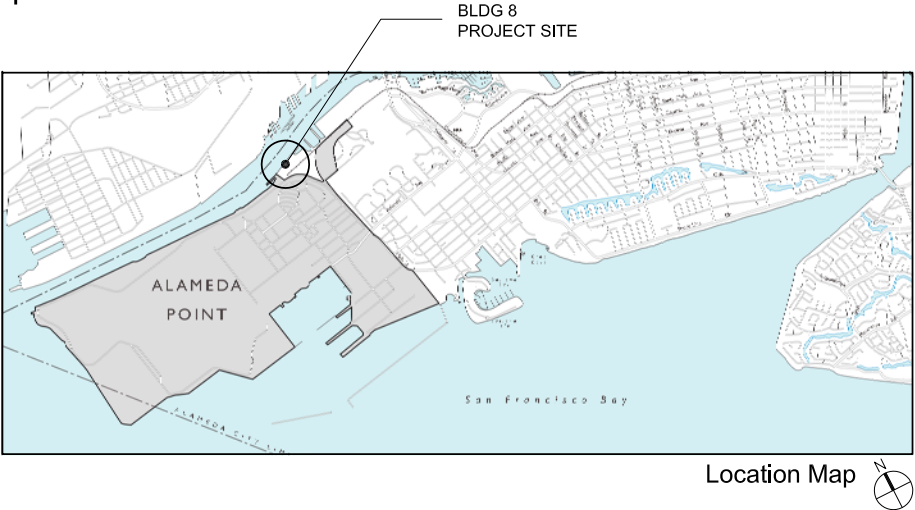
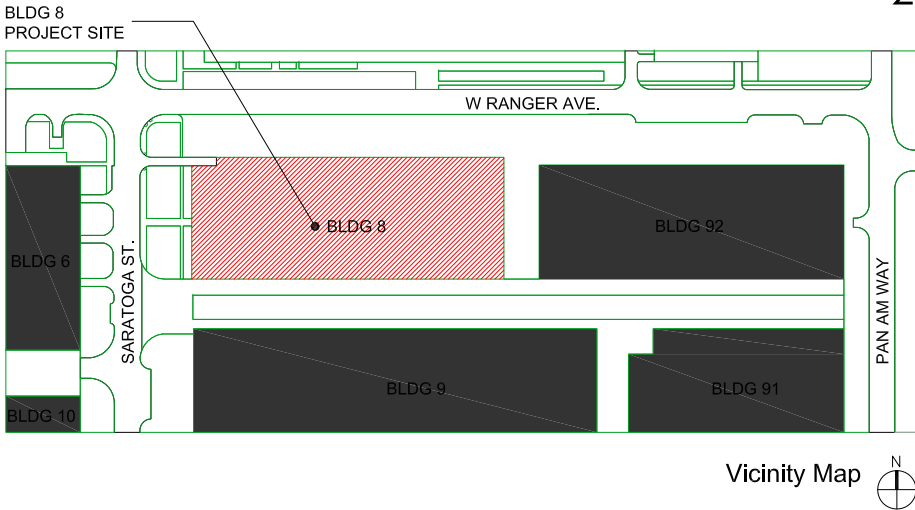


ADAPTIVE REUSE OF HISTORIC
GENERAL STOREHOUSE BUILDING 8
ALAMEDA POINT

2350 SARATOGA ST., ALAMEDA, CA 94501



PROJECT ROSTER

APPLICANT ALAMEDA POINT REDEVELOPERS, LLC. 1475 POWELL ST., SUITE 201, EMERYVILLE, CA 94608 Attn: JONAH HENDRICKSON, jonahhendrickson@mac.com, 510-684-0647	HISTORIC PRESERVATION PRESERVATION ARCHITECTURE 446 17TH ST., SUITE 302, OAKLAND, CA 94612 Attn: MARK HULBERT, mhulbert@earthlink.net, 510-418-0285	STRUCTURAL ENGINEER TIPPING STRUCTURAL ENGINEERS 1906 SHATTUCK AVE., BERKELEY, CA 94704 Attn: MARC STEYER, SE, LEED - AP m.steyer@tippingstructural.com, 510-549-1906
ARCHITECT MARCY WONG DONN LOGAN ARCHITECTS 800 BANCROFT WAY, SUITE 200, BERKELEY, CA 94710 Attn: MARCY WONG, marcy@wonglogan.com, 510-843-0916	ASSOCIATE ARCHITECT MIKITTEN ARCHITECTURE 2415 FIFTH ST., BERKELEY, CA 94710 Attn: ERICK MIKITTEN, erick@mikittenarch.com, 510-540-7111	MEP ENGINEERS B E L D E N CONSULTING ENGINEERS 5860 W. LAS POSITAS BLVD, STE. 15 PLEASANTON, CALIFORNIA 94588 Attn: DENNIS HAY, PE dennish@beldeninc.com, 925-621-5301

PROJECT DESCRIPTION

THE PROJECT IS THE ADAPTIVE REUSE OF THE HISTORIC GENERAL STOREHOUSE, BUILDING 8 ALAMEDA POINT.

- THE BUILDING IS IDENTIFIED AS A CONTRIBUTOR TO NAVAL AIR STATION ALAMEDA HISTORIC DISTRICT, LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES.
- ALL WORK SHALL BE CONSISTENT WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR HISTORIC PRESERVATION

THE PROJECT SCOPE INCLUDES:

- REHABILITATION OF THE DETERIORATED BUILDING SHELL
- REPLACEMENT OF UTILITIES AND INFRASTRUCTURE
- ADA ACCESSIBILITY IMPROVEMENTS
- INTERIOR & EXTERIOR IMPROVEMENTS TO ACCOMMODATE NEW BUILDING USES INCLUDING
 - FLOOR 1: COMMERCIAL TENANTS INCLUDING COMMERCIAL KITCHENS & BREWERY
 - FLOORS 2 & 3: WORK/ LIVE UNITS AND OFFICE SPACE
- ROOFTOP BUILDING ADDITION- APPROXIMATELY 40,000 GSF TO 55,000 GSF INCLUDING COMMERCIAL AND WORK/ LIVE UNITS WITH A COMMUNITY ROOM AND DECK AREA PROVIDED AS AN AMENITY TO BUILDING OCCUPANTS AND GUESTS

COMMERCIAL KITCHEN CLASSIFICATION:
NEW CLASSIFICATION FOR FOOD PROCESSING ESTABLISHMENTS AND COMMERCIAL KITCHENS THAT ARE NOT ASSOCIATED WITH A RESTAURANT [304.1, 306.2]

- IF LESS THAN 2,500 SQ. FT., THEY SHALL BE CLASSIFIED AS A GROUP B OCCUPANCY.
- IF LARGER THAN 2,500 SQ. FT., THEY SHALL BE CLASSIFIED AS A GROUP F-1 OCCUPANCY.
- REGARDLESS OF SIZE, COMMERCIAL KITCHENS THAT ARE ASSOCIATED WITH RESTAURANTS ARE CLASSIFIED AS A GROUP A-2 OCCUPANCY.

WORK/LIVE CLASSIFICATION:
PER ALAMEDA MUNICIPAL CODE [30-15.4.b] NOT MORE THAN THIRTY (30%) PERCENT OR FOUR HUNDRED (400) SQUARE FEET, WHICHEVER IS GREATER, OF THE WORK/LIVE STUDIO SHALL BE RESERVED FOR LIVING SPACE. THE REST OF THE GROSS FLOOR AREA OF EACH WORK/LIVE STUDIO SHALL BE RESERVED AND REGULARLY USED FOR WORKING SPACE. WORK/LIVE UNITS ARE CLASSIFIED AS A GROUP B OCCUPANCY.

PROJECT DATA (PRELIMINARY)

SITE INFORMATION			
PARCEL (SEE SHEET T-101)		ZONING	
PARCEL 1	± 151,153 SF	ADAPTIVE REUSE(AP-AR)	
L.I.F.O.C. PARCEL	± 26,169 SF	ADAPTIVE REUSE(AP-AR)	
TOTAL	±177,322 SF		
PARKING DATA		ADA	TOTAL
PARKING PROVIDED	107	3 + 2 VAN	112
BUILDING INFORMATION			
	ORIGINAL CONSTRUCTION	ADDITION (EAST WING)	
YEAR BUILT	1940	1943	
CONSTRUCTION MATERIALS			
FOUNDATIONS	PILES (CONCRETE ABOVE WOOD)		
FLOORS & DOCKS	CAST IN PLACE CONCRETE		
WALLS	CAST IN PLACE CONCRETE		
ROOF	MINERAL SURFACE OVER CONCRETE DECK		
BUILDING AREA		EXISTING	PROPOSED
FIRST FLOOR		± 90,000 SF	± 90,000 SF (NO CHANGE)
SECOND FLOOR		± 90,000 SF	± 90,000 SF (NO CHANGE)
THIRD FLOOR		± 90,000 SF	± 82,215 SF
FOURTH FLOOR		0	± 40,322 SF
MEZZANINE		0	0
TOTAL		± 270,000 GSF	±302,537 GSF
		EXISTING	PROPOSED
BUILDING HEIGHT		±59'-6"	± 59'-6"
USE/ OCCUPANCY		ADMINISTRATIVE (B)	WORK/ LIVE (B)
		STORAGE (S-1)	COMMERCIAL (B, F-1)
			COMMUNITY ROOM (A-3)

FIRE SPRINKLER: (E) FIRE SPRINKLER SYSTEM TO REMAIN, MODIFY TO CONFORM TO NEW USE & LAYOUT

TOTAL NO. OF WORK/LIVE UNITS = 88
FIRST FLOOR = 44
SECOND FLOOR = 44

TOTAL NO. OF COMMERCIAL UNITS = 191 (PRELIMINARY ESTIMATE)
FIRST FLOOR = 31
SECOND FLOOR = 69
THIRD FLOOR = 66
FOURTH FLOOR = 26

DRAWING INDEX

G001	TITLE SHEET
G002	PARCEL MAPS
G003	PHOTOGRAPHS
L101	LANDSCAPE PLAN

ARCHITECTURAL	
A011	FIRST FLOOR INTERIOR DEMOLITION PLAN
A012	SECOND FLOOR INTERIOR DEMOLITION PLAN
A013	THIRD FLOOR INTERIOR DEMOLITION PLAN
A014	ROOF DEMOLITION PLAN
A101	SITE PLAN
A111	FIRST FLOOR PLAN
A112	SECOND FLOOR PLAN
A113	THIRD FLOOR PLAN
A114	FOURTH FLOOR PLAN
A115	HIGH ROOF PLAN
A201	DEMOLITION ELEVATIONS
A202	PROPOSED ELEVATIONS
A301	SECTIONS
A302	SECTIONS
A303	SECTIONS
A421	PARTIAL ENLARGED ELEVATION
A901	AERIAL VIEW
A902	NORTHEAST VIEW
A903	SOUTHWEST VIEW
A904	NORTHWEST VIEW
A905	AERIAL PERSPECTIVES

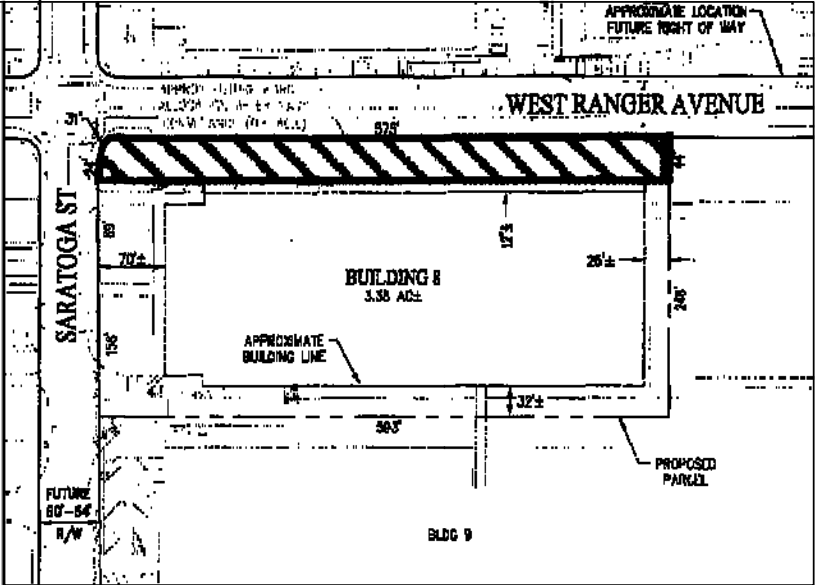
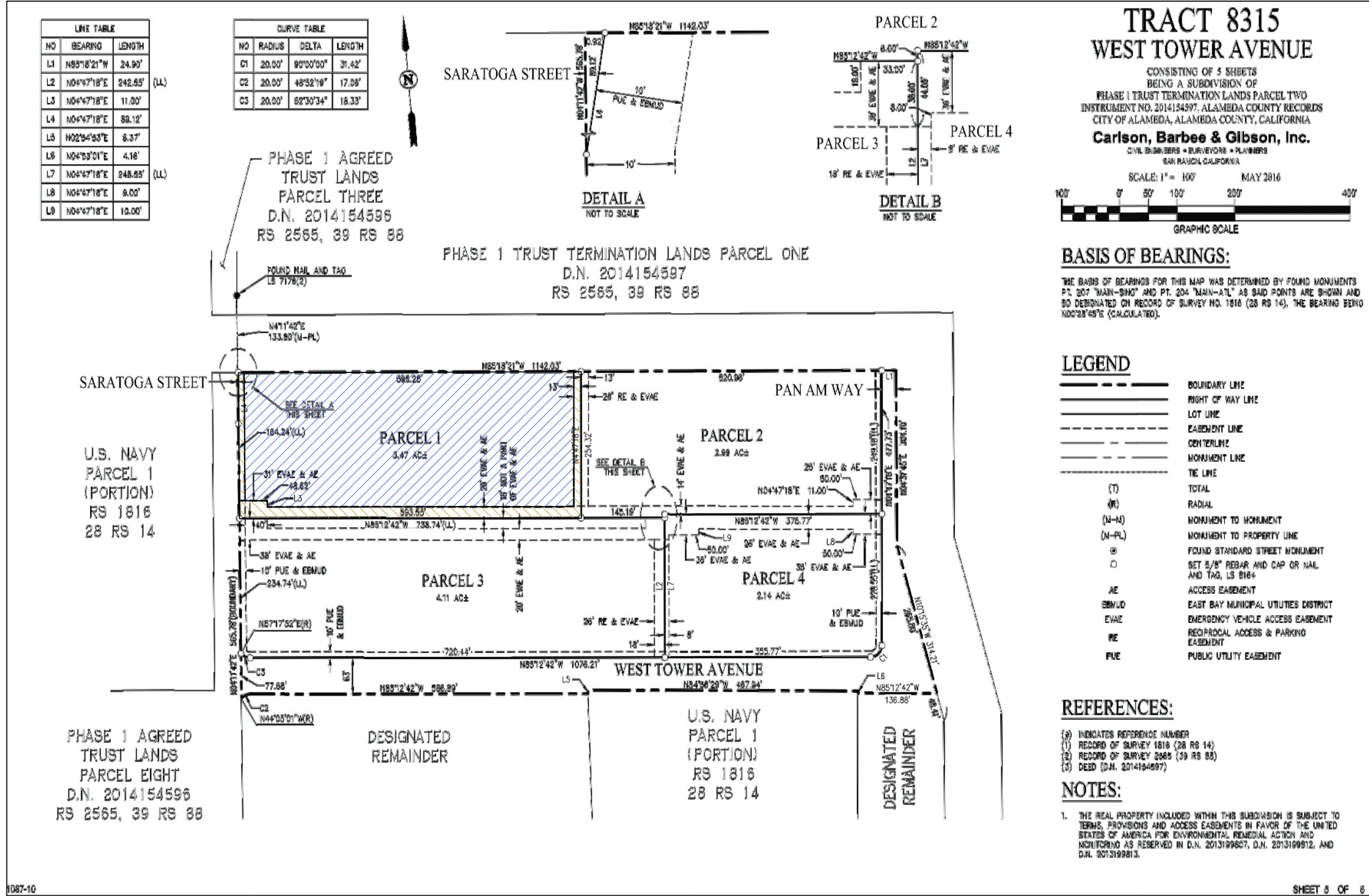
APPLICABLE CODES

PARTIAL LIST

- CALIFORNIA HISTORIC BUILDING CODE, 2013 EDITION
- CALIFORNIA BUILDING CODE, 2013 EDITION
- CAL GREEN STANDARDS, CURRENT EDITION
- 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
- DESIGNERS OF OTHER WORK (IE: MECHANICAL, ELECTRICAL, FIRESPRINKLER, ETC) SHALL INDICATE APPLICABLE CODES GOVERNING THAT WORK.

