ALL OFFICE WALLS SHALL BE TYPE FAS, UNLESS NOTED OTHERWISE.
16. ALL LABORATORY WALLS SHALL BE TYPE FAS, UNLESS NOTED OTHERWISE.

FLOOR PLAN LEGEND

-
- | | | | |
|------------------|---|-------|---|
| BBA → | DOOR NUMBER
(SEE SCHEDULE ON DWG. NO. AE602 AND AE603) | → | CHAIN LINK FENCE |
| A → | WINDOW TYPE
(SEE SCHEDULE ON DWG. NO. AE605) | ===== | EXISTING WALL
NON-RATED |
| F A 3 B → | WALL TYPE DESIGNATION
(SEE SCHEDULE ON DWG. NO. AE601) | ----- | EXISTING WALL
1-HR FIRE RATED |
| AED → | AUTOMATED EXTERNAL DEFIBRILLATOR IN FULLY RECESSED CABINET (SEE DETAILS 2, 3, 4 AND 5 ON DWG. NO. AE513) | ===== | EXISTING WALL
2-HR FIRE RATED |
| FAK → | FIRST AID KIT IN FULLY RECESSED CABINET (SEE DETAILS 2, 3, 4 AND 5 ON DWG. NO. AE513) | ===== | NEW WALL
NON-RATED - REFER WALL TYPES ON DRAWING NO. AE601 |
| FEC → | FIRE EXTINGUISHER CABINET FULLY RECESSED (SEE DETAILS 2, 3, 4 AND 5 ON DWG. NO. AE513) | ===== | NEW WALL
1-HR FIRE RATED, F. HEIGHT - REFER TO TYPES ON DRAWING AE601 |
| SKC → | SPLIT CONTROL KIT IN FULLY RECESSED CABINET (SEE DETAILS 2, 3, 4 AND 5 ON DWG. NO. AE513) | ===== | NEW WALL
2-HR FIRE RATED, F. HEIGHT - REFER TO TYPES ON DRAWING AE601 |
| FE → | FIRE EXTINGUISHER WALL MOUNTED ON BRACKET | | |
| CR → | CARD READER | | |
| PO → | POWER OPERATOR | | |
| CRPO → | CARD READER ACTIVATED POWER OPERATOR | | |
| SI → | SOFT INTERLOCK | | |
| IC → | INTERCOM (TWO-WAY COMMUNICATION SYSTEM) | | |
| AX → | CODE SIGNAGE
(REFER TO DWG. NO. AE612) | | |
| | ALIGN (FACE OF FINISH TO FACE OF FINISH) | | |

FLOOR PLAN KEY NOTES

- 1 (N) FIXTURES, FINISHES, AND TOILET PARTITIONS, TYP.
2 (N) ELEVATOR
3 (N) HIGH DENSITY FILE STORAGE SHELVING SYSTEM
4 (N) EXTERIOR DOUBLE DOORS/STOREFRONT SYSTEM
5 NEW GYP BD FURRING AT EXTERIOR WALLS TO UNDERSIDE OF CEILINGS - TYP
THROUGHOUT

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KEY PLAN

RESPONSE TO COMMENTS
09.14.1

PLANNING DEPT. SUBMITTAL	08.28.1
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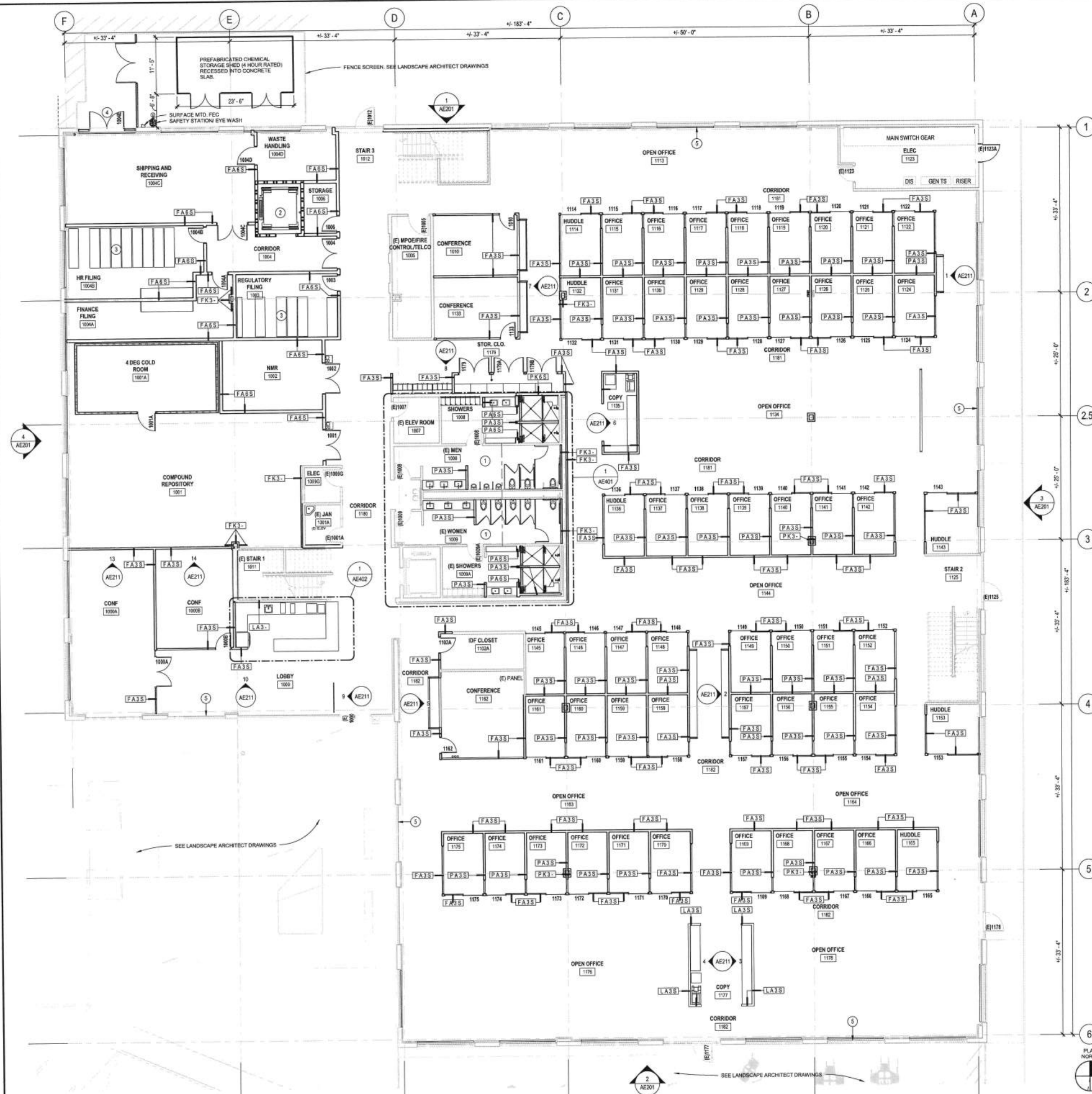
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PROJECT NO. 17019

