

An aerial photograph of Alameda Point, showing a mix of developed and undeveloped land. A red dashed rectangle highlights a specific area in the center-right of the image, which appears to be a cluster of buildings or a construction site. The surrounding area includes a large body of water on the left, a parking lot with several cars, and various other structures and green spaces.

The Campus at Spirits Point

ALAMEDA POINT

APRIL 18, 2018

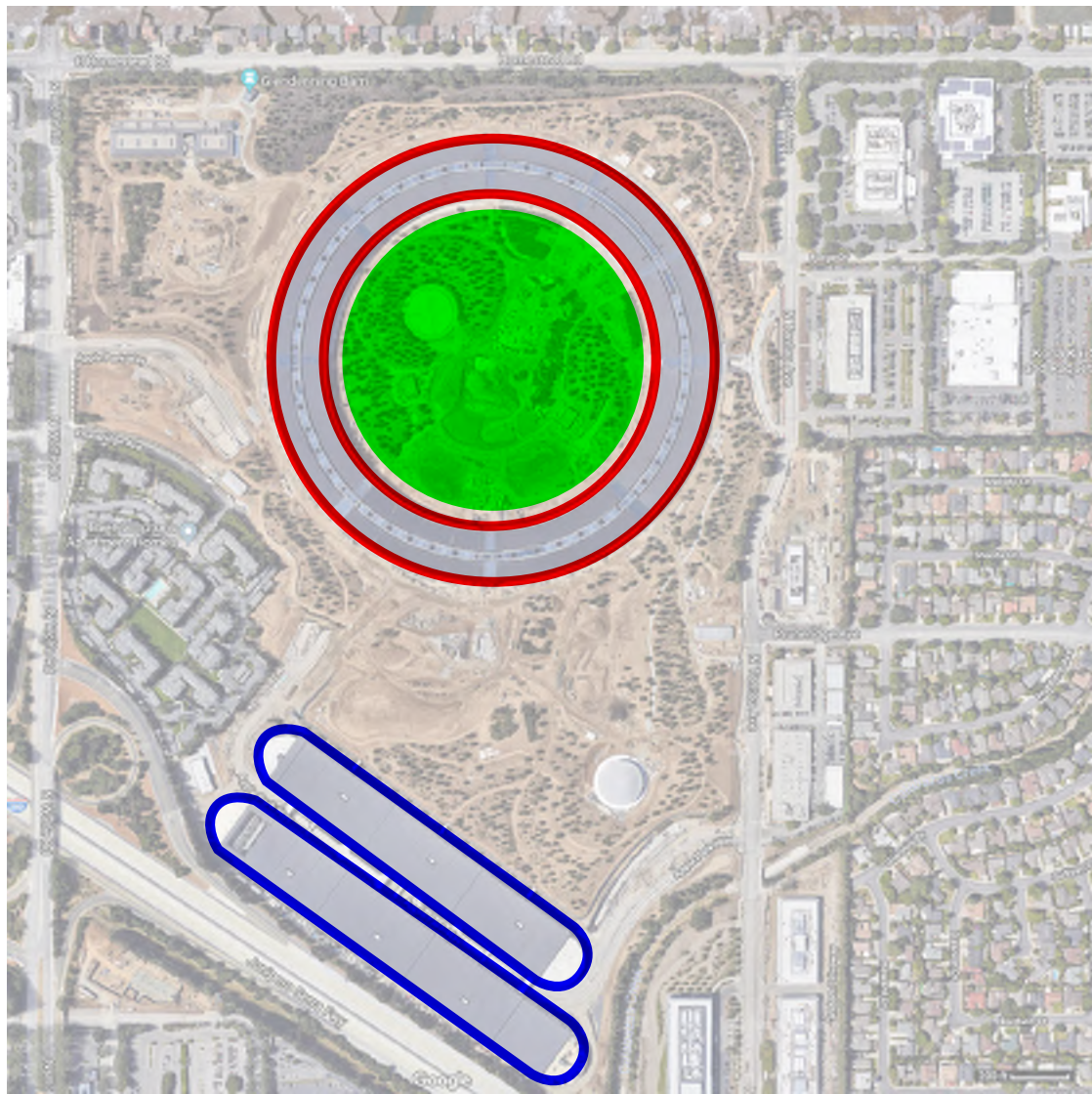
COMPARATIVE TECH CAMPUSES

TECH CAMPUS SCALE COMPARISON

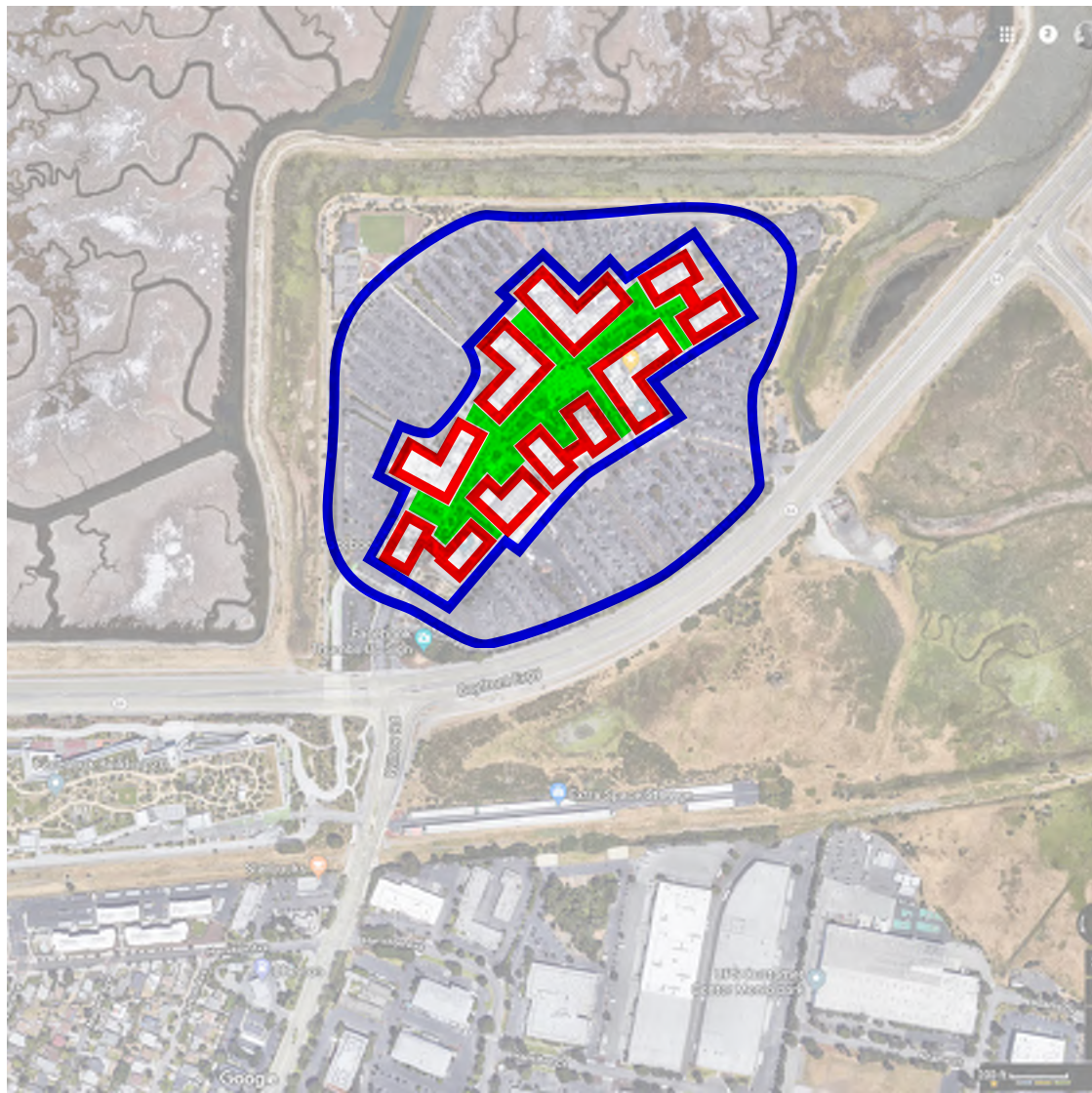
BEQ



APPLE



FACEBOOK

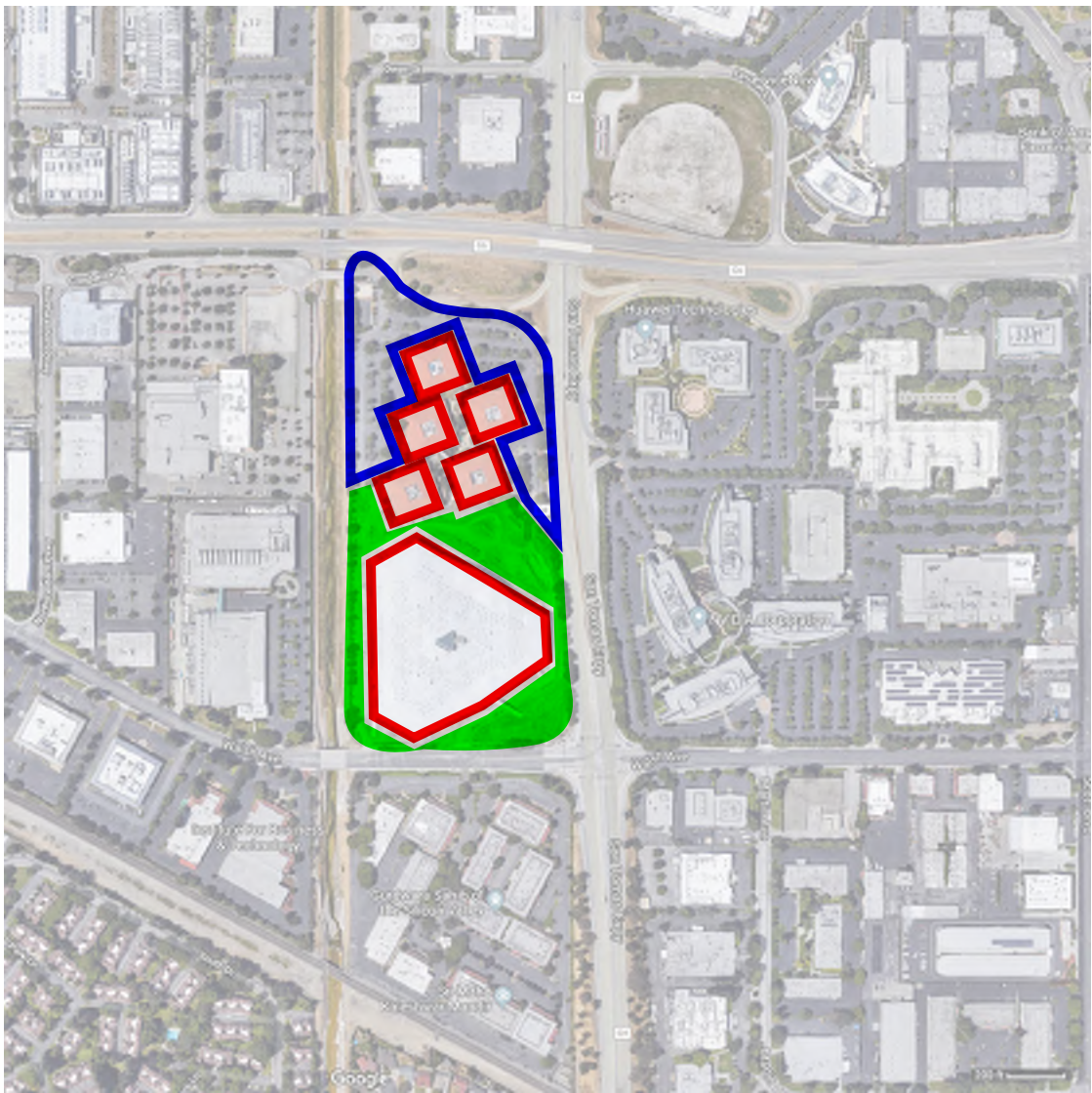


GOOGLE

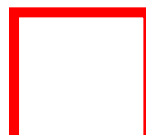
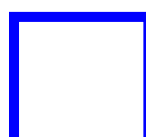


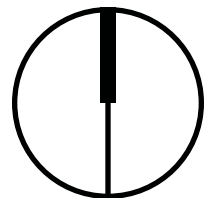
* ADDITIONAL EMPLOYEE PARKING
BELOW BUILDINGS