	Client	Architects	With	Consultants	Project	Revisions			Project No.	1608	Sheet Name	Sheet No.
	ALAMEDA POINT REDEVELOPERS Jonah Hendrickson	MARCY WONG DONN LOGAN ARCHITECTS	MIKITTEN ARCHITECTURE		ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE BUILDING 8 ALAMEDA POINT	No.	Issue	Date	Phase	PLANNING REVIEW	COVER SHEET	G001
	1475 Powell Street, Suite #201 Emeryville CA 94608 Tel: 510.684.0647 Email: jonahhendrickson@mac.com	800 Bancroft Way, Suite #200 Berkeley CA 94710 Tel: 510.843.0916 Email: office@wonglogan.com	2415 Fifth Street Berkeley CA 94710 Tel: 510.540.7111 Email: erick@mikittenarch.com		2350 Saratoga Street, Alameda, CA 94501				Date	09/21/2017		
									Drawn by	SM, TT		
									Checked by	Checker		
									Scale at Sheet Size D	N/A		

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Email: office@wonglogan.com

With
MIKITTEN ARCHITECTURE
2415 Fifth Street
Berkeley CA 94710
Tel: 510.540.7111
Email: erick@mikittenarch.com

Consultants

Project
ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE
BUILDING 8 | ALAMEDA POINT
2350 Saratoga Street, Alameda, CA 94501

Revisions		
No.	Issue	Date

Project No. 1608
Phase PLANNING REVIEW
Date 09/05/2017
Drawn by Author
Checked by Checker
Scale at Sheet Size D 1/16" = 1'-0"

Sheet Name PARCEL MAPS
Sheet No. G002

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North Elevation



South Elevation - from west



South Elevation - from east



West Elevation - from north



West Elevation - from south



East Elevation

B8

ENTREPRENEUR & MAKER SPACE

Client

ALAMEDA POINT REDEVELOPERS
Jonah Hendrickson

1475 Powell Street, Suite #201
Emeryville CA 94608
Tel: 510.684.0647
Email: jonahhendrickson@mac.com

Architects

MARCY WONG DONN LOGAN
ARCHITECTS

800 Bancroft Way, Suite #200
Berkeley CA 94710
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Email: office@wonglogan.com

With

MIKITEN ARCHITECTURE

2415 Fifth Street
Berkeley CA 94710
Tel: 510.540.7111
Email: erick@mikitenarch.com

Consultants

Project

ADAPTIVE REUSE OF HISTORIC
GENERAL STOREHOUSE
BUILDING 8 | ALAMEDA POINT

2350 Saratoga Street, Alameda, CA 94501

Revisions		
No.	Issue	Date

Project No.

1608

Phase

PLANNING REVIEW

Date

09/05/2017

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Author

Checked by

Checker

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PHOTOGRAPHS

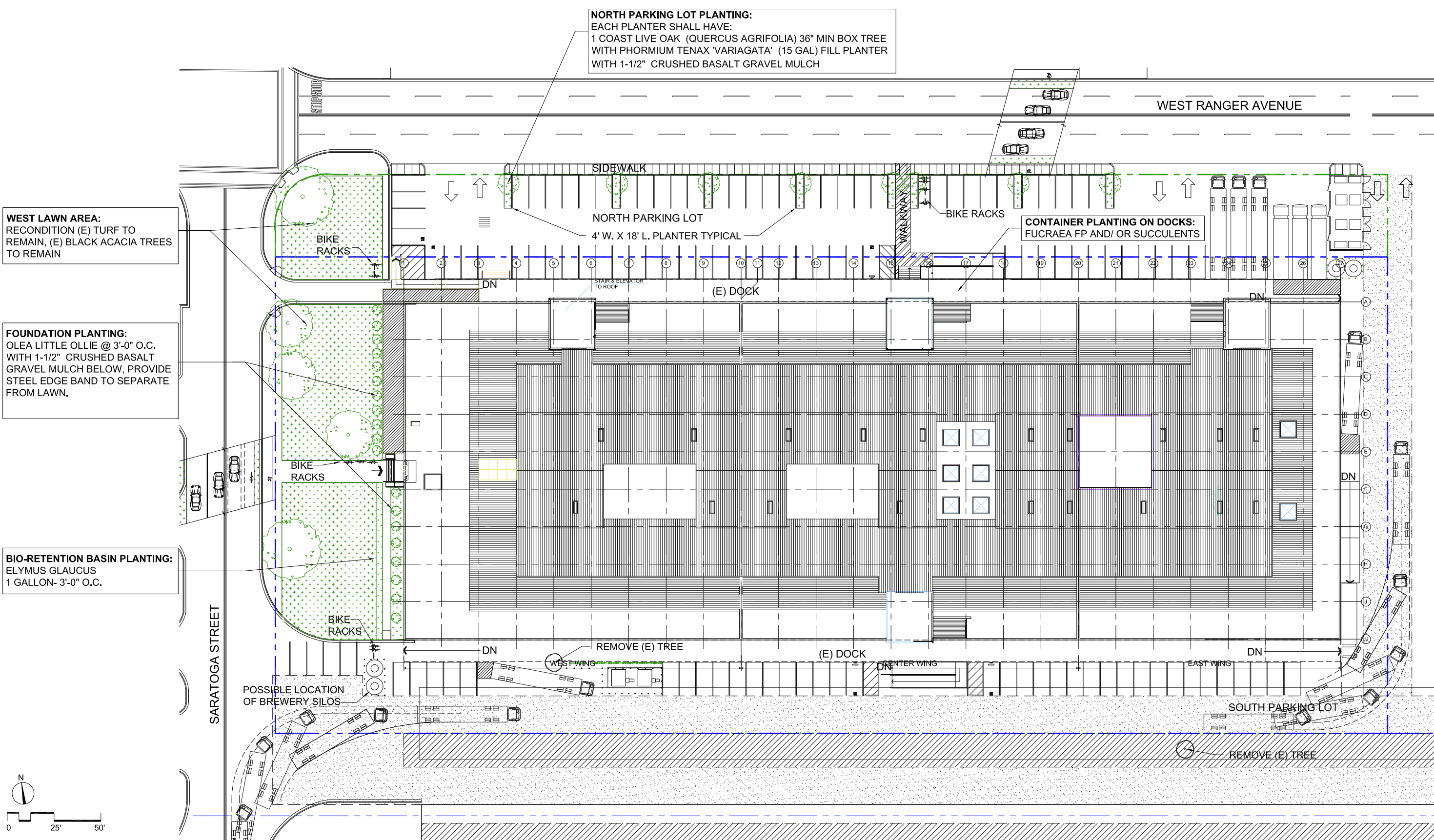
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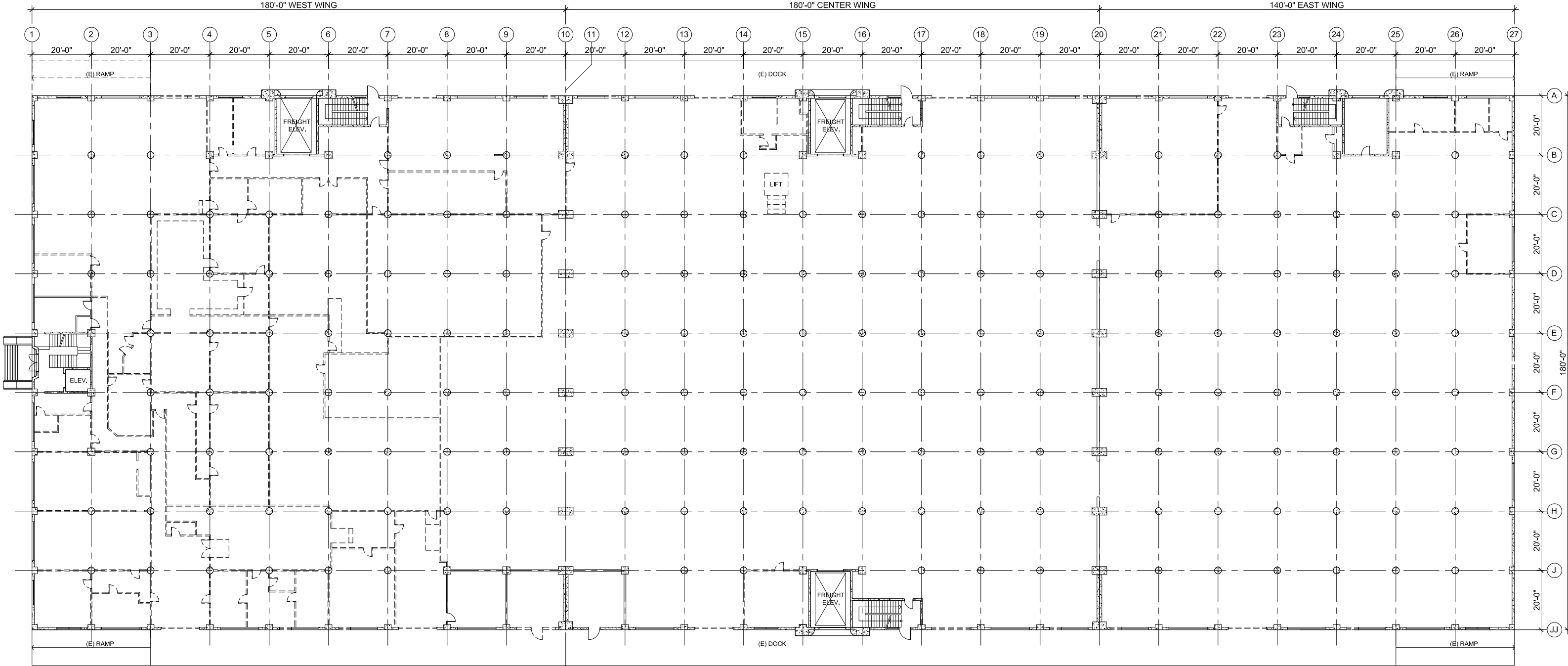
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								Date	09/05/2017		
								Drawn by	Author		
								Checked by	Checker		
1475 Powell Street, Suite #201 Emeryville CA 94608 Tel: 510.684.0647 Email: jonahhendrickson@mac.com	800 Bancroft Way, Suite #200 Berkeley CA 94710 Tel: 510.843.0916 Email: office@wonglogan.com	2415 Fifth Street Berkeley CA 94710 Tel: 510.540.7111 Email: erick@mikitenarch.com		2350 Saratoga Street, Alameda, CA 94501							

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GENERAL DEMOLITION NOTES

- WALLS:
 - DEMOLISH NON-STRUCTURAL INTERIOR PARTITIONS, AS INDICATED.
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- CEILINGS:
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- REMOVE ALL EXISTING ELECTRICAL OUTLETS AND EQUIPMENT.
- ABATE LEAD, ASBESTOS & MOLD AS NECESSARY.
- EXISTING FIRE SPRINKLER SYSTEM TO REMAIN.

LEGEND

-  (E) CONCRETE WALL, V.I.F.
-  (E) CMU, V.I.F.
-  (E) WOOD STUD WALL, V.I.F.
-  REMOVE (E) INTERIOR, NON-STRUCTURAL CONSTRUCTION
-  DEMOLISH/REMOVE CONSTRUCTION

NOTES

- A. PROVIDE TEMPORARY SIGNAGE THROUGHOUT CONSTRUCTION PERIOD IDENTIFYING BUILDING ENTRANCES & EXITS FOR WORKERS & EMERGENCY PERSONNEL.
- B. SEE DEMOLITION ELEVATION, SHEET A-201 FOR EXTERIOR DEMOLITION

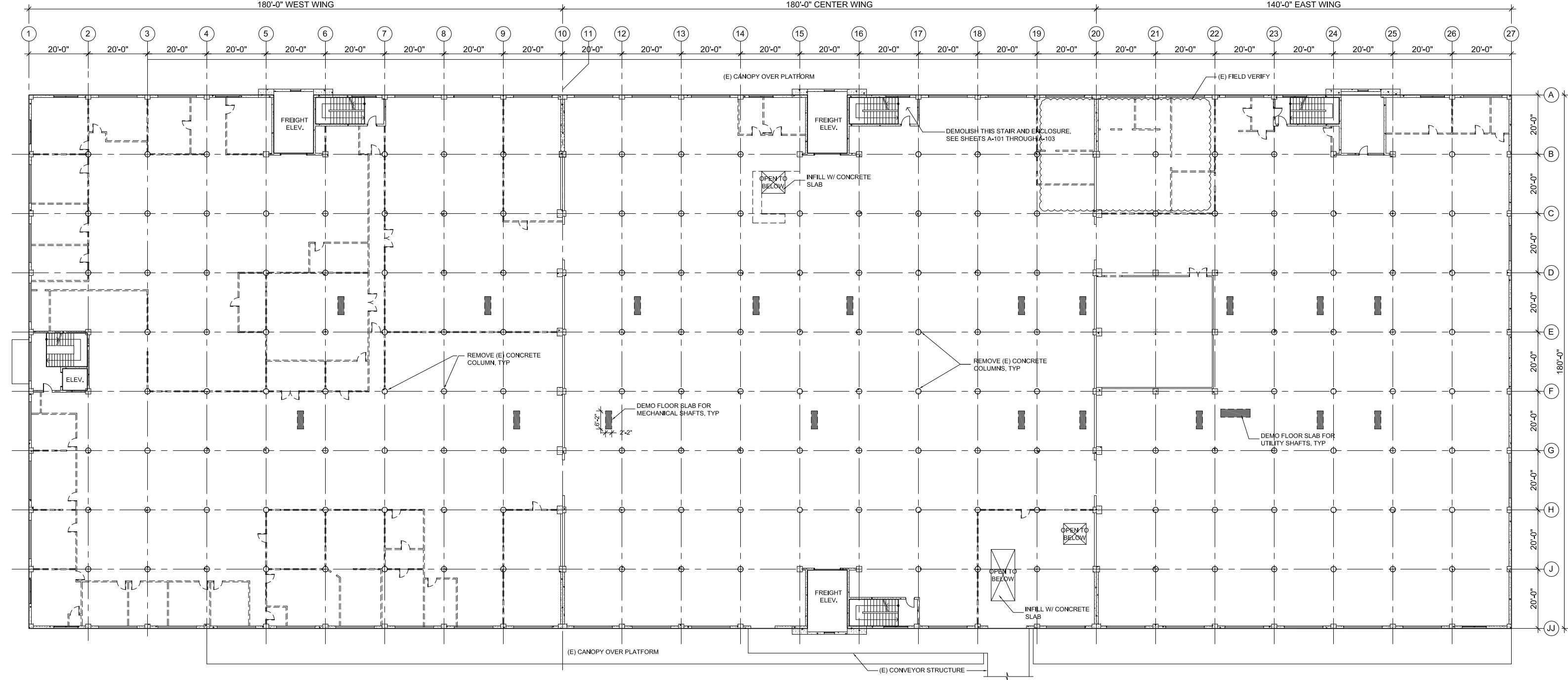
1 FIRST FLOOR INTERIOR, NON-STRUCTURAL DEMOLITION PLAN

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Client	Architects	With	Consultants	Project																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																		
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- (E) CONCRETE WALL, V.I.F.
- (E) CMU, V.I.F.
- (E) WOOD STUD WALL, V.I.F.
- REMOVE (E) INTERIOR, NON-STRUCTURAL CONSTRUCTION
- DEMOLISH/REMOVE CONSTRUCTION

