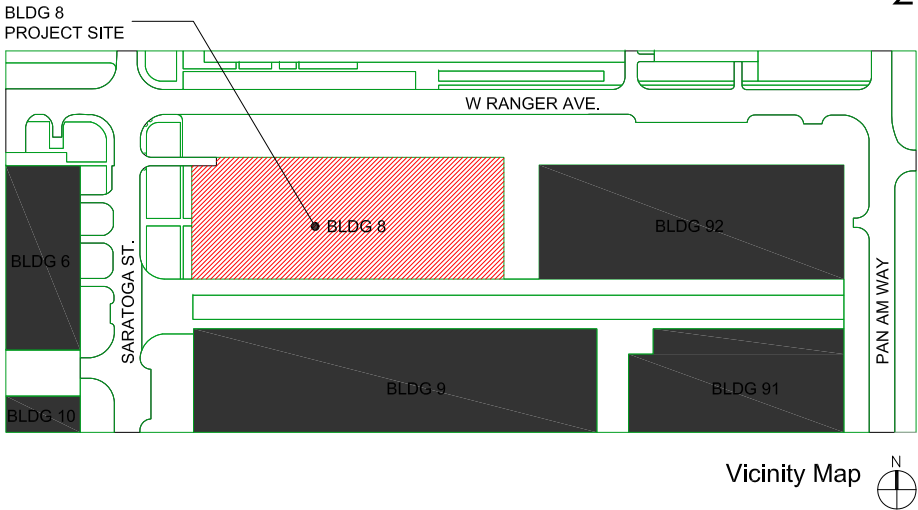
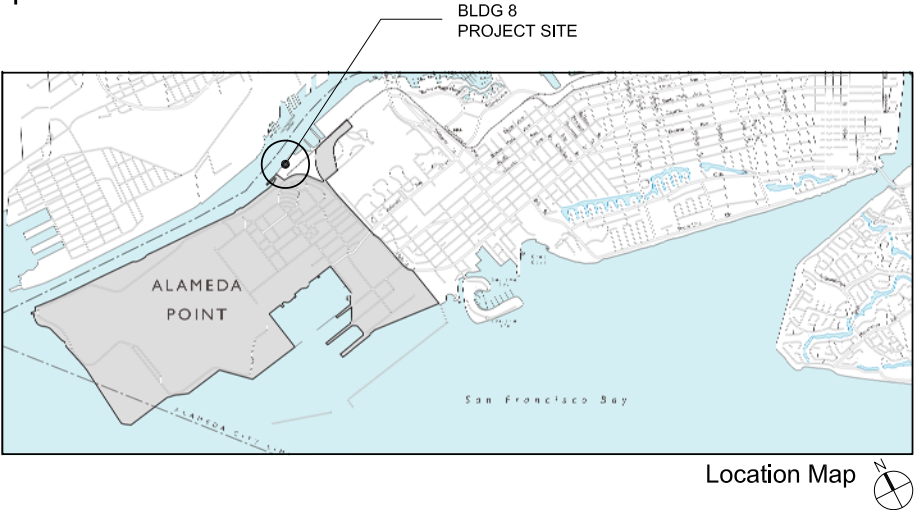


ADAPTIVE REUSE OF HISTORIC
GENERAL STOREHOUSE BUILDING 8
ALAMEDA POINT

2350 SARATOGA ST., ALAMEDA, CA 94501



Exterior View



PROJECT ROSTER

APPLICANT

ALAMEDA POINT REDEVELOPERS, LLC.
1475 POWELL ST., SUITE 201,
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PRESERVATION ARCHITECTURE
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ASSOCIATE ARCHITECT

MIKITEN ARCHITECTURE
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STRUCTURAL ENGINEER

TIPPING STRUCTURAL ENGINEERS
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BERKELEY, CA 94704
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m.steyer@tippingstructural.com,
510-549-1906

MEP ENGINEERS

B E L D E N CONSULTING ENGINEERS
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PLEASANTON, CALIFORNIA 94588
Attn: DENNIS HAY, PE
dennish@beldeninc.com,
925-621-5301

PROJECT DESCRIPTION

THE PROJECT IS THE ADAPTIVE REUSE OF THE HISTORIC GENERAL STOREHOUSE, BUILDING 8 ALAMEDA POINT.

- THE BUILDING IS IDENTIFIED AS A CONTRIBUTOR TO NAVAL AIR STATION ALAMEDA HISTORIC DISTRICT, LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES.
- ALL WORK SHALL BE CONSISTENT WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR HISTORIC PRESERVATION

THE PROJECT SCOPE INCLUDES:

- REHABILITATION OF THE DETERIORATED BUILDING SHELL
- REPLACEMENT OF UTILITIES AND INFRASTRUCTURE
- ADA ACCESSIBILITY IMPROVEMENTS
- INTERIOR & EXTERIOR IMPROVEMENTS TO ACCOMMODATE NEW BUILDING USES INCLUDING
 - FLOOR 1: COMMERCIAL TENANTS INCLUDING COMMERCIAL KITCHENS & BREWERY
 - FLOORS 2 & 3: WORK/ LIVE UNITS AND OFFICE SPACE
- ROOFTOP BUILDING ADDITION- APPROXIMATELY 40,000 GSF TO 55,000 GSF INCLUDING COMMERCIAL AND WORK/ LIVE UNITS WITH A COMMUNITY ROOM AND DECK AREA PROVIDED AS AN AMENITY TO BUILDING OCCUPANTS AND GUESTS

COMMERCIAL KITCHEN CLASSIFICATION:

NEW CLASSIFICATION FOR FOOD PROCESSING ESTABLISHMENTS AND COMMERCIAL KITCHENS THAT ARE NOT ASSOCIATED WITH A RESTAURANT [304.1, 306.2]

- IF LESS THAN 2,500 SQ. FT., THEY SHALL BE CLASSIFIED AS A GROUP B OCCUPANCY.
- IF LARGER THAN 2,500 SQ. FT., THEY SHALL BE CLASSIFIED AS A GROUP F-1 OCCUPANCY.
- REGARDLESS OF SIZE, COMMERCIAL KITCHENS THAT ARE ASSOCIATED WITH RESTAURANTS ARE CLASSIFIED AS A GROUP A-2 OCCUPANCY.

WORK/LIVE CLASSIFICATION:

PER ALAMEDA MUNICIPAL CODE [30-15.4.b] NOT MORE THAN THIRTY (30%) PERCENT OR FOUR HUNDRED (400) SQUARE FEET, WHICHEVER IS GREATER, OF THE WORK/LIVE STUDIO SHALL BE RESERVED FOR LIVING SPACE. THE REST OF THE GROSS FLOOR AREA OF EACH WORK/LIVE STUDIO SHALL BE RESERVED AND REGULARLY USED FOR WORKING SPACE. WORK/LIVE UNITS ARE CLASSIFIED AS A GROUP B OCCUPANCY.

PROJECT DATA (PRELIMINARY)

SITE INFORMATION

PARCEL (SEE SHEET T-101)	AREA	ZONING
PARCEL 1	± 151,153 SF	ADAPTIVE REUSE(AP-AR)
L.I.F.O.C. PARCEL	± 26,169 SF	ADAPTIVE REUSE(AP-AR)
TOTAL	±177,322 SF	

PARKING DATA	REGULAR STALLS	ADA	TOTAL
PARKING PROVIDED	107	3 + 2 VAN	112

BUILDING INFORMATION

	ORIGINAL CONSTRUCTION	ADDITION (EAST WING)
YEAR BUILT	1940	1943

CONSTRUCTION MATERIALS

FOUNDATIONS	PILES (CONCRETE ABOVE WOOD)	
FLOORS & DOCKS	CAST IN PLACE CONCRETE	
WALLS	CAST IN PLACE CONCRETE	
ROOF	MINERAL SURFACE OVER CONCRETE DECK	

BUILDING AREA	EXISTING	PROPOSED
FIRST FLOOR	± 90,000 SF	± 90,000 SF (NO CHANGE)
SECOND FLOOR	± 90,000 SF	± 90,000 SF (NO CHANGE)
THIRD FLOOR	± 90,000 SF	± 82,215 SF
FOURTH FLOOR	0	± 40,322 SF
MEZZANINE	0	0
TOTAL	± 270,000 GSF	±302,537 GSF

	EXISTING	PROPOSED
BUILDING HEIGHT	±59'-6"	± 59'-6"
USE/ OCCUPANCY	ADMINISTRATIVE (B) STORAGE (S-1)	WORK/ LIVE (B) COMMERCIAL (B, F-1) COMMUNITY ROOM (A-3)

FIRE SPRINKLER: (E) FIRE SPRINKLER SYSTEM TO REMAIN, MODIFY TO CONFORM TO NEW USE & LAYOUT

TOTAL NO. OF WORK/LIVE UNITS = 88

FIRST FLOOR = 44
SECOND FLOOR = 44

TOTAL NO. OF COMMERCIAL UNITS = 191 (PRELIMINARY ESTIMATE)

FIRST FLOOR = 31
SECOND FLOOR = 69
THIRD FLOOR = 66
FOURTH FLOOR = 26

DRAWING INDEX

G001	TITLE SHEET
G002	PARCEL MAPS
G003	PHOTOGRAPHS
L101	LANDSCAPE PLAN

ARCHITECTURAL

A011	FIRST FLOOR INTERIOR DEMOLITION PLAN
A012	SECOND FLOOR INTERIOR DEMOLITION PLAN
A013	THIRD FLOOR INTERIOR DEMOLITION PLAN
A014	ROOF DEMOLITION PLAN
A101	SITE PLAN
A111	FIRST FLOOR PLAN
A112	SECOND FLOOR PLAN
A113	THIRD FLOOR PLAN
A114	FOURTH FLOOR PLAN
A115	HIGH ROOF PLAN
A201	DEMOLITION ELEVATIONS
A202	PROPOSED ELEVATIONS
A301	SECTIONS
A302	SECTIONS
A303	SECTIONS
A421	PARTIAL ENLARGED ELEVATION
A901	AERIAL VIEW
A902	NORTHEAST VIEW
A903	SOUTHWEST VIEW
A904	NORTHWEST VIEW
A905	AERIAL PERSPECTIVES

APPLICABLE CODES

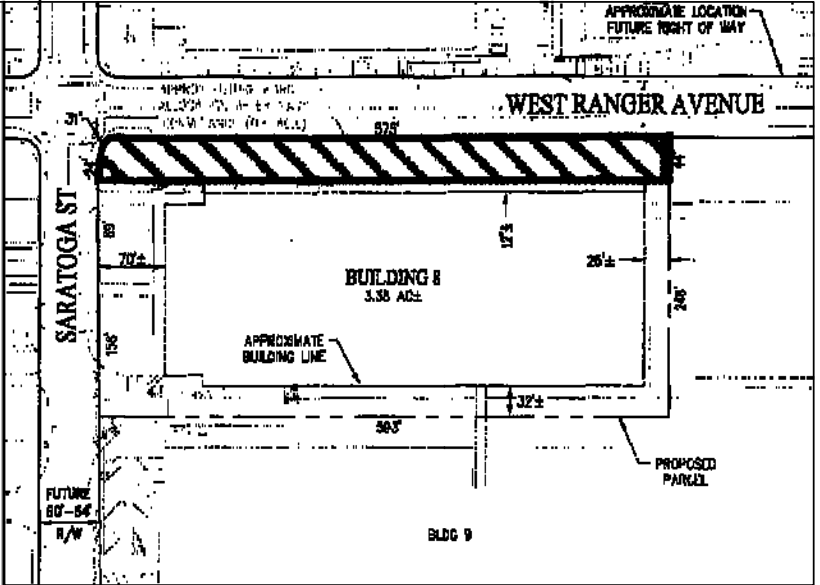
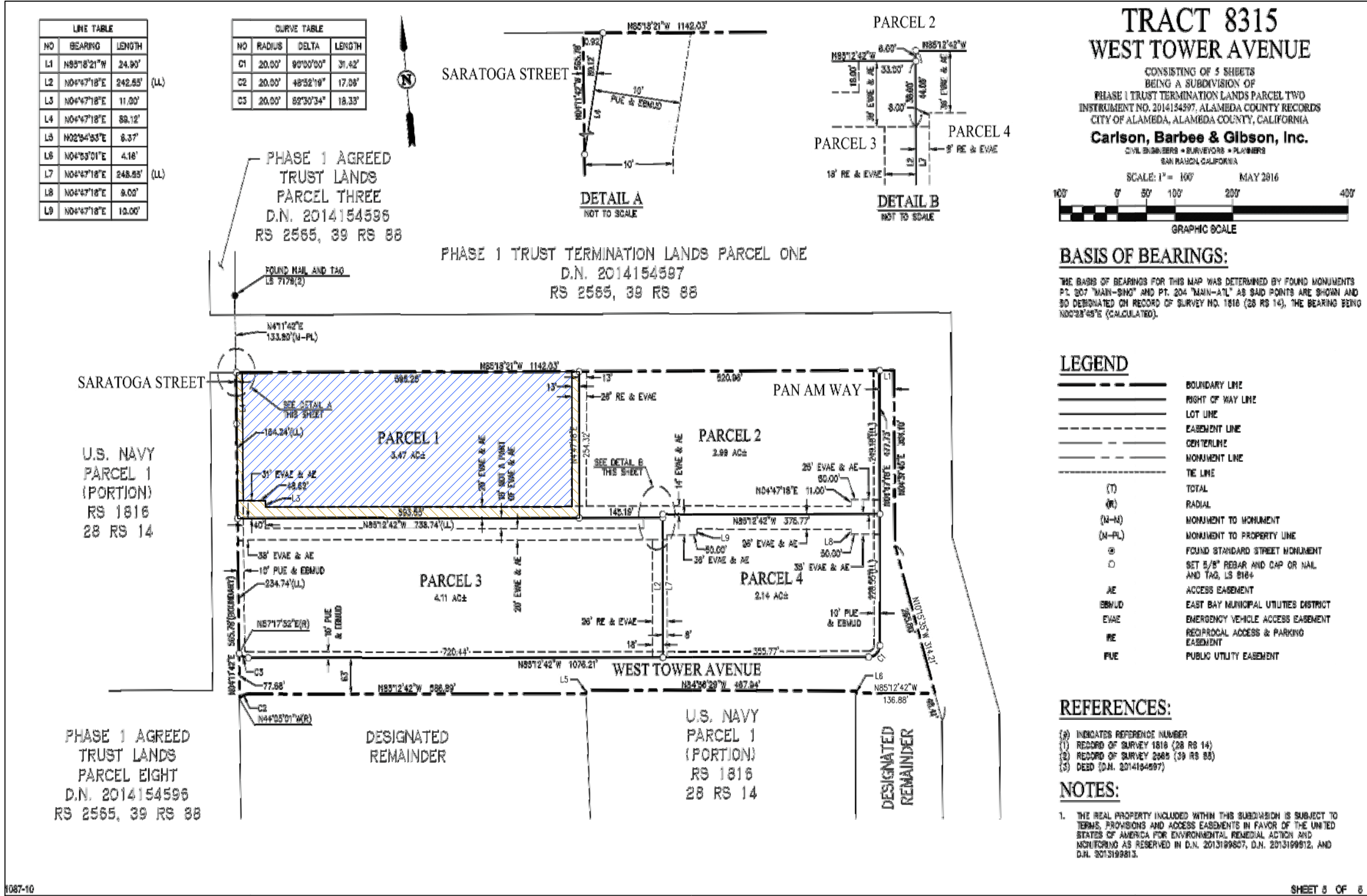
PARTIAL LIST

- CALIFORNIA HISTORIC BUILDING CODE, 2013 EDITION
- CALIFORNIA BUILDING CODE, 2013 EDITION
- CAL GREEN STANDARDS, CURRENT EDITION
- 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
- DESIGNERS OF OTHER WORK (IE: MECHANICAL, ELECTRICAL, FIRESPRINKLER, ETC) SHALL INDICATE APPLICABLE CODES GOVERNING THAT WORK.