NVIDIA



* ADDITIONAL EMPLOYEE PARKING
BELOW BUILDINGS

-  HQ
-  PARKING
-  PARK



OPEN SPACE AND ACCESS

BEQ SITE IN CONTEXT OF WEST ALAMEDA

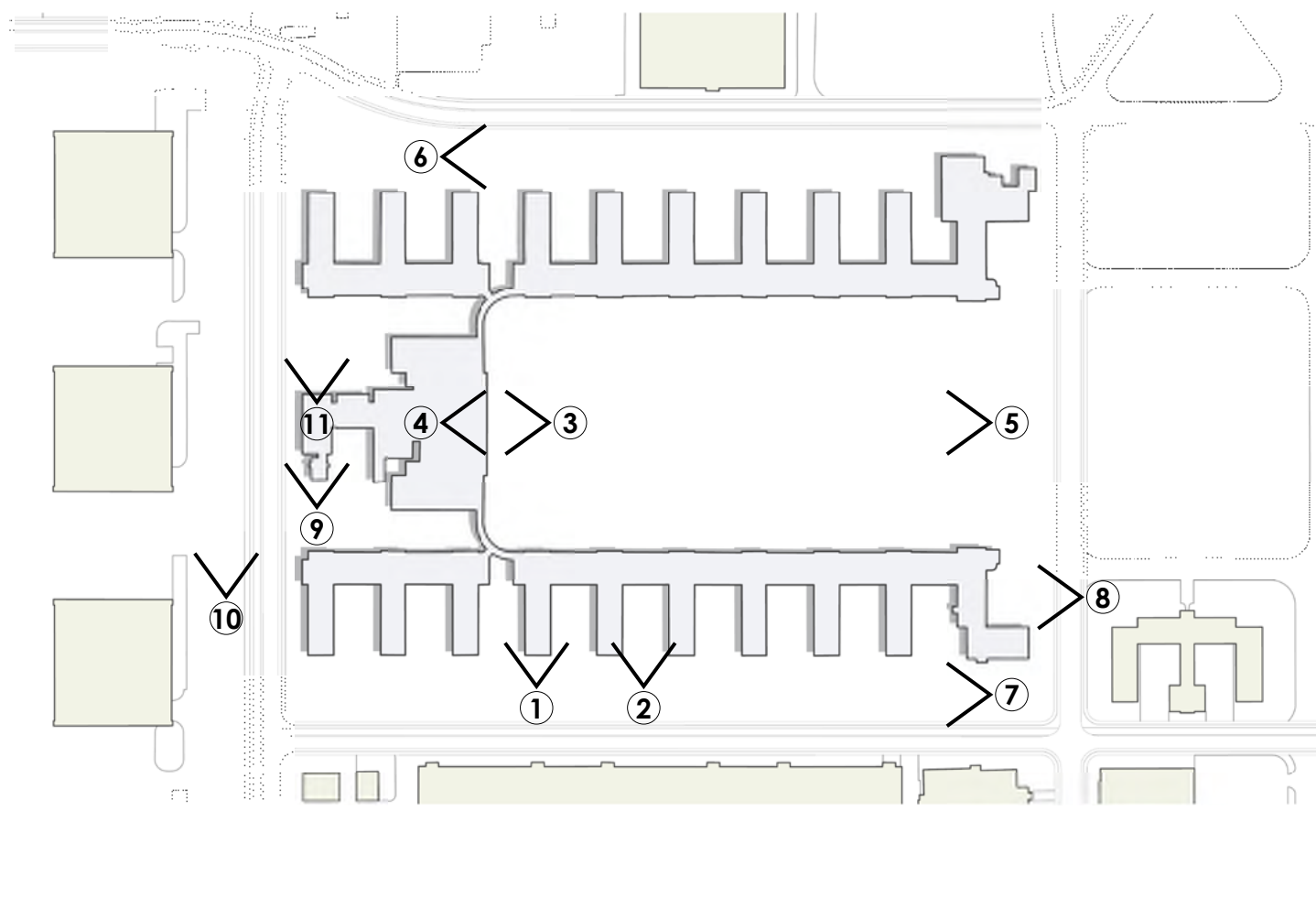


TRANSIT AND PARKING

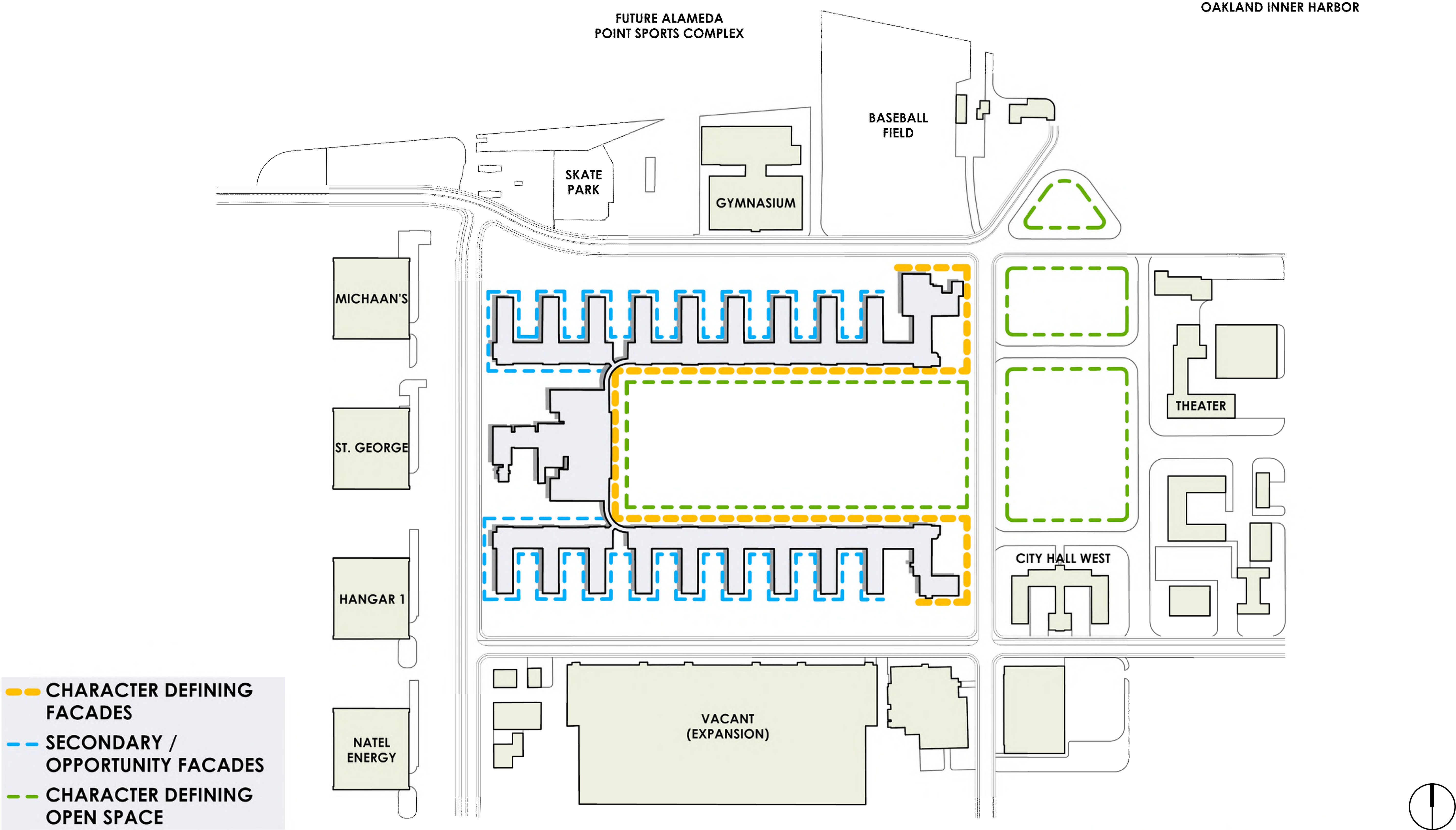


EXISTING BUILDINGS

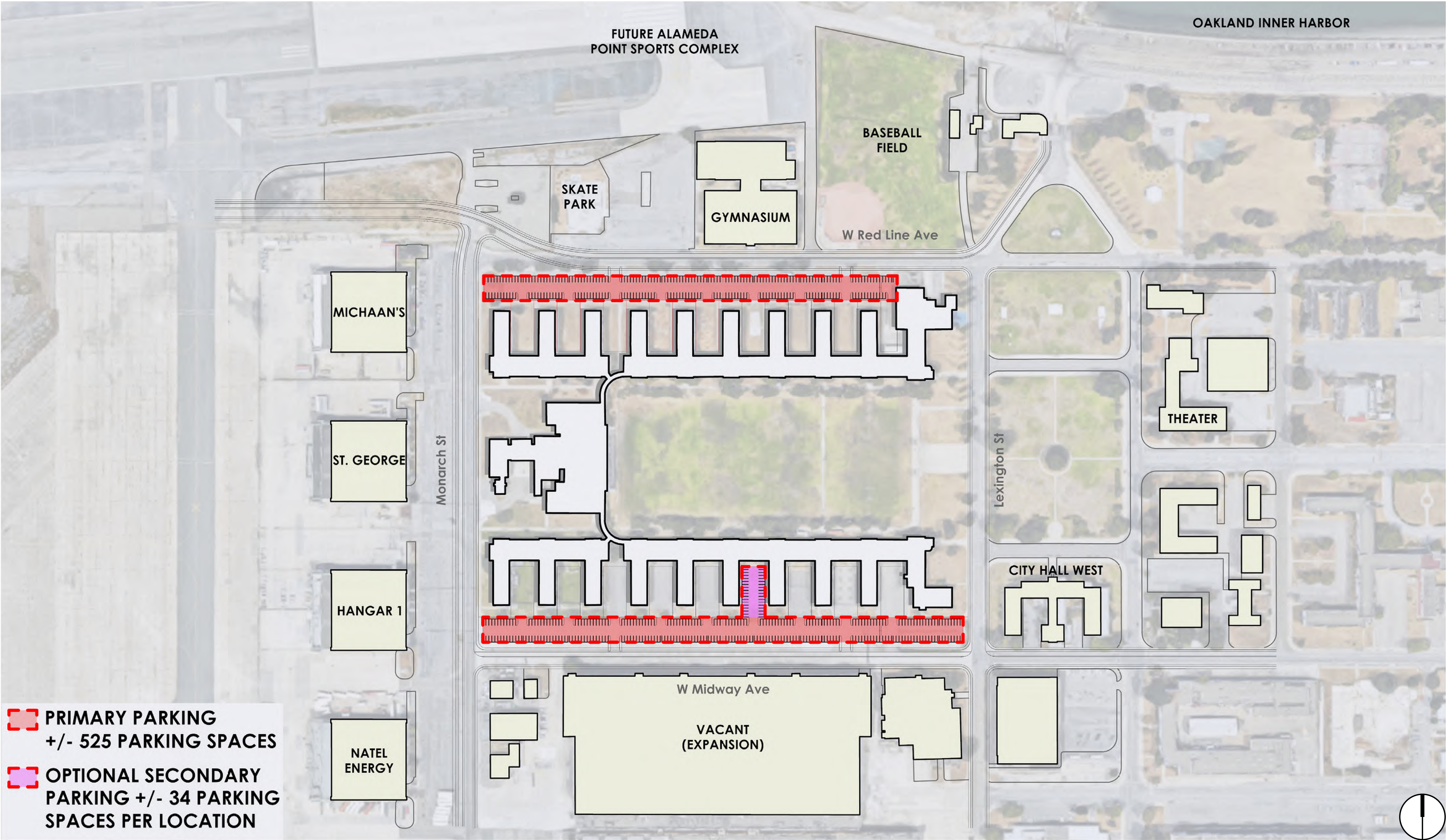
HISTORICAL ARCHITECTURE EVALUATION AND EXISTING BUILDING PHOTOS



HISTORICAL ARCHITECTURE EVALUATION AND EXISTING BUILDING PHOTOS



POSSIBLE PARKING (ON-SITE) ANALYSIS

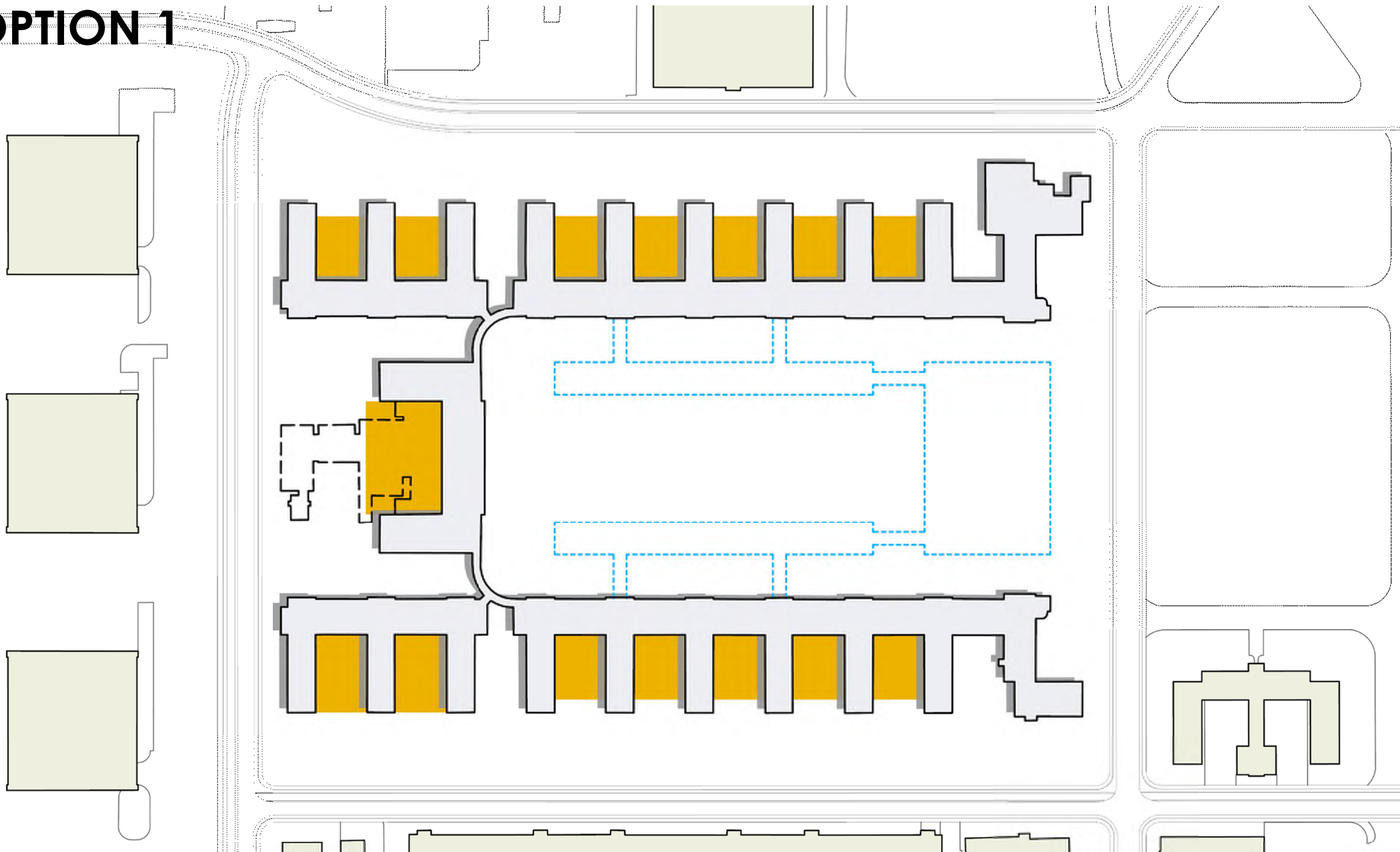


POTENTIAL BUILD OUTS

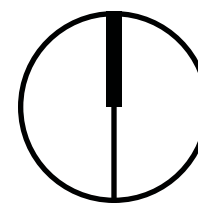
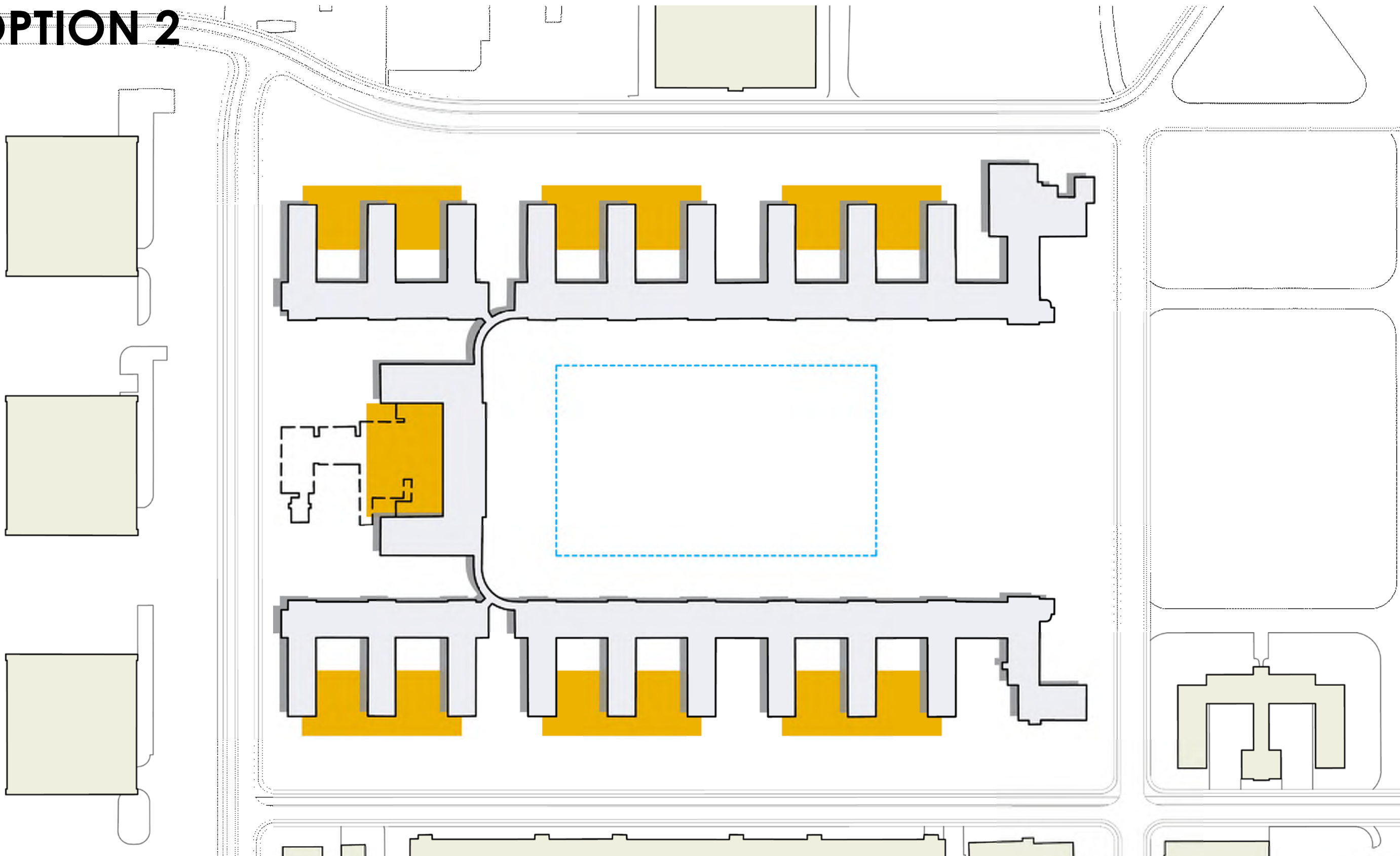
EXPANSION STRATEGIES



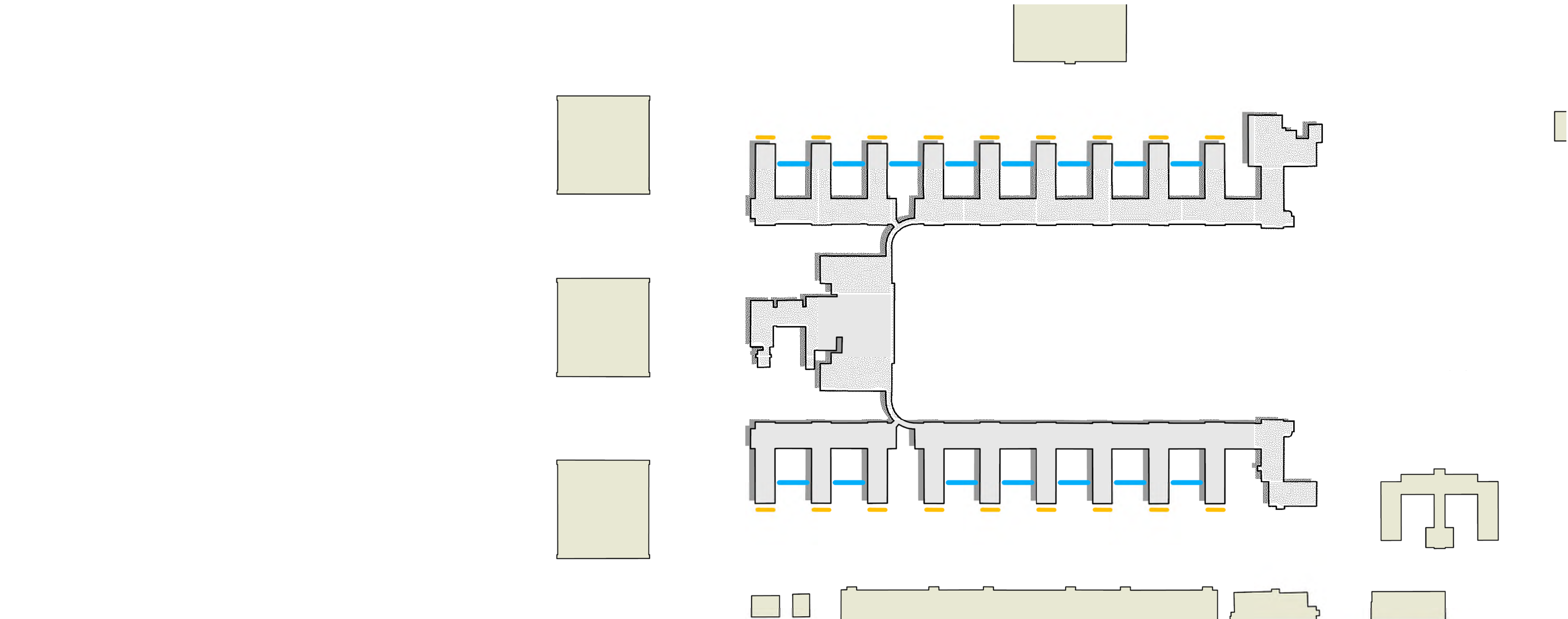
OPTION 1



OPTION 2

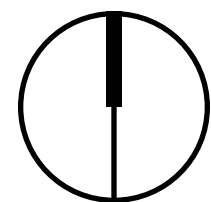


POSSIBLE ARCHITECTURAL TREATMENTS



PRIMARY / EXISTING FACADE

SECONDARY / NEW FACADE



ADAPTIVE REUSE CAPACITY

EXISTING STRUCTURE CAPACITY (ADAPTIVE REUSE)

RENTABLE SF = **479,322 RSF**
TARGET RSF PER PERSON = **150 RSF**

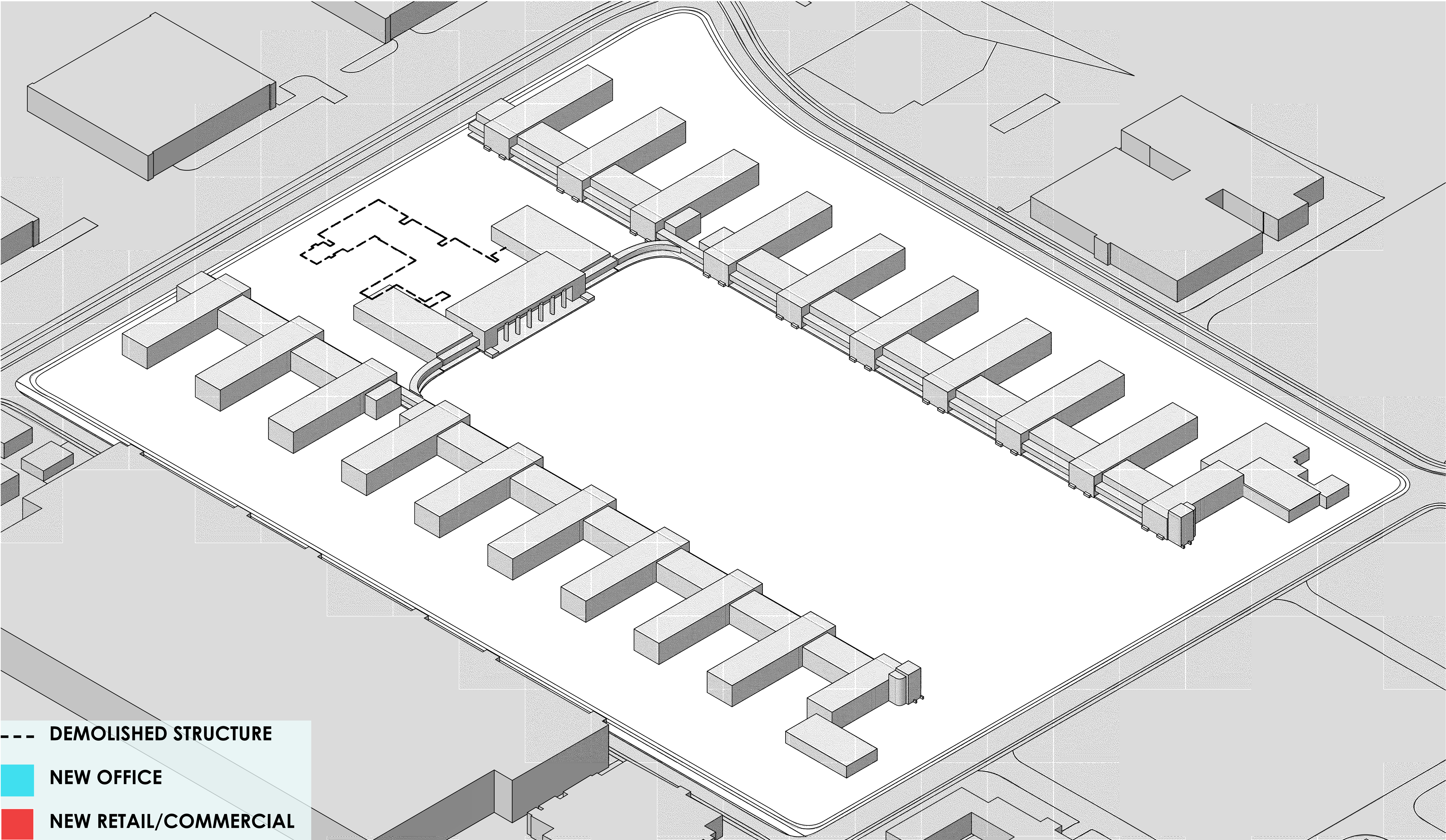
+/- 3,195 DESKS

POSSIBLE ADDITIONAL CAPACITY (WITH ADDITIONS)