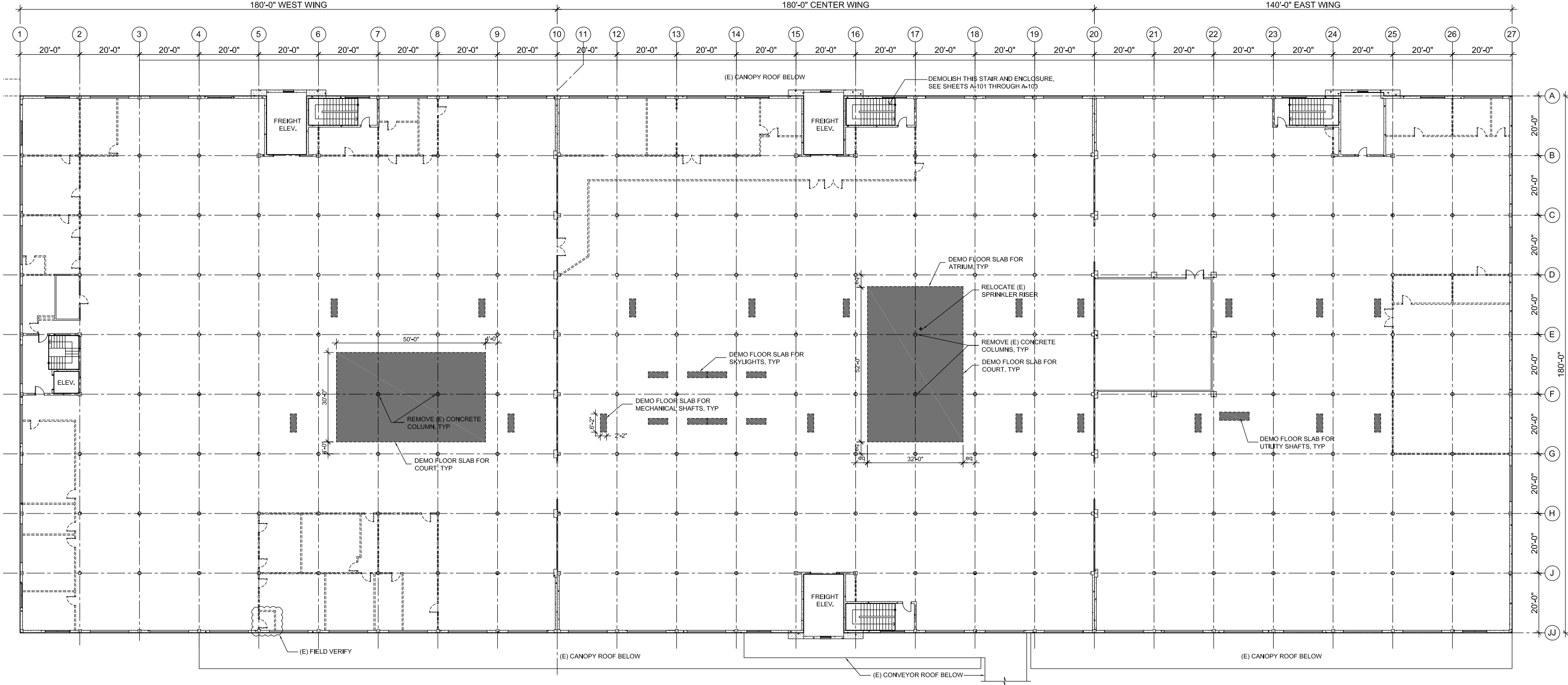
NOTES

- PROVIDE TEMPORARY SIGNAGE THROUGHOUT CONSTRUCTION PERIOD IDENTIFYING BUILDING ENTRANCES & EXITS FOR WORKERS & EMERGENCY PERSONNEL.
- SEE DEMOLITION ELEVATION, SHEET A-201 FOR EXTERIOR DEMOLITION

1 SECOND FLOOR INTERIOR, DEMOLITION PLAN
SEE ELEVATION FOR EXTERIOR DEMO

	Client	Architects	With	Consultants	Project	Revisions			Project No.	1608	Sheet Name	Sheet No.
	ALAMEDA POINT REDEVELOPERS Jonah Hendrickson 1475 Powell Street, Suite #201 Emeryville CA 94608 Tel: 510.684.0647 Email: jonahhendrickson@mac.com	MARCY WONG DONN LOGAN ARCHITECTS 800 Bancroft Way, Suite #200 Berkeley CA 94710 Tel: 510.843.0916 Email: office@wonglogan.com	MIKITEN ARCHITECTURE 2415 Fifth Street Berkeley CA 94710 Tel: 510.540.7111 Email: erick@mikitenarch.com			ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE BUILDING 8 ALAMEDA POINT 2350 Saratoga Street, Alameda, CA 94501	No.	Issue	Date	Phase	PLANNING REVIEW	SECOND FLOOR INTERIOR DEMOLITION PLAN
									Date	09/05/2017		
									Drawn by	Author		
									Checked by	Checker		
									Scale at Sheet Size D	1/16" = 1'-0"		

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GENERAL DEMOLITION NOTES

- WALLS:
 - DEMOLISH NON-STRUCTURAL INTERIOR PARTITIONS, AS INDICATED.
 - CLEAN, REMOVE GRAFFITI & PATCH PREVIOUSLY PAINTED SURFACES AS NECESSARY FOR NEW FINISHES.
- FLOORS:
 - REMOVE ALL DETERIORATED / DISINTEGRATED FLOORING.
- CEILINGS:
 - REMOVE ALL ACOUSTIC TILE CEILINGS & ASSOCIATED FRAMING
 - REMOVE DETERIORATED PLASTER CEILING
- SALVAGE (E) LIGHT FIXTURES EXCEPT HISTORIC FIXTURES SHALL BE SURVEYED & TAGGED TO REMAIN PRIOR TO DEMOLITION.
- REMOVE ALL EXISTING ELECTRICAL OUTLETS AND EQUIPMENT.
- ABATE LEAD, ASBESTOS & MOLD AS NECESSARY.
- EXISTING FIRE SPRINKLER SYSTEM TO REMAIN.

LEGEND

- (E) CONCRETE WALL, V.I.F.
- (E) CMU, V.I.F.
- (E) WOOD STUD WALL, V.I.F.
- REMOVE (E) INTERIOR, NON-STRUCTURAL CONSTRUCTION
- DEMOLISH/REMOVE CONSTRUCTION

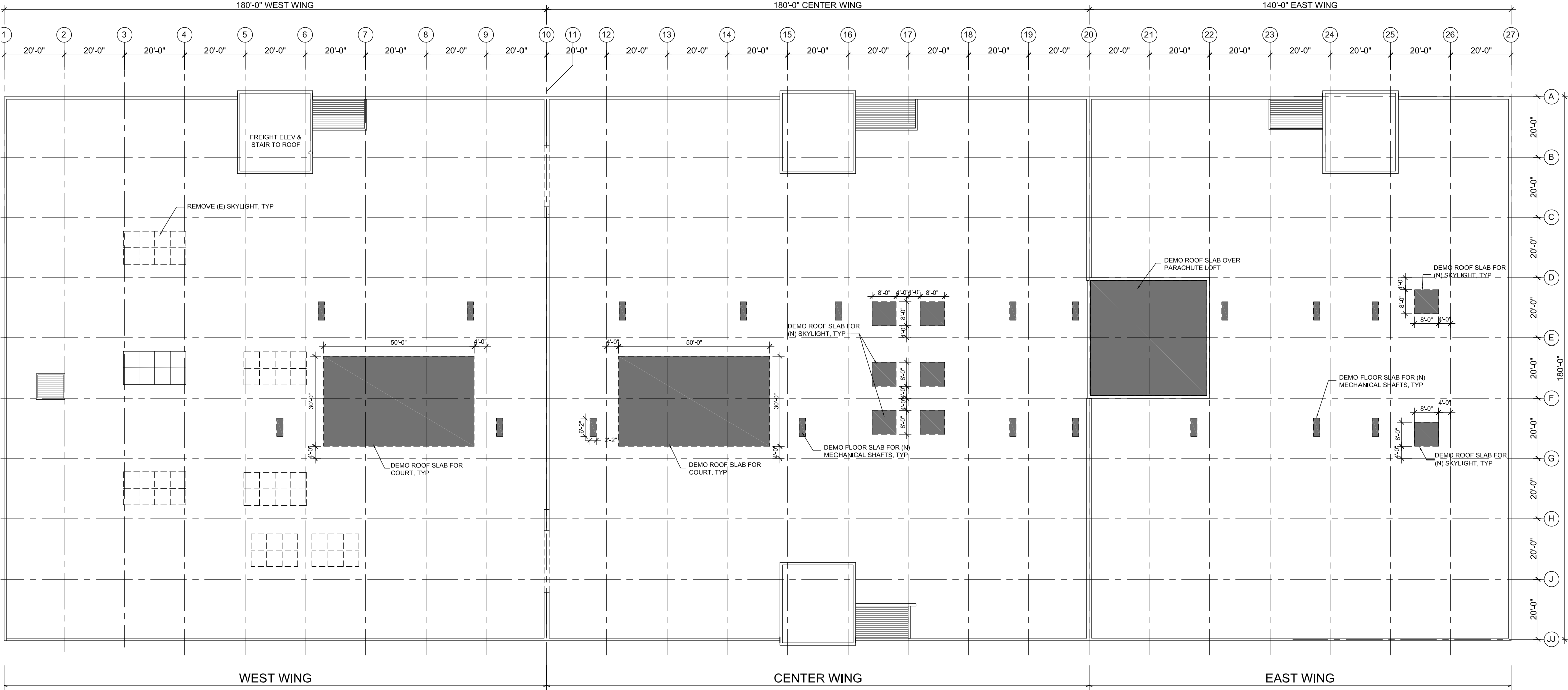
NOTES

- PROVIDE TEMPORARY SIGNAGE THROUGHOUT CONSTRUCTION PERIOD IDENTIFYING BUILDING ENTRANCES & EXITS FOR WORKERS & EMERGENCY PERSONNEL.
- SEE DEMOLITION ELEVATION, SHEET A-201 FOR EXTERIOR DEMOLITION

1 THIRD FLOOR INTERIOR, DEMOLITION PLAN
SEE ELEVATION FOR EXTERIOR DEMO

	Client	Architects	With	Consultants	Project	Revisions			Project No.	Sheet Name	Sheet No.
	ALAMEDA POINT REDEVELOPERS Jonah Hendrickson 1475 Powell Street, Suite #201 Emeryville CA 94608 Tel: 510.684.0647 Email: jonahhendrickson@mac.com	MARCY WONG DONN LOGAN ARCHITECTS 800 Bancroft Way, Suite #200 Berkeley CA 94710 Tel: 510.843.0916 Email: office@wonglogan.com	MIKITTEN ARCHITECTURE 2415 Fifth Street Berkeley CA 94710 Tel: 510.540.7111 Email: erick@mikittenarch.com			ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE BUILDING 8 ALAMEDA POINT 2350 Saratoga Street, Alameda, CA 94501	No.	Issue	Date	1608 PLANNING REVIEW 09/05/2017 Author Checker Scale at Sheet Size D 1/16" = 1'-0"	THIRD FLOOR INTERIOR DEMOLITION PLAN

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GENERAL DEMOLITION NOTES

1. WALLS:
a. DEMOLISH NON-STRUCTURAL INTERIOR PARTITIONS, AS INDICATED.
b. CLEAN, REMOVE GRAFFITI & PATCH PREVIOUSLY PAINTED SURFACES AS NECESSARY FOR NEW FINISHES.
2. FLOORS:
a. REMOVE ALL DETERIORATED / DISINTEGRATED FLOORING.
3. CEILINGS:
a. REMOVE ALL ACOUSTIC TILE CEILINGS & ASSOCIATED FRAMING
b. REMOVE DETERIORATED PLASTER CEILING
4. SALVAGE (E) LIGHT FIXTURES EXCEPT HISTORIC FIXTURES SHALL BE SURVEYED & TAGGED TO REMAIN PRIOR TO DEMOLITION.
5. REMOVE ALL EXISTING ELECTRICAL OUTLETS AND EQUIPMENT.
6. ABATE LEAD, ASBESTOS & MOLD AS NECESSARY.
7. EXISTING FIRE SPRINKLER SYSTEM TO REMAIN.