Client	Architects	With	Consultants	Project	Revisions	Project No.	Sheet Name	Sheet No.
ALAMEDA POINT REDEVELOPERS Jonah Hendrickson	MARCY WONG DONN LOGAN ARCHITECTS	MIKITEN ARCHITECTURE		ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE BUILDING 8 ALAMEDA POINT 2350 Saratoga Street, Alameda, CA 94501	No. Issue Date	1608 PLANNING REVIEW 09/21/2017 SM, TT Checker N/A	COVER SHEET	G001

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Client	Architects	With	Consultants	Project		<table><tr><th colspan="3">Revisions</th></tr><tr><th>No.</th><th>Issue</th><th>Date</th></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>	Revisions			No.	Issue	Date																			<table><tr><td>Project No.</td><td>1608</td></tr><tr><td>Phase</td><td>PLANNING REVIEW</td></tr><tr><td>Date</td><td>09/05/2017</td></tr><tr><td>Drawn by</td><td>Author</td></tr><tr><td>Checked by</td><td>Checker</td></tr><tr><td>Scale at Sheet Size D</td><td>1/16" = 1'-0"</td></tr></table>	Project No.	1608	Phase	PLANNING REVIEW	Date	09/05/2017	Drawn by	Author	Checked by	Checker	Scale at Sheet Size D	1/16" = 1'-0"	Sheet Name	Sheet No.
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1475 Powell Street, Suite #201 Emeryville CA 94608 Tel: 510.684.0647 Email: jonahhendrickson@mac.com	800 Bancroft Way, Suite #200 Berkeley CA 94710 Tel: 510.843.0916 Email: office@wonglogan.com	2415 Fifth Street Berkeley CA 94710 Tel: 510.540.7111 Email: erick@mikittenarch.com																																											

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North Elevation



South Elevation - from west



South Elevation - from east



West Elevation - from north



West Elevation - from south



East Elevation

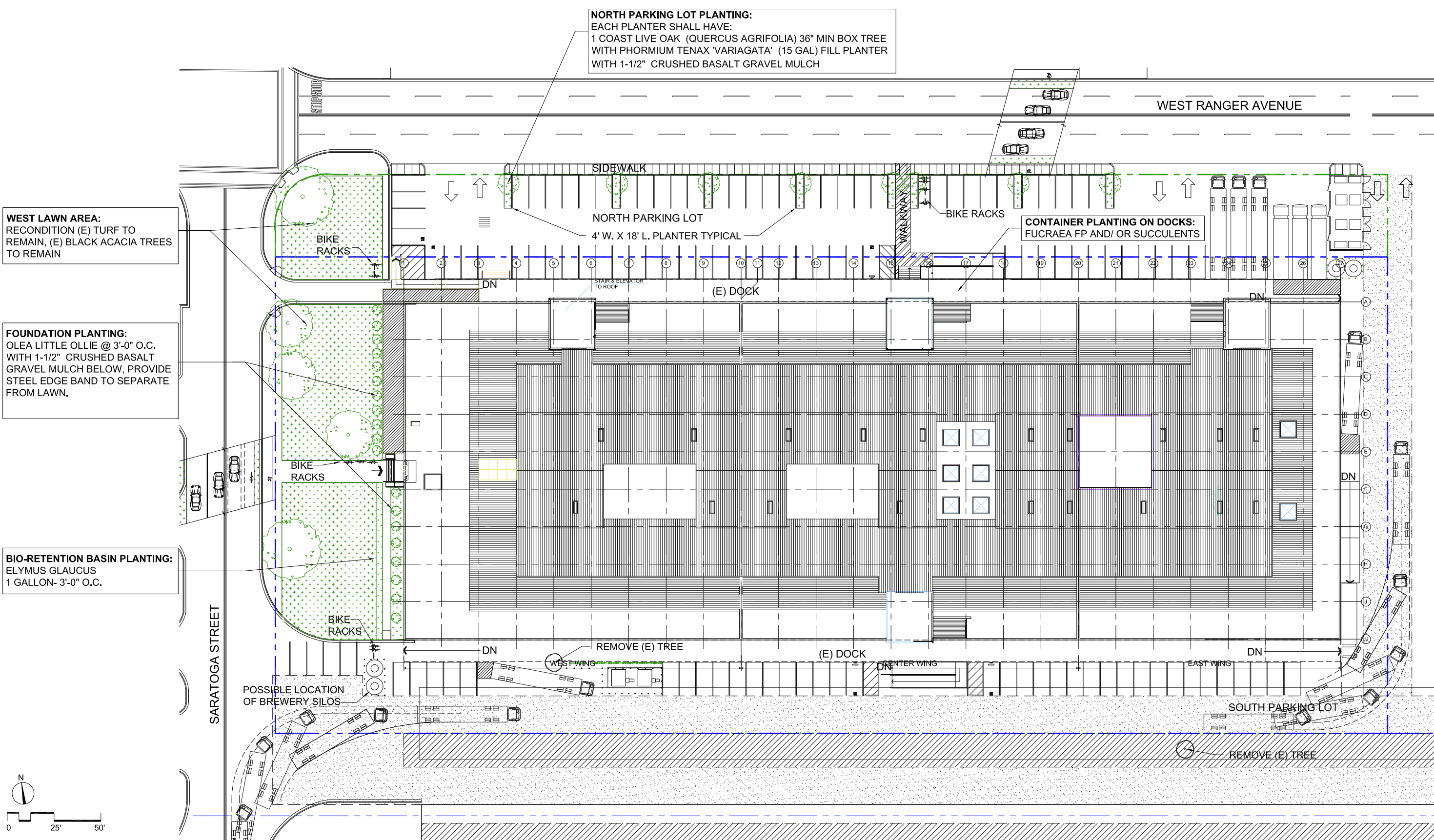
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Client	ALAMEDA POINT REDEVELOPERS Jonah Hendrickson	Architects	MARCY WONG DONN LOGAN ARCHITECTS	With	MIKITEN ARCHITECTURE	Consultants	Project	Revisions			Project No.	1608	Sheet Name	Sheet No.
								No.	Issue	Date				
1475 Powell Street, Suite #201 Emeryville CA 94608 Tel: 510.684.0647 Email: jonahhendrickson@mac.com	800 Bancroft Way, Suite #200 Berkeley CA 94710 Tel: 510.843.0916 Email: office@wonglogan.com	2415 Fifth Street Berkeley CA 94710 Tel: 510.540.7111 Email: erick@mikitenarch.com	ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE BUILDING 8 ALAMEDA POINT	2350 Saratoga Street, Alameda, CA 94501							Phase	PLANNING REVIEW	PHOTOGRAPHS	G003
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											Drawn by	Author		
											Checked by	Checker		
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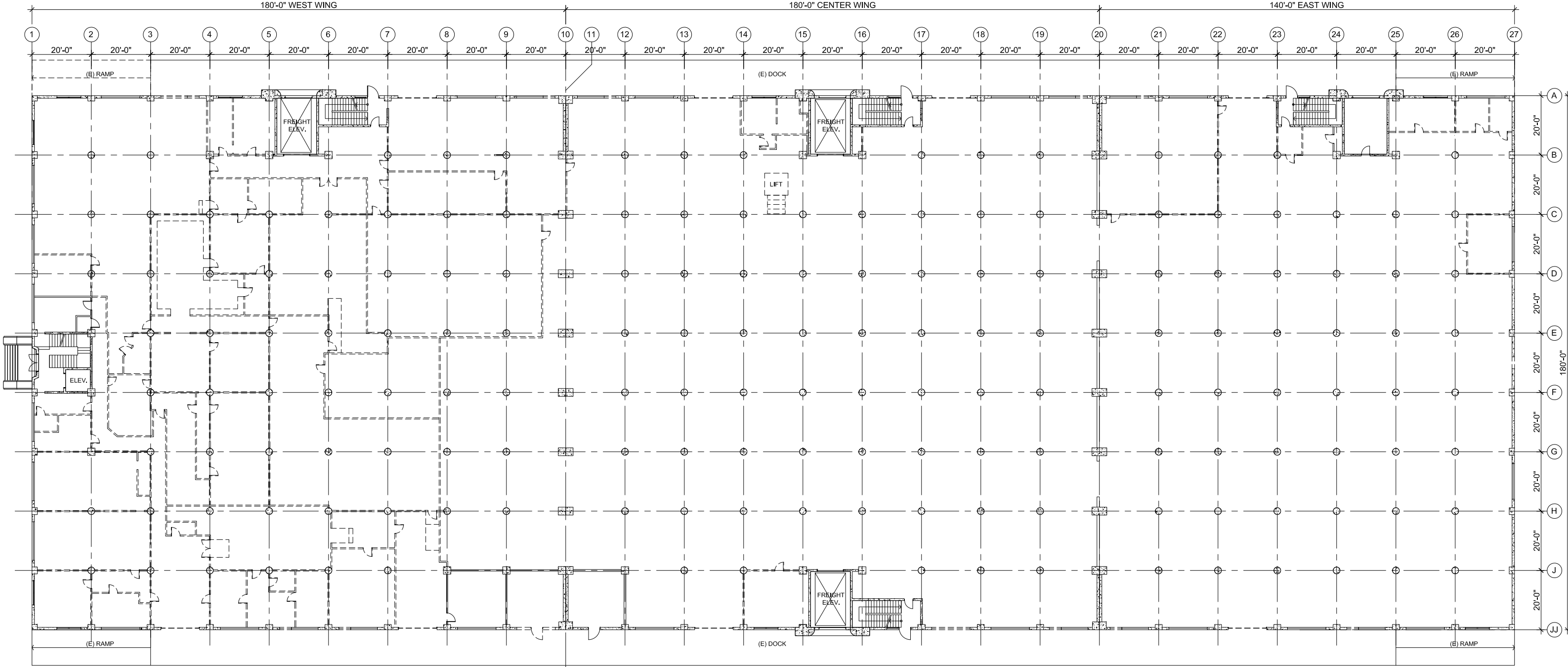
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Client	Architects	With	Consultants	Project	Revisions			Project No.	1608	Sheet Name	Sheet No.
ALAMEDA POINT REDEVELOPERS Jonah Hendrickson	MARCY WONG DONN LOGAN ARCHITECTS	MIKITTEN ARCHITECTURE		ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE BUILDING 8 ALAMEDA POINT	No.	Issue	Date	Phase	PLANNING REVIEW	LANDSCAPE PLAN	L001
								Date	09/05/2017		
								Drawn by	Author		
								Checked by	Checker		
1475 Powell Street, Suite #201 Emeryville CA 94608 Tel: 510.684.0647 Email: jonahhendrickson@mac.com	800 Bancroft Way, Suite #200 Berkeley CA 94710 Tel: 510.843.0916 Email: office@wonglogan.com	2415 Fifth Street Berkeley CA 94710 Tel: 510.540.7111 Email: erick@mikittenarch.com		2350 Saratoga Street, Alameda, CA 94501							

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GENERAL DEMOLITION NOTES

- WALLS:
 - DEMOLISH NON-STRUCTURAL INTERIOR PARTITIONS, AS INDICATED.
 - CLEAN, REMOVE GRAFFITI & PATCH PREVIOUSLY PAINTED SURFACES AS NECESSARY FOR NEW FINISHES.
- FLOORS:
 - REMOVE ALL DETERIORATED / DISINTEGRATED FLOORING.
- CEILINGS:
 - REMOVE ALL ACOUSTIC TILE CEILINGS & ASSOCIATED FRAMING
 - REMOVE DETERIORATED PLASTER CEILING
- SALVAGE (E) LIGHT FIXTURES EXCEPT HISTORIC FIXTURES SHALL BE SURVEYED & TAGGED TO REMAIN PRIOR TO DEMOLITION.
- REMOVE ALL EXISTING ELECTRICAL OUTLETS AND EQUIPMENT.
- ABATE LEAD, ASBESTOS & MOLD AS NECESSARY.
- EXISTING FIRE SPRINKLER SYSTEM TO REMAIN.

LEGEND

-  (E) CONCRETE WALL, V.I.F.
-  (E) CMU, V.I.F.
-  (E) WOOD STUD WALL, V.I.F.
-  REMOVE (E) INTERIOR, NON-STRUCTURAL CONSTRUCTION
-  DEMOLISH/REMOVE CONSTRUCTION

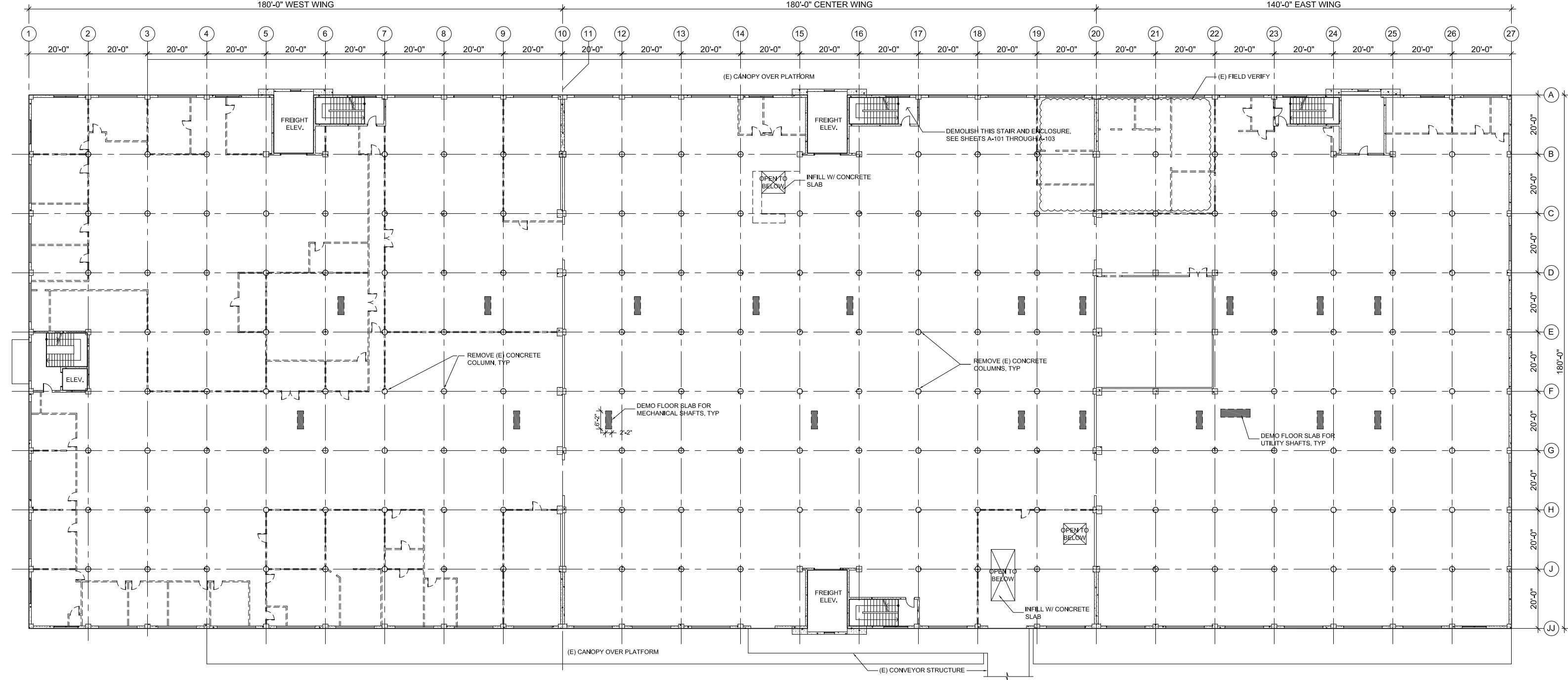
NOTES

- A. PROVIDE TEMPORARY SIGNAGE THROUGHOUT CONSTRUCTION PERIOD IDENTIFYING BUILDING ENTRANCES & EXITS FOR WORKERS & EMERGENCY PERSONNEL.
- B. SEE DEMOLITION ELEVATION, SHEET A-201 FOR EXTERIOR DEMOLITION