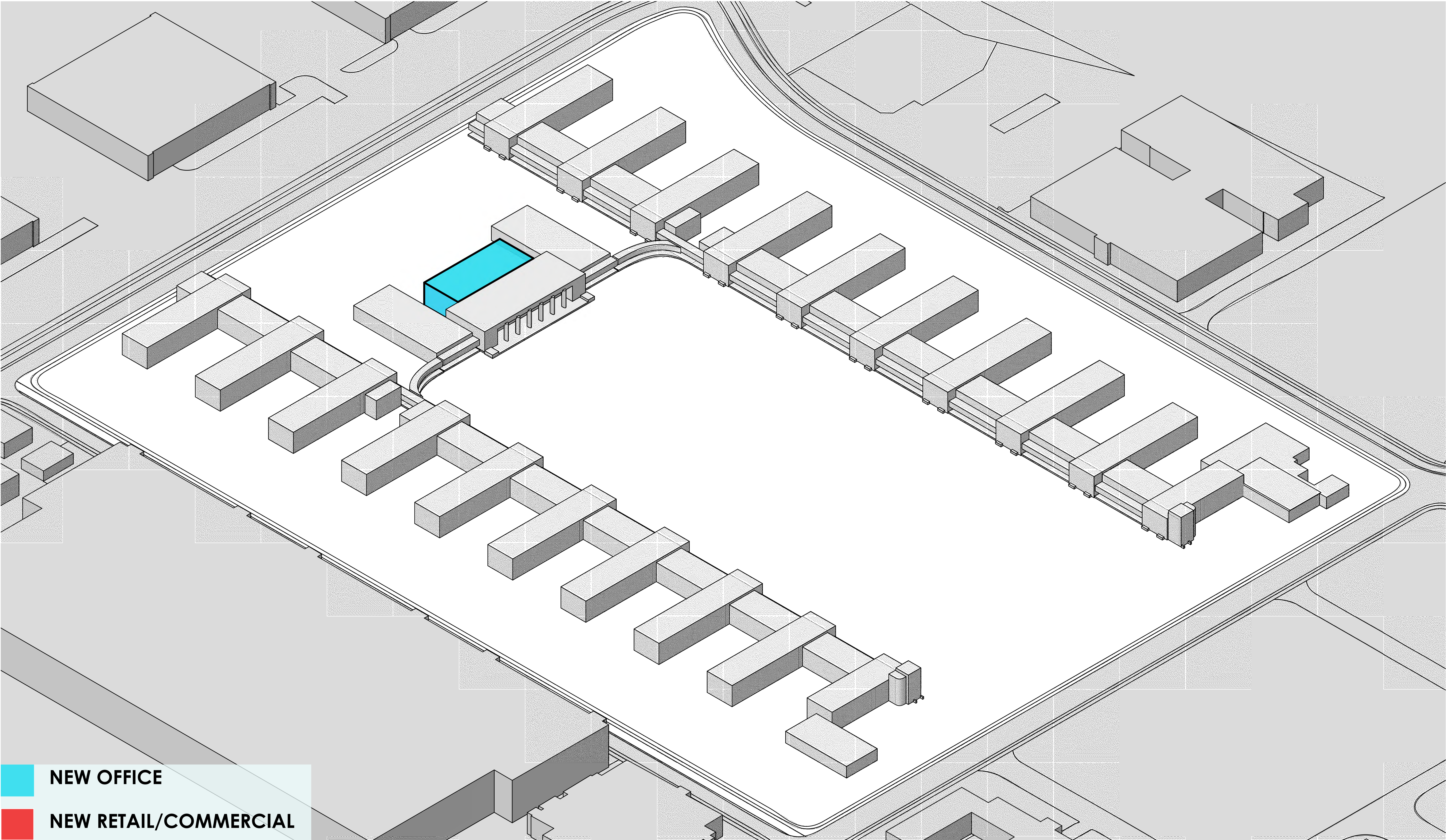
ADD PER COURTYARD = **63 DESKS**

+/- 504 DESKS

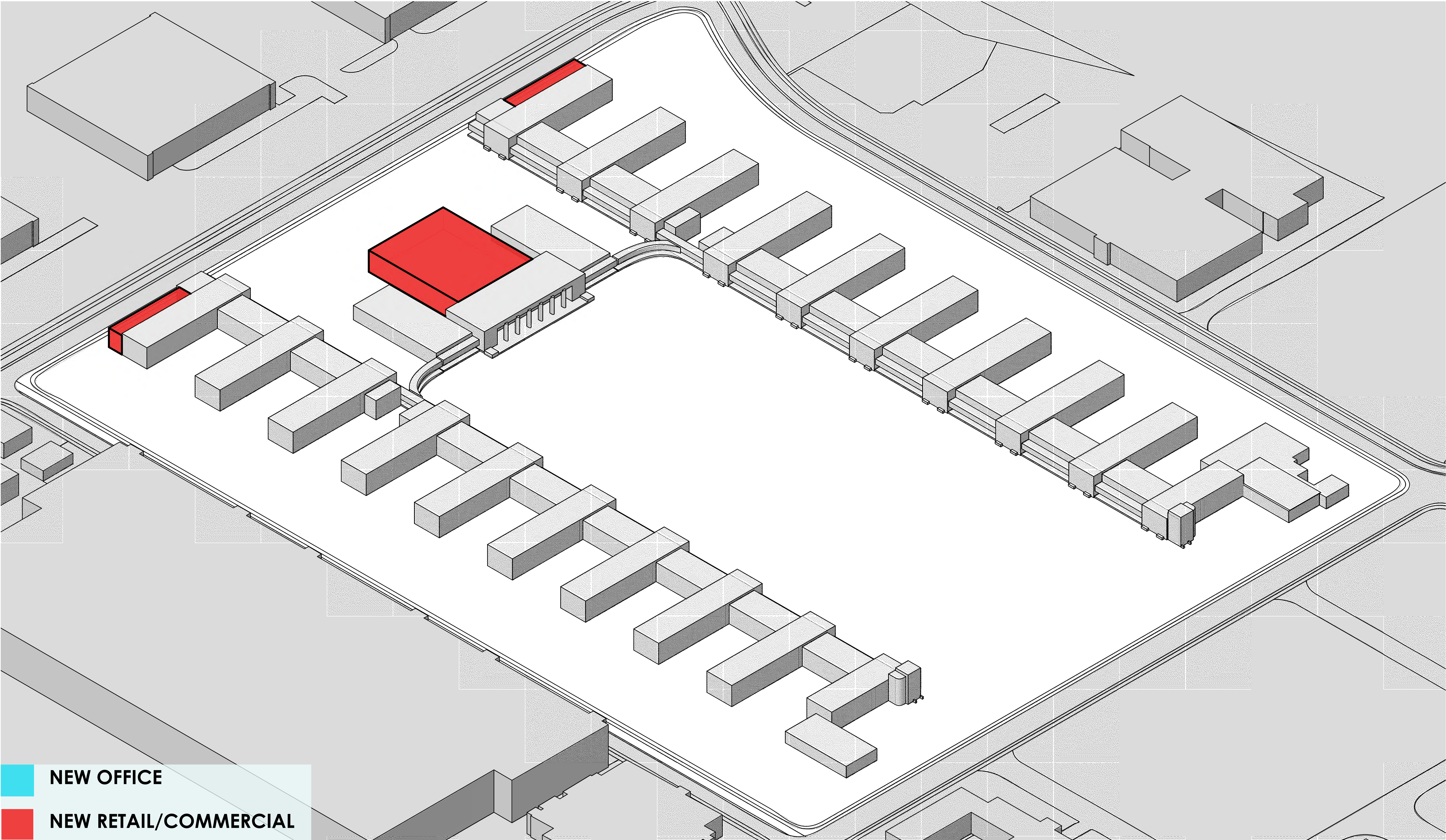
CAMPUS BUILD-OUT OPTIONS



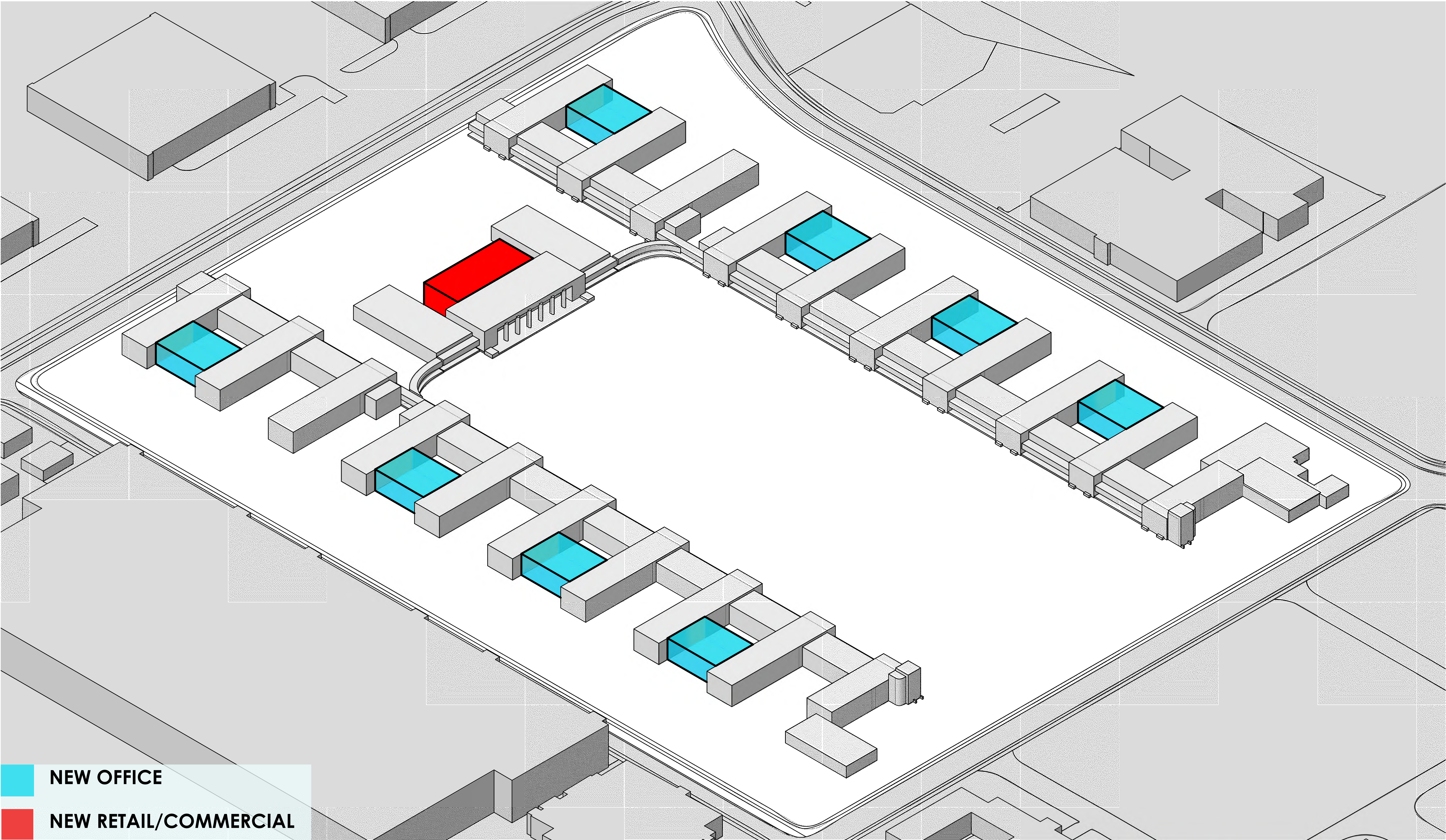
CAMPUS BUILD-OUT OPTIONS