LEGEND

- (E) CONCRETE WALL, V.I.F.
- (E) CMU, V.I.F.
- (E) WOOD STUD WALL, V.I.F.
- REMOVE (E) INTERIOR, NON-STRUCTURAL CONSTRUCTION
- DEMOLISH/REMOVE CONSTRUCTION

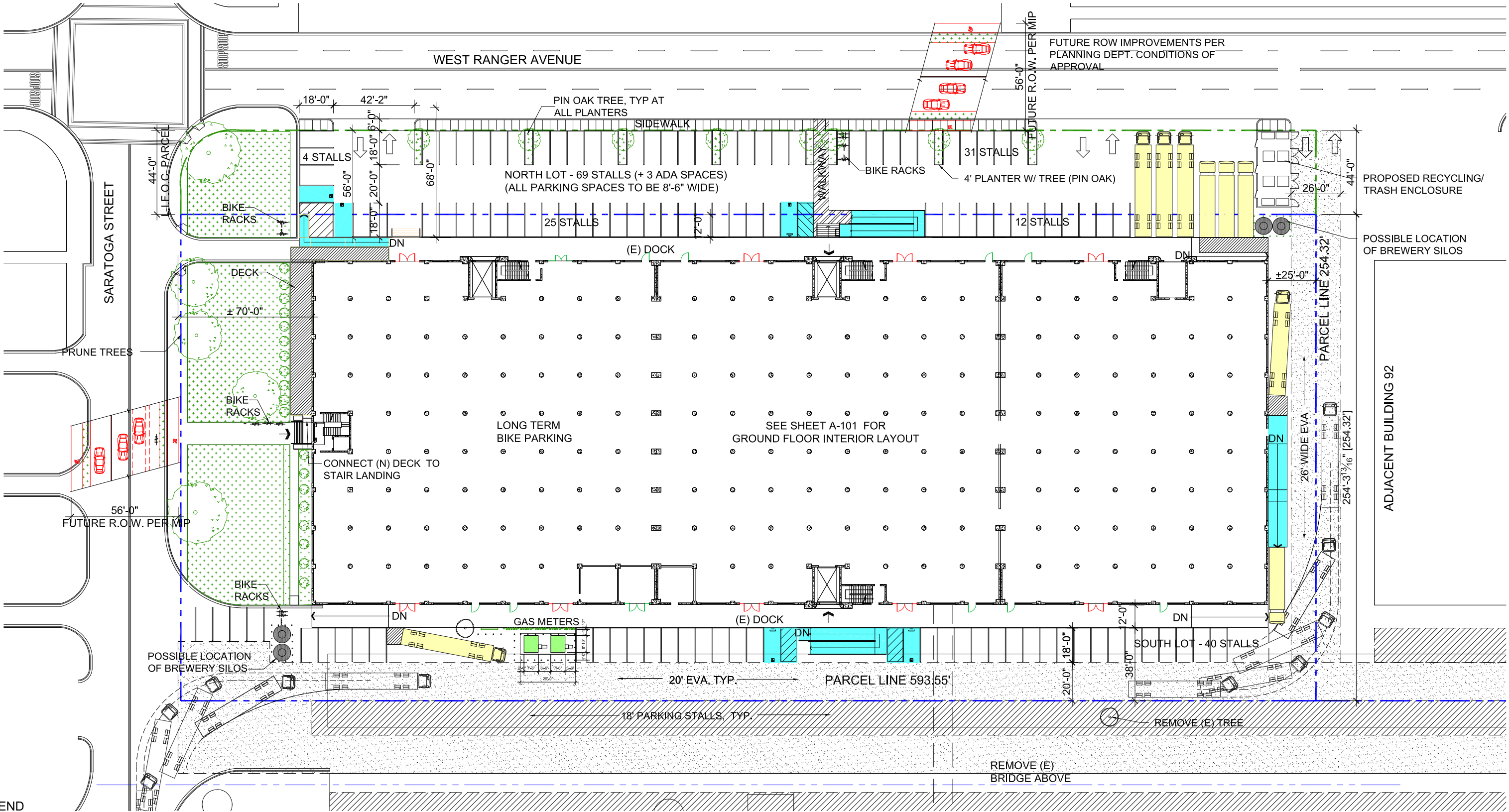
NOTES

- A. PROVIDE TEMPORARY SIGNAGE THROUGHOUT CONSTRUCTION PERIOD IDENTIFYING BUILDING ENTRANCES & EXITS FOR WORKERS & EMERGENCY PERSONNEL.
- B. SEE DEMOLITION ELEVATION, SHEET A-201 FOR EXTERIOR DEMOLITION

1

ROOF DEMOLITION PLAN
SEE ELEVATION FOR EXTERIOR DEMO

B8 ENTREPRENEUR & MAKER SPACE	Client	Architects	With	Consultants	Project	Revisions			Project No.	1608	Sheet Name	Sheet No.
	ALAMEDA POINT REDEVELOPERS Jonah Hendrickson 1475 Powell Street, Suite #201 Emeryville CA 94608 Tel: 510.684.0647 Email: jonahhendrickson@mac.com	MARCY WONG DONN LOGAN ARCHITECTS 800 Bancroft Way, Suite #200 Berkeley CA 94710 Tel: 510.843.0916 Email: office@wonglogan.com	MIKITTEN ARCHITECTURE 2415 Fifth Street Berkeley CA 94710 Tel: 510.540.7111 Email: erick@mikittenarch.com		ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE BUILDING 8 ALAMEDA POINT 2350 Saratoga Street, Alameda, CA 94501	No.	Issue	Date	Phase	PLANNING REVIEW	ROOF DEMOLITION PLAN	A014
									Date	09/05/2017		
									Drawn by	Author		
									Checked by	Checker		
									Scale at Sheet Size D	1/16" = 1'-0"		



LEGEND

BUILDING ENTRANCE/EXIT

INTERIM PARCEL BOUNDARY

FUTURE PARCEL BOUNDARY

TRANSFORMER

BEER SILOS

LOADING DOCK

EMERGENCY VEHICLE ACCESS

PARKING STALLS

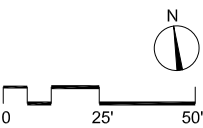
ACCESSIBLE PARKING STALL/ RAMP

TRACTOR TRAILER TRUCK

BOX TRUCK

NEW STOREFRONT IN EXISTING ROLL-UP DOOR OPENING

NEW STOREFRONT TO REPLACE EXISTING WINDOW OR WALL



B8
ENTREPRENEUR & MAKER SPACE

Client

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Consultants

Project

ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE
BUILDING 8 | ALAMEDA POINT

2350 Saratoga Street, Alameda, CA 94501

Revisions		
No.	Issue	Date

Project No. 1608

Phase **PLANNING REVIEW**

Date 09/05/2017

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Scale at Sheet Size D 1" = 25'

Sheet Name

SITE PLAN

Sheet No.

A101

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KEY NOTES:
AREAS ARE NET, MEASURED
TO INTERIOR FACE OF WALL

	CIRCULATION		OFFICE/STORAGE		TENANT AMENITIES		NEW DEMISING WALL - 1-HR/ STC 64
	COURTYARD		SKYLIT ATRIUM		TOILET/UTILITY AREAS		NEW PARTITION WALL
	OFFICE (w/ Daylight)		STAIR / ELEVATOR		WORK / LIVE UNITS		EXISTING WALL TO REMAIN
							EXISTING WALL TO BE DEMOLISHED



1 FLOOR PLAN - LEVEL 2
1/16" = 1'-0"



Client

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Consultants

Project	
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ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE BUILDING 8 | ALAMEDA POINT

2350 Saratoga Street, Alameda, CA 94501

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Project No.	1608
Phase	PLANNING REVIEW
Date	09/21/2017
Drawn by	SM, TT
Checked by	Checker
Scale at Sheet Size D	1/16" = 1'-0"

Sheet Name

**SECOND
FLOOR PLAN**

Sheet No.

A112

KEY
NOTES:
AREAS ARE NET, MEASURED
TO INTERIOR FACE OF WALL

- CIRCULATION

COURTYARD

OFFICE (w/ Daylight)
- OFFICE/STORAGE

SKYLIT ATRIUM

STAIR / ELEVATOR
- TOILET/UTILITY AREAS

WORK / LIVE UNITS
- NEW DEMISING WALL - 1-HR/ STC 64

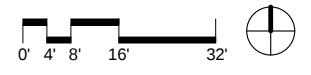
NEW PARTITION WALL

EXISTING WALL TO REMAIN

EXISTING WALL TO BE DEMOLISHED



1 FLOOR PLAN - LEVEL 3
1/16" = 1'-0"



Client

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Project

ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE
BUILDING 8 | ALAMEDA POINT

2350 Saratoga Street, Alameda, CA 94501

Revisions		
No.	Issue	Date

Project No. 1608

Phase PLANNING REVIEW

Date 09/21/2017

Drawn by TT

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Sheet Name

THIRD FLOOR PLAN

Sheet No.

A113

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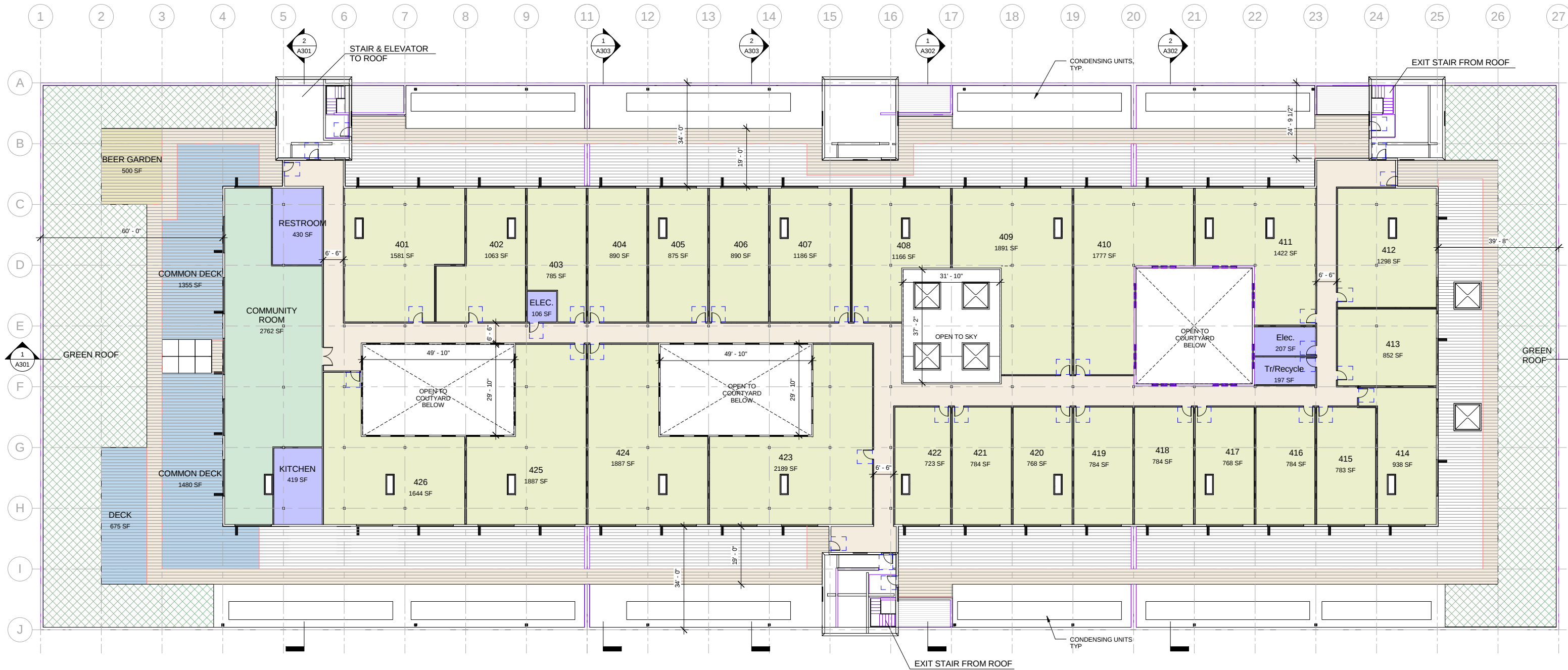
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KEY

NOTES:
AREAS ARE NET, MEASURED
TO INTERIOR FACE OF WALL

- BEER GARDEN
- CIRCULATION
- COMMON DECK
- DECK
- NEW COMMERCIAL
- TENANT AMENITIES
- TOILET/UTILITY AREAS

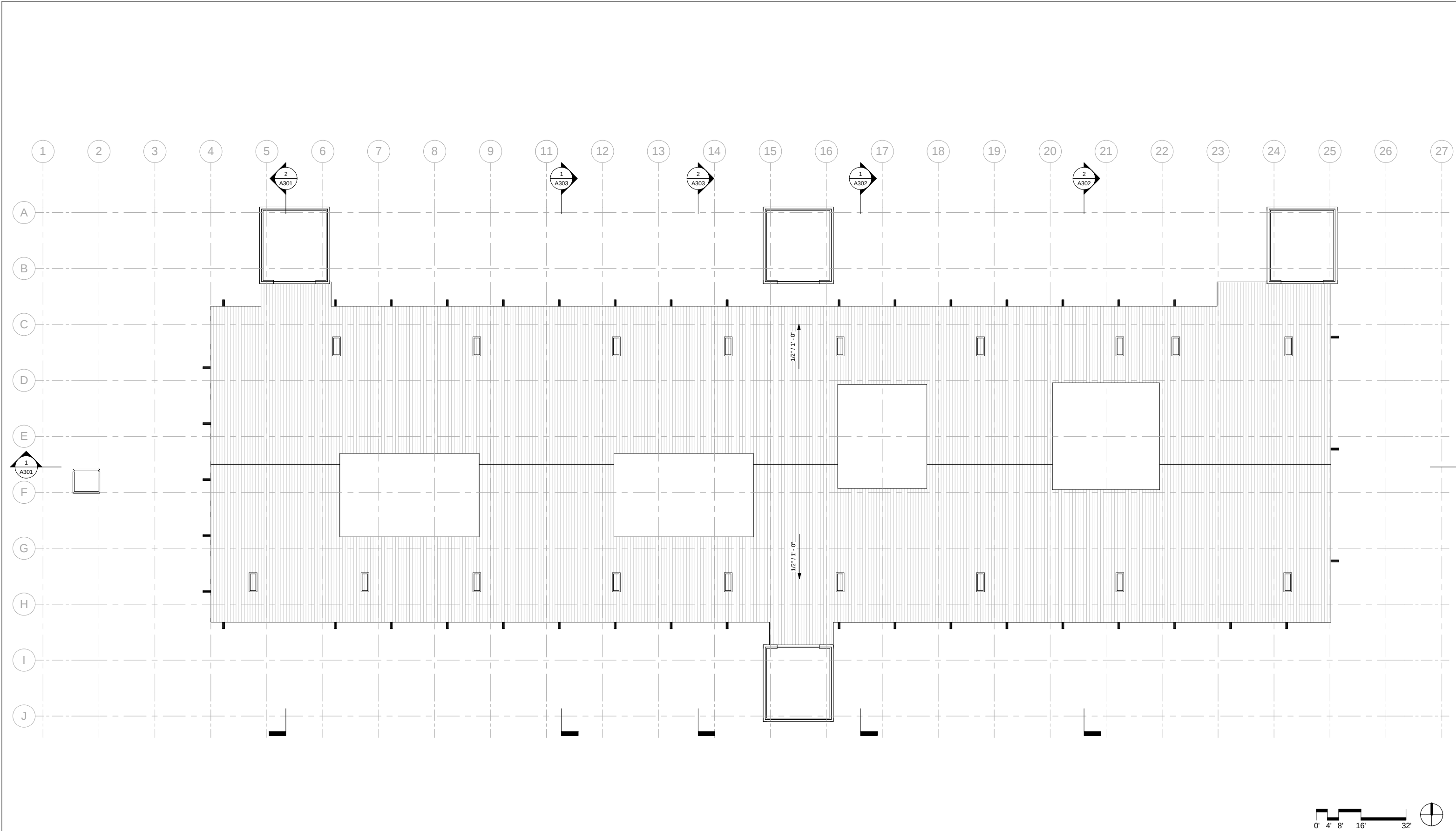
- NEW DEMISING WALL - 1-HR/ STC 64
- NEW PARTITION WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED



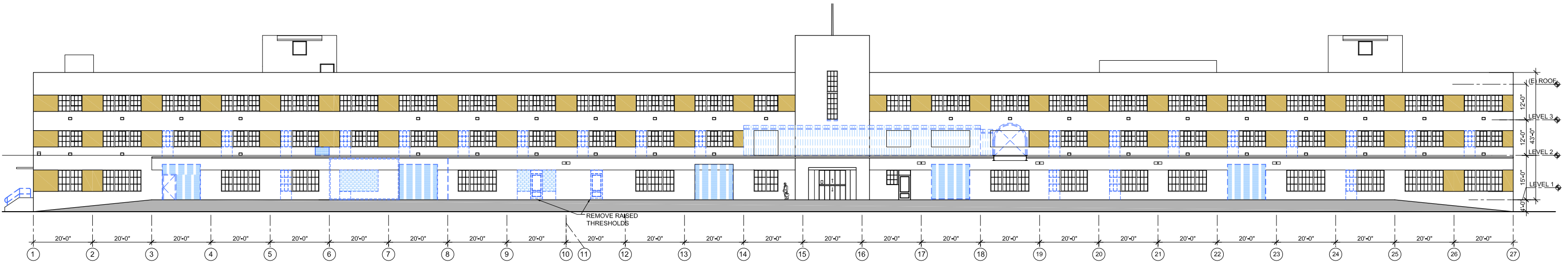
1 FLOOR PLAN - LEVEL 4
1/16" = 1'-0"



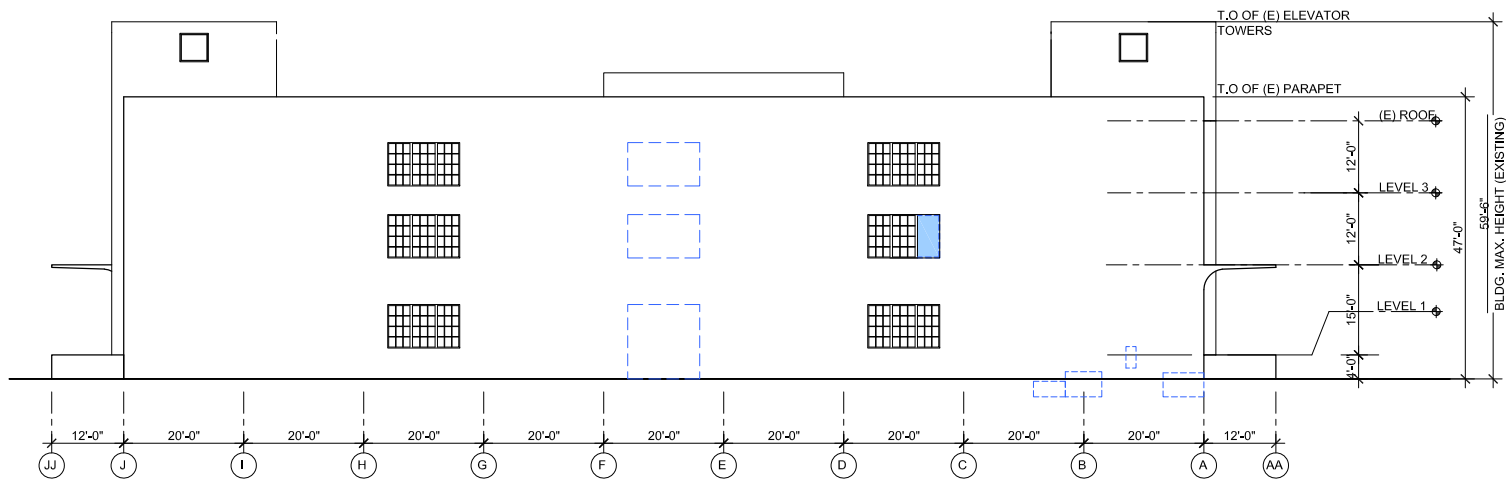
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ALAMEDA POINT REDEVELOPERS Jonah Hendrickson	MARCY WONG DONN LOGAN ARCHITECTS	MIKITEN ARCHITECTURE		ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE BUILDING 8 ALAMEDA POINT				4TH FLOOR PLAN	A114																																				
1475 Powell Street, Suite #201 Emeryville CA 94608 Tel: 510.684.0647 Email: jonahhendrickson@mac.com	800 Bancroft Way, Suite #200 Berkeley CA 94710 Tel: 510.843.0916 Email: office@wonglogan.com	2415 Fifth Street Berkeley CA 94710 Tel: 510.540.7111 Email: erick@mikitenarch.com		2350 Saratoga Street, Alameda, CA 94501																																									



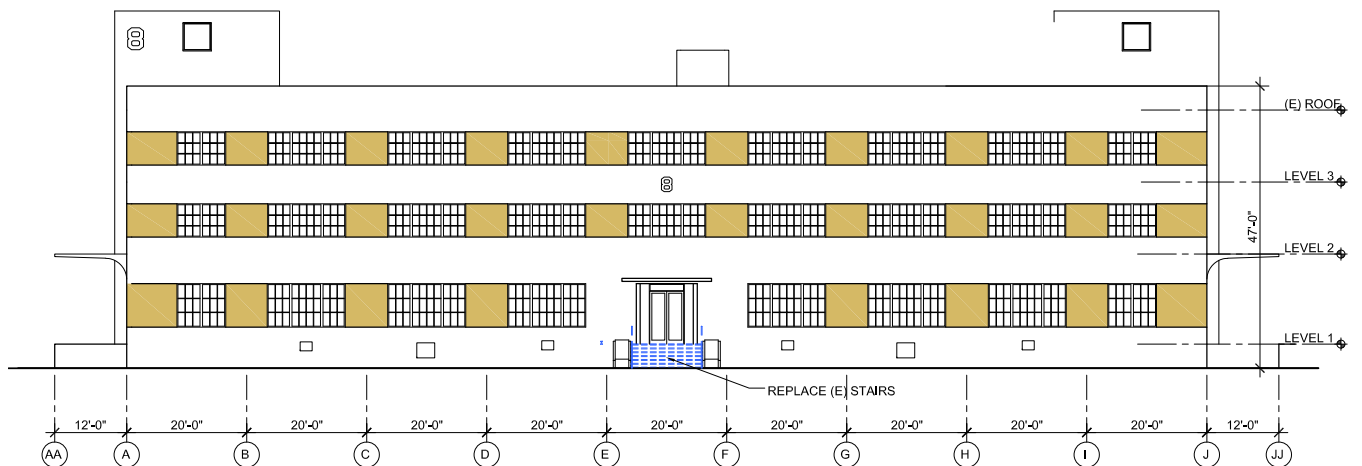
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	1475 Powell Street, Suite #201 Emeryville CA 94608 Tel: 510.684.0647 Email: jonahhendrickson@mac.com	800 Bancroft Way, Suite #200 Berkeley CA 94710 Tel: 510.843.0916 Email: office@wonglogan.com	2415 Fifth Street Berkeley CA 94710 Tel: 510.540.7111 Email: erick@mikitenarch.com		2350 Saratoga Street, Alameda, CA 94501				Date	09/21/2017			
										Drawn by	TT	HIGH ROOF PLAN	A115
										Checked by	Checker		
										Scale at Sheet Size D	1/16" = 1'-0"		



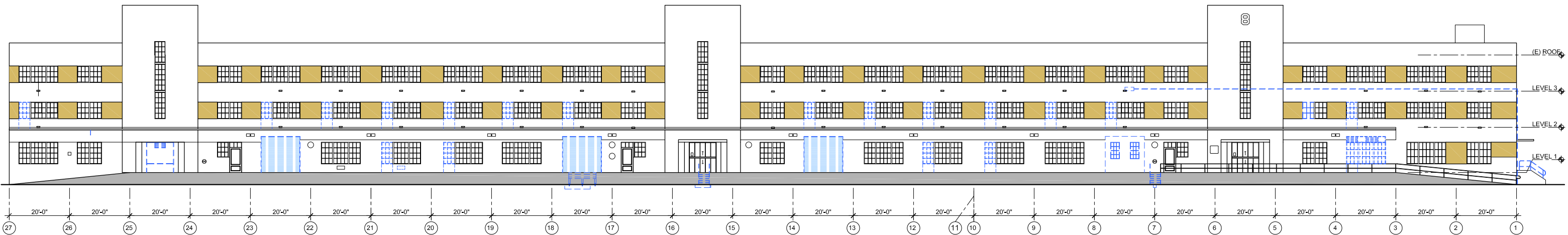
4 SOUTH ELEVATION



3 EAST ELEVATION



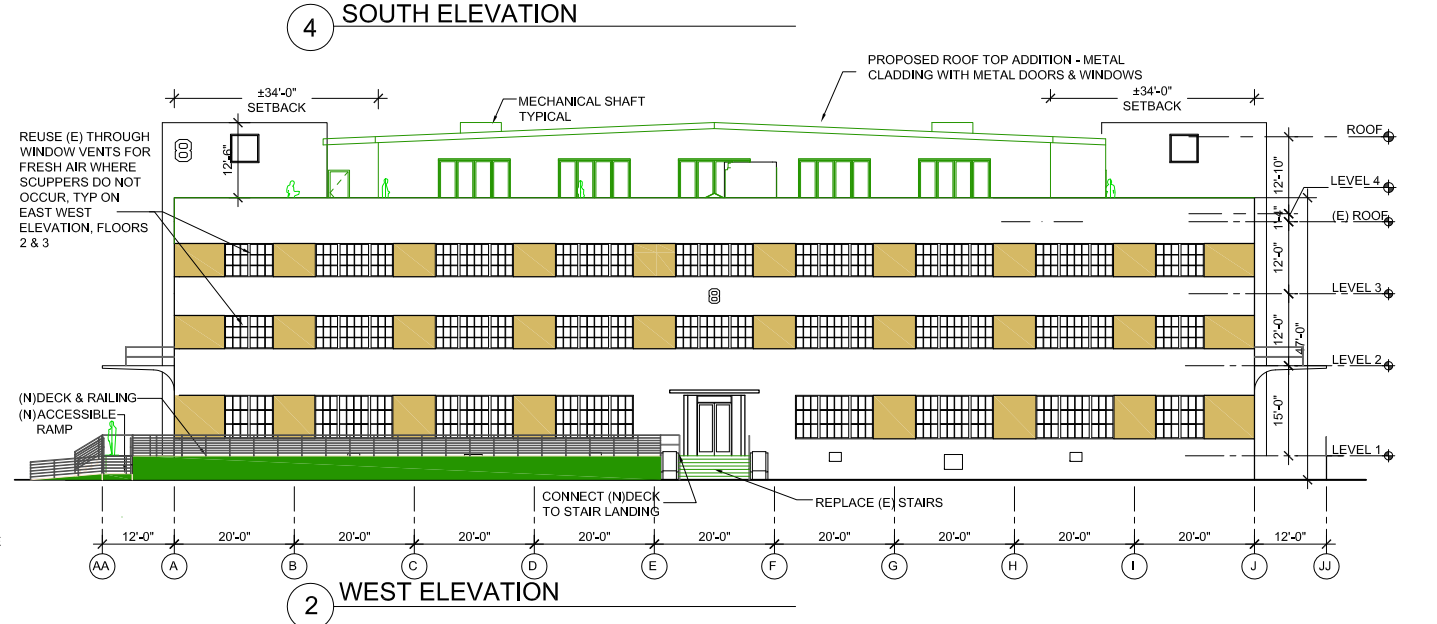
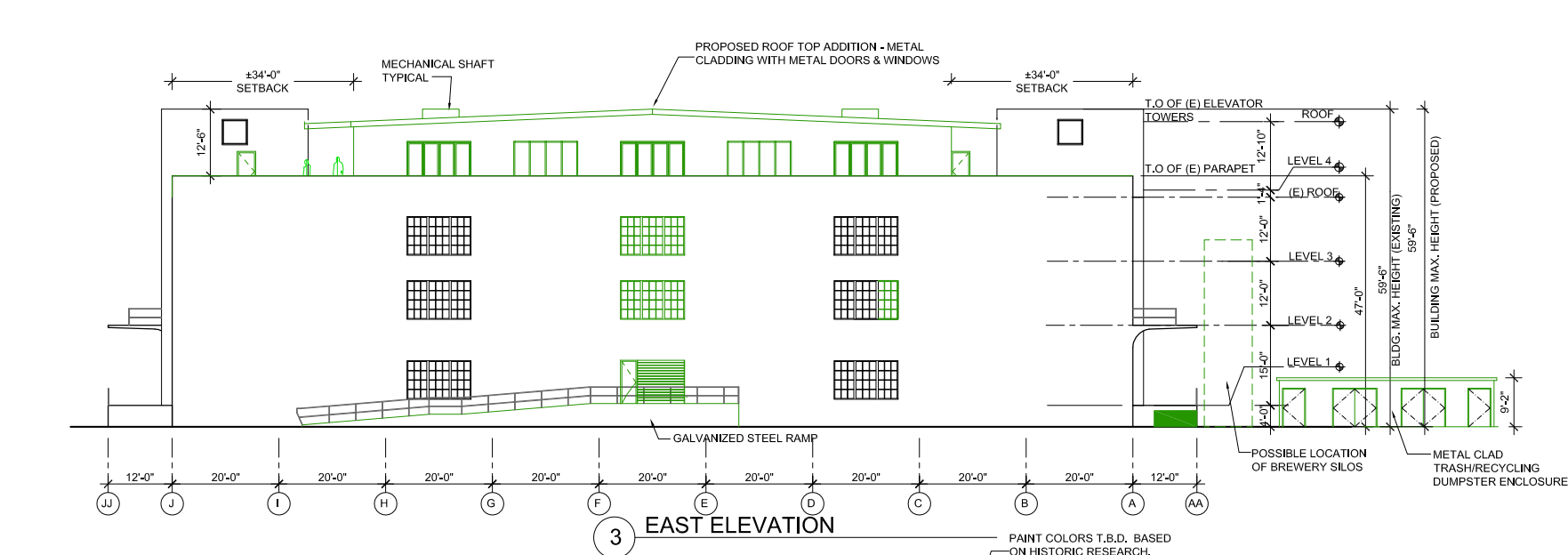
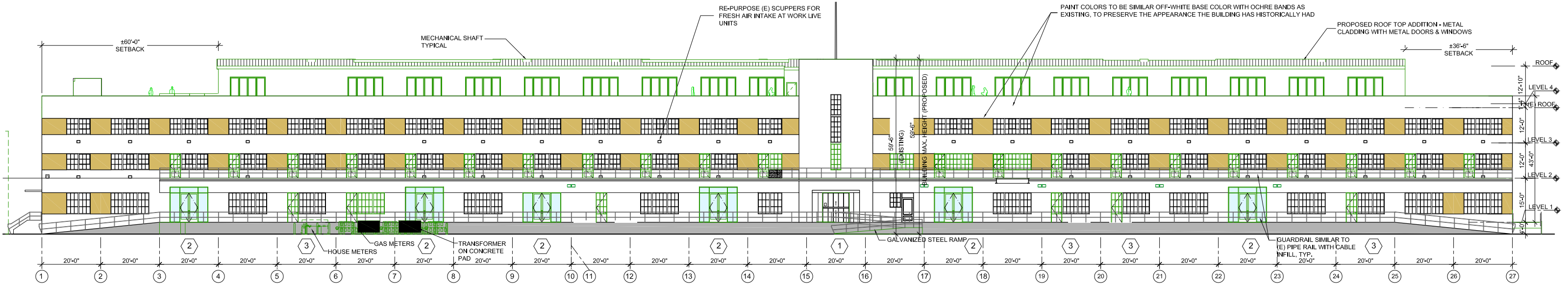
2 WEST ELEVATION



1 NORTH ELEVATION

NOTE:
ITEMS SHOWN IN BLUE & DASHED ARE EXISTING TO BE REMOVED

	Client ALAMEDA POINT REDEVELOPERS Jonah Hendrickson 1475 Powell Street, Suite #201 Emeryville CA 94608 Tel: 510.684.0647 Email: jonahhendrickson@mac.com	Architects MARCY WONG DONN LOGAN ARCHITECTS 800 Bancroft Way, Suite #200 Berkeley CA 94710 Tel: 510.843.0916 Email: office@wonglogan.com	With MIKITTEN ARCHITECTURE 2415 Fifth Street Berkeley CA 94710 Tel: 510.540.7111 Email: erick@mikittenarch.com	Consultants	Project ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE BUILDING 8 ALAMEDA POINT 2350 Saratoga Street, Alameda, CA 94501	Revisions			Project No. 1608	Sheet Name DEMOLITION ELEVATIONS	Sheet No. A201
						No.	Issue	Date			
									Phase PLANNING REVIEW		
									Date 09/05/2017		
									Drawn by Author		
									Checked by Checker		
									Scale at Sheet Size D 1/16" = 1'-0"		



LEGEND

- 1 BUILDING ENTRY: PAIR GLASS/METAL DOORS WITH SIDE LIGHTS
- 2 STOREFRONT ENTRY: PAIR GLASS/METAL DOORS WITH SIDE LIGHTS OR UPWARD ACTING GLASS/METAL DOOR WITH ADJACENT EXIT DOOR
- 3 ENTRY DOOR: GLASS/METAL DOOR IN (E) WINDOW OPENING.