1 FIRST FLOOR INTERIOR, NON-STRUCTURAL DEMOLITION PLAN



Client	Architects	With	Consultants	Project	Revisions	Project No.	Sheet Name	Sheet No.
ALAMEDA POINT REDEVELOPERS Jonah Hendrickson	MARCY WONG DONN LOGAN ARCHITECTS	MIKITTEN ARCHITECTURE		ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE BUILDING 8 ALAMEDA POINT 2350 Saratoga Street, Alameda, CA 94501	No. Issue Date	1608 PLANNING REVIEW 09/05/2017	FIRST FLOOR INTERIOR DEMOLITION PLAN	A011
1475 Powell Street, Suite #201 Emeryville CA 94608 Tel: 510.684.0647 Email: jonahhendrickson@mac.com	800 Bancroft Way, Suite #200 Berkeley CA 94710 Tel: 510.843.0916 Email: office@wonglogan.com	2415 Fifth Street Berkeley CA 94710 Tel: 510.540.7111 Email: erick@mikittenarch.com			Drawn by Author Checked by Checker Scale at Sheet Size D 1/16" = 1'-0"			



GENERAL DEMOLITION NOTES

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LEGEND

- (E) CONCRETE WALL, V.I.F.
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- REMOVE (E) INTERIOR, NON-STRUCTURAL CONSTRUCTION
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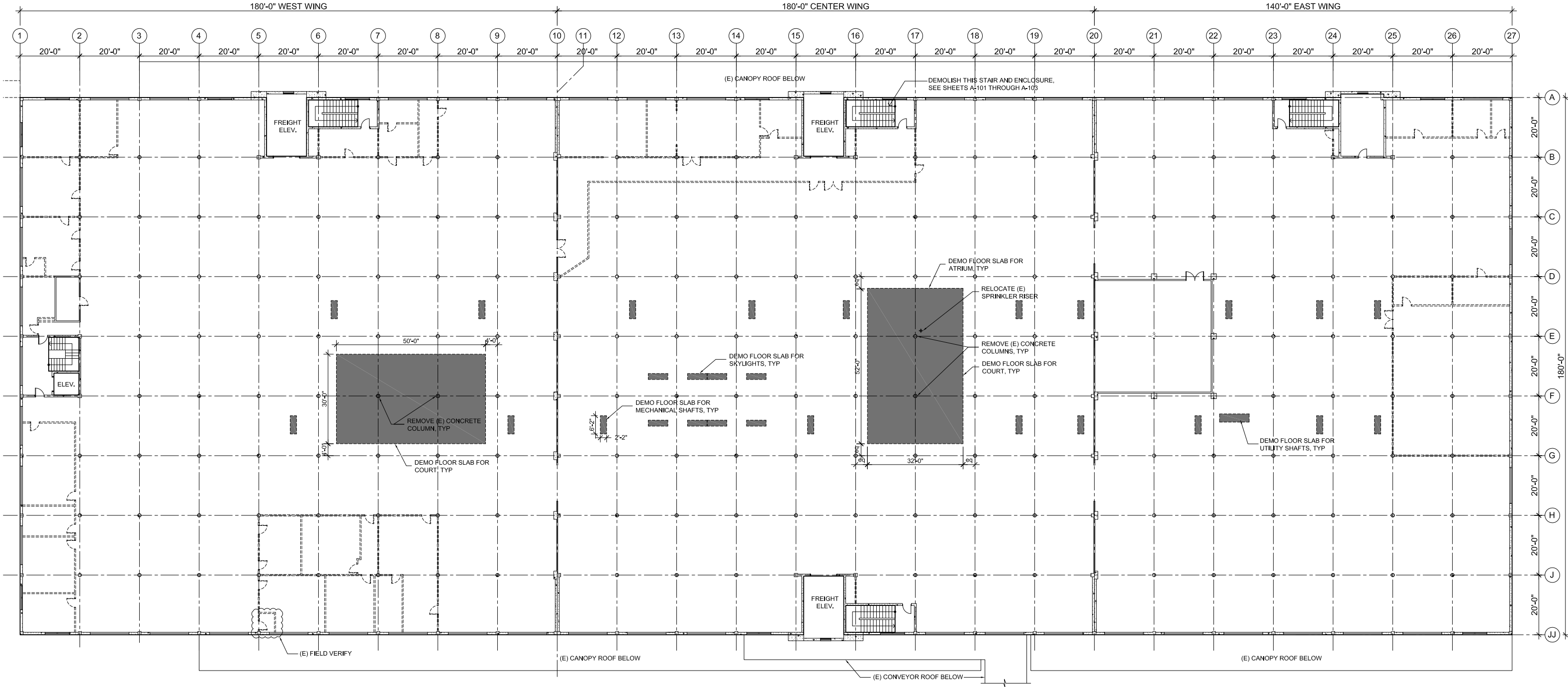
NOTES

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- SEE DEMOLITION ELEVATION, SHEET A-201 FOR EXTERIOR DEMOLITION

1 SECOND FLOOR INTERIOR, DEMOLITION PLAN
SEE ELEVATION FOR EXTERIOR DEMO

	Client	Architects	With	Consultants	Project	Revisions			Project No.	1608	Sheet Name	Sheet No.
	ALAMEDA POINT REDEVELOPERS Jonah Hendrickson 1475 Powell Street, Suite #201 Emeryville CA 94608 Tel: 510.684.0647 Email: jonahhendrickson@mac.com	MARCY WONG DONN LOGAN ARCHITECTS 800 Bancroft Way, Suite #200 Berkeley CA 94710 Tel: 510.843.0916 Email: office@wonglogan.com	MIKITTEN ARCHITECTURE 2415 Fifth Street Berkeley CA 94710 Tel: 510.540.7111 Email: erick@mikittenarch.com		ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE BUILDING 8 ALAMEDA POINT 2350 Saratoga Street, Alameda, CA 94501	No.	Issue	Date	Phase	PLANNING REVIEW	SECOND FLOOR INTERIOR DEMOLITION PLAN	A012
									Date	09/05/2017		
									Drawn by	Author		
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									Scale at Sheet Size D	1/16" = 1'-0"		

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LEGEND

- (E) CONCRETE WALL, V.I.F.
- (E) CMU, V.I.F.
- (E) WOOD STUD WALL, V.I.F.
- REMOVE (E) INTERIOR, NON-STRUCTURAL CONSTRUCTION
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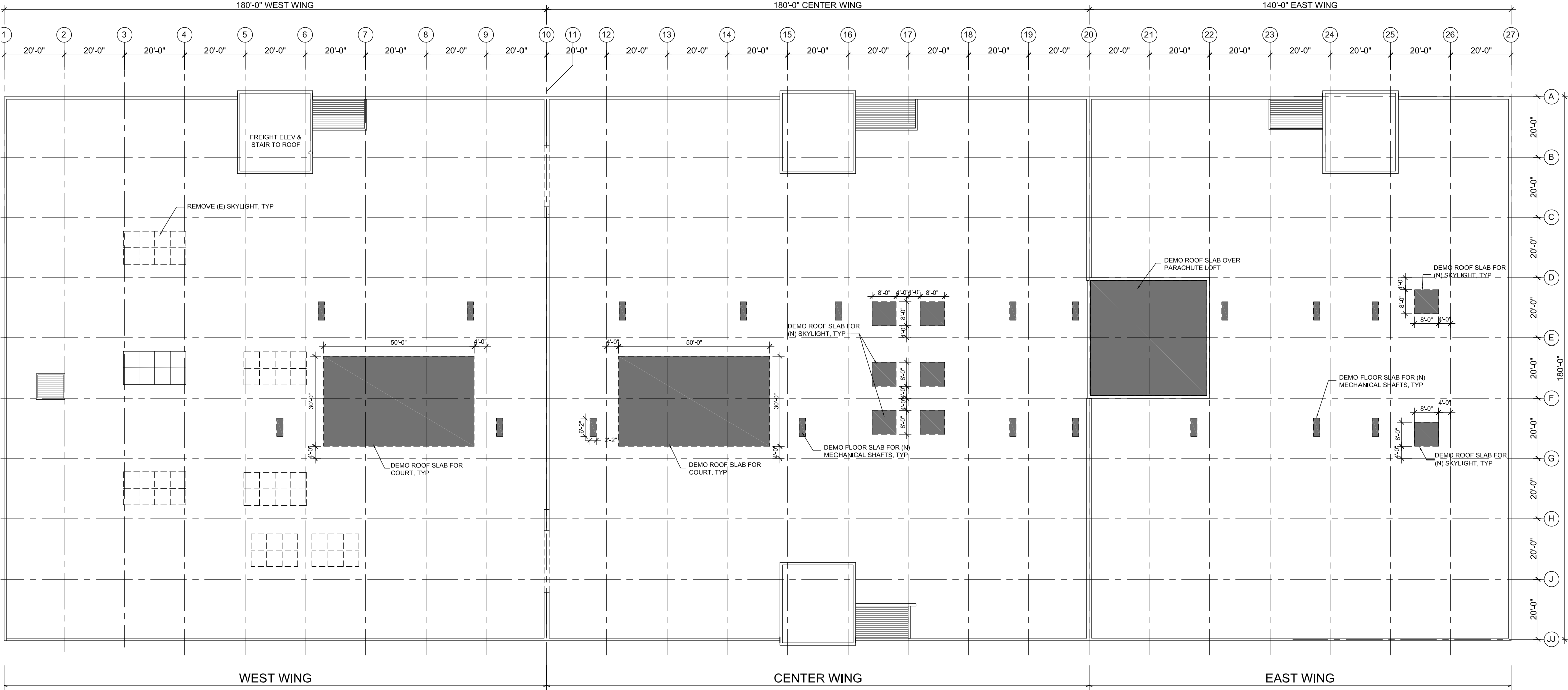
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- SEE DEMOLITION ELEVATION, SHEET A-201 FOR EXTERIOR DEMOLITION

1 THIRD FLOOR INTERIOR, DEMOLITION PLAN
SEE ELEVATION FOR EXTERIOR DEMO

	Client	Architects	With	Consultants	Project	Revisions			Project No.	Sheet Name	Sheet No.
	ALAMEDA POINT REDEVELOPERS Jonah Hendrickson 1475 Powell Street, Suite #201 Emeryville CA 94608 Tel: 510.684.0647 Email: jonahhendrickson@mac.com	MARCY WONG DONN LOGAN ARCHITECTS 800 Bancroft Way, Suite #200 Berkeley CA 94710 Tel: 510.843.0916 Email: office@wonglogan.com	MIKITTEN ARCHITECTURE 2415 Fifth Street Berkeley CA 94710 Tel: 510.540.7111 Email: erick@mikittenarch.com			ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE BUILDING 8 ALAMEDA POINT 2350 Saratoga Street, Alameda, CA 94501	No.	Issue	Date	1608 PLANNING REVIEW 09/05/2017 Author Checker Scale at Sheet Size D 1/16" = 1'-0"	THIRD FLOOR INTERIOR DEMOLITION PLAN

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GENERAL DEMOLITION NOTES

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LEGEND

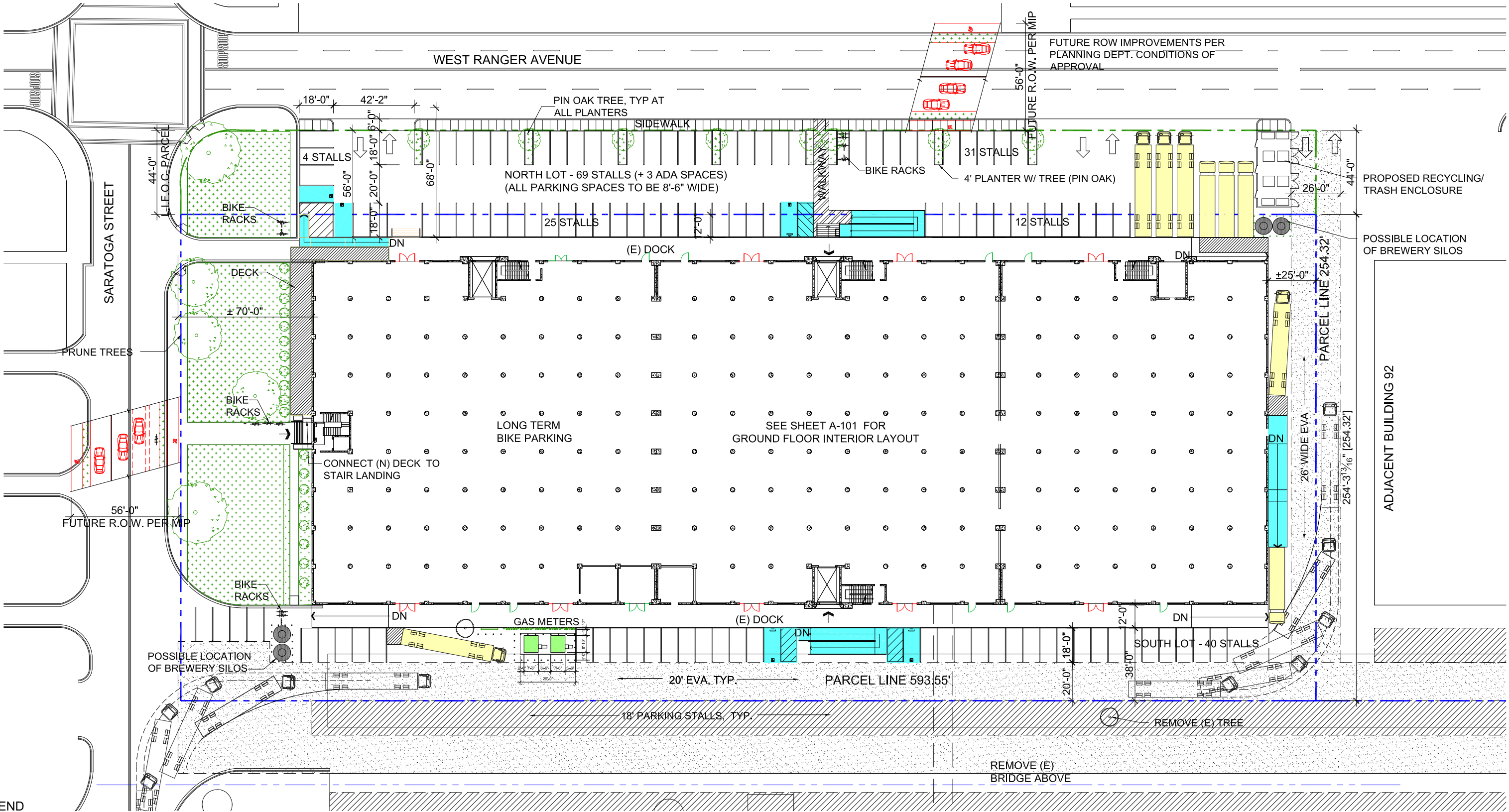
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- (E) CMU, V.I.F.
- (E) WOOD STUD WALL, V.I.F.
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- DEMOLISH/REMOVE CONSTRUCTION