SCALE $1/8" = 1'-0"$

TITLE _____

FLOOR PLAN - LEVEL I,
OVERALL

AEI01B

4 FLOOR PLAN - LEVEL 1, OVERALL



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SCALE 1/8" = 1'-0"

TITLE

FLOOR PLAN - LEVEL 2,
OVERALL

AE102B

FLOOR PLAN GENERAL NOTES:

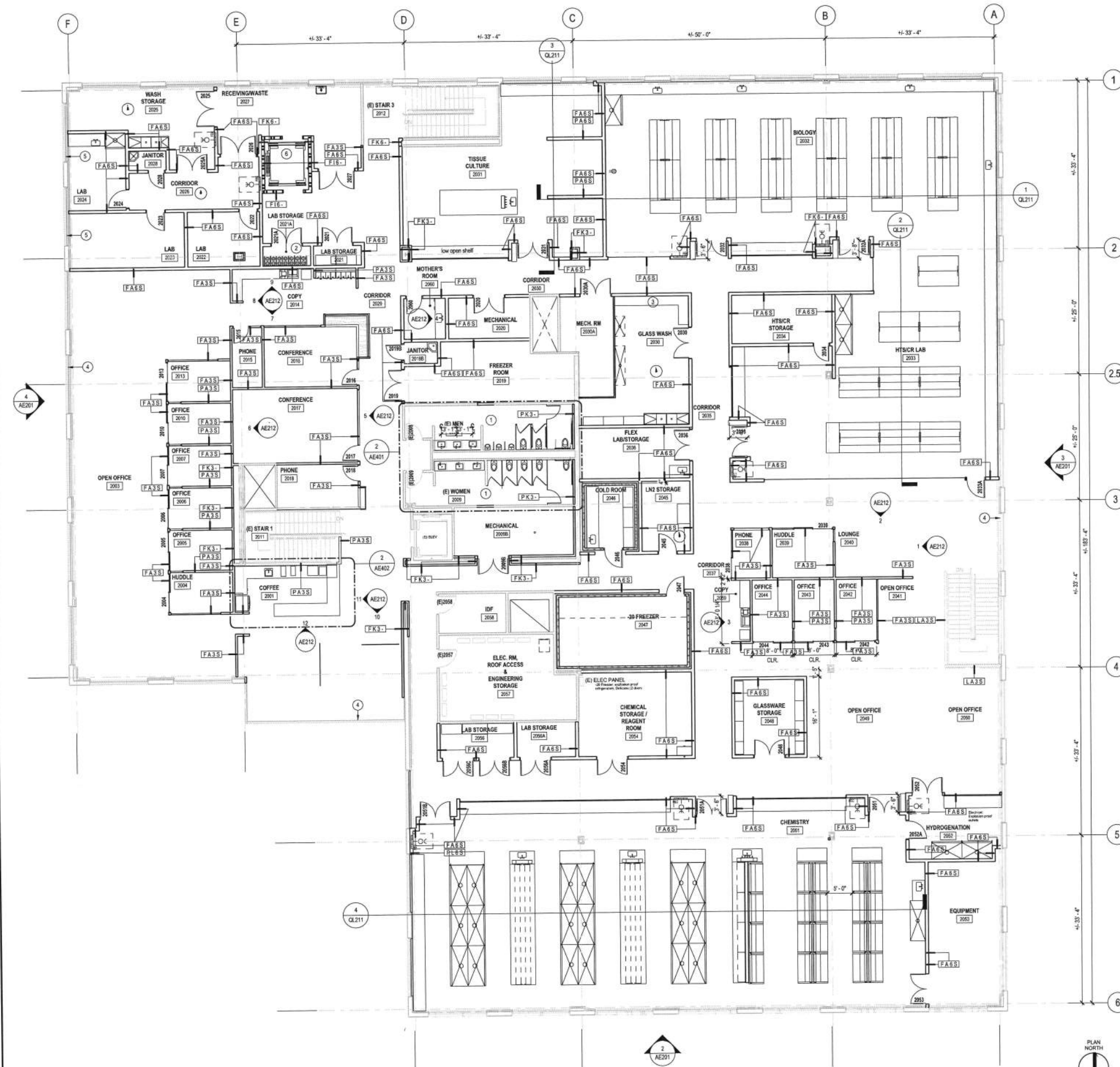
1. REFER TO DRAWING NO. AE101B FOR GENERAL FLOOR PLAN NOTES.

FLOOR PLAN LEGEND:

- 88A DOOR NUMBER (SEE SCHEDULE ON DWG. NO. AE802 AND AE803)
 - WINDOW TYPE (SEE SCHEDULE ON DWG. NO. AE805)
 - FA3S WALL TYPE DESIGNATION (SEE SCHEDULE ON DWG. NO. AE901)
 - AED AUTOMATED EXTERNAL DEFIBRILLATOR IN FULLY RECESSED CABINET (SEE DETAILS 2, 3, 4 AND 5 ON DWG. NO. AE513)
 - FAK FIRST AID KIT IN FULLY RECESSED CABINET (SEE DETAILS 2, 3, 4 AND 5 ON DWG. NO. AE513)
 - FEC FIRE EXTINGUISHER CABINET FULLY RECESSED (SEE DETAILS 2, 3, 4 AND 5 ON DWG. NO. AE513)
 - SCK SPILL CONTROL KIT IN FULLY RECESSED CABINET (SEE DETAILS 2, 3, 4 AND 5 ON DWG. NO. AE513)
 - FE FIRE EXTINGUISHER WALL MOUNTED ON BRACKET
 - CR CARD READER
 - PO POWER OPERATOR
 - CRPO CARD READER ACTIVATED POWER OPERATOR
 - SI SOFT INTERLOCK
 - IC INTERCOM (TWO-WAY COMMUNICATION SYSTEM)
 - CS CODE STORAGE (REFER TO DWG. NO. AE612)
 - ALIGN FACE OF FINISH TO FACE OF FINISH
- CHAIN LINK FENCE
EXISTING WALL NON-RATED
EXISTING WALL 1HR FIRE RATED
EXISTING WALL 2HR FIRE RATED
NEW WALL NON-RATED - REFER TO WALL TYPES ON DRAWING NO. AE901
NEW WALL 1HR FIRE RATED, FULL-HEIGHT - REFER TO WALL TYPES ON DRAWING NO. AE901
NEW WALL 2HR FIRE RATED, FULL-HEIGHT - REFER TO WALL TYPES ON DRAWING NO. AE901