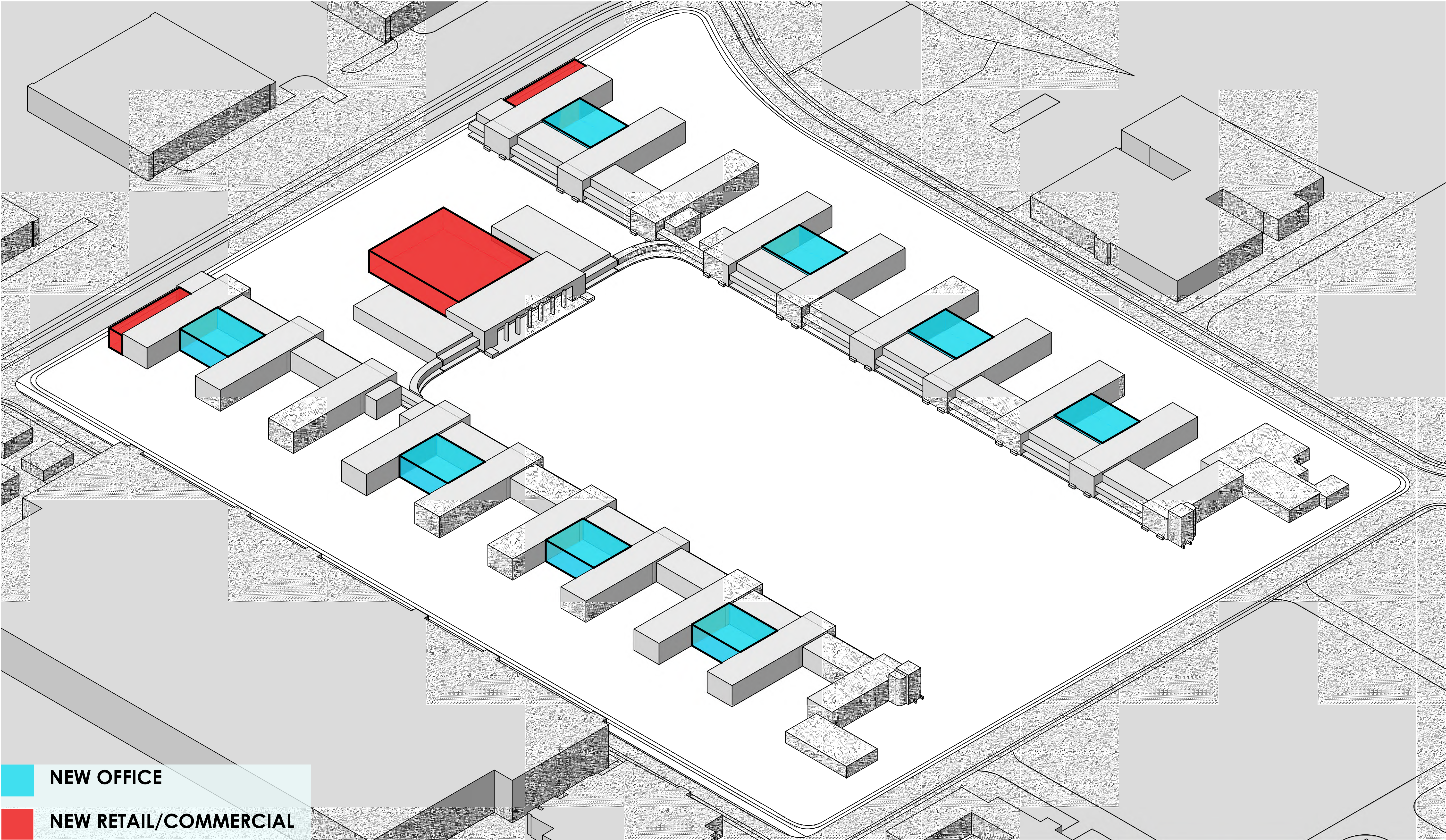
CAMPUS BUILD-OUT OPTIONS



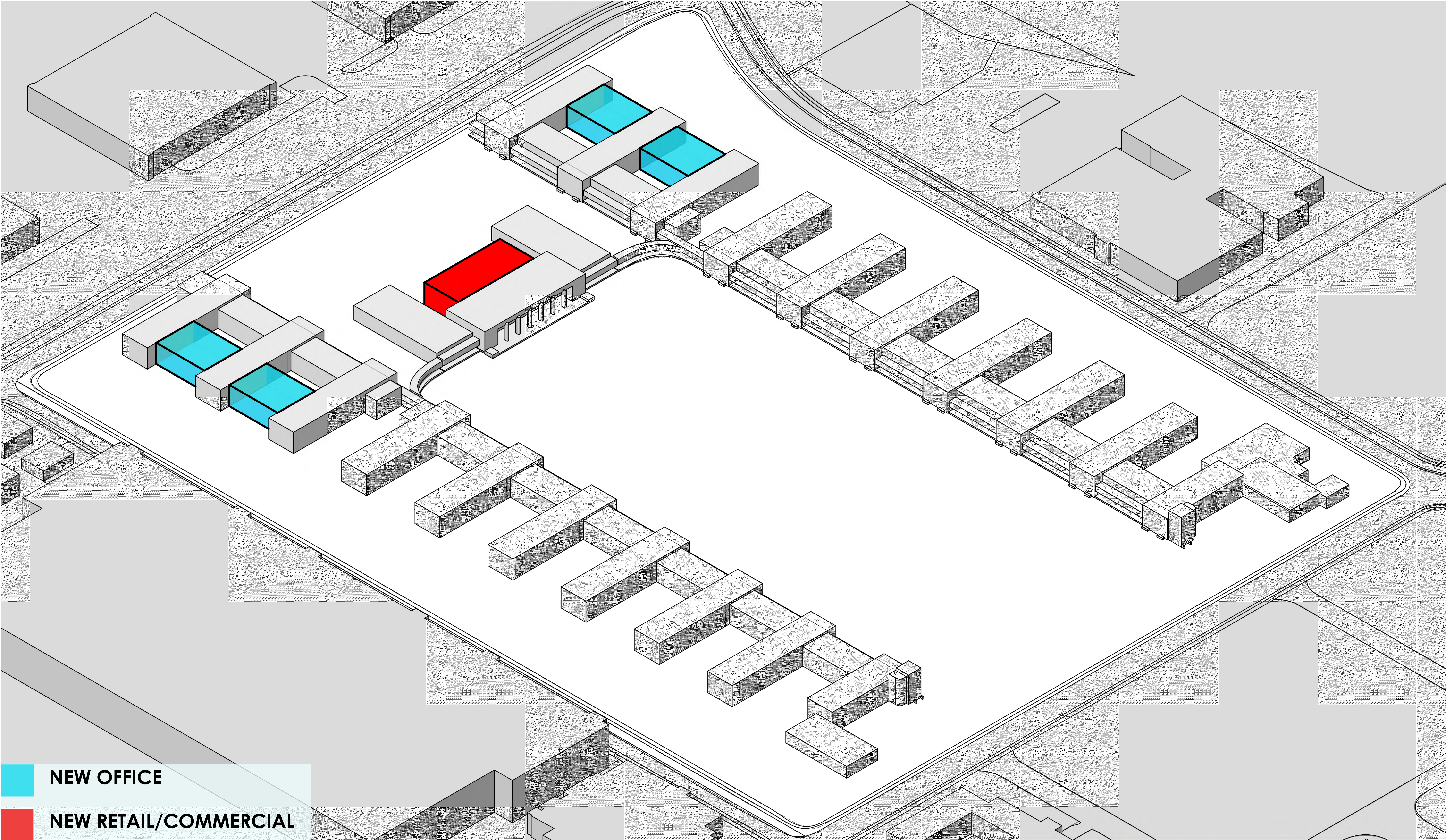
CAMPUS BUILD-OUT OPTIONS



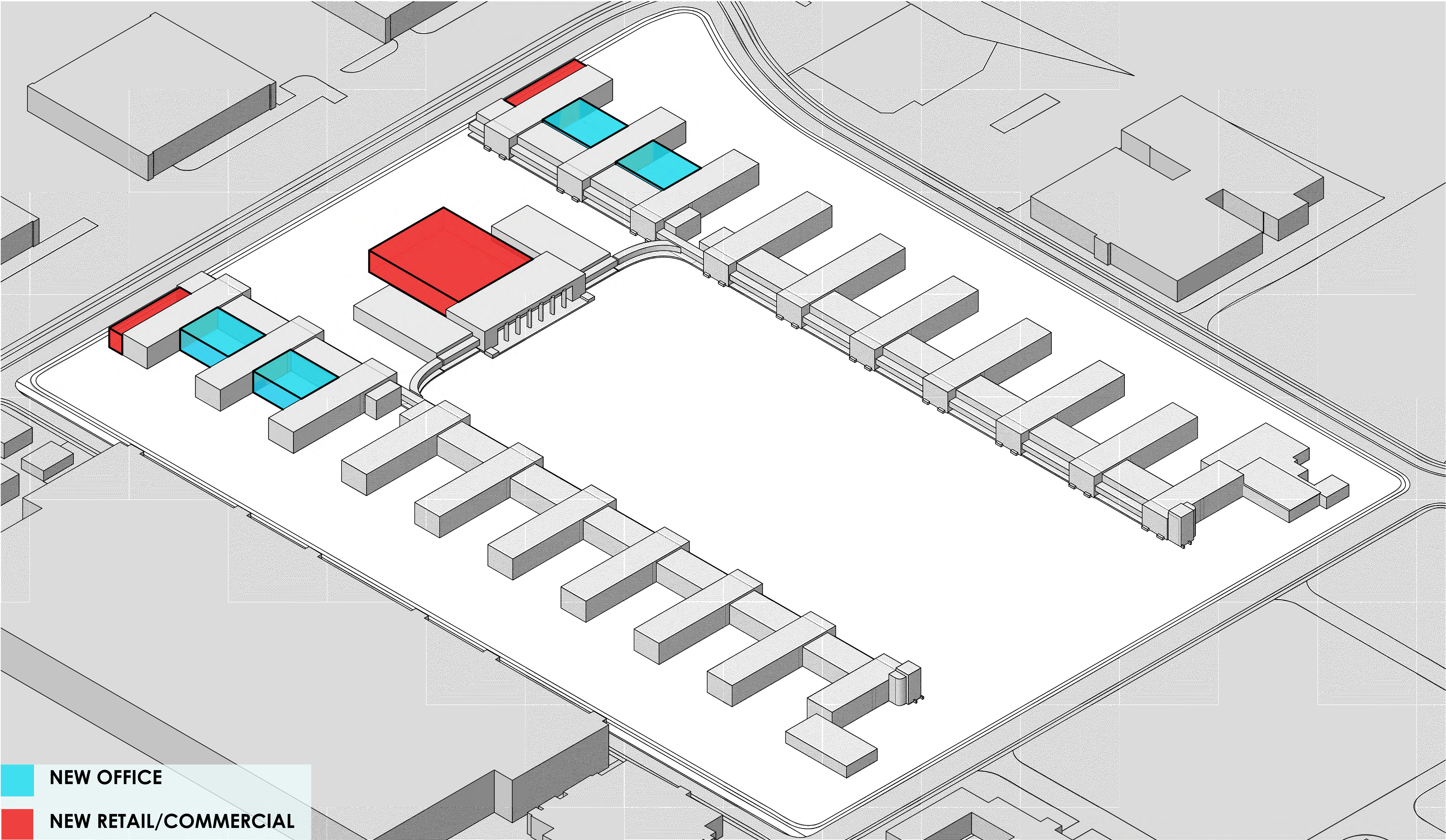
CAMPUS BUILD-OUT OPTIONS



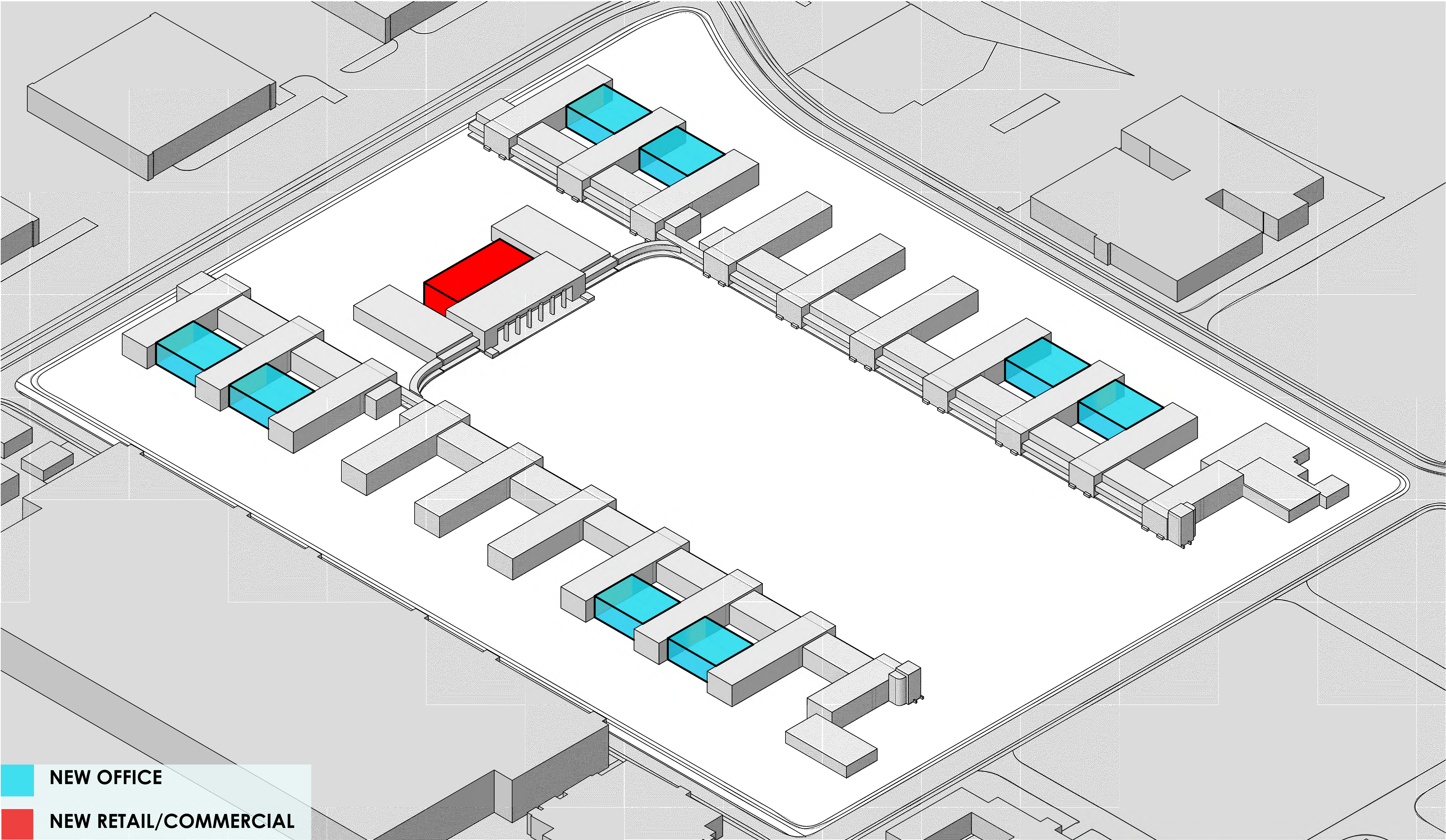