NOTES

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- SEE DEMOLITION ELEVATION, SHEET A-201 FOR EXTERIOR DEMOLITION

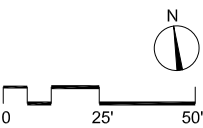
1 ROOF DEMOLITION PLAN
SEE ELEVATION FOR EXTERIOR DEMO

	Client	Architects	With	Consultants	Project	Revisions			Project No.	1608	Sheet Name	Sheet No.
	ALAMEDA POINT REDEVELOPERS Jonah Hendrickson 1475 Powell Street, Suite #201 Emeryville CA 94608 Tel: 510.684.0647 Email: jonahhendrickson@mac.com	MARCY WONG DONN LOGAN ARCHITECTS 800 Bancroft Way, Suite #200 Berkeley CA 94710 Tel: 510.843.0916 Email: office@wonglogan.com	MIKITEN ARCHITECTURE 2415 Fifth Street Berkeley CA 94710 Tel: 510.540.7111 Email: erick@mikitenarch.com			ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE BUILDING 8 ALAMEDA POINT 2350 Saratoga Street, Alameda, CA 94501	No.	Issue	Date	Phase PLANNING REVIEW Date 09/05/2017 Drawn by Author Checked by Checker Scale at Sheet Size D 1/16" = 1'-0"	ROOF DEMOLITION PLAN	A014



LEGEND

- BUILDING ENTRANCE/EXIT
- INTERIM PARCEL BOUNDARY
- FUTURE PARCEL BOUNDARY
- TRANSFORMER
- BEER SILOS
- EMERGENCY VEHICLE ACCESS
- LOADING DOCK
- PARKING STALLS
- ACCESSIBLE PARKING STALL/ RAMP
- TRACTOR TRAILER TRUCK
- BOX TRUCK
- NEW STOREFRONT IN EXISTING ROLL-UP DOOR OPENING
- NEW STOREFRONT TO REPLACE EXISTING WINDOW OR WALL



Client

ALAMEDA POINT REDEVELOPERS
Jonah Hendrickson

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Emeryville CA 94608
Tel: 510.684.0647
Email: jonahhendrickson@mac.com

Architects

MARCY WONG DONN LOGAN ARCHITECTS

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With

MIKITTEN ARCHITECTURE

2415 Fifth Street
Berkeley CA 94710
Tel: 510.540.7111
Email: erick@mikittenarch.com

Consultants

Project

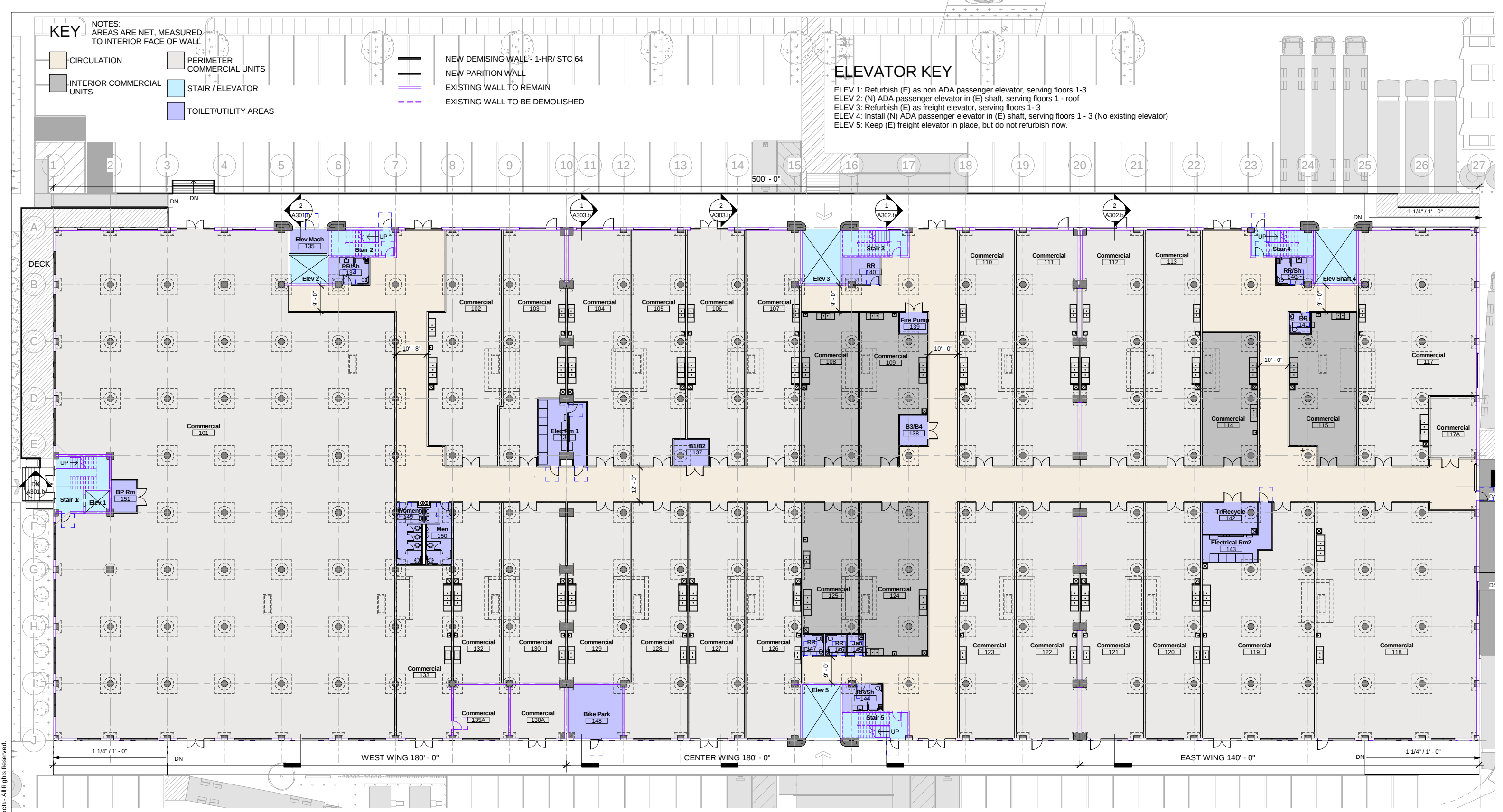
ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE
BUILDING 8 | ALAMEDA POINT

2350 Saratoga Street, Alameda, CA 94501

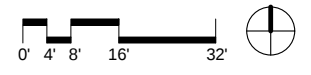
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No.	Issue	Date

Project No.	1608
Phase	PLANNING REVIEW
Date	09/05/2017
Drawn by	Author
Checked by	Checker
Scale at Sheet Size D	1" = 25'

Sheet Name	Sheet No.
SITE PLAN	A101



1 FLOOR PLAN - LEVEL 1
1/16" = 1'-0"



	Client	Architects	With	Consultants	Project ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE BUILDING 8 ALAMEDA POINT 2350 Saratoga Street, Alameda, CA 94501	Revisions			Project No. 1608 Phase PLANNING REVIEW Date 09/21/2017 Drawn by SM, TT Checked by Checker Scale at Sheet Size D 1/16" = 1'-0"	Sheet Name FIRST FLOOR PLAN	Sheet No. A111
	ALAMEDA POINT REDEVELOPERS Jonah Hendrickson 1475 Powell Street, Suite #201 Emeryville CA 94710 Tel: 510.684.0647 Email: jonahhendrickson@mac.com	MARCY WONG DONN LOGAN ARCHITECTS 800 Bancroft Way, Suite #200 Berkeley CA 94710 Tel: 510.843.0916 Email: office@wonglogan.com	MIKITTEN ARCHITECTURE 2415 Fifth Street Berkeley CA 94710 Tel: 510.540.7111 Email: erick@mikittenarch.com	No.		Issue	Date				

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9/21/2017 4:33:39 PM

NOTES:
AREAS ARE NET, MEASURED
TO INTERIOR FACE OF WALL

- | | | | | |
|--|--|--|---|----------------------------------|
|  CIRCULATION |  OFFICE/STORAGE |  TENANT AMENITIES | | NEW DEMISING WALL - 1-HR/ STC 64 |
|  COURTYARD |  SKYLIT ATRIUM |  TOILET/UTILITY AREAS | | NEW PARTITION WALL |
|  OFFICE (w/ Daylight) |  STAIR / ELEVATOR |  WORK / LIVE UNITS |  | EXISTING WALL TO REMAIN |
| | | | | EXISTING WALL TO BE DEMOLISHED |



1 FLOOR PLAN - LEVEL 2
1/16" = 1'-0"



Client

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Consultants

Project

ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE BUILDING 8 | ALAMEDA POINT

2350 Saratoga Street, Alameda, CA 94501

[illegible]

Project No.	1608
Phase	PLANNING REVIEW
Date	09/21/2017
Drawn by	SM, TT
Checked by	Checker
Scale at Sheet Size D	1/16" = 1'-0"

Sheet Name

**SECOND
FLOOR PL**

Sheet No.

A112

NOTES:
AREAS ARE NET, MEASURED
TO INTERIOR FACE OF WALL

-
- This architectural floor plan illustrates the third floor of a building, divided into three main sections: the West Wing (180' - 0"), the Center Wing (180' - 0"), and the East Wing (140' - 0"). The plan is overlaid with a grid system, with columns numbered 1 through 27 and rows lettered A through J. Key features include:
- Room Layouts:** Numerous rooms are labeled, including Work/Live spaces (e.g., 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 343, 342, 341, 340, 339, 338, 337, 336, 335, 334, 333, 332, 331, 330, 329, 328, 327, 326, 325, 324, 323, 322, 321), Office spaces (e.g., B301, B302, B303, B306, B307, B308, B309, B310, B311, B312, B313, B314, B315, B316, B317, B318, B319, B320, B321, B322, B323, B324, B325, B326, B327, B328, B329, B330, B331, B332, B333, B334, B335, B336, B337, B338, B339, B340, B341, B342, B343, B344, B345, B346, B347, B348), and specialized rooms like Jan (B314, B315, B316, B317, B318, B319, B320, B321, B322, B323, B324, B325, B326, B327, B328, B329, B330, B331, B332, B333, B334, B335, B336, B337, B338, B339, B340, B341, B342, B343, B344, B345, B346, B347, B348), RR/Sh (B314, B315, B316, B317, B318, B319, B320, B321, B322, B323, B324, B325, B326, B327, B328, B329, B330, B331, B332, B333, B334, B335, B336, B337, B338, B339, B340, B341, B342, B343, B344, B345, B346, B347, B348), and Elev (B314, B315, B316, B317, B318, B319, B320, B321, B322, B323, B324, B325, B326, B327, B328, B329, B330, B331, B332, B333, B334, B335, B336, B337, B338, B339, B340, B341, B342, B343, B344, B345, B346, B347, B348).
 - Staircases and Elevators:** Stair 1, Stair 2, Stair 3, Stair 4, Stair 5, and Elev 1 through Elev 5 are indicated.
 - Open Spaces:** A central courtyard is labeled "COURTYARD OPEN TO SKY" with a "SKYLIGHT IN FLOOR, TYP." and "OPEN TO SKY AND COURTYARD BELOW". Other areas are labeled "OPEN TO ATRIUM BELOW" and "OPEN TO ABOVE AND COURTYARD BELOW".
 - Dimensions and Grids:** The plan includes various dimensions (e.g., 20' - 0", 10' - 0", 16' - 0", 12' - 0", 9' - 0", 11' - 0", 8' - 0", 2' - 3") and grid lines (1-27, A-J).
 - References:** The plan includes references to other sheets: "SEE SHEET A113.1 FOR ENLARGED PLAN" (West Wing), "SEE SHEET A113.2 FOR ENLARGED PLAN" (Center Wing), and "SEE SHEET A113.3 FOR ENLARGED PLAN" (East Wing).

	Client	Architects	With	Consultants	Project	Revisions			Project No.	1608	Sheet Name	Sheet No.
	ALAMEDA POINT REDEVELOPERS Jonah Hendrickson	MARCY WONG DONN LOGAN ARCHITECTS	MIKITEN ARCHITECTURE		ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE BUILDING 8 ALAMEDA POINT	No.	Issue	Date	Phase	PLANNING REVIEW	THIRD FLOOR PLAN	A113
	1475 Powell Street, Suite #201 Emeryville CA 94608 Tel: 510.684.0647 Email: jonahhendrickson@mac.com	800 Bancroft Way, Suite #200 Berkeley CA 94710 Tel: 510.843.0916 Email: office@wonglogan.com	2415 Fifth Street Berkeley CA 94710 Tel: 510.540.7111 Email: erick@mikitenarch.com					Date	09/21/2017			
								Drawn by	TT			
								Checked by	Checker			
								Scale at Sheet Size D	1/16" = 1'-0"			
2350 Saratoga Street, Alameda, CA 94501												

KEY

NOTES:
AREAS ARE NET, MEASURED
TO INTERIOR FACE OF WALL

BEER GARDEN

CIRCULATION

COMMON DECK

DECK

NEW COMMERCIAL

TENANT AMENITIES

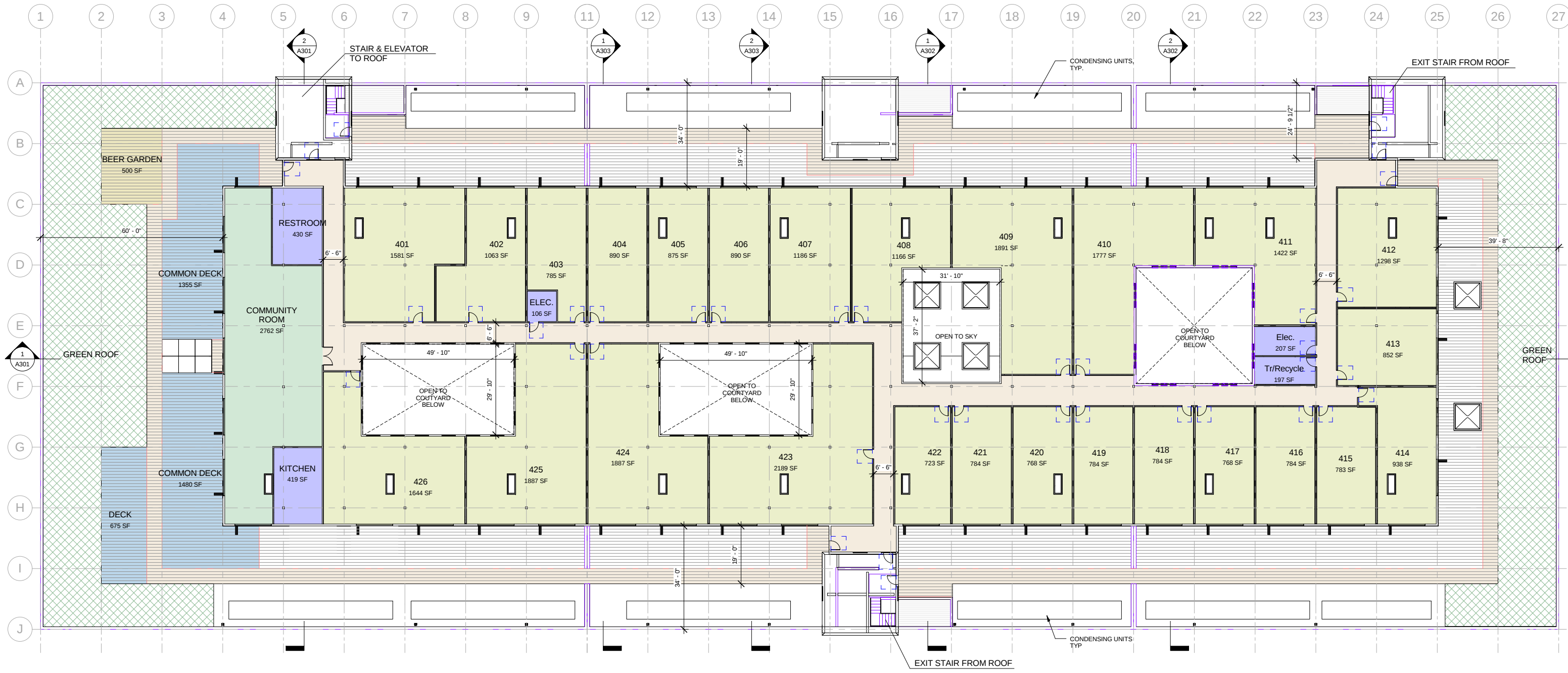
TOILET/UTILITY AREAS

NEW DEMISING WALL - 1-HR/ STC 64

NEW PARTITION WALL

EXISTING WALL TO REMAIN

EXISTING WALL TO BE DEMOLISHED



1 FLOOR PLAN - LEVEL 4
1/16" = 1'-0"



B8

ENTREPRENEUR
& MAKER SPACE

Client

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Project

ADAPTIVE REUSE OF HISTORIC
GENERAL STOREHOUSE
BUILDING 8 | ALAMEDA POINT

2350 Saratoga Street, Alameda, CA 94501

Revisions		
No.	Issue	Date

Project No.