FLOOR PLAN KEY NOTES:

- (N) FIXTURES, FINISHES, AND TOILET PARTITIONS, TYP.
- CO2 CYLINDER CLOSET
- S.S. COUNTERTOP
- NEW GYP BD. FURRING AT EXTERIOR WALLS TO UNDERSIDE OF CEILINGS - TYP THROUGHOUT
- (N) GYP BD. FURRING
- (N) ELEVATOR



1 FLOOR PLAN - LEVEL 2, OVERALL
SCALE: 1/8" = 1'-0"

Graphic Scale: 1 inch = 8 feet
0 8' 16' 24' 32'

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KEY PLAN

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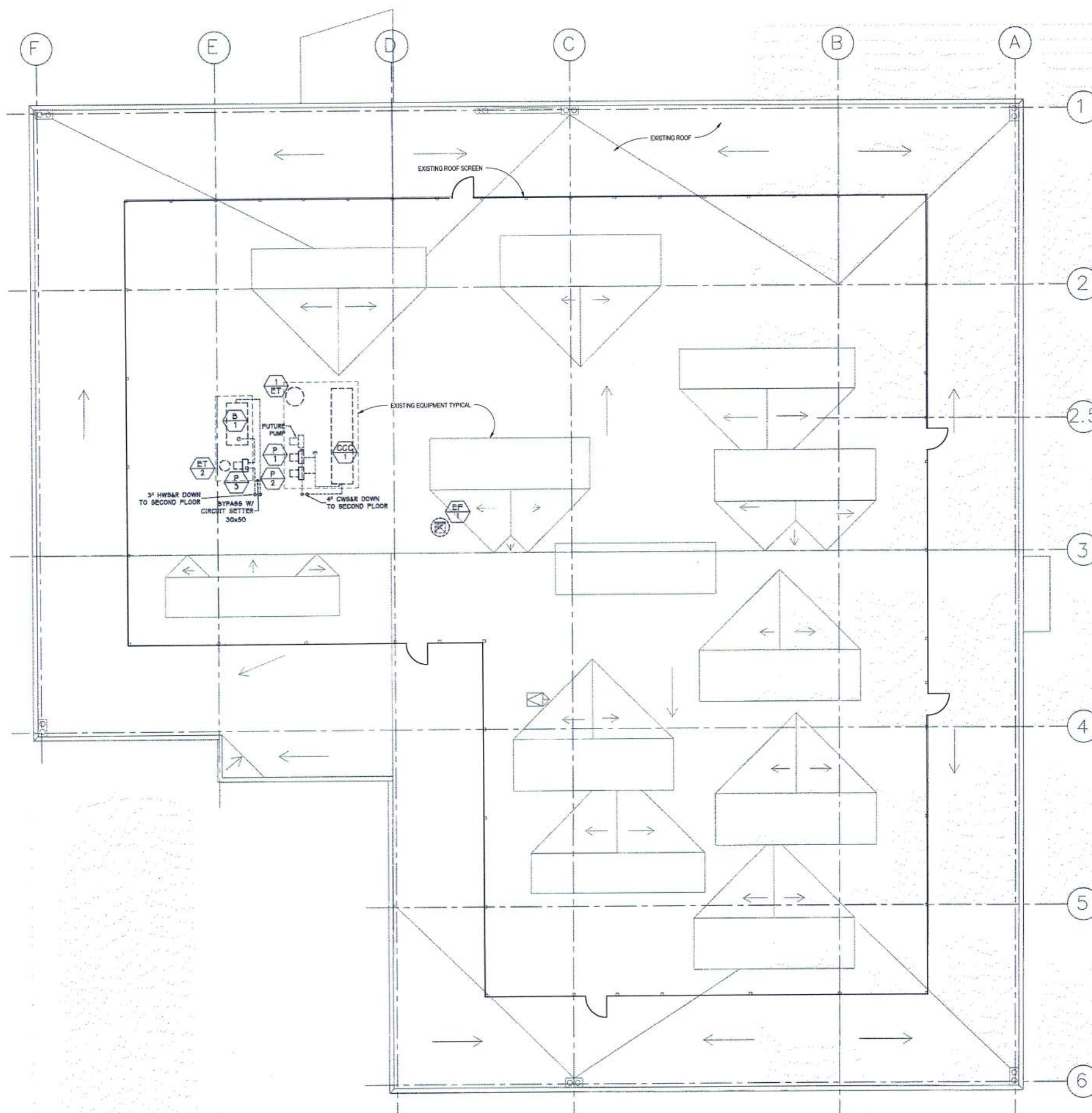
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PROJECT NO. 17019

SCALE $1/8" = 1'-0"$

TITLE _____

ROOF PLAN

AEI03

NOTE: ALL ROOF MOUNTED EQUIPMENT IS CONCEALED
BEHIND ROOF SCREEN AND PARAPET AREAS



Graphic Scale: 1 inch = 6 feet



1 REFLECTED CEILING PLAN - LEVEL 1
SCALE: 1/8" = 1'-0"

RCP GENERAL NOTES:

- REFER TO GENERAL REQUIREMENT NOTES, CODE COMPLIANCE GENERAL NOTES, AND NEW CONSTRUCTION GENERAL NOTES ON DRAWING NO. A2001.
- REFER TO THE ARCHITECTURAL PLANS FOR:
 - GENERAL TYPE AND SPECIFIC LOCATIONS OF LIGHT FIXTURES.
 - CEILING TYPES AND FINISH CEILING HEIGHTS.
 - CEILING MOUNTED EQUIPMENT.
 - WINDOW COVERINGS.
 - MOUNTING HEIGHTS OF LIGHT SWITCHES THERMOSTATS, SENSORS, ETC.
- REFER TO MECHANICAL ENGINEERING DRAWINGS FOR THE FOLLOWING:
 - DUCTS, CFM, SIZE AND LOCATION OF GRILLES, REGISTERS AND DIFFUSERS.
 - THERMOSTAT LOCATIONS.
 - EXHAUST FANS, AIR SUPPLY, ROOF TOP MECHANICAL EQUIPMENT AND OTHER MECHANICAL EQUIPMENT.
- REFER TO ELECTRICAL ENGINEERING DRAWINGS FOR THE FOLLOWING:
 - CIRCUITING AND WIRING OF LIGHT FIXTURES AND SWITCHES.
 - LIFESAFETY EQUIPMENT AND/OR FIXTURES.
 - LOCATION OF EMERGENCY LIGHTING.
 - LOCATION OF EXIT SIGNS (THIS SHALL BE COORDINATED WITH THE ARCHITECTURAL EGRESS PLANS. NOTIFY ARCHITECT OF ANY DISCREPANCIES).
 - SWITCH TYPES AND LOCATIONS.
- REFER TO THE FIRE PROTECTION (DESIGN/BUILD, DEFERRED SUBMITTAL) DRAWINGS FOR THE FOLLOWING:
 - LAYOUT, LOCATION AND SIZE OF SPRINKLER LINES AND HEADS.
 - PRESSURE REQUIREMENTS.
 - SPRINKLER HEAD SPECIFICATIONS (THIS SHALL BE COORDINATED WITH ANY SPECIAL REQUIREMENTS BY ARCHITECT, SUCH AS CONCEALED SPRINKLER HEADS IN SPECIFIC LOCATIONS).
- THE FOLLOWING DRAWINGS SHALL BE REVIEWED BY THE ARCHITECT AND BUILDING ENGINEERS FOR COORDINATION PRIOR TO ORDER OR FABRICATION OF MATERIALS AND/OR INSTALLATION.
 - MECHANICAL
 - PLUMBING
 - ELECTRICAL
 - FIRE SPRINKLER
 - COLD ROOM, IF APPLICABLE.
- WHERE START OF SUSPENDED CEILING GRIDS IS NOT OTHERWISE INDICATED, THE GRID SHALL BE LOCATED SO THAT A TILE IS CENTERED IN BOTH DIRECTIONS WITHIN THE ROOM OR SPACE.
- FINISH CEILING SHALL BE LEVEL WITHIN 1/8" IN 12 FEET, U.O.N.
- LIGHT FIXTURES, MECHANICAL DIFFUSERS/GRILLES, FIRE SPRINKLER HEADS, SMOKE DETECTORS, ETC., SHALL BE CENTERED IN CEILING TILES, U.O.N. CEILING FIXTURES AND ELEMENTS THAT CONFLICT WITH THE CEILING GRID LOCATIONS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION.
- CONTRACTOR SHALL COORDINATE WITH THE WORK OF ALL TRADES TO MAINTAIN SCHEDULED CEILING HEIGHTS AND REQUIRED CLEARANCES FOR ALL FIXTURES, DUCTS, SUSPENSION SYSTEMS, PIPING, EQUIPMENT, ETC. NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS.
- COORDINATE LOCATION OF ALL CEILING ITEMS (LIGHTS, DIFFUSERS, ETC.) LOCATED ON ARCHITECTURAL DRAWINGS AND MEP DRAWINGS. NOTIFY ARCHITECT IN THE EVENT OF ANY DISCREPANCIES BETWEEN THE ARCHITECT'S REFLECTED CEILING PLAN AND THE ENGINEER'S DRAWINGS. FINAL CEILING PLAN WITH ALL TRADES COORDINATED SHALL BE PROVIDED FOR REVIEW AND APPROVAL BY ARCHITECT PRIOR TO INSTALLATION.
- PROVIDE CEILING ACCESS PANELS AT GYPSUM BOARD CEILINGS AS INDICATED AND FOR REQUIRED FOR EQUIPMENT MAINTENANCE OR CODE COMPLIANCE. CONTRACTOR TO COORDINATE SIZE AND LOCATION OF ACCESS PANELS TO BE PROVIDED BY THE MECHANICAL, PLUMBING AND ELECTRICAL WORK. DOCUMENT ALL LOCATIONS THAT REQUIRE ACCESS PANELS ON MEP DRAWINGS FOR REVIEW AND APPROVAL BY ARCHITECT PRIOR TO INSTALLATION.
- ACCESS PANELS TO USE DRYWALL FACED PANELS THAT ARE PAINTED/FINISHED TO MATCH THE ADJACENT FINISHES.
- NOTIFY ARCHITECT OF ANY ABOVE CEILING CONFLICTS BETWEEN LIGHTS, FIRE SPRINKLERS, STRUCTURE, NEW WORK, ETC.
- CONTRACTOR SHALL PROVIDE FOR ALL CEILING GRID REVISIONS CAUSED BY RELOCATION OF FIXTURES DURING LIGHT FIXTURE AND DIFFUSER/GRILLE CONFLICTS.
- PROVIDE BLOCKING AND/OR BACKING AND REINFORCEMENT ABOVE THE CEILING FOR SUPPORT OF LIGHT FIXTURES, PROJECT SCREENS, AV EQUIPMENT, AND ANY OTHER CEILING MOUNTED ITEMS.
- ANY AND ALL FIRE PROTECTION SYSTEMS INCLUDING SPRINKLERS AND SMOKE DETECTORS SHALL BE PROVIDED TO MEET REQUIRED COVERAGE, INCLUDING CONDITIONS WHICH SUGGEST OR DEFINE MULTIPLE PLENUM LEVELS. THIS WOULD INCLUDE CEILING OR SUB-CEILING AREAS OR OTHER CAVITIES.
- ALL CEILING GRIDS AND SUSPENSION SYSTEMS SHALL INCLUDE SEISMIC BRACING COMPRESSION STRUTS AND SAFETY REINFORCEMENT CONSISTENT WITH THESE DRAWINGS, LOCAL, STATE AND FEDERAL STANDARDS.
- POP RIVETS SHALL NOT BE USED IN SUSPENDED CEILING SYSTEMS.
- PROVIDE GYPSUM BOARD FINISH UNDER ALL EXPOSED STAIR LANDINGS AND TREADS.
- REFER TO DETAILS ON DRAWING NO. A231 FOR TYPICAL CEILING DETAILS.
- REFER TO DETAILS 1 AND 2 ON DRAWING NO. A232 FOR TYPICAL ACCESS PANEL DETAILS.