CAMPUS BUILD-OUT OPTIONS



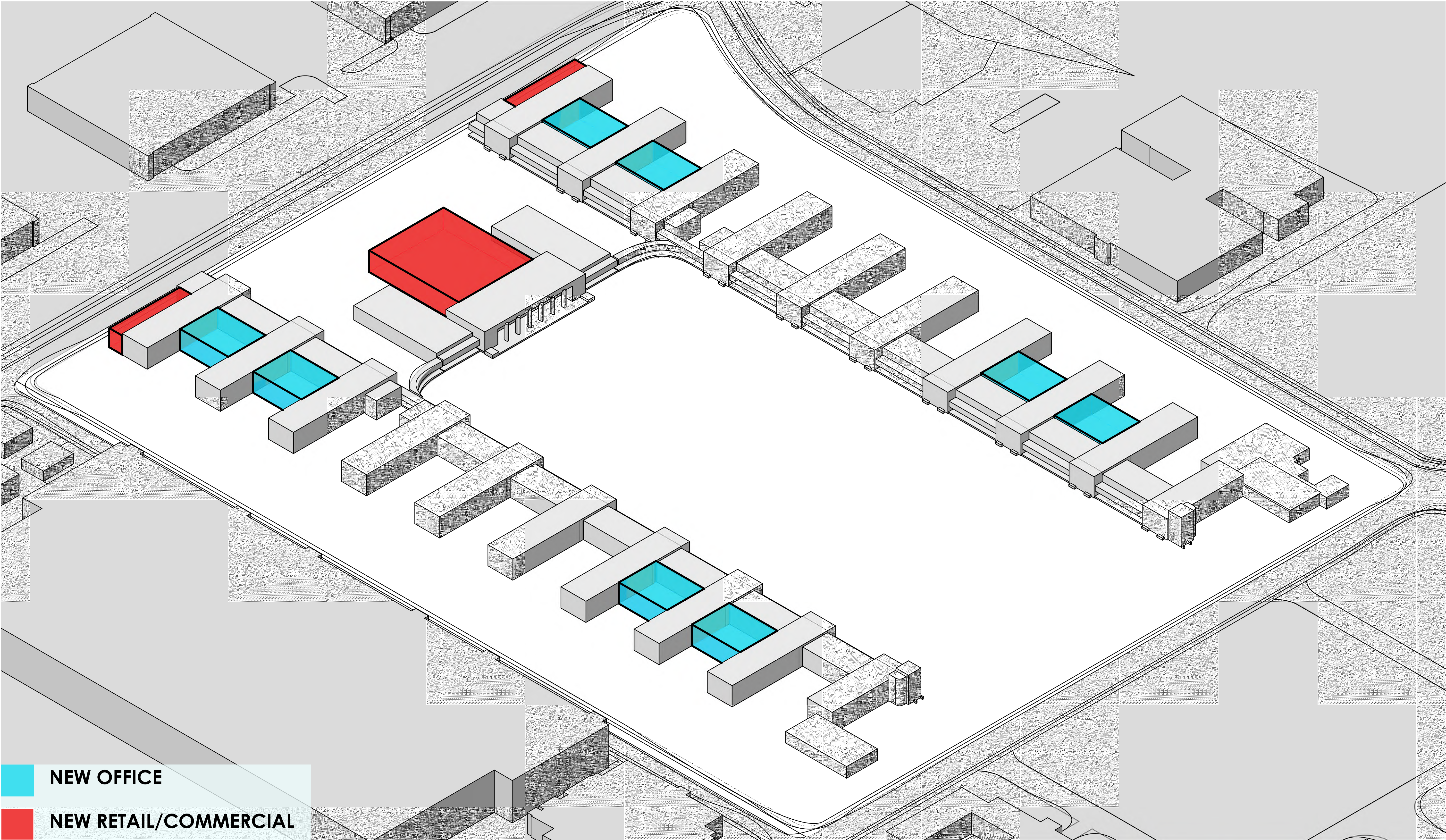
CAMPUS BUILD-OUT OPTIONS



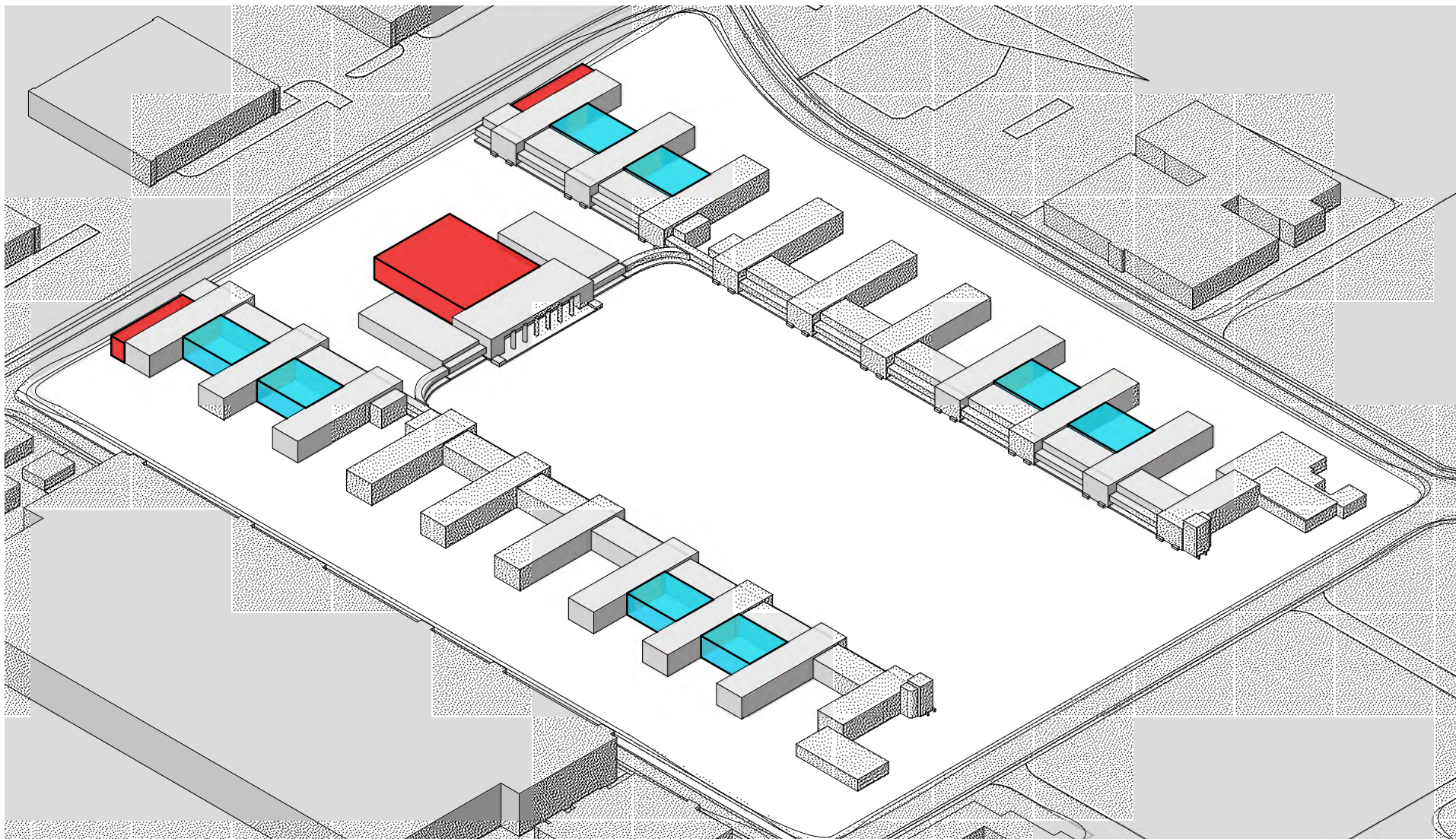
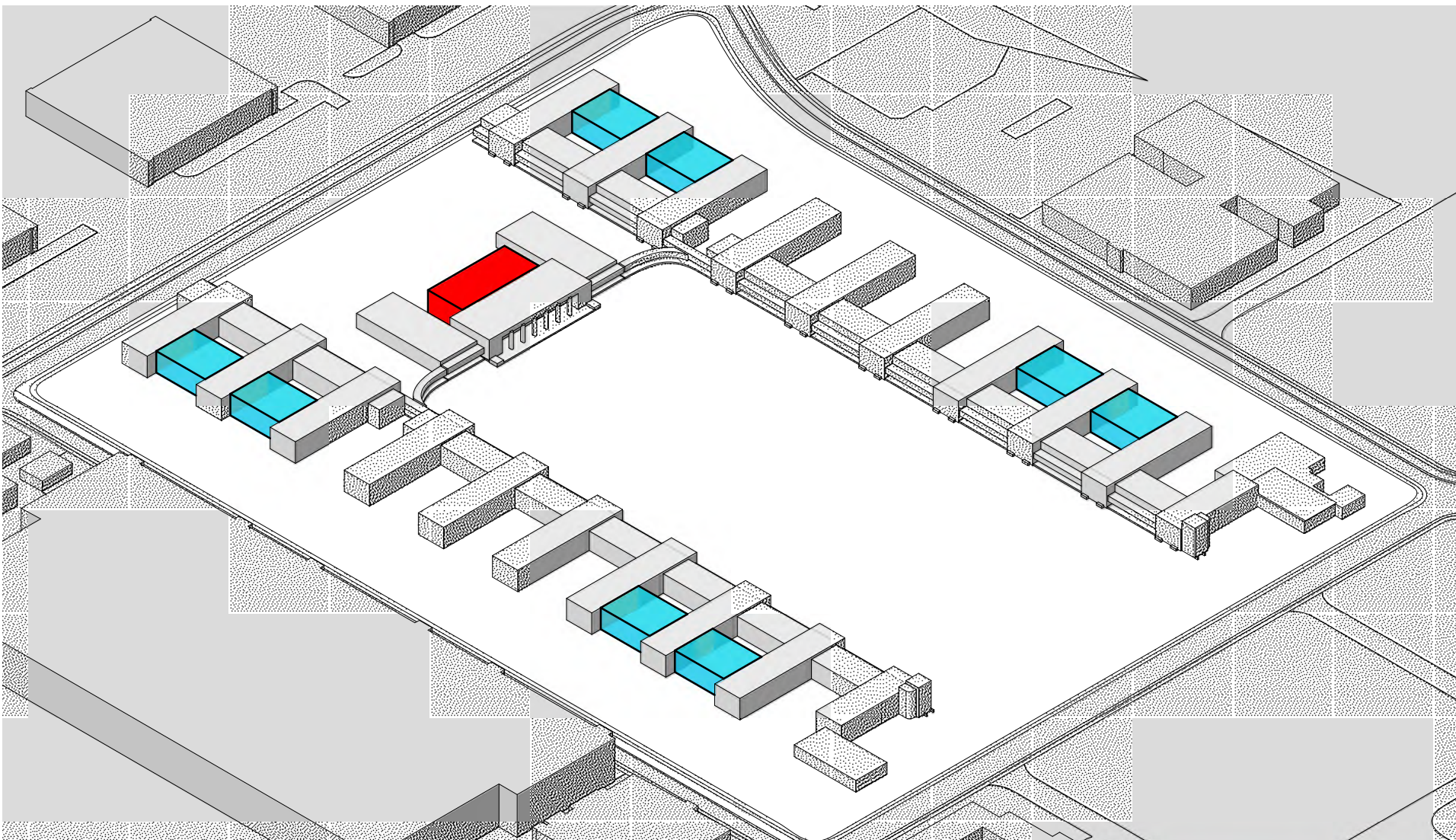
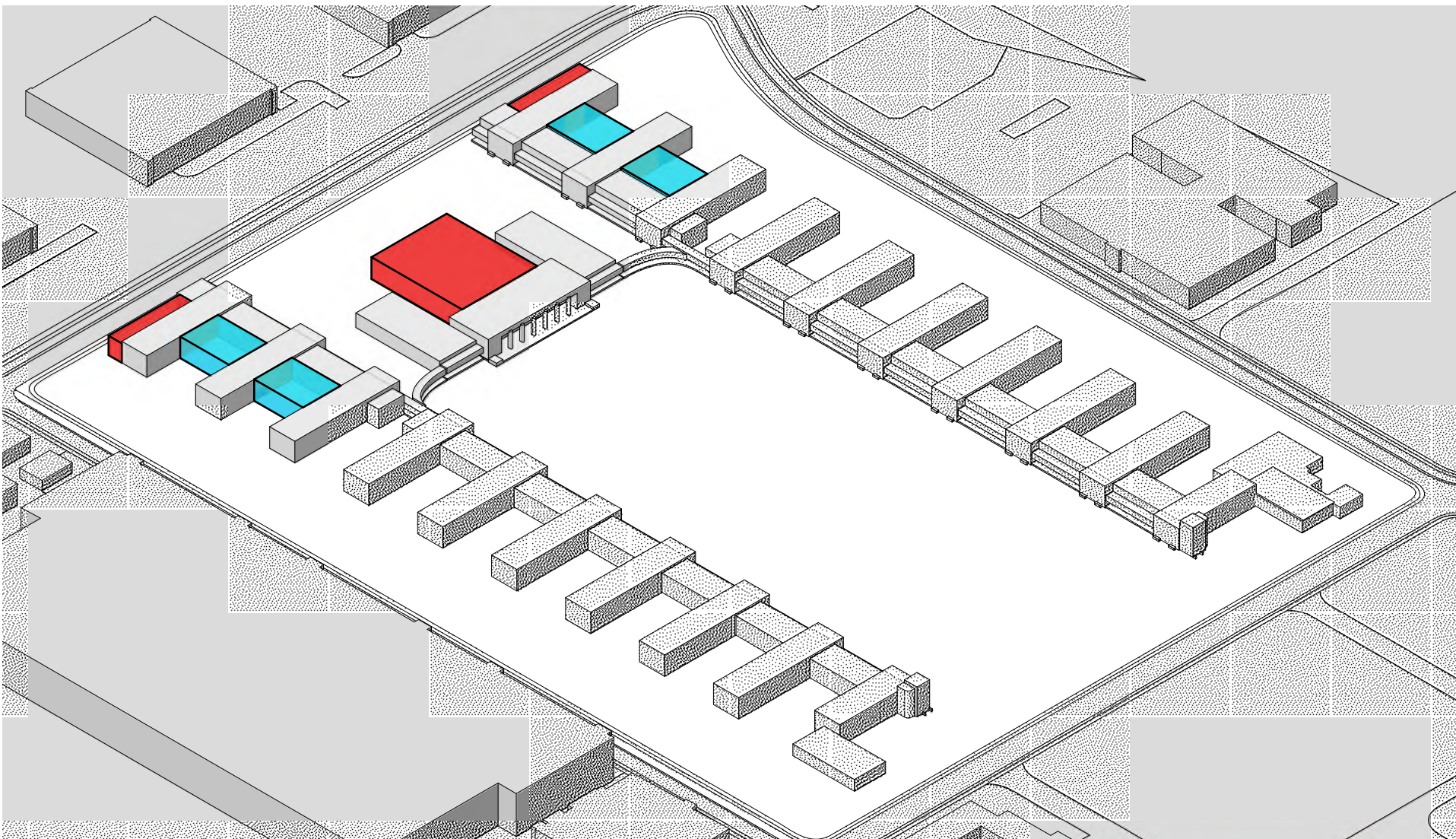