KEY

- PROPOSED NEW DOOR, WINDOW, ADDITION
- PROPOSED NEW RAILING

Client

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ADAPTIVE REUSE OF HISTORIC
GENERAL STOREHOUSE
BUILDING 8 | ALAMEDA POINT

2350 Saratoga Street, Alameda, CA 94501

Revisions		
No.	Issue	Date

Project No. 1608

Phase PLANNING REVIEW

Date 09/21/2017

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Sheet Name

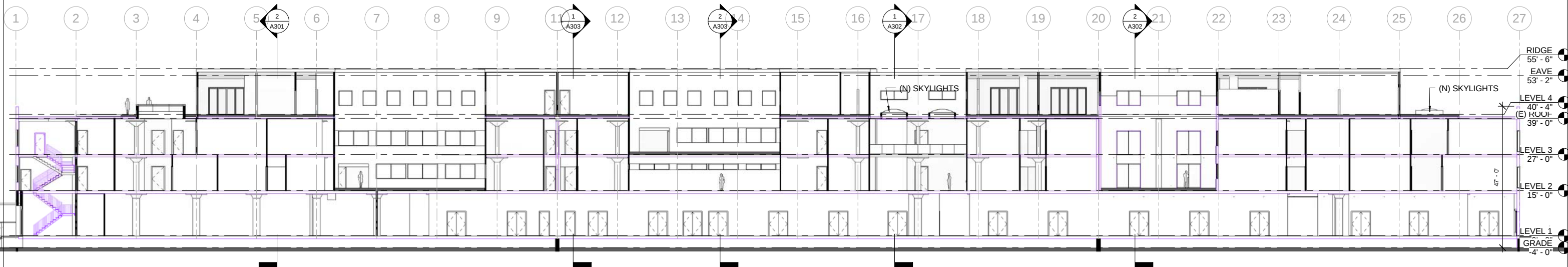
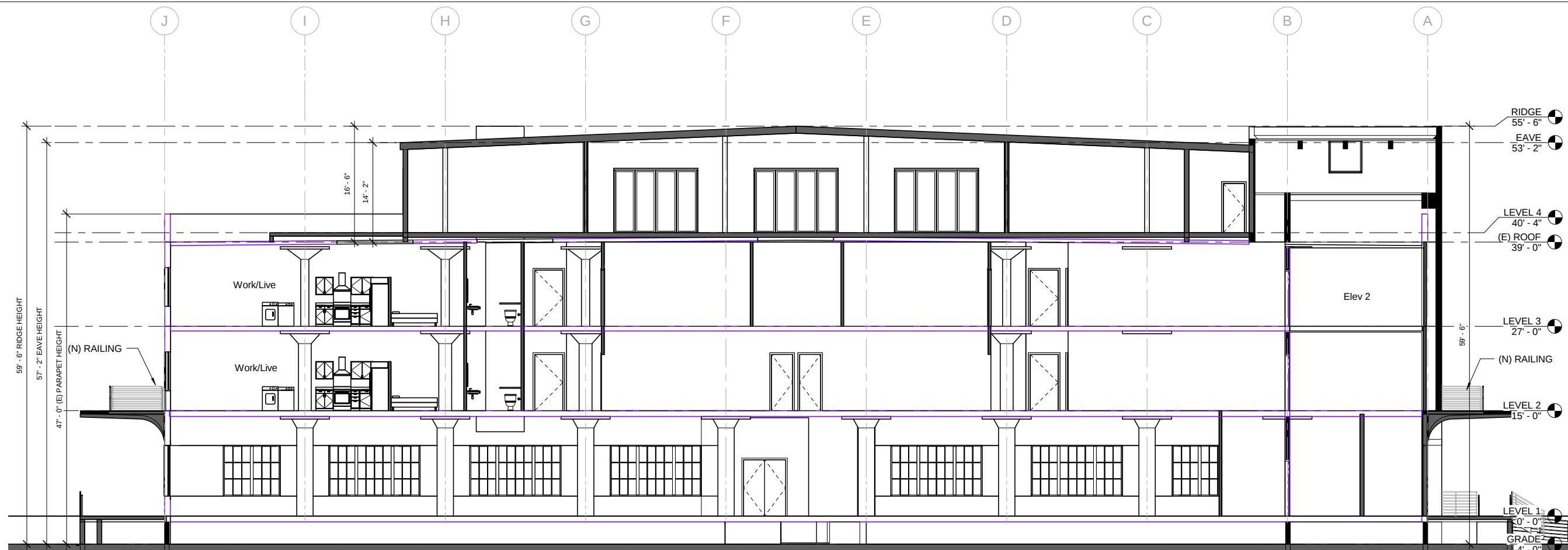
ELEVATIONS

Sheet No.

A202

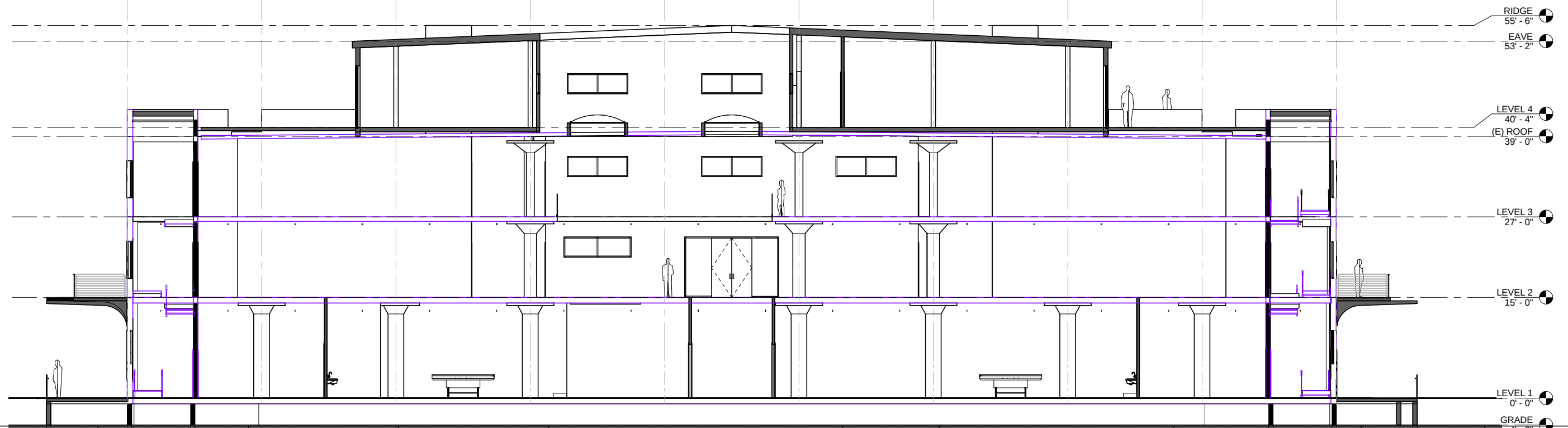
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NOTE - INTERIOR CONFIGURATION SUBJECT TO FURTHER REFINEMENT OF FLOOR PLANS

	Client ALAMEDA POINT REDEVELOPERS Jonah Hendrickson 1475 Powell Street, Suite #201 Emeryville CA 94608 Tel: 510.684.0647 Email: jonahhendrickson@mac.com	Architects MARCY WONG DONN LOGAN ARCHITECTS 800 Bancroft Way, Suite #200 Berkeley CA 94710 Tel: 510.843.0916 Email: office@wonglogan.com	With MIKITEN ARCHITECTURE 2415 Fifth Street Berkeley CA 94710 Tel: 510.540.7111 Email: erick@mikitenarch.com	Consultants	Project ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE BUILDING 8 ALAMEDA POINT 2350 Saratoga Street, Alameda, CA 94501	Revisions			Project No. 1608	Sheet Name SECTIONS	Sheet No. A301
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									Phase PLANNING REVIEW		
									Date 09/21/2017		
									Drawn by Author		
									Checked by Checker		
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Consultants

Project
**ADAPTIVE REUSE OF HISTORIC
GENERAL STOREHOUSE
BUILDING 8 | ALAMEDA POINT**

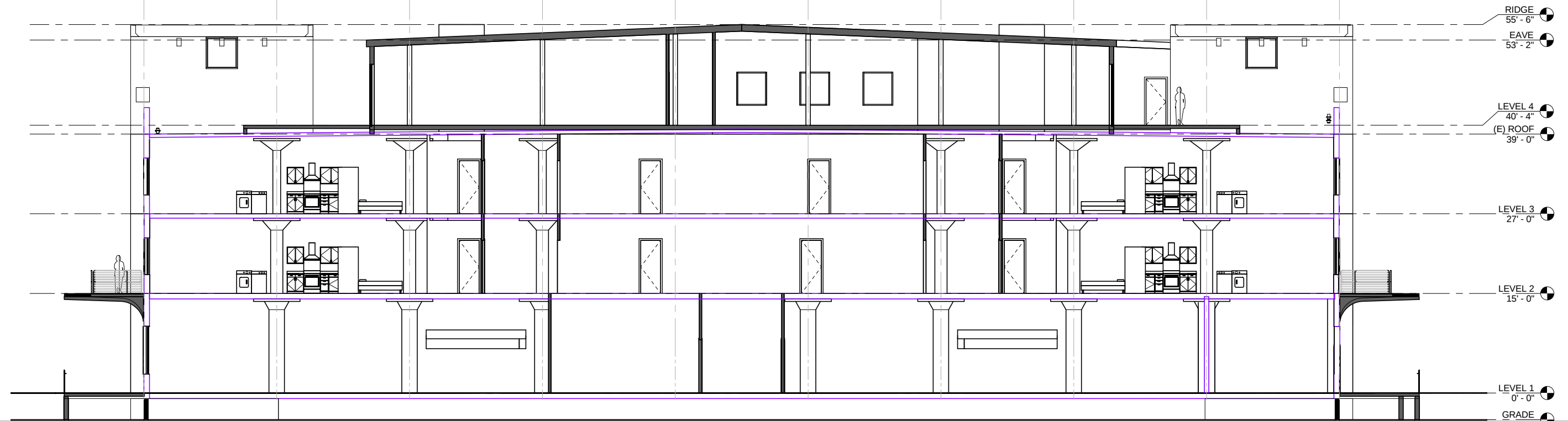
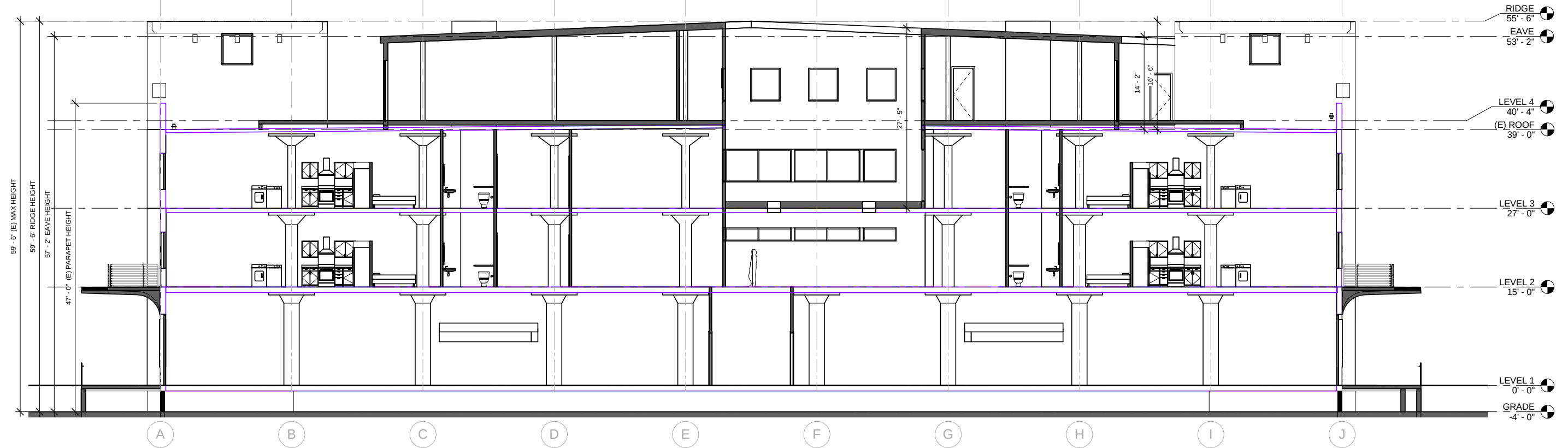
2350 Saratoga Street, Alameda, CA 94501

Revisions		
No.	Issue	Date

Project No. 1608
Phase **PLANNING REVIEW**
Date 09/21/2017
Drawn by Author
Checked by Checker
Scale at Sheet Size D 1/8" = 1'-0"