RCP KEY LEGEND:

ACT-1 12'-0"	CEILING TYPE
ACT-1 12'-0"	CEILING HEIGHT
GYP-1	GYPSUM BOARD CEILING
ACT-1 2X2 GRID	ACOUSTICAL CEILING TILE IN GRID
ACT-2 2X4 GRID	LAB ACOUSTICAL CEILING TILE IN GRID
ACT-3	ARMSTRONG ULTIMA HEALTHZONE CREATE; REGULAR EDGE; 916" SILHOUETTE GRID.
ACT-4	ARMSTRONG ULTIMA HEALTHZONE CREATE; REGULAR EDGE; 916" SILHOUETTE GRID CEILING FOR CSP PANEL.
MTL2	STANDING BEAMED METAL ROOF
FELT	METAL STRUCTURE WITH ACOUSTICAL PANEL INFILL
NC	NO CEILING, EXPOSED DECK, CLEANED & PAINTED
(E)	EXISTING CEILING TO REMAIN

RCP KEY NOTES:

- COLD ROOM LIGHT FIXTURE TO BE PROVIDED BY COLD ROOM MANUFACTURER.



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PROJECT NO.
17019

SCALE
1/8" = 1'-0"

TITLE
REFLECTED CEILING PLAN
- LEVEL 1

ARIOIB

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PROJECT NO. 17019

SCALE $1/8" = 1'-0"$

TITLE

EXTERIOR ELEVATIONS

AE201



PHOTO 1

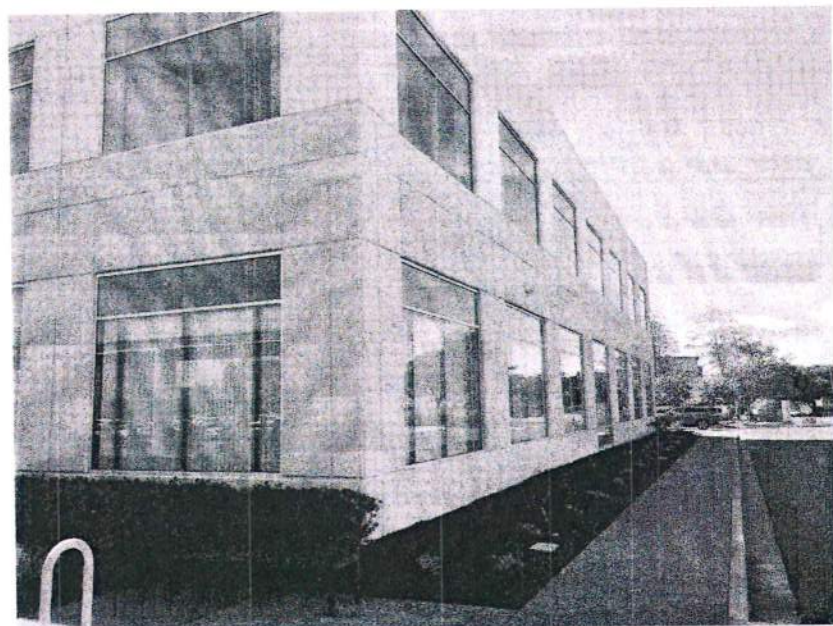
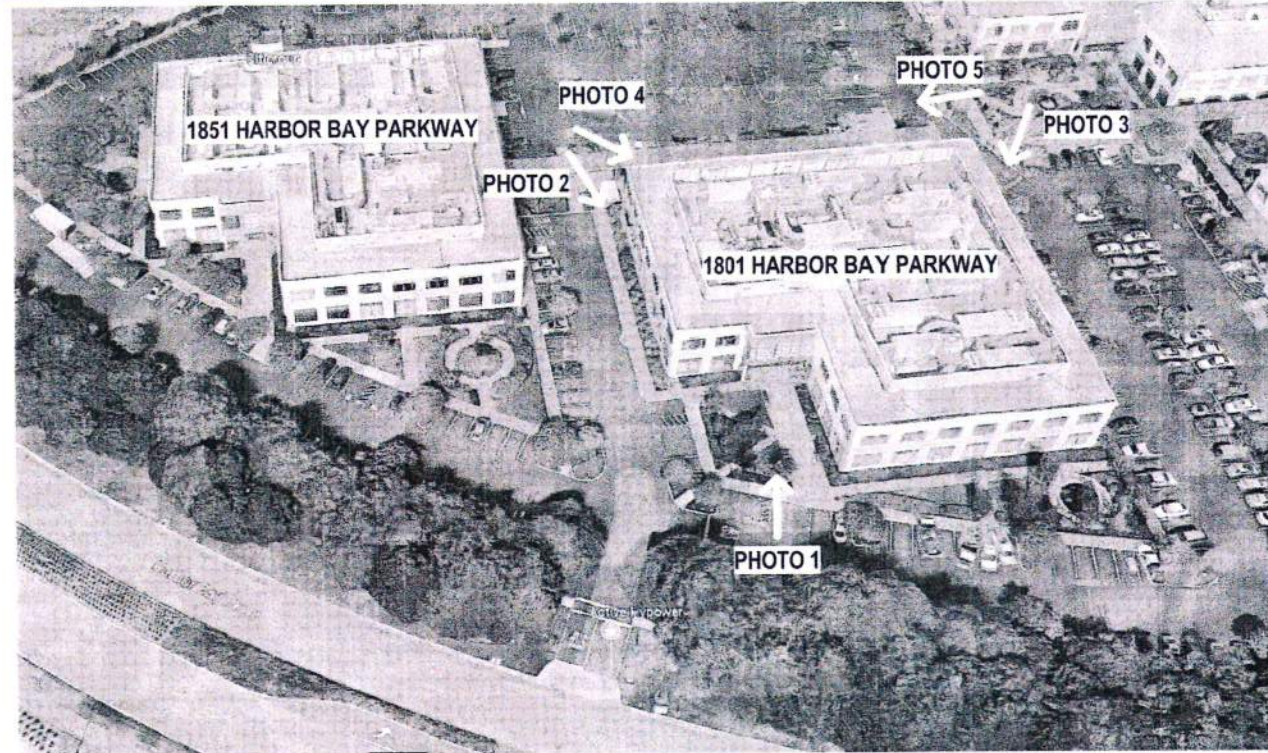