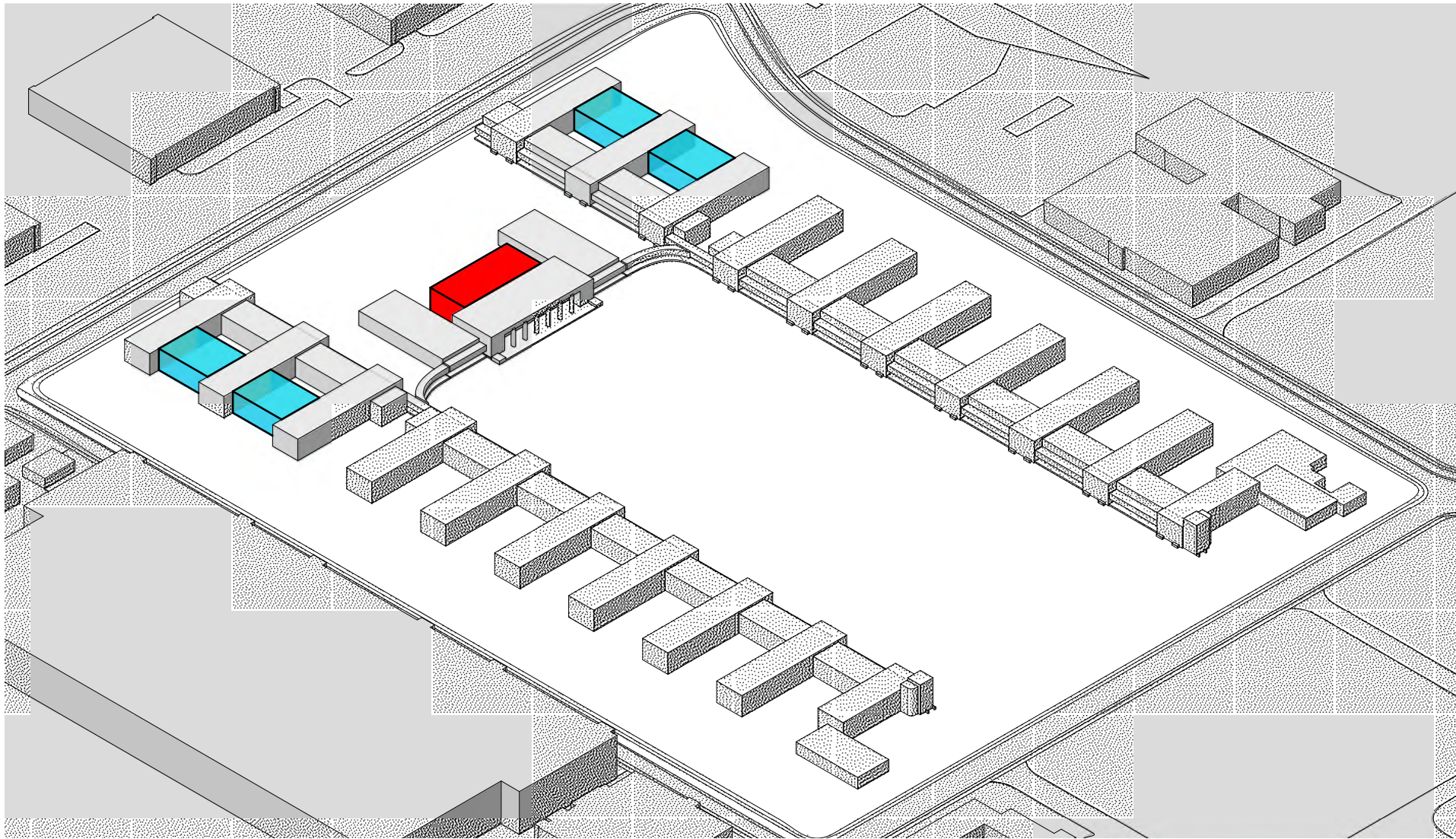
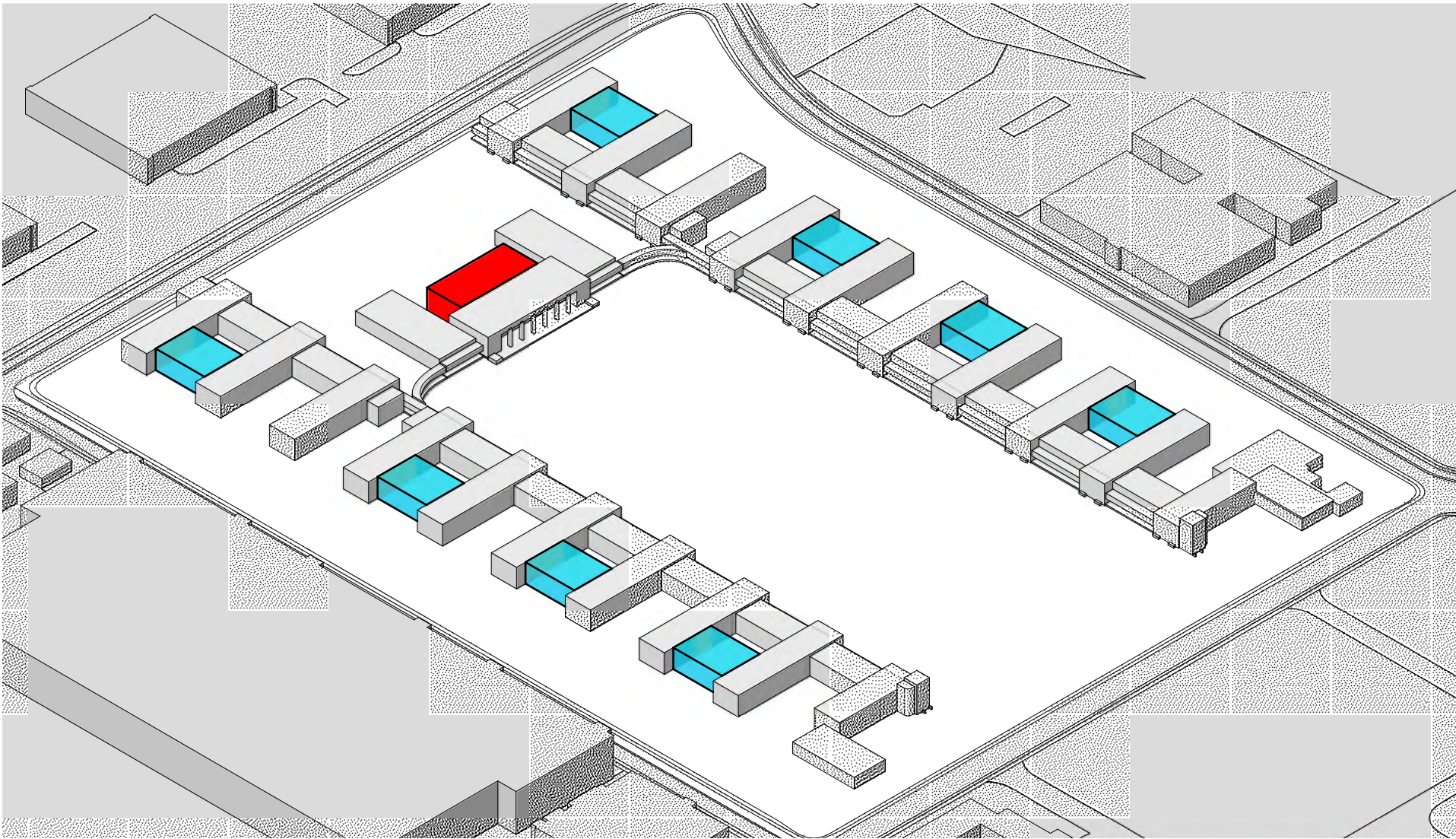
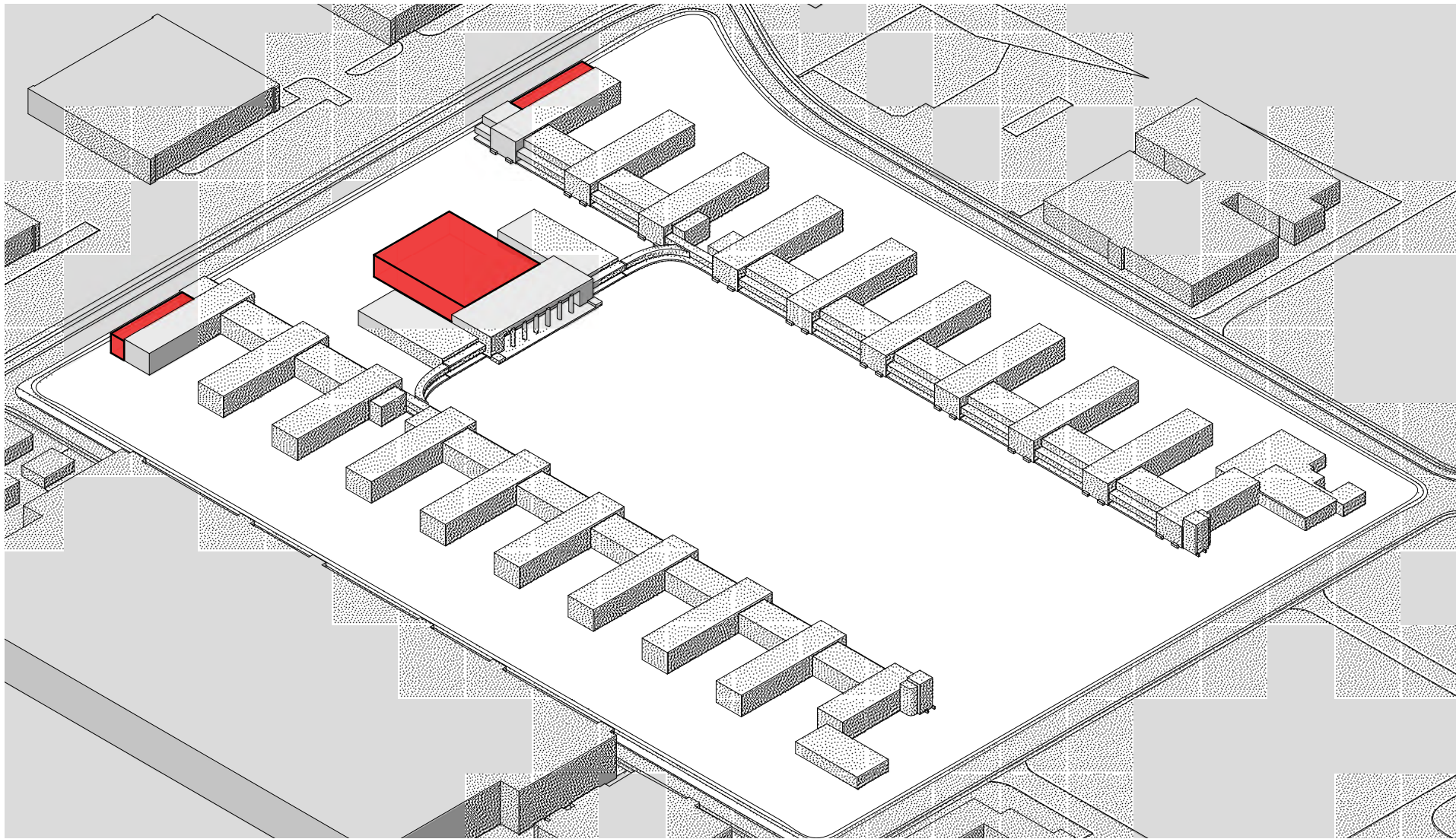
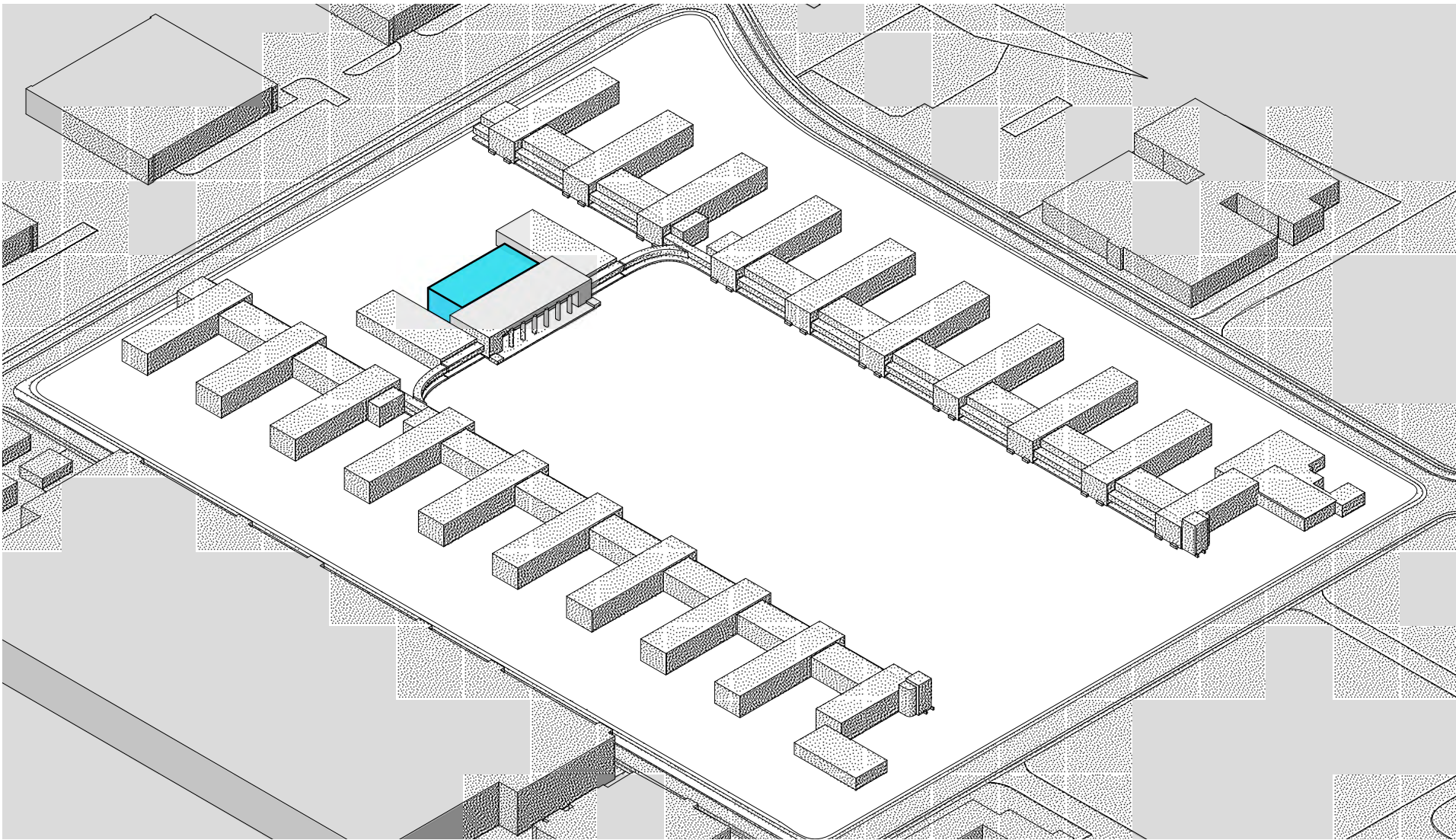
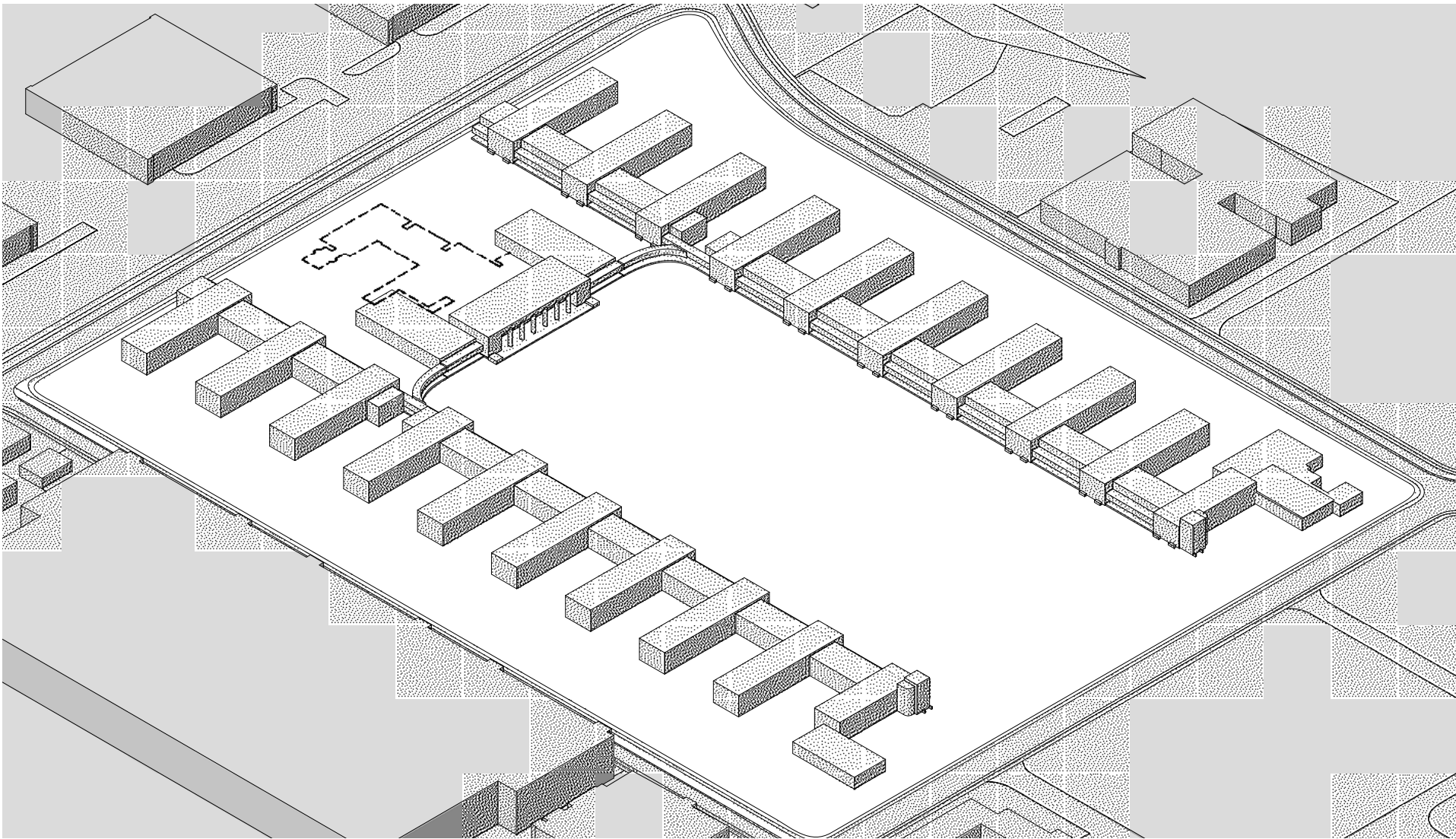
CAMPUS BUILD-OUT OPTIONS