1608

Phase

PLANNING REVIEW

Date

09/21/2017

Drawn by

TT

Checked by

Checker

Scale at Sheet Size D

1/16" = 1'-0"

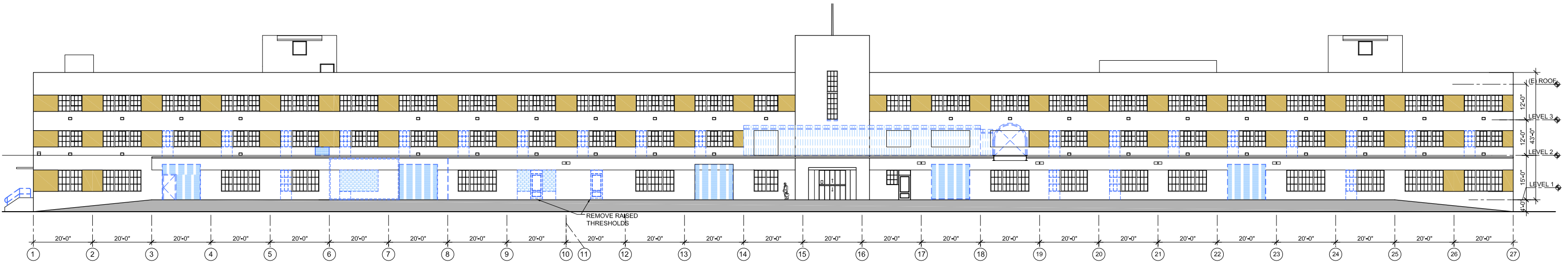
Sheet Name

4TH FLOOR
PLAN

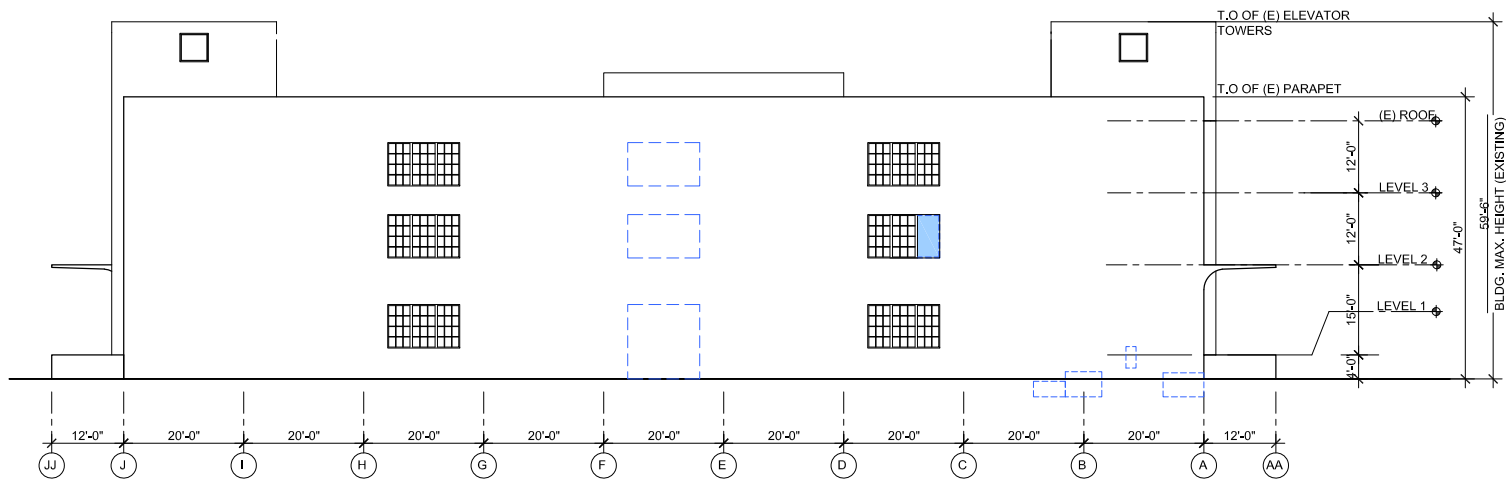
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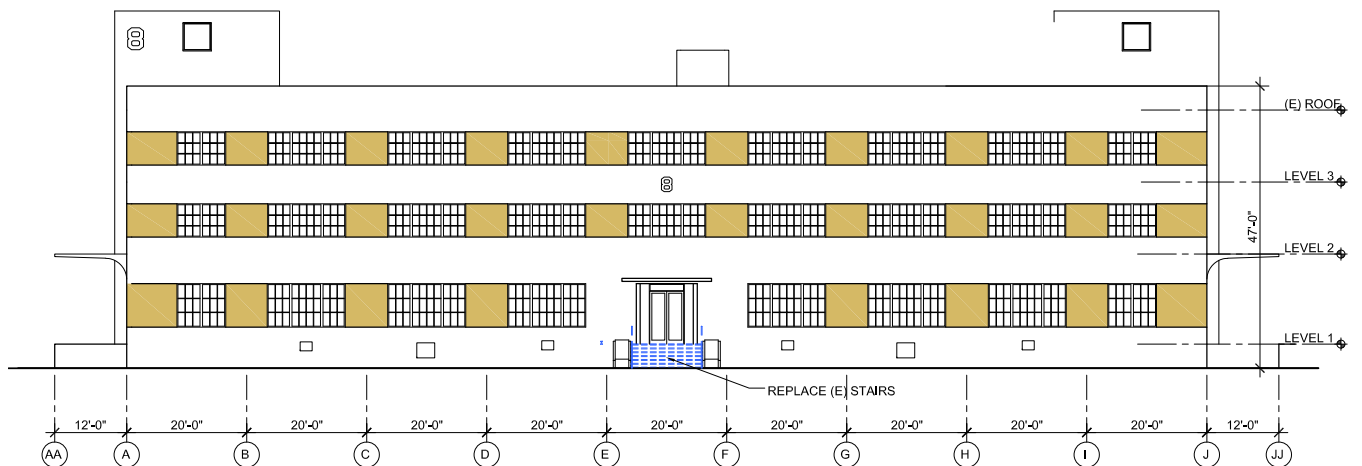
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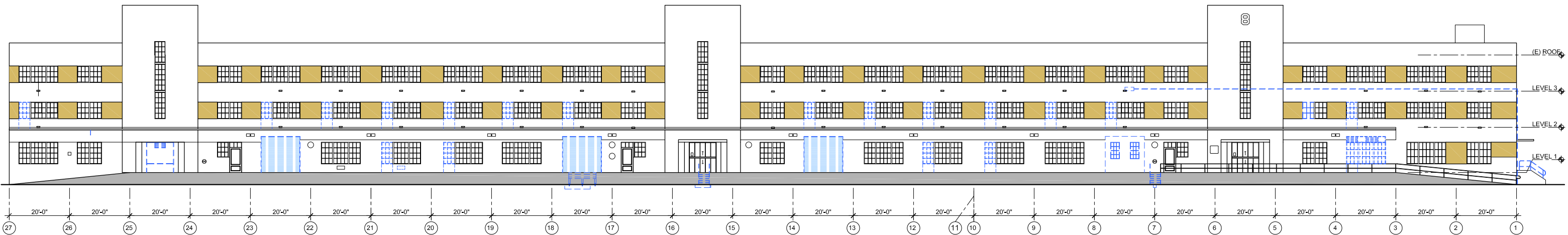
4 SOUTH ELEVATION



3 EAST ELEVATION



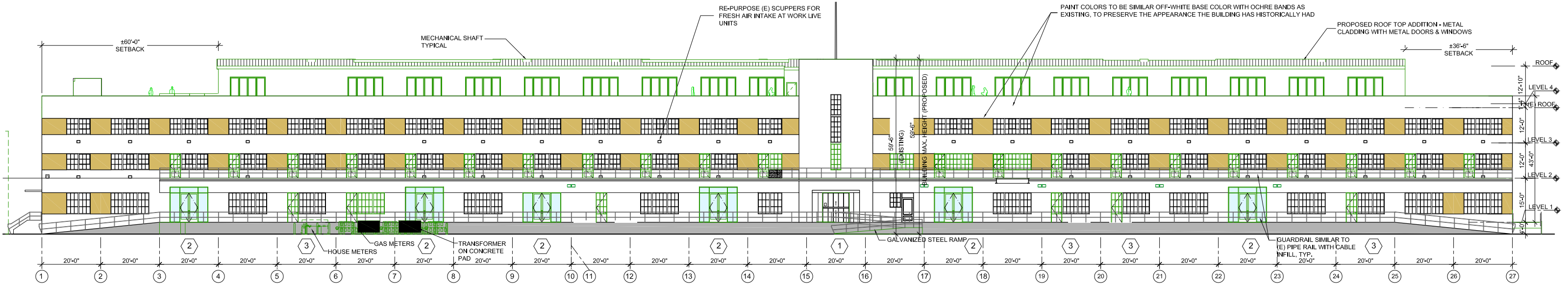
2 WEST ELEVATION



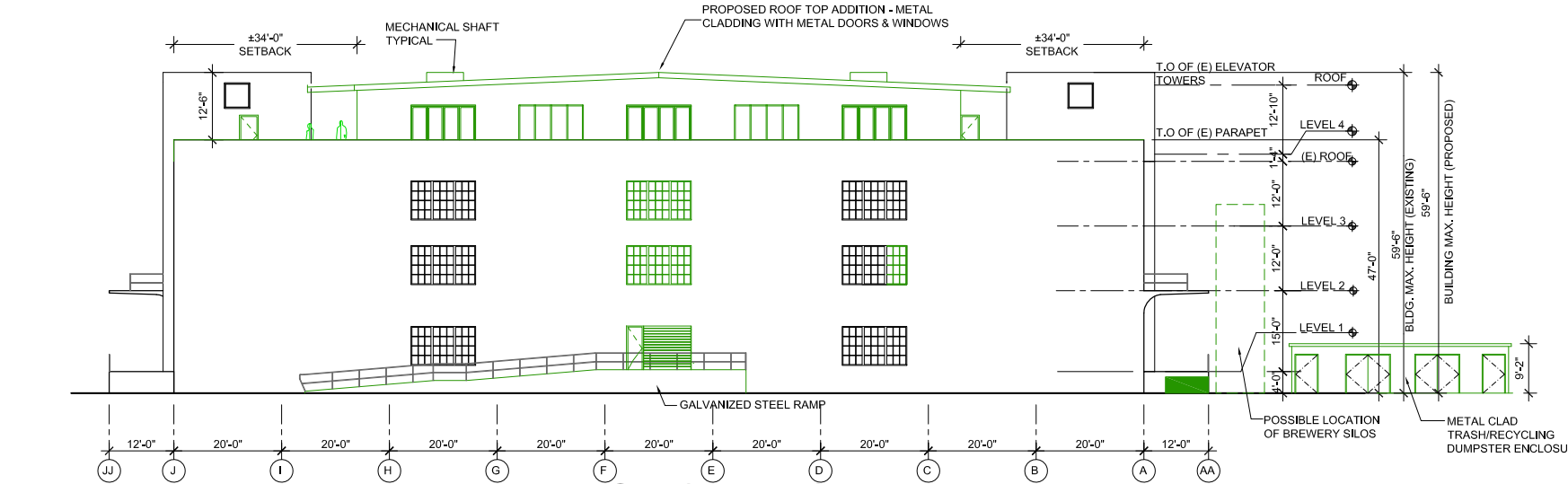
1 NORTH ELEVATION

NOTE:
ITEMS SHOWN IN BLUE & DASHED ARE EXISTING TO BE REMOVED

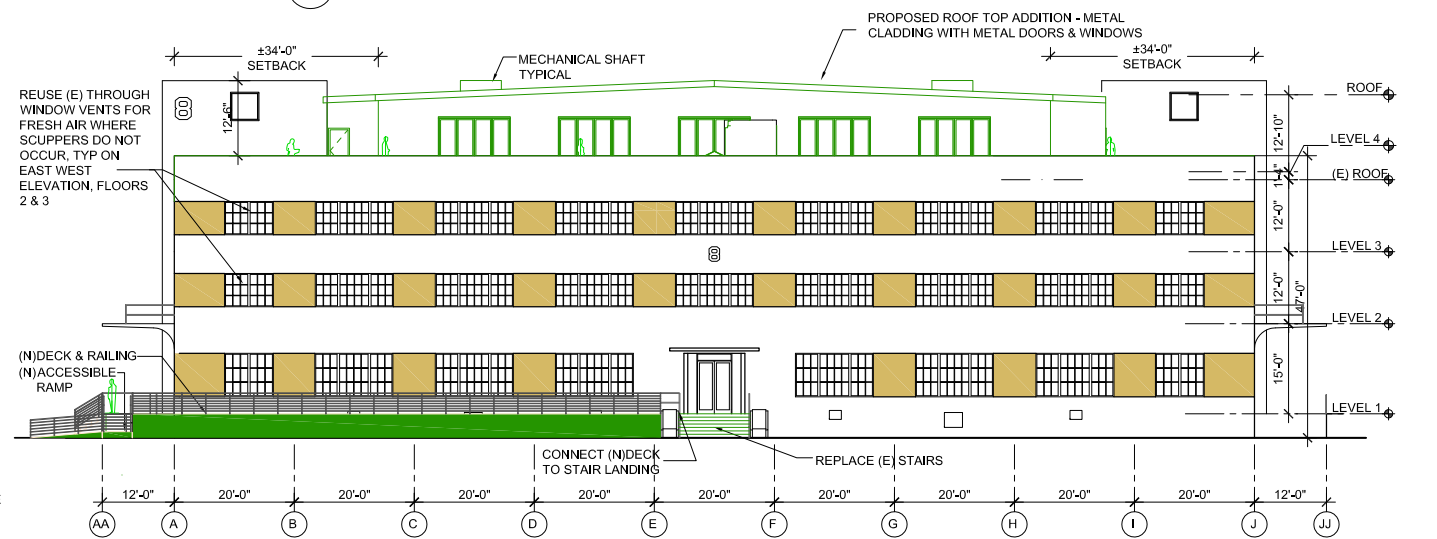
	Client ALAMEDA POINT REDEVELOPERS Jonah Hendrickson 1475 Powell Street, Suite #201 Emeryville CA 94608 Tel: 510.684.0647 Email: jonahhendrickson@mac.com	Architects MARCY WONG DONN LOGAN ARCHITECTS 800 Bancroft Way, Suite #200 Berkeley CA 94710 Tel: 510.843.0916 Email: office@wonglogan.com	With MIKITTEN ARCHITECTURE 2415 Fifth Street Berkeley CA 94710 Tel: 510.540.7111 Email: erick@mikittenarch.com	Consultants	Project ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE BUILDING 8 ALAMEDA POINT 2350 Saratoga Street, Alameda, CA 94501	Revisions			Project No. 1608	Sheet Name DEMOLITION ELEVATIONS	Sheet No. A201
						No.	Issue	Date			
									Phase PLANNING REVIEW		
									Date 09/05/2017		
									Drawn by Author		
									Checked by Checker		
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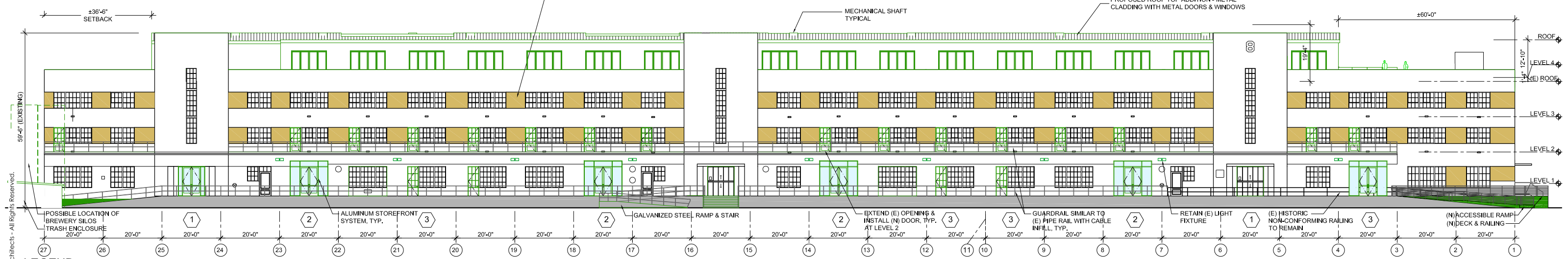
4 SOUTH ELEVATION