PHOTO 2



PHOTO 3



SITE AERIAL



PHOTO 4



PHOTO 5



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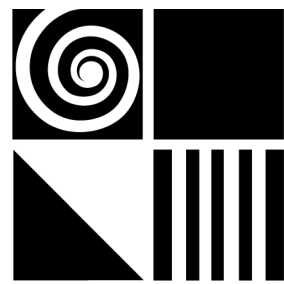
KEY PLAN

	RESPONSE TO COMMENTS	09.14.17
	PLANNING DEPT. SUBMITTAL	08.28.17
NO.	DESCRIPTION	DATE



CLIENT EXELIXIS
PROJECT TENANT IMPROVEMENTS
ADDRESS 1801 HARBOR BAY PARKWAY
ALAMEDA, CA 94502
PROJECT NO. 17019
SCALE 1/2" = 1'-0"
TITLE
REFERENCE EXISTING SITE
PHOTOS

AP001



DGA planning | architecture | interiors

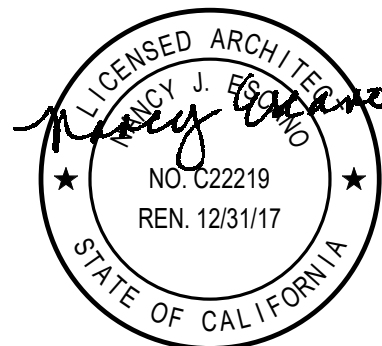
550 Ellis Street, Mountain View, CA 94043 650-943-1660
201 Filbert Street, 3rd Floor, San Francisco, CA 94133 415-477-2700
445 West Ash Street, San Diego, CA 92101 619-685-3990
400 Capitol Mall, Suite 1540, Sacramento, CA 95814 916-441-6800

CONSULTANTS

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Creo Landscape Architecture
406 Geary Street, Suite 300
San Francisco, CA 94102
415.688.2506

Civil Engineer
Kier & Wright Civil Engineers & Surveyors, Inc.
3350 Scott Blvd. Bldg #22
Santa Clara, CA. 95054
408.727.6665

STAMP



KEY PLAN

LUCENT CAMPUS
SUBDIVISION

HARBOR BAY PARKWAY
& NORTH LOOP ROAD
ALAMEDA, CALIFORNIA

F M E

FEE MUNSON EBERT | ARCHITECTURE + DESIGN
100 MONTGOMERY STREET SAN FRANCISCO CA 94111
415.474.0330 FX 415.474.3468 WWW.FME-ARCH.COM

FeeMunsonEbert © 2003

Issues	Date
ISSUED FOR REVIEW	21 JUL 03
ISSUED FOR LOT LINE ADJUSTMENT	31 JUL 03
REVISED FOR PARKING SPACE COUNTS	6 OCT 15

Sheet Title

Produced on Acad2000

Project No/Path P:\A_MILUCENT\SUBDIVISION\subdiv-schemeA

Scale 1"=80'-0"

Drawn TE

Checked

Sheet No.