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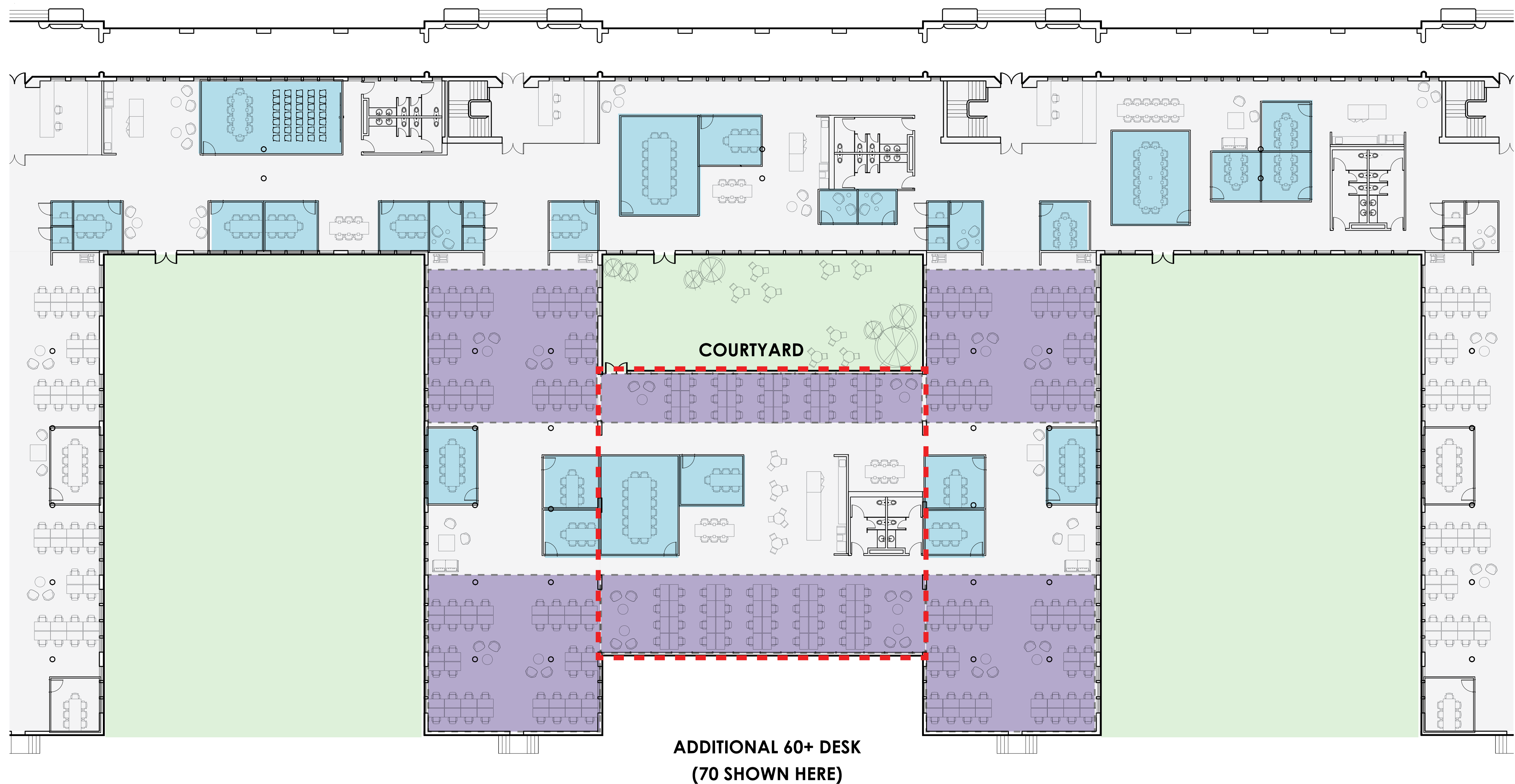