3 EAST ELEVATION



2 WEST ELEVATION



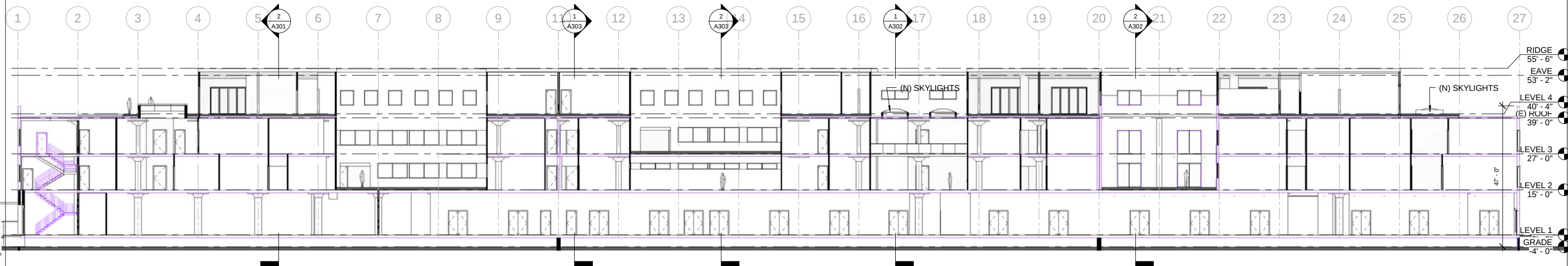
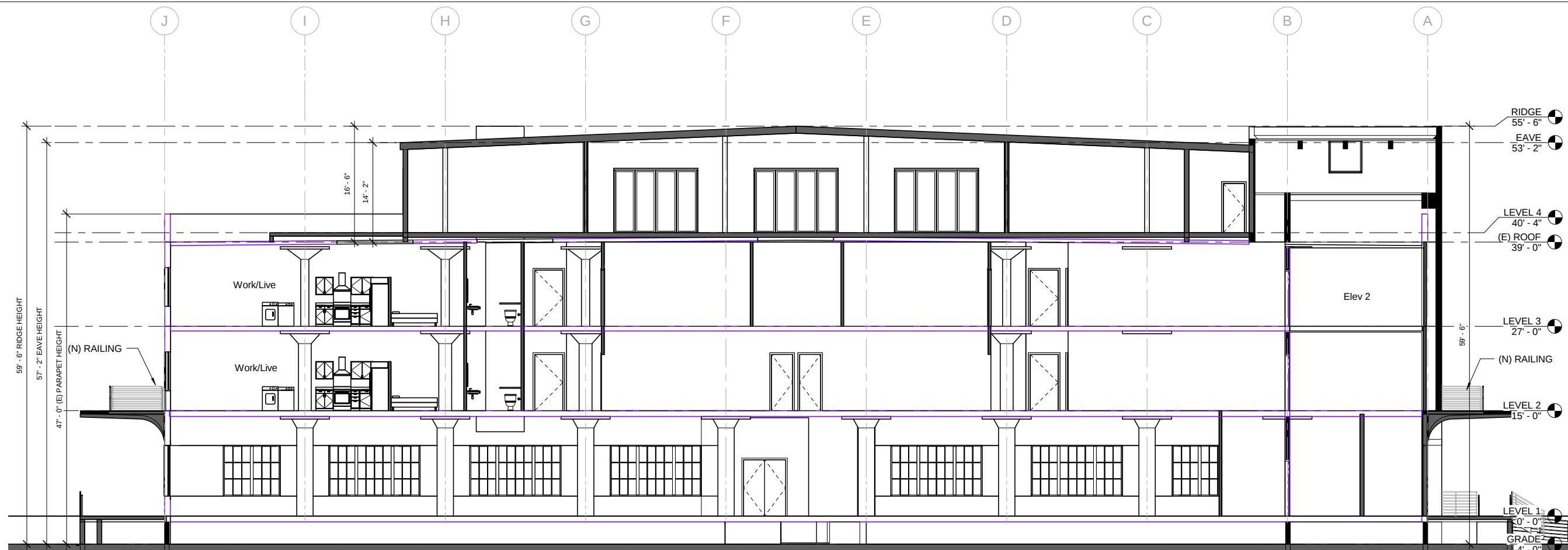
1 NORTH ELEVATION

- LEGEND**
- 1 BUILDING ENTRY: PAIR GLASS/METAL DOORS WITH SIDE LIGHTS
 - 2 STOREFRONT ENTRY: PAIR GLASS/METAL DOORS WITH SIDE LIGHTS OR UPWARD ACTING GLASS/METAL DOOR WITH ADJACENT EXIT DOOR
 - 3 ENTRY DOOR: GLASS/METAL DOOR IN (E) WINDOW OPENING.

- KEY**
- PROPOSED NEW DOOR, WINDOW, ADDITION
 - PROPOSED NEW RAILING

	Client	Architects	With	Consultants	Project	Revisions		Project No.	Sheet Name	Sheet No.		
	ALAMEDA POINT REDEVELOPERS Jonah Hendrickson 1475 Powell Street, Suite #201 Emeryville CA 94608 Tel: 510.684.0647 Email: jonahhendrickson@mac.com	MARCY WONG DONN LOGAN ARCHITECTS 800 Bancroft Way, Suite #200 Berkeley CA 94710 Tel: 510.843.0916 Email: office@wonglogan.com	MIKITTEN ARCHITECTURE 2415 Fifth Street Berkeley CA 94710 Tel: 510.540.7111 Email: erick@mikittenarch.com			ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE BUILDING 8 ALAMEDA POINT 2350 Saratoga Street, Alameda, CA 94501	No.	Issue	Date	1608	ELEVATIONS	A202
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								Date		09/21/2017		
								Drawn by		SM, TT		
								Checked by		Checker		
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NOTE - INTERIOR CONFIGURATION SUBJECT TO FURTHER REFINEMENT OF FLOOR PLANS



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Consultants

Project
ADAPTIVE REUSE OF HISTORIC
GENERAL STOREHOUSE
BUILDING 8 | ALAMEDA POINT

2350 Saratoga Street, Alameda, CA 94501

No.	Revisions	
	Issue	Date

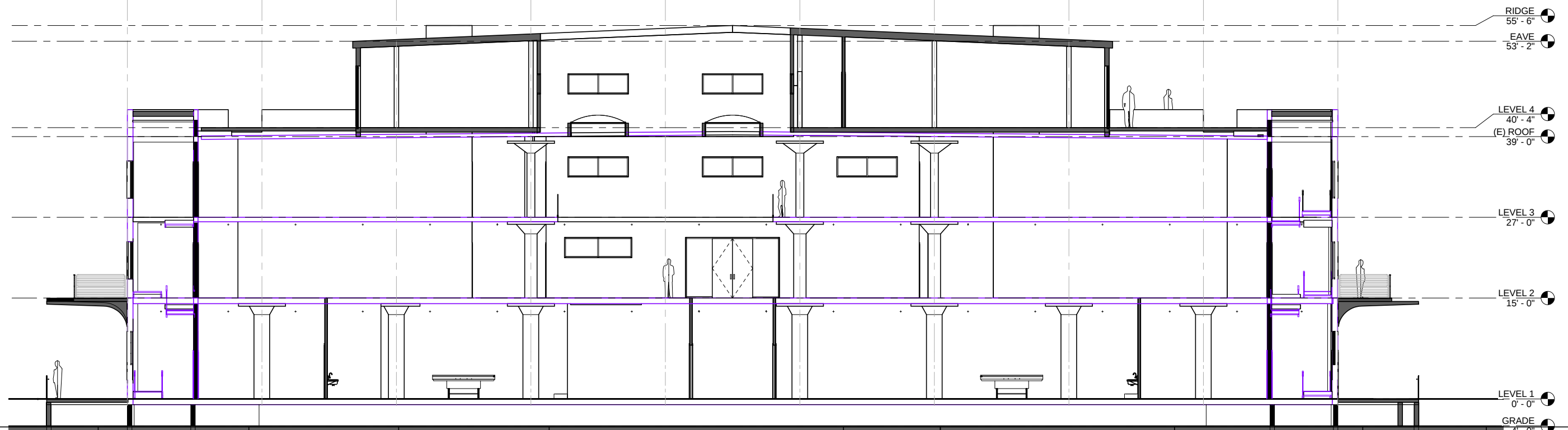
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Date 09/21/2017
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Sheet Name

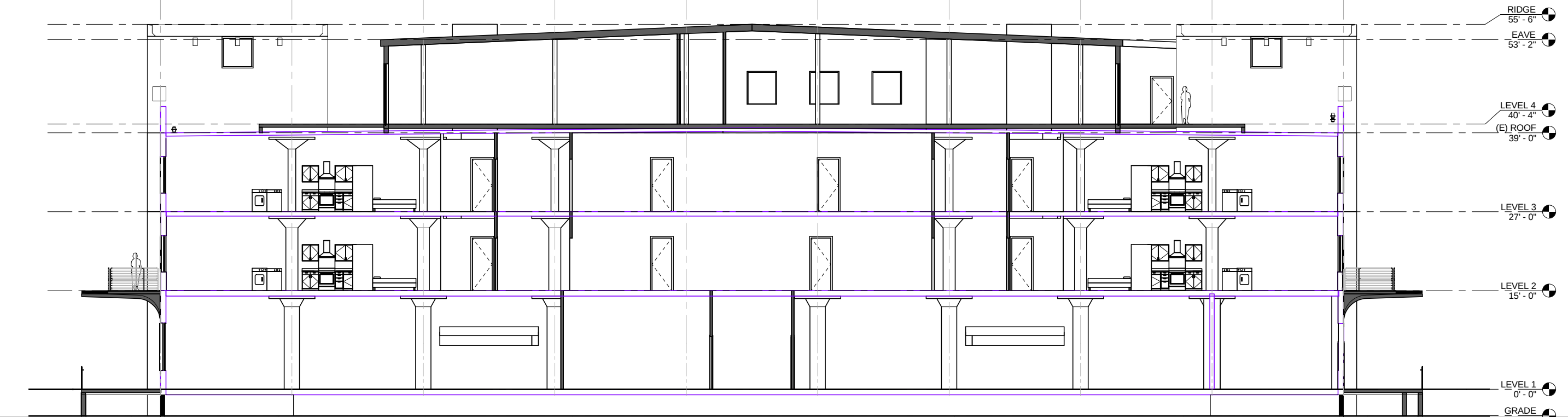
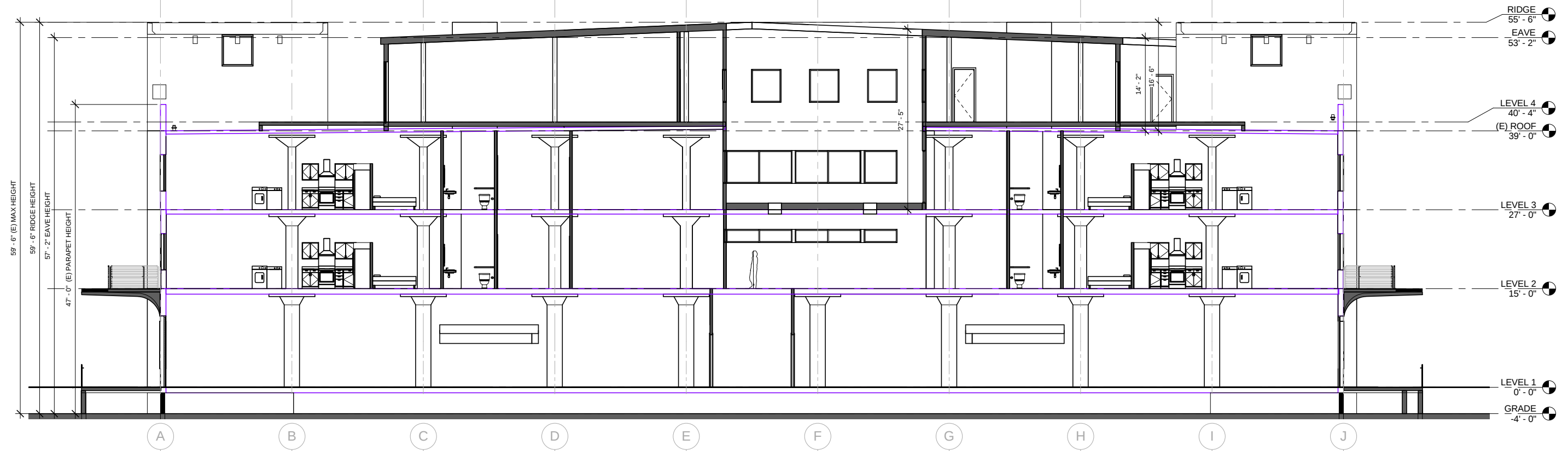
SECTIONS

Sheet No.