Sheet Name
SECTIONS

Sheet No.
A302



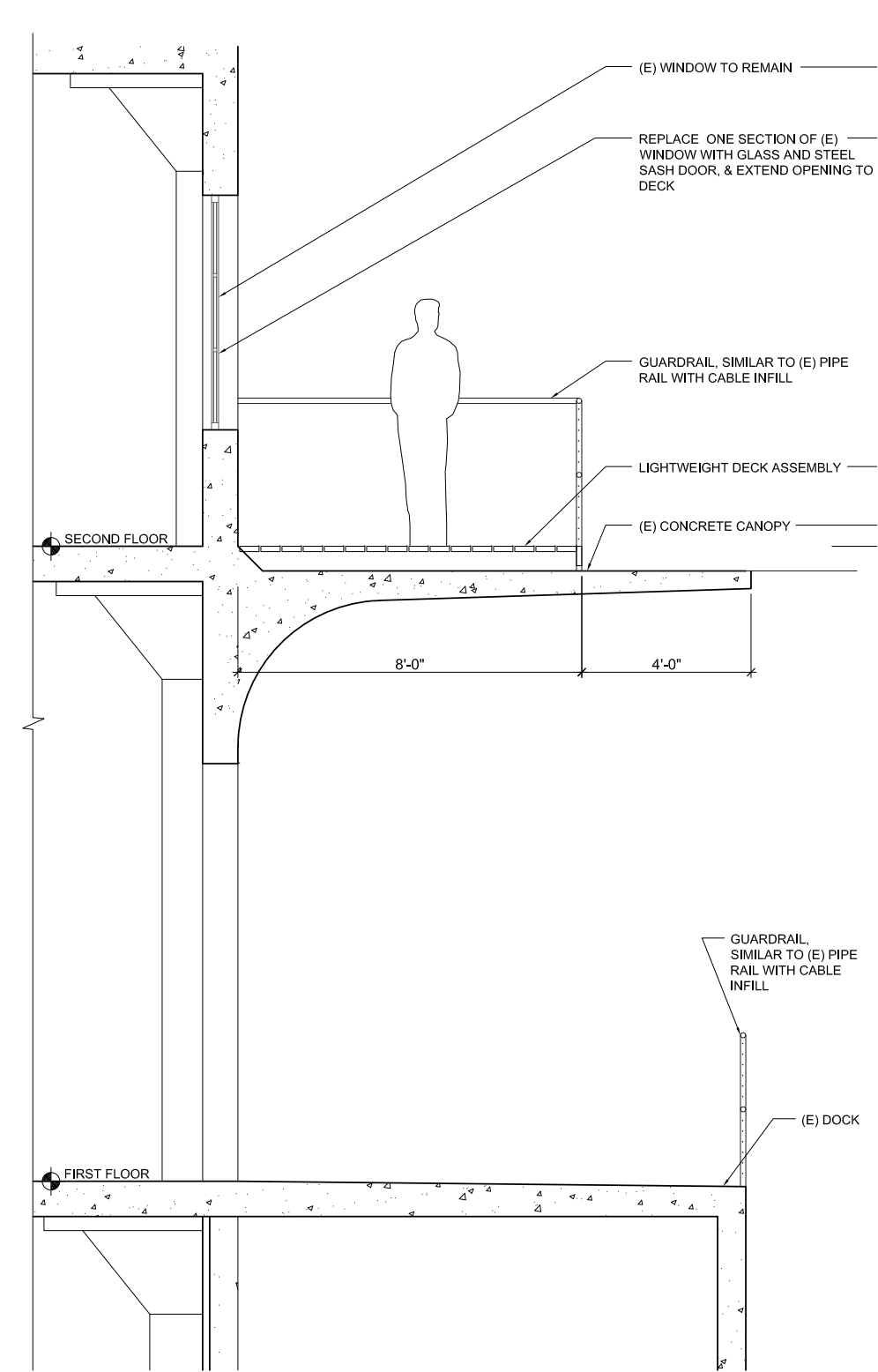
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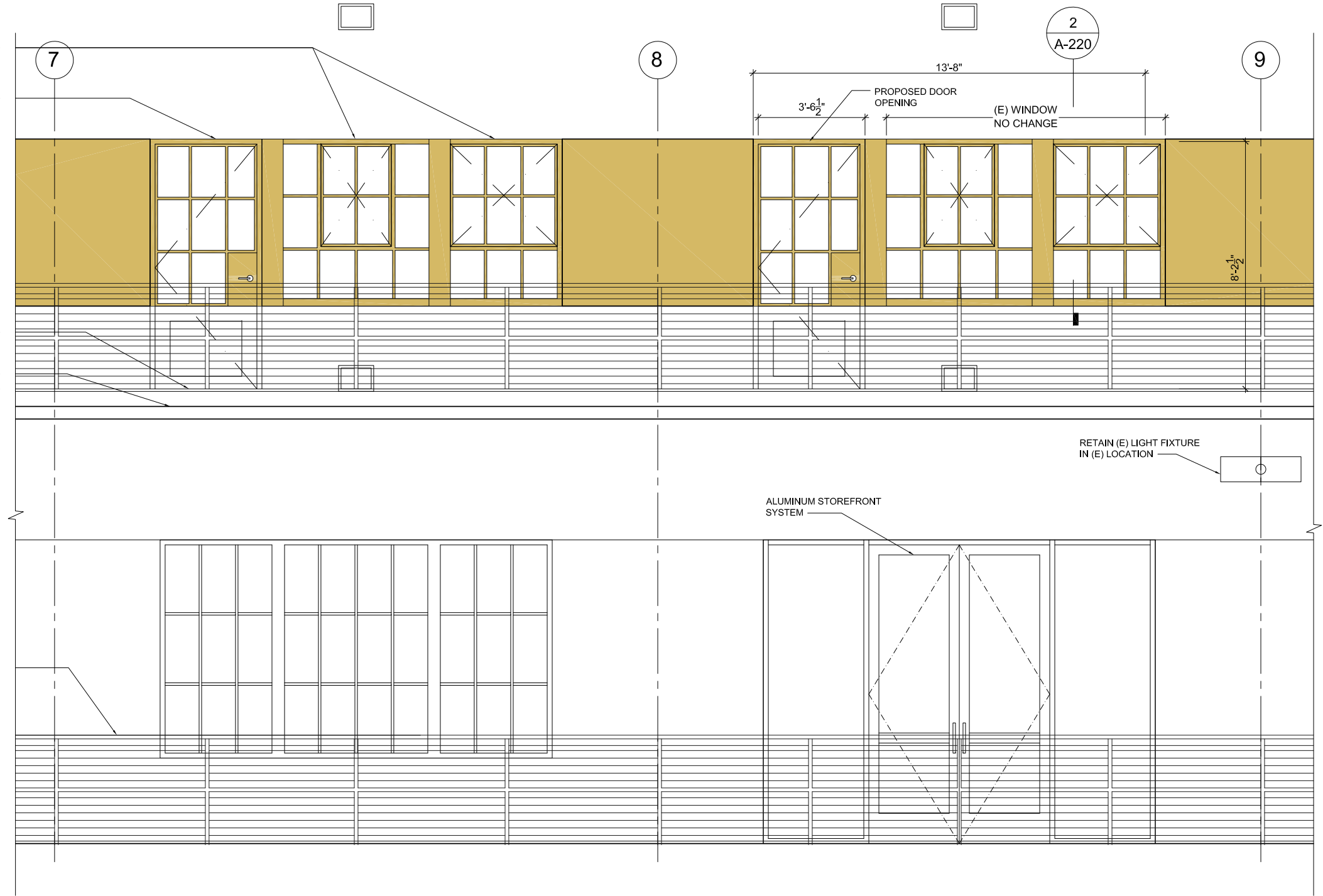
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ALAMEDA POINT REDEVELOPERS Jonah Hendrickson		MARCY WONG DONN LOGAN ARCHITECTS		MIKITEN ARCHITECTURE				ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE BUILDING 8 ALAMEDA POINT		No.	Issue	Date	1608		SECTIONS	
1475 Powell Street, Suite #201 Emeryville CA 94608 Tel: 510.684.0647 Email: jonahhendrickson@mac.com		800 Bancroft Way, Suite #200 Berkeley CA 94710 Tel: 510.843.0916 Email: office@wonglogan.com		2415 Fifth Street Berkeley CA 94710 Tel: 510.540.7111 Email: erick@mikitenarch.com				2350 Saratoga Street, Alameda, CA 94501					Phase PLANNING REVIEW		A303	
													Date 09/21/2017			
													Drawn by Author			
													Checked by Checker			
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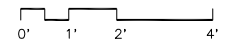
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2 SECTION AT DOCK

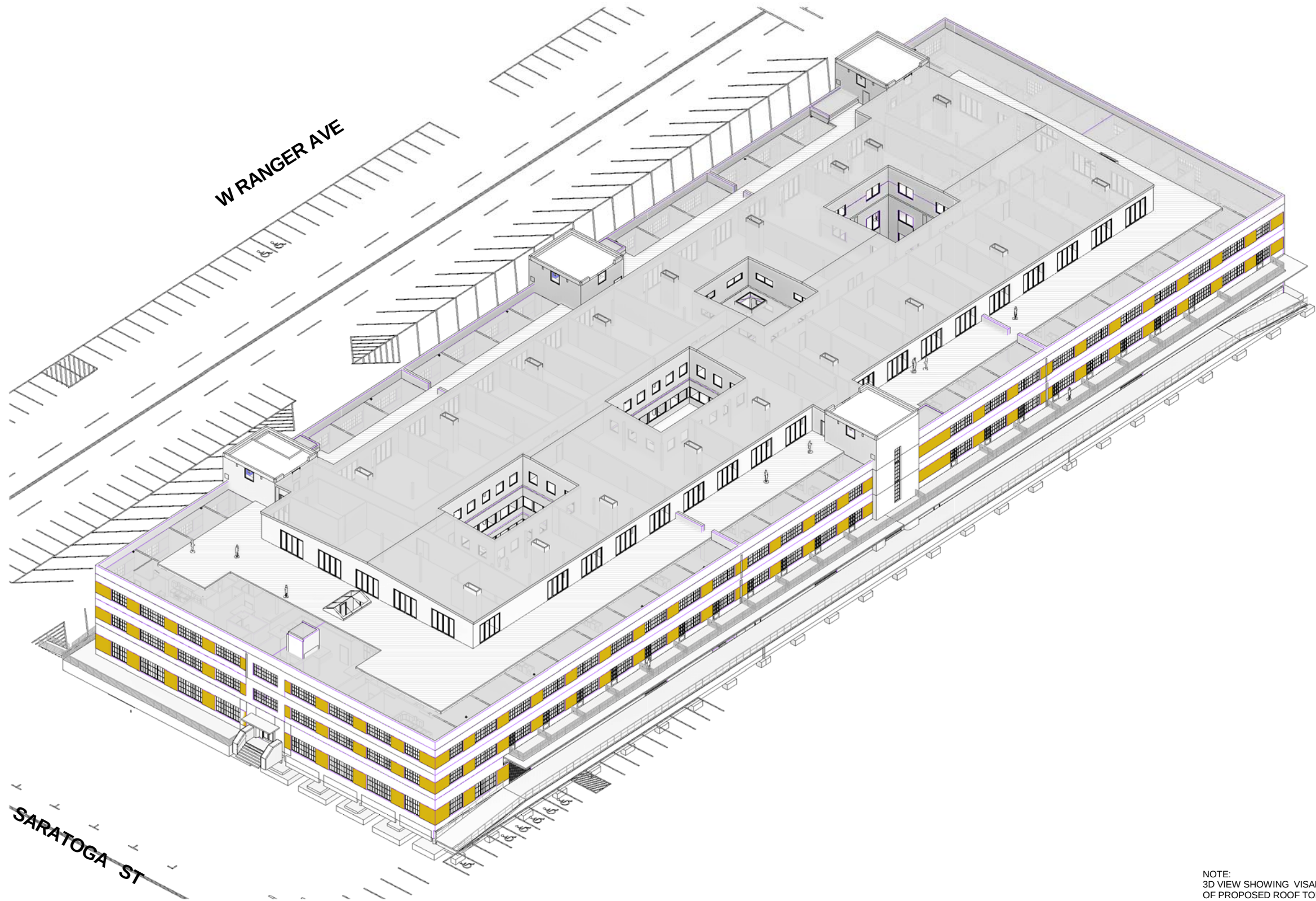


1 ENLARGED ELEVATION FLOORS 2 & 3



Client	ALAMEDA POINT REDEVELOPERS Jonah Hendrickson	Architects MARCY WONG DONN LOGAN ARCHITECTS	With MIKITTEN ARCHITECTURE	Consultants	Project ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE BUILDING 8 ALAMEDA POINT 2350 Saratoga Street, Alameda, CA 94501	Revisions			Project No. 1608	Sheet Name PARTIAL ENLARGED ELEVATIONS	Sheet No. A421
						No.	Issue	Date			
1475 Powell Street, Suite #201 Emeryville CA 94608 Tel: 510.684.0647 Email: jonahhendrickson@mac.com	800 Bancroft Way, Suite #200 Berkeley CA 94710 Tel: 510.843.0916 Email: office@wonglogan.com	2415 Fifth Street Berkeley CA 94710 Tel: 510.540.7111 Email: erick@mikittenarch.com							Phase PLANNING REVIEW	Scale at Sheet Size D 1/2" = 1'-0"	
									Date 09/05/2017		
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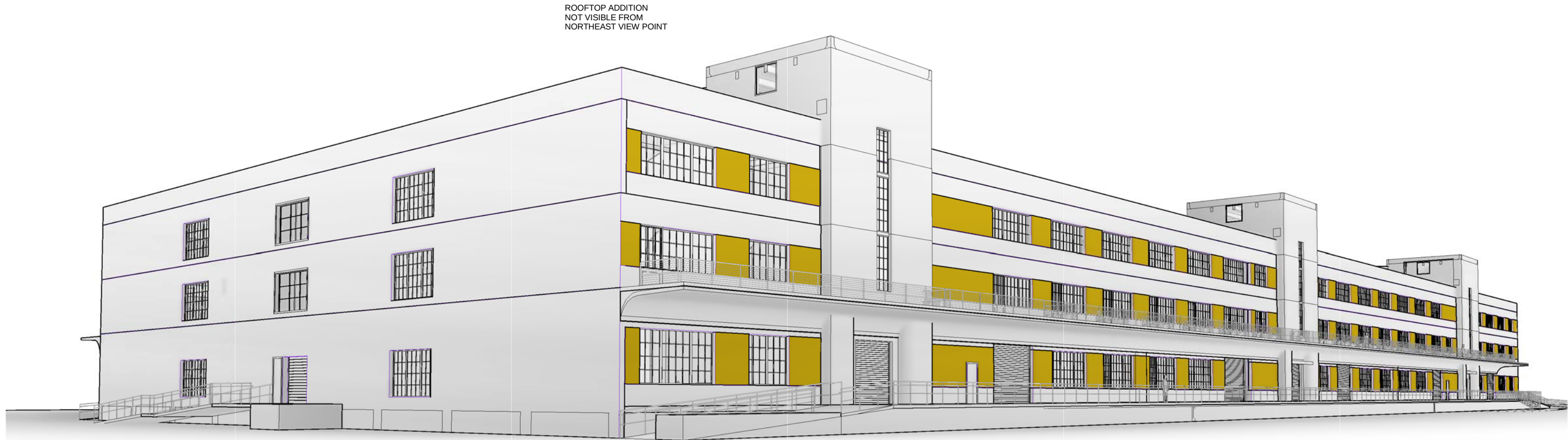