FINGERS TEST PLAN



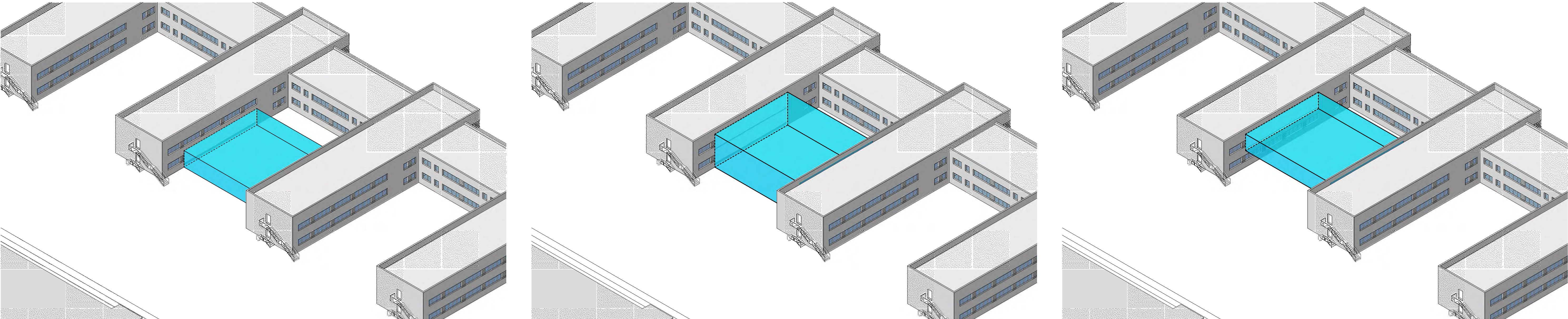
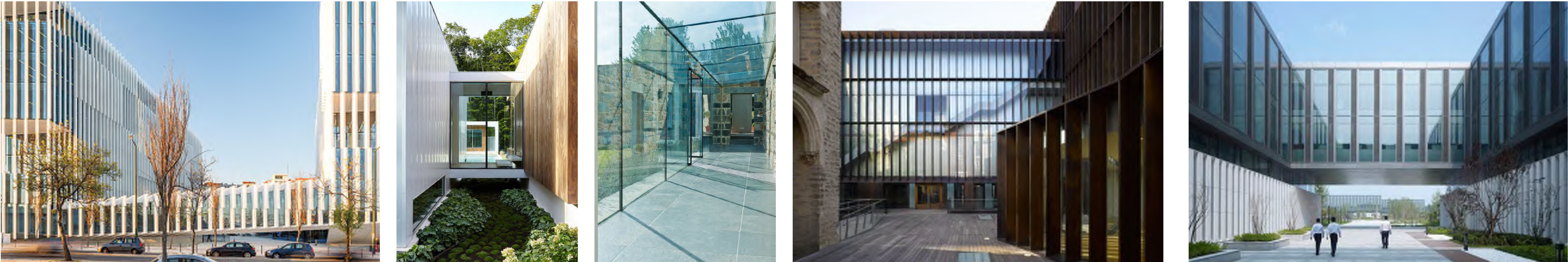
- MEETING ROOMS
- DESK NEIGHBORHOODS
- POTENTIAL GREEN SPACE

FINGERS AND COURT TEST PLAN



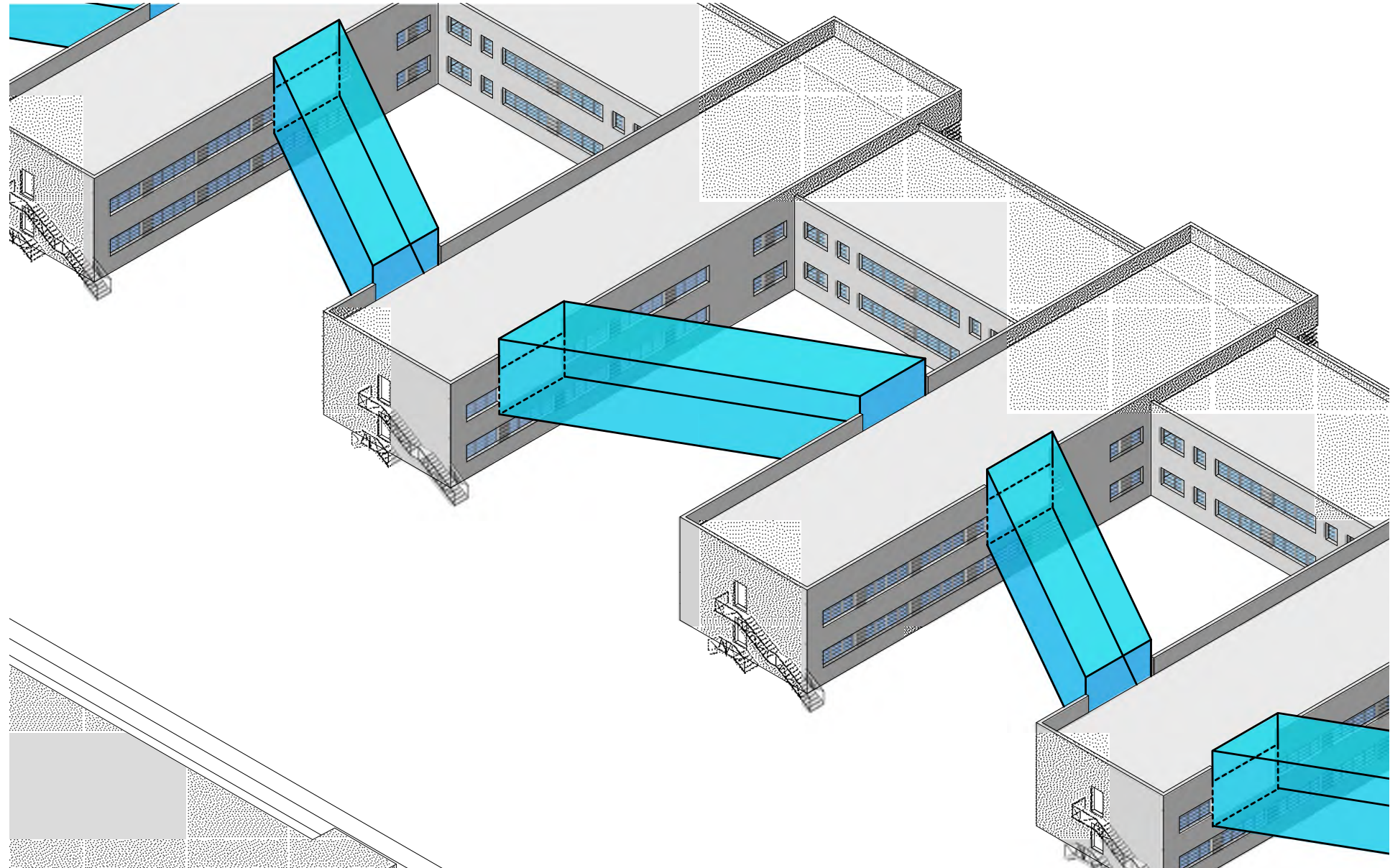
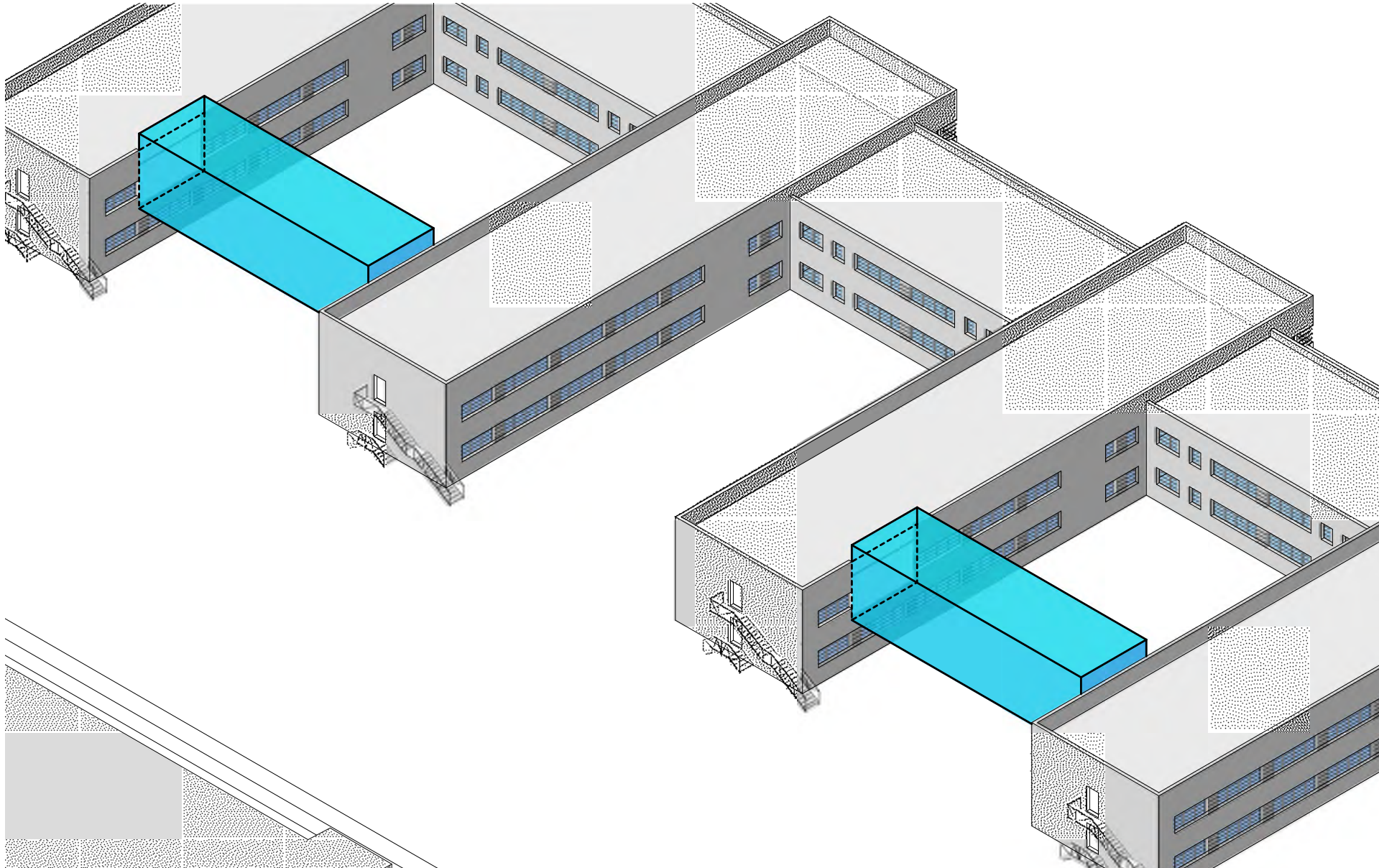