PLANNING DEPT. SUBMITTAL 08.28.17

NO. DESCRIPTION DATE

EXELIXIS®

CLIENT EXELIXIS

PROJECT TENANT IMPROVEMENTS

ADDRESS 1851 HARBOR BAY PARKWAY
ALAMEDA, CA 94502

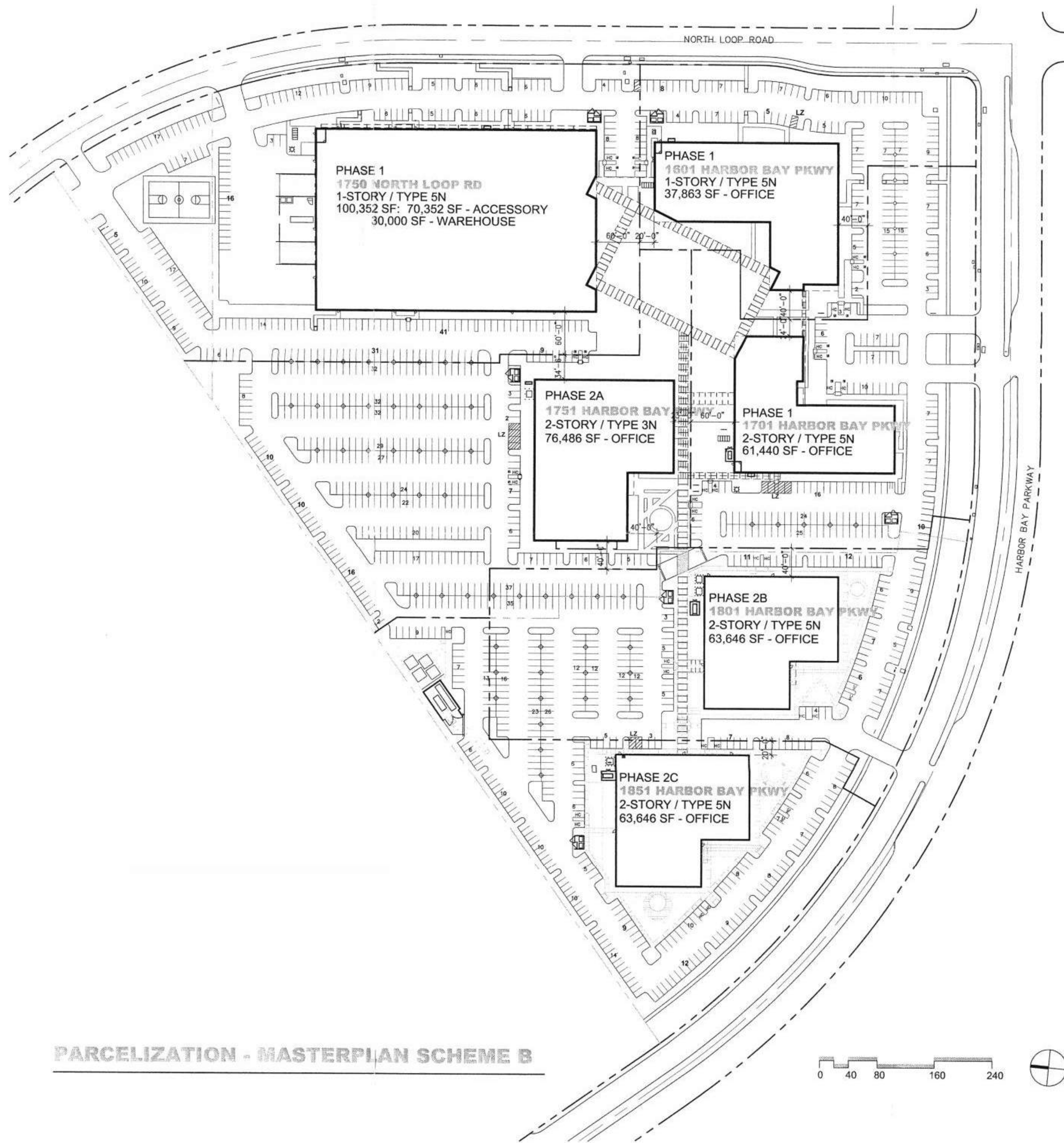
PROJECT NO. 17019

SCALE

TITLE

REFERENCE EXISTING
CAMPUS PARCEL MAP

AP002



PARCELIZATION - MASTERPLAN SCHEME B

1750 NORTH LOOP ROAD

SITE AREA	291,850 SF / 6.70 AC
BUILDING COVERAGE	100,352 SF / 34.3%
LANDSCAPE COVERAGE	XX,XXX SF / XX.X%
FAR	.343
BUILDING AREA	100,352 SF
ALLOWABLE FLOOR AREA	8,000 SF
AREA INCREASES	NONE
ADDITIONAL STORY	UNLIMITED AREA
SEPARATION 3 SIDES	
FIRE SPRINKLERS	
PARKING REQUIRED	70,352 SF @ 1/ 800 = 88 30,000 SF @ 1/1500 = 20 108
PARKING PROVIDED	249

1751 HARBOR BAY PARKWAY

SITE AREA	201,967 SF / 4.64 AC
BUILDING COVERAGE	38,121 SF / 18.9%
LANDSCAPE COVERAGE	XX,XXX SF / XX.X%
FAR	.379
BUILDING AREA	76,486 SF
ALLOWABLE FLOOR AREA	12,000 SF
AREA INCREASES	24,000 SF
ADDITIONAL STORY	32,700 SF
SEPARATION 3 SIDES	65,400 SF
FIRE SPRINKLERS	
PARKING REQUIRED	38,121 SF @ 1/200 = 191 38,365 SF @ 1/400 = 96 287
PARKING PROVIDED	355

1801 HARBOR BAY PARKWAY

SITE AREA	170,278 SF / 3.91 AC
BUILDING COVERAGE	30,271 SF / 17.8%
LANDSCAPE COVERAGE	52,399 SF / 30.8%
FAR	.377
BUILDING AREA	63,646 SF
ALLOWABLE FLOOR AREA	8,000 SF
AREA INCREASES	16,000 SF
ADDITIONAL STORY	32,000 SF
SEPARATION ALL SIDES	64,000 SF
FIRE SPRINKLERS	
PARKING REQUIRED	30,271 SF @ 1/200 = 151 33,375 SF @ 1/400 = 83 234
PARKING PROVIDED	235

MASTER PLAN COMPOSITE

SITE AREA	1,106,967 SF / 25.41 AC
BUILDING COVERAGE	267,407 SF / 24.2%
LANDSCAPE COVERAGE	386,072 SF / 34.8%
FAR	.364
BUILDING AREA	403,433 SF
ALLOWABLE FLOOR AREA	167,055 SF @ 1/ 200 = 835 136,026 SF @ 1/ 400 = 340 70,352 SF @ 1/ 800 = 88 30,000 SF @ 1/1500 = 20 1,283
PARKING PROVIDED	1,328

1601 HARBOR BAR PARKWAY

SITE AREA	116,569 SF / 2.68 AC
BUILDING COVERAGE	37,863 SF / 32.5%
LANDSCAPE COVERAGE	XX,XXX SF / XX.X%
FAR	.325
BUILDING AREA	37,863 SF
ALLOWABLE FLOOR AREA	8,000 SF
AREA INCREASES	NONE
ADDITIONAL STORY	SEPARATION 3 SIDES
FIRE SPRINKLERS	16,000 SF 48,000 SF
PARKING REQUIRED	37,863 SF @ 1/200 = 189
PARKING PROVIDED	111

1701 HARBOR BAY PARKWAY

SITE AREA	163,269 SF / 3.75 AC
BUILDING COVERAGE	30,517 SF / 18.7%
LANDSCAPE COVERAGE	XX,XXX SF / XX.X%
FAR	.375
BUILDING AREA	61,440 SF
ALLOWABLE FLOOR AREA	8,000 SF
AREA INCREASES	16,000 SF
ADDITIONAL STORY	32,000 SF
SEPARATION 3 SIDES	64,000 SF
FIRE SPRINKLERS	
PARKING REQUIRED	30,517 SF @ 1/200 = 153 30,923 SF @ 1/400 = 77 230
PARKING PROVIDED	171

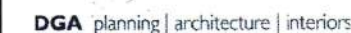
1851 HARBOR BAY PARKWAY

SITE AREA	163,353 SF / 3.75 AC
BUILDING COVERAGE	30,283 SF / 18.5%
LANDSCAPE COVERAGE	XX,XXX SF / XX.X%
FAR	.390
BUILDING AREA	63,646 SF
ALLOWABLE FLOOR AREA	8,000 SF
AREA INCREASES	16,000 SF
ADDITIONAL STORY	32,000 SF
SEPARATION 3 SIDES	64,000 SF
FIRE SPRINKLERS	
PARKING REQUIRED	30,283 SF @ 1/200 = 151 33,363 SF @ 1/400 = 83 234
PARKING PROVIDED	207