A301



Client	Architects	With	Consultants	Project	Revisions			Project No.	1608	Sheet Name	A302
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ALAMEDA POINT REDEVELOPERS Jonah Hendrickson 1475 Powell Street, Suite #201 Emeryville CA 94608 Tel: 510.684.0647 Email: jonahhendrickson@mac.com	MARCY WONG DONN LOGAN ARCHITECTS 800 Bancroft Way, Suite #200 Berkeley CA 94710 Tel: 510.843.0916 Email: office@wonglogan.com	MIKITTEN ARCHITECTURE 2415 Fifth Street Berkeley CA 94710 Tel: 510.540.7111 Email: erick@mikittenarch.com		ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE BUILDING 8 ALAMEDA POINT 2350 Saratoga Street, Alameda, CA 94501				Phase PLANNING REVIEW Date 09/21/2017 Drawn by Author Checked by Checker Scale at Sheet Size D 1/8" = 1'-0"		SECTIONS	



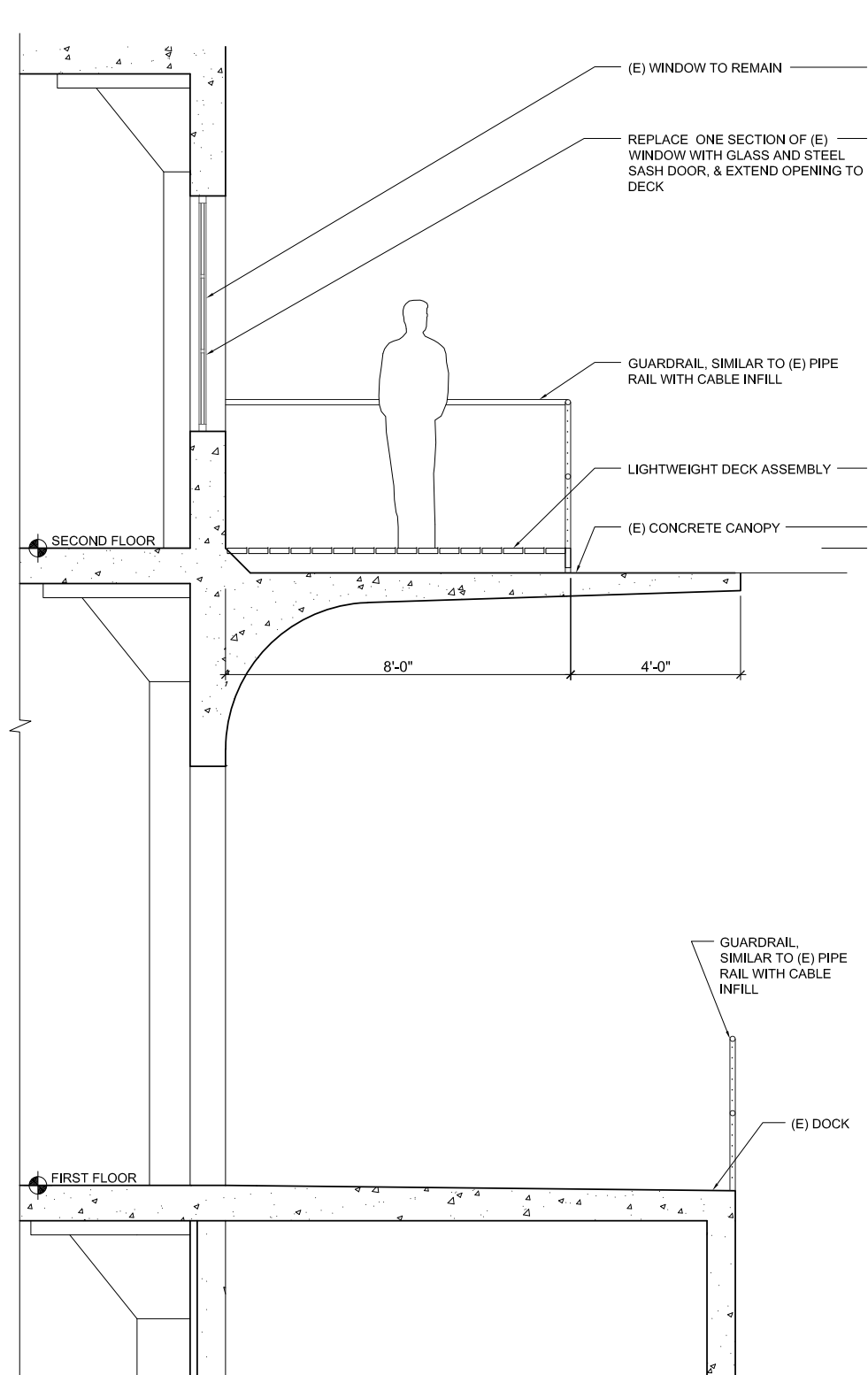
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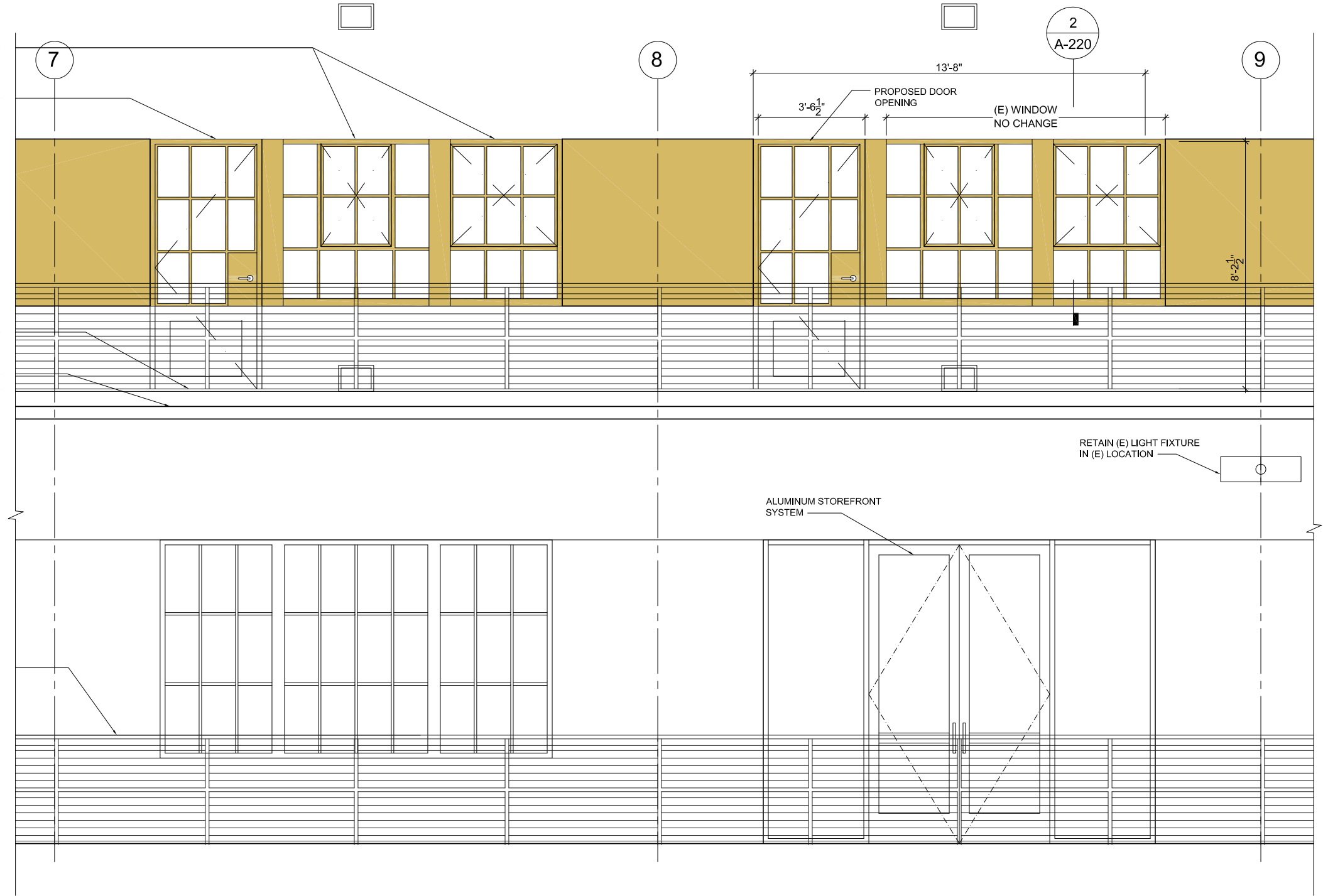
Client		Architects		With		Consultants		Project		Revisions		Project No.		Sheet Name	
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1475 Powell Street, Suite #201 Emeryville CA 94608 Tel: 510.684.0647 Email: jonahhendrickson@mac.com		800 Bancroft Way, Suite #200 Berkeley CA 94710 Tel: 510.843.0916 Email: office@wonglogan.com		2415 Fifth Street Berkeley CA 94710 Tel: 510.540.7111 Email: erick@mikitenarch.com				2350 Saratoga Street, Alameda, CA 94501				Phase PLANNING REVIEW		A303	
												Date 09/21/2017			
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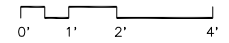
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2 SECTION AT DOCK



1 ENLARGED ELEVATION FLOORS 2 & 3



Client	Architects	With	Consultants	Project		Revisions			Project No.	1608	Sheet Name	Sheet No.
						No.	Issue	Date	Phase			
									PLANNING REVIEW			
									Date			
									09/05/2017			
									Drawn by			
									Author			
									Checked by			
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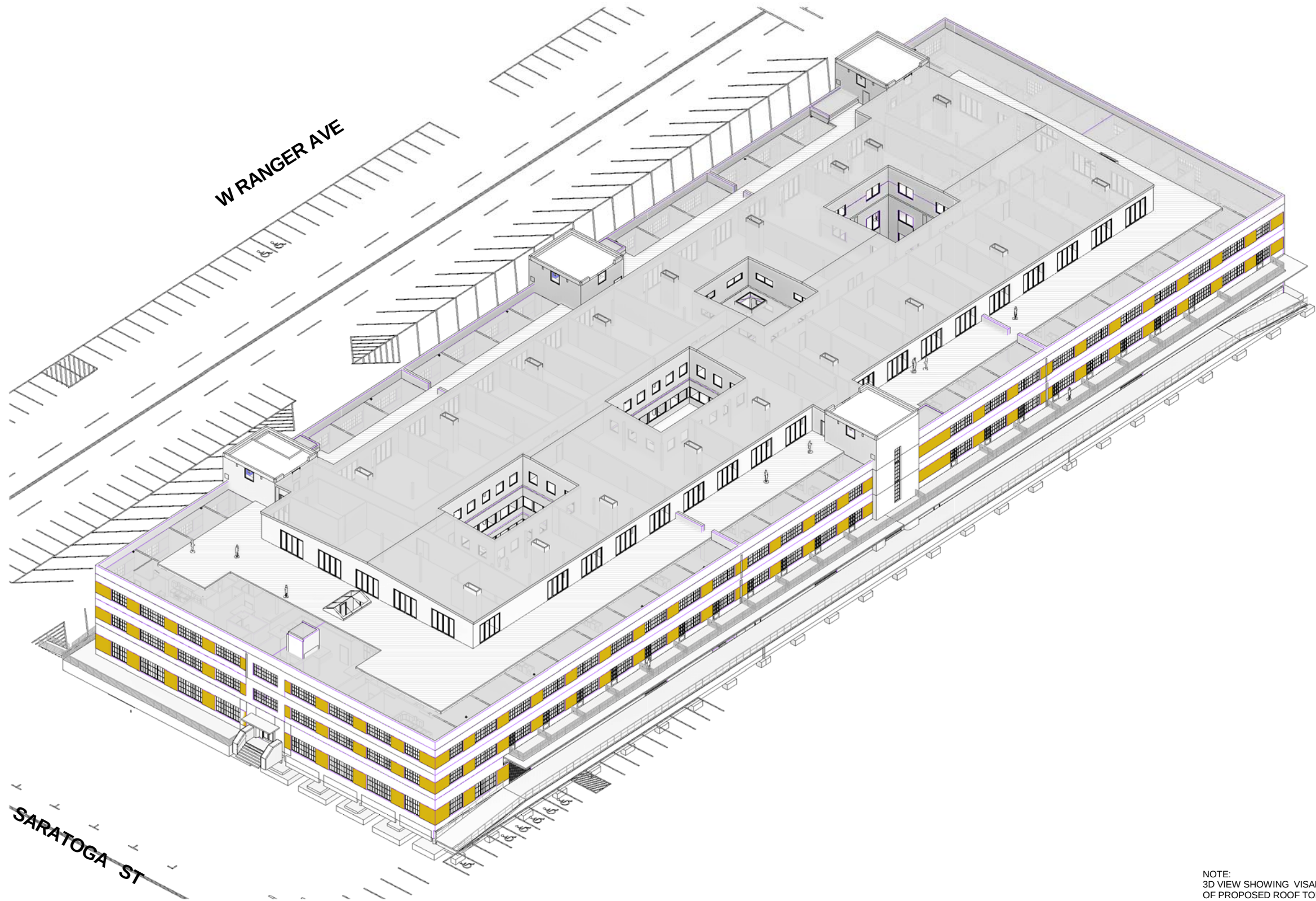
MIKITTEN ARCHITECTURE

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ADAPTIVE REUSE OF HISTORIC
GENERAL STOREHOUSE
BUILDING 8 | ALAMEDA POINT

2350 Saratoga Street, Alameda, CA 94501

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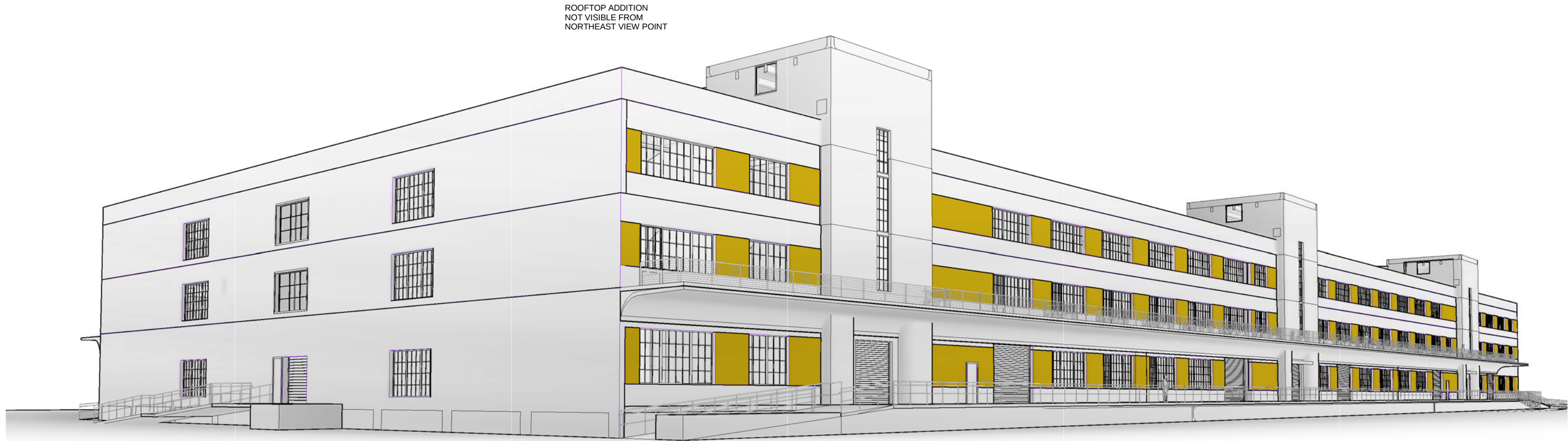