NOTE:
3D VIEW SHOWING VISIBILITY
OF PROPOSED ROOF TOP ADDITION
ON (E) BUILDING

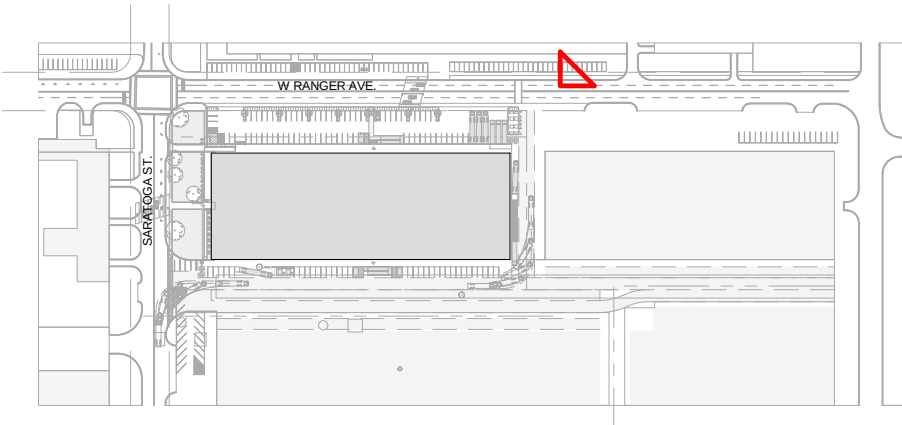
SEE 2D ELEVATIONS FOR PROPOPOSED
FACADE IMPROVEMENTS



Client	Architects	With	Consultants	Project	Revisions			Project No.	Sheet Name	Sheet No.
					No.	Issue	Date			
ALAMEDA POINT REDEVELOPERS Jonah Hendrickson 1475 Powell Street, Suite #201 Emeryville CA 94608 Tel: 510.684.0647 Email: jonahhendrickson@mac.com	MARCY WONG DONN LOGAN ARCHITECTS 800 Bancroft Way, Suite #200 Berkeley CA 94710 Tel: 510.843.0916 Email: office@wonglogan.com	MIKITEN ARCHITECTURE 2415 Fifth Street Berkeley CA 94710 Tel: 510.540.7111 Email: erick@mikitenarch.com		ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE BUILDING 8 ALAMEDA POINT 2350 Saratoga Street, Alameda, CA 94501				1608	3D VIEW - AERIAL	A901
								PLANNING REVIEW		
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ROOFTOP ADDITION
NOT VISIBLE FROM
NORTHEAST VIEW POINT



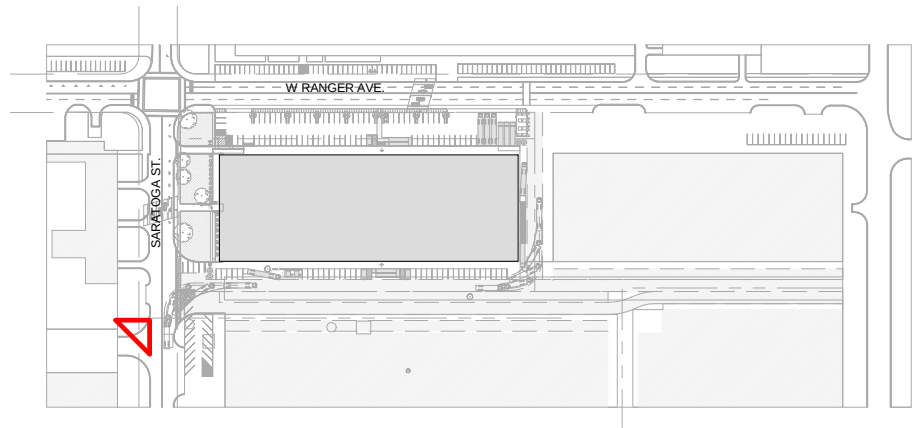
NOTE:
3D VIEW SHOWING VISIBILITY
OF PROPOSED ROOF TOP ADDITION
ON (E) BUILDING

SEE 2D ELEVATIONS FOR PROPOSED
FACADE IMPROVEMENTS

B8 ENTREPRENEUR & MAKER SPACE	Client	Architects	With	Consultants	Project	Revisions			Project No.	Sheet Name	Sheet No.
	ALAMEDA POINT REDEVELOPERS Jonah Hendrickson 1475 Powell Street, Suite #201 Emeryville CA 94608 Tel: 510.684.0647 Email: jonahhendrickson@mac.com	MARCY WONG DONN LOGAN ARCHITECTS 800 Bancroft Way, Suite #200 Berkeley CA 94710 Tel: 510.843.0916 Email: office@wonglogan.com	MIKITEN ARCHITECTURE 2415 Fifth Street Berkeley CA 94710 Tel: 510.540.7111 Email: erick@mikitenarch.com		ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE BUILDING 8 ALAMEDA POINT 2350 Saratoga Street, Alameda, CA 94501	No.	Issue	Date	1608	3D VIEW - NORTHEAST	A902
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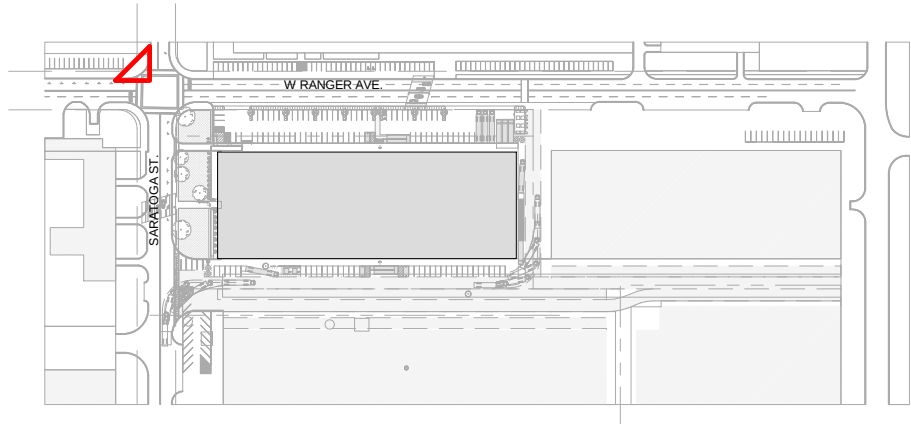
ROOF TOP ADDITION
NOT VISIBLE FROM
SOUTHWEST VIEW POINT



NOTE:
3D VIEW SHOWING VISIBILITY
OF PROPOSED ROOF TOP ADDITION
ON (E) BUILDING

SEE 2D ELEVATIONS FOR PROPOSED
FACADE IMPROVEMENTS

	Client	Architects	With	Consultants	Project	Revisions			Project No.	1608	Sheet Name	Sheet No.
	ALAMEDA POINT REDEVELOPERS Jonah Hendrickson 1475 Powell Street, Suite #201 Emeryville CA 94608 Tel: 510.684.0647 Email: jonahhendrickson@mac.com	MARCY WONG DONN LOGAN ARCHITECTS 800 Bancroft Way, Suite #200 Berkeley CA 94710 Tel: 510.843.0916 Email: office@wonglogan.com	MIKITEN ARCHITECTURE 2415 Fifth Street Berkeley CA 94710 Tel: 510.540.7111 Email: erick@mikitenarch.com		ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE BUILDING 8 ALAMEDA POINT 2350 Saratoga Street, Alameda, CA 94501	No.	Issue	Date	Phase	PLANNING REVIEW	3D VIEW - SOUTHWEST	A903
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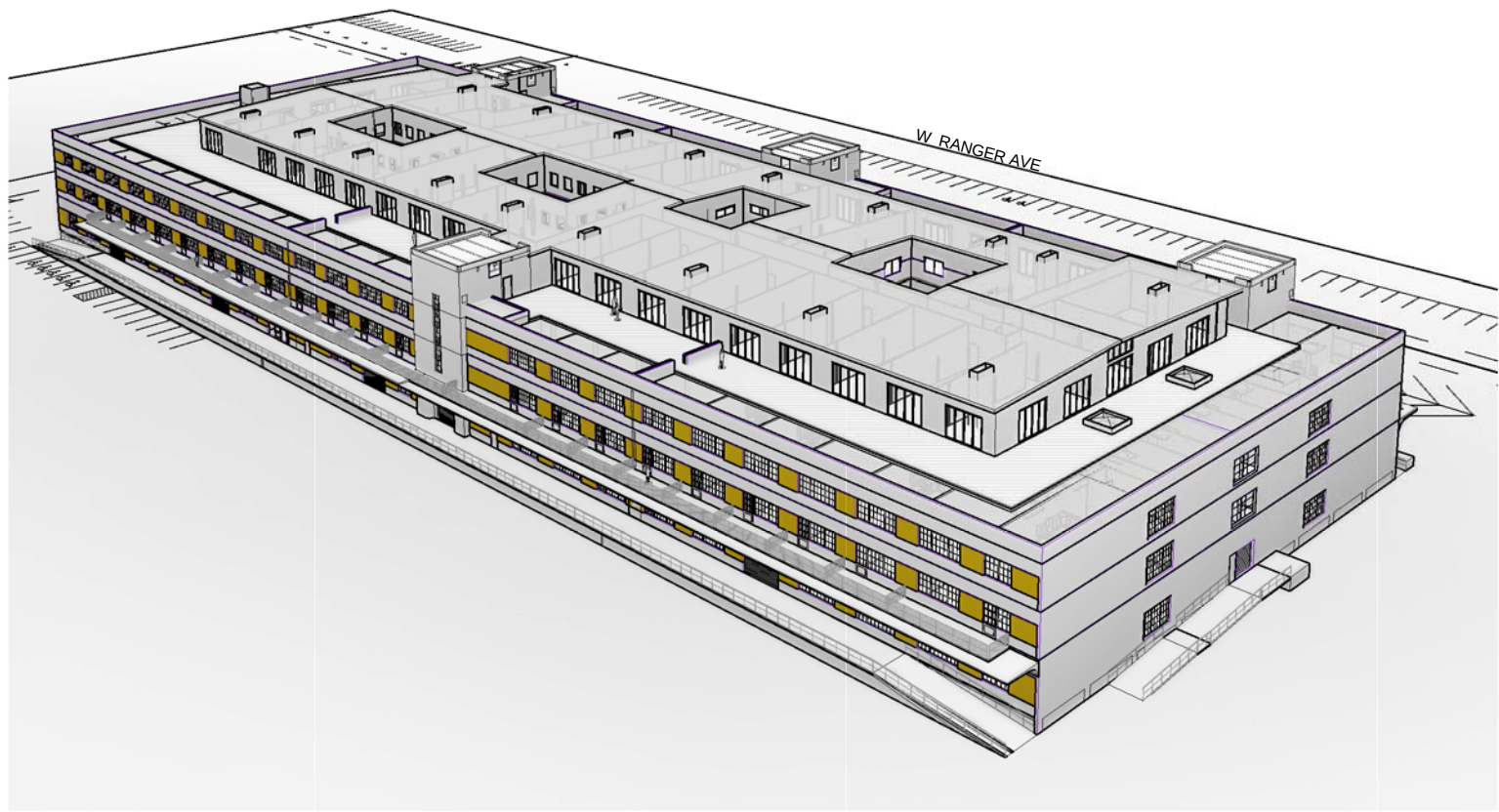


NOTE:
3D VIEW SHOWING VISIBILITY
OF PROPOSED ROOF TOP ADDITION
ON (E) BUILDING

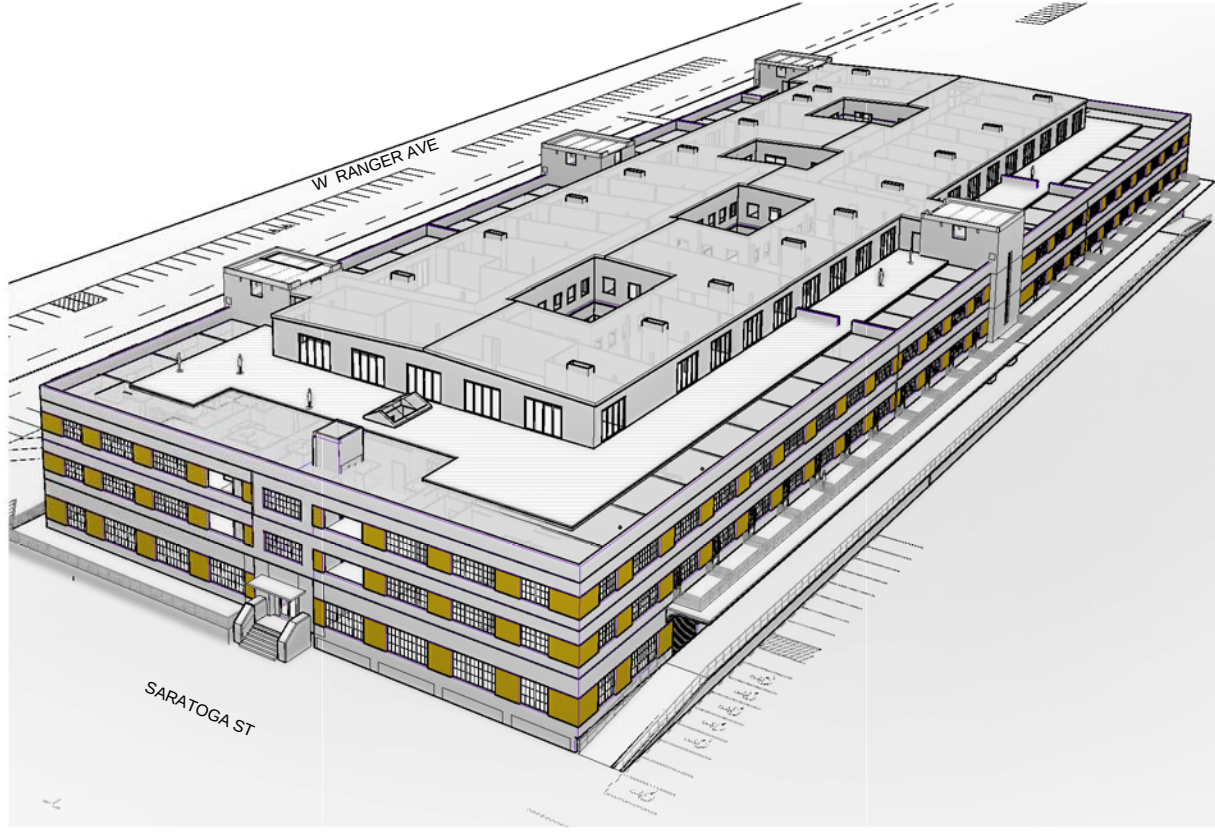
SEE 2D ELEVATIONS FOR PROPOPOSED
FACADE IMPROVEMENTS



Client	Architects	With	Consultants	Project		Revisions			Project No.	1608	Sheet Name	Sheet No.
ALAMEDA POINT REDEVELOPERS Jonah Hendrickson	MARCY WONG DONN LOGAN ARCHITECTS	MIKITEN ARCHITECTURE		ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE BUILDING 8 ALAMEDA POINT		No.	Issue	Date	Phase	PLANNING REVIEW	3D VIEW - NORTHWEST	A904
									Date	09/21/2017		
									Drawn by	Author		
									Checked by	Checker		
									Scale at Sheet Size D	1" = 160'-0"		
1475 Powell Street, Suite #201 Emeryville CA 94608 Tel: 510.684.0647 Email: jonahhendrickson@mac.com	800 Bancroft Way, Suite #200 Berkeley CA 94710 Tel: 510.843.0916 Email: office@wonglogan.com	2415 Fifth Street Berkeley CA 94710 Tel: 510.540.7111 Email: erick@mikitenarch.com		2350 Saratoga Street, Alameda, CA 94501								



2 AERIAL PERSPECTIVE VIEW FROM SOUTHEAST



1 AERIAL PERSPECTIVE VIEW FROM SOUTHWEST



Client	Architects	With	Consultants	Project																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
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