MASTER PLAN LESS 1801

SITE AREA	936,689 SF / 21.50 AC
BUILDING COVERAGE	237,136 SF / 25.3%
LANDSCAPE COVERAGE	333,673 SF / 35.6%
FAR	.363
BUILDING AREA	339,787 SF
ALLOWABLE FLOOR AREA	136,784 SF @ 1/ 200 = 684 102,651 SF @ 1/ 400 = 257 70,352 SF @ 1/ 800 = 88 30,000 SF @ 1/1500 = 20 1,049
PARKING PROVIDED	1,093

FOR REFERENCE ONLY



CONSULTANTS

Landscape Architect
Creo Landscape Architecture
466 Geary Street, Suite 300
San Francisco, CA 94102
415.688.2506

Civil Engineer
Kier & Wright Civil Engineers & Surveyors, Inc.
3350 Scott Blvd. Bldg #22
Santa Clara, CA. 95054
408.727.6665

KEY PLAN

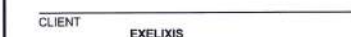
SAFETY STORAGE
855 N. 25th STREET
CHARLESTON, SC 29402
PHONE: (217) 345-6
FAX: (217) 345-4

BUILDING LAYOUT

D

RESPONSE TO COMMENTS 09.14.17

NO.	DESCRIPTION	DATE
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PROJECT	TENANT IMPROVEMENTS
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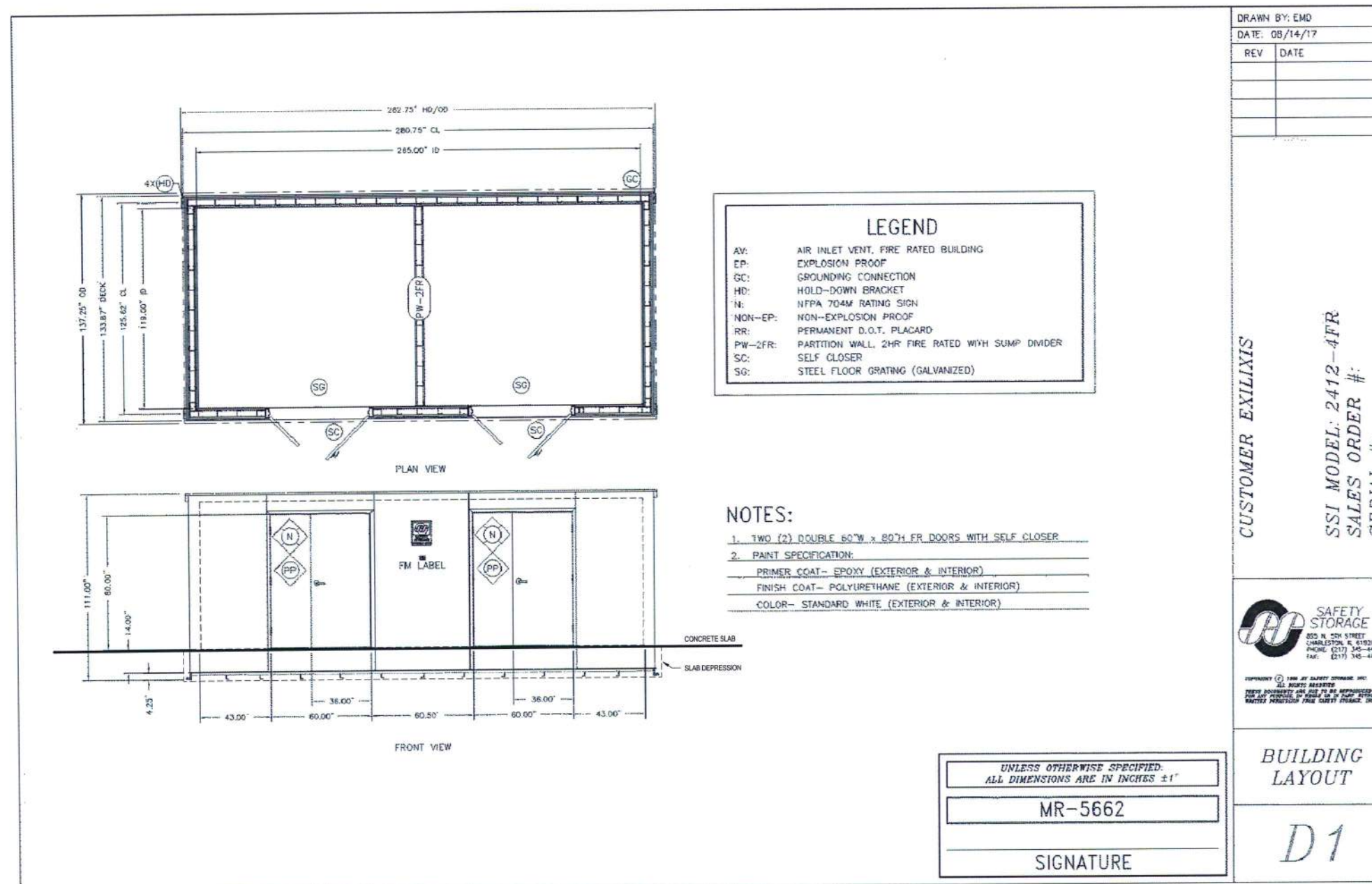
ADDRESS 1801 HARBOR BAY PARKWAY
ALAMEDA, CA 94502

PROJECT NO. 17019

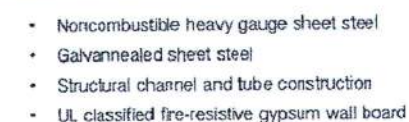
SCALE $1/2" = 1'-0"$

TITLE _____

CHEMICAL STORAGE SHED

QL90I

Four-Hour Bi-Directional Fire-Rated (4FR/4FRE) Hazardous Material Storage Buildings



Four-Hour Models 4FR and 4FRE hazardous material storage buildings provide UL Approved 4-Hour Bi-Directional design (Standard U490) for added protection for the storage of drums, totes, compressed gas cylinders, bottles and other packages containing hazardous materials. Model 4FR is required for the storage of flammable materials where the storage building is located very close to other buildings and/or property lines or when the storage building is placed within another plant structure. Model 4FRE provides optional explosion control venting, if required.