NOTE:
3D VIEW SHOWING VISIBILITY
OF PROPOSED ROOF TOP ADDITION
ON (E) BUILDING

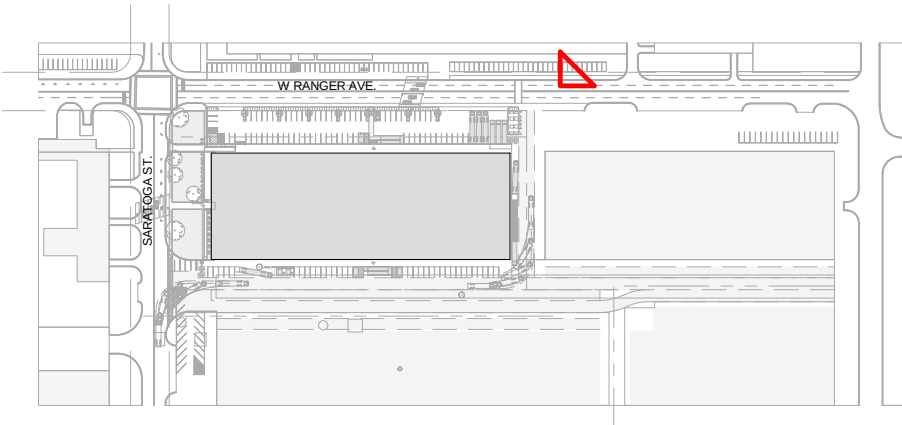
SEE 2D ELEVATIONS FOR PROPOPOSED
FACADE IMPROVEMENTS



Client	Architects	With	Consultants	Project		Revisions			Project No.	1608	Sheet Name	Sheet No.
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ALAMEDA POINT REDEVELOPERS Jonah Hendrickson	MARCY WONG DONN LOGAN ARCHITECTS	MIKITEN ARCHITECTURE		ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE BUILDING 8 ALAMEDA POINT					Date	09/21/2017	3D VIEW - AERIAL	A901
									Drawn by	CC		
									Checked by	Checker		
									Scale at Sheet Size D			
1475 Powell Street, Suite #201 Emeryville CA 94608 Tel: 510.684.0647 Email: jonahhendrickson@mac.com	800 Bancroft Way, Suite #200 Berkeley CA 94710 Tel: 510.843.0916 Email: office@wonglogan.com	2415 Fifth Street Berkeley CA 94710 Tel: 510.540.7111 Email: erick@mikitenarch.com		2350 Saratoga Street, Alameda, CA 94501								



ROOFTOP ADDITION
NOT VISIBLE FROM
NORTHEAST VIEW POINT



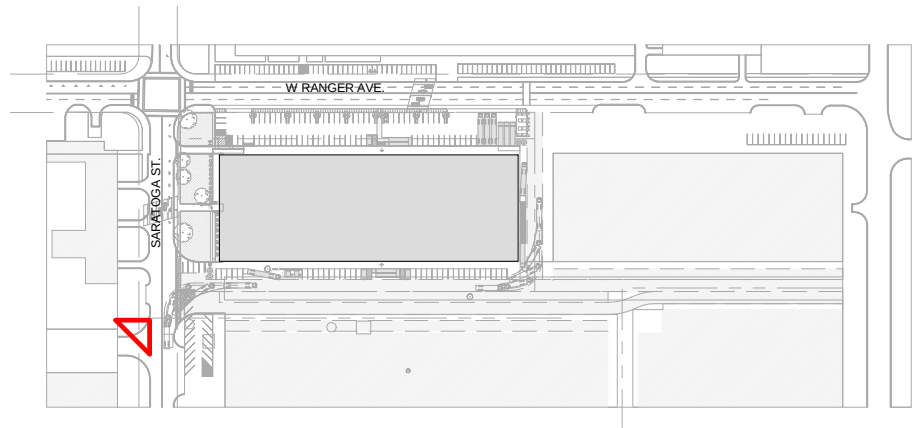
NOTE:
3D VIEW SHOWING VISIBILITY
OF PROPOSED ROOF TOP ADDITION
ON (E) BUILDING

SEE 2D ELEVATIONS FOR PROPOSED
FACADE IMPROVEMENTS

	Client	Architects	With	Consultants	Project	Revisions			Project No.	1608	Sheet Name	Sheet No.
	ALAMEDA POINT REDEVELOPERS Jonah Hendrickson 1475 Powell Street, Suite #201 Emeryville CA 94608 Tel: 510.684.0647 Email: jonahhendrickson@mac.com	MARCY WONG DONN LOGAN ARCHITECTS 800 Bancroft Way, Suite #200 Berkeley CA 94710 Tel: 510.843.0916 Email: office@wonglogan.com	MIKITEN ARCHITECTURE 2415 Fifth Street Berkeley CA 94710 Tel: 510.540.7111 Email: erick@mikitenarch.com		ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE BUILDING 8 ALAMEDA POINT 2350 Saratoga Street, Alameda, CA 94501	No.	Issue	Date	Phase	PLANNING REVIEW	3D VIEW - NORTHEAST	A902
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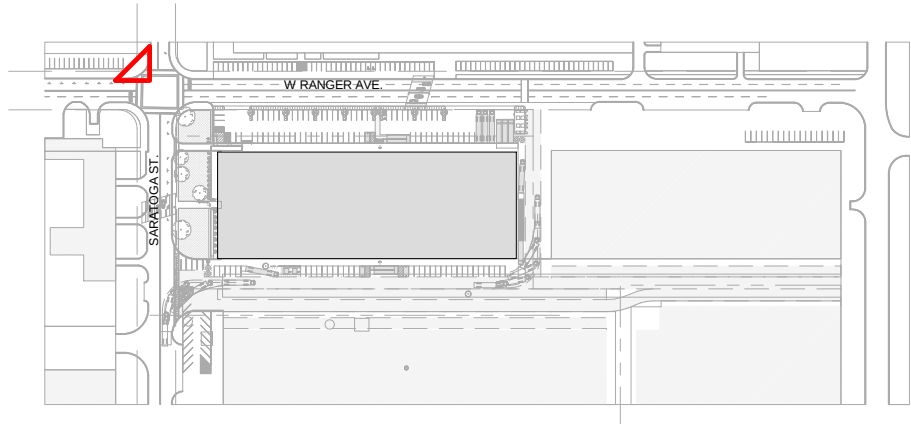
ROOF TOP ADDITION
NOT VISIBLE FROM
SOUTHWEST VIEW POINT



NOTE:
3D VIEW SHOWING VISIBILITY
OF PROPOSED ROOF TOP ADDITION
ON (E) BUILDING

SEE 2D ELEVATIONS FOR PROPOSED
FACADE IMPROVEMENTS

	Client	Architects	With	Consultants	Project	Revisions			Project No.	1608	Sheet Name	Sheet No.
	ALAMEDA POINT REDEVELOPERS Jonah Hendrickson 1475 Powell Street, Suite #201 Emeryville CA 94608 Tel: 510.684.0647 Email: jonahhendrickson@mac.com	MARCY WONG DONN LOGAN ARCHITECTS 800 Bancroft Way, Suite #200 Berkeley CA 94710 Tel: 510.843.0916 Email: office@wonglogan.com	MIKITEN ARCHITECTURE 2415 Fifth Street Berkeley CA 94710 Tel: 510.540.7111 Email: erick@mikitenarch.com		ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE BUILDING 8 ALAMEDA POINT 2350 Saratoga Street, Alameda, CA 94501	No.	Issue	Date	Phase	PLANNING REVIEW	3D VIEW - SOUTHWEST	A903
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									Checked by	Checker		
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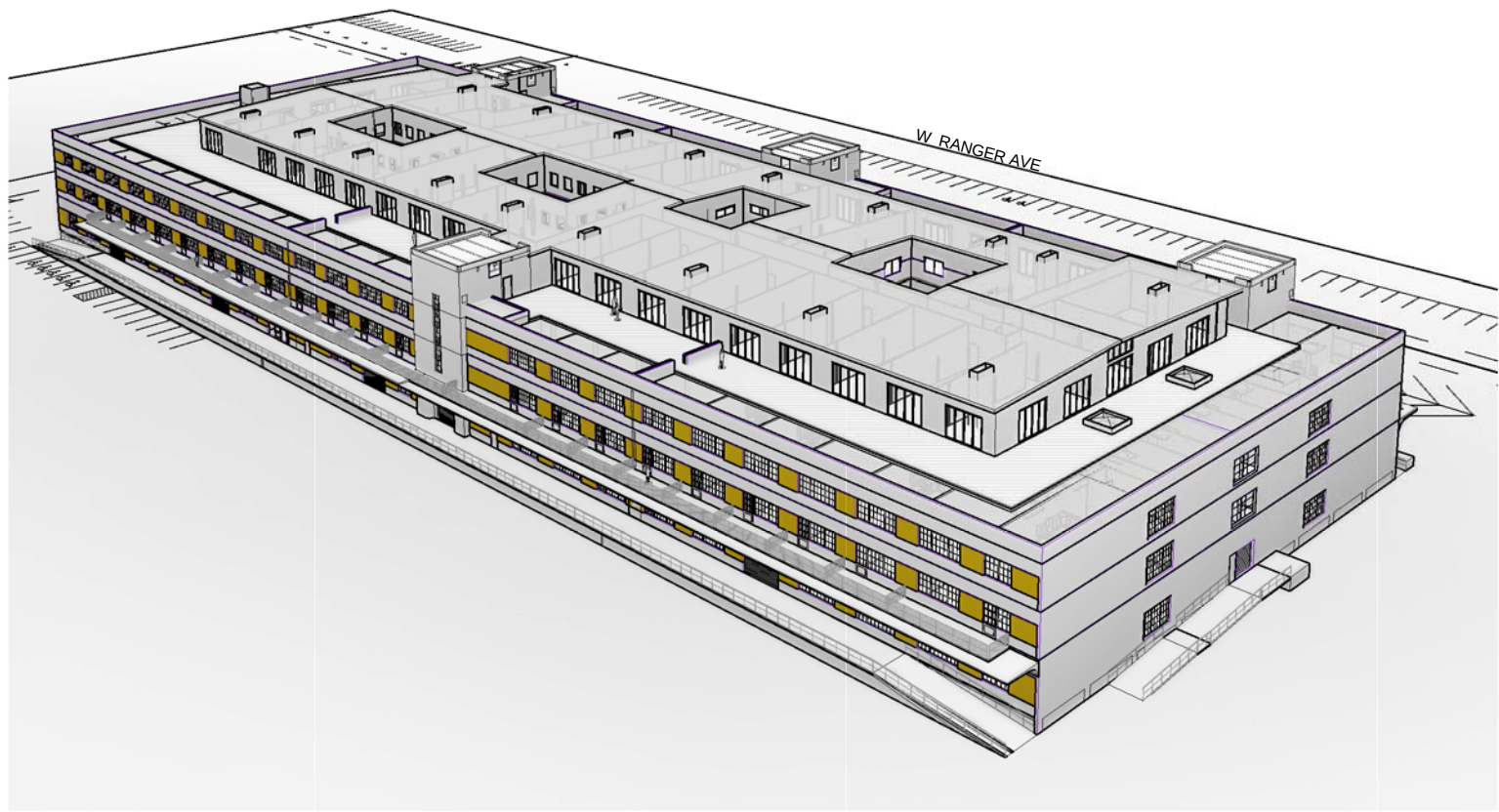


NOTE:
3D VIEW SHOWING VISIBILITY
OF PROPOSED ROOF TOP ADDITION
ON (E) BUILDING

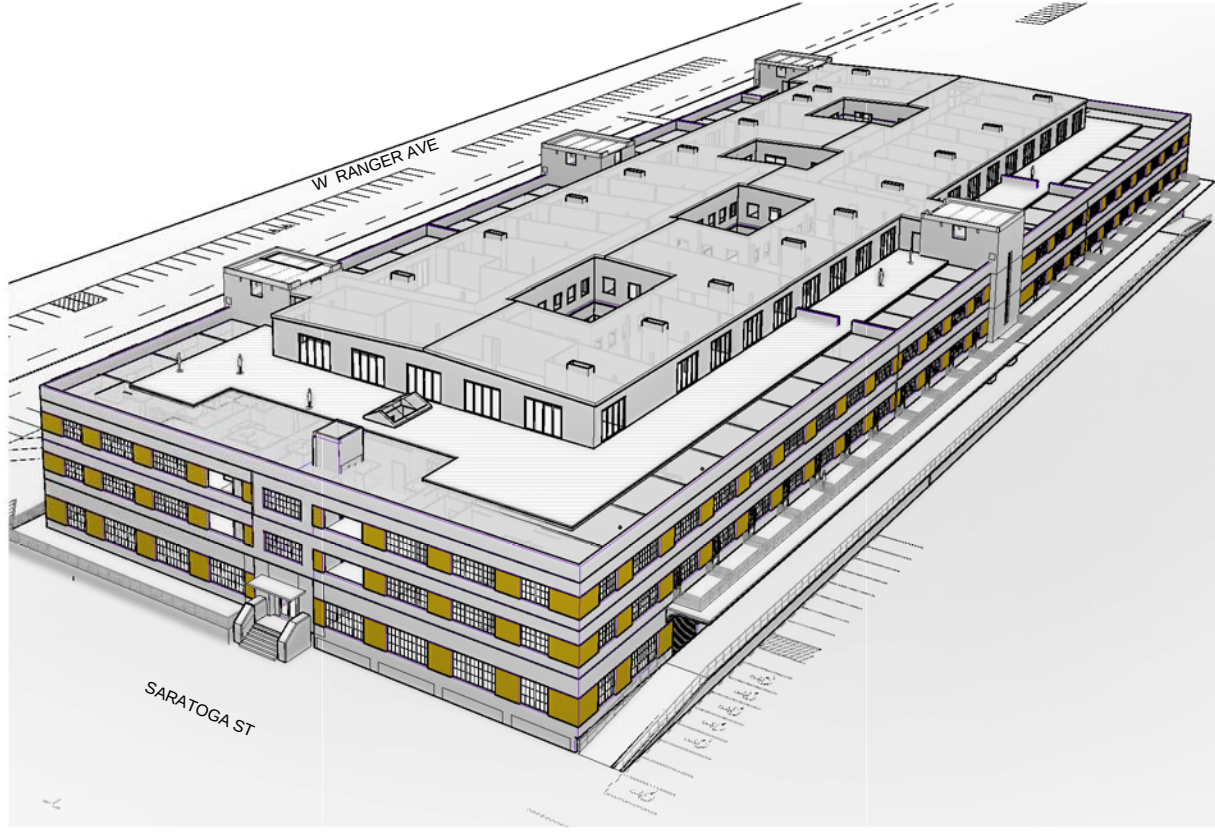
SEE 2D ELEVATIONS FOR PROPOPOSED
FACADE IMPROVEMENTS



Client	Architects	With	Consultants	Project	Revisions			Project No.	1608	Sheet Name	Sheet No.
ALAMEDA POINT REDEVELOPERS Jonah Hendrickson	MARCY WONG DONN LOGAN ARCHITECTS	MIKITEN ARCHITECTURE		ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE BUILDING 8 ALAMEDA POINT	No.	Issue	Date	Phase	PLANNING REVIEW	3D VIEW - NORTHWEST	A904
								Date	09/21/2017		
								Drawn by	Author		
								Checked by	Checker		
					Scale at Sheet Size D						



2 AERIAL PERSPECTIVE VIEW FROM SOUTHEAST



1 AERIAL PERSPECTIVE VIEW FROM SOUTHWEST



Client	Architects	With	Consultants	Project	Revisions			Project No.	Sheet Name	Sheet No.
					No.	Issue	Date			
ALAMEDA POINT REDEVELOPERS Jonah Hendrickson 1475 Powell Street, Suite #201 Emeryville CA 94608 Tel: 510.684.0647 Email: jonahhendrickson@mac.com	MARCY WONG DONN LOGAN ARCHITECTS 800 Bancroft Way, Suite #200 Berkeley CA 94710 Tel: 510.843.0916 Email: office@wonglogan.com	MIKITEN ARCHITECTURE 2415 Fifth Street Berkeley CA 94710 Tel: 510.540.7111 Email: erick@mikitenarch.com		ADAPTIVE REUSE OF HISTORIC GENERAL STOREHOUSE BUILDING 8 ALAMEDA POINT 2350 Saratoga Street, Alameda, CA 94501				1608	3D VIEW - AERIAL PERSPECTIVE	A905
								Phase		
								Date		
								Drawn by		
								Checked by	Author	Checker
								Scale at Sheet Size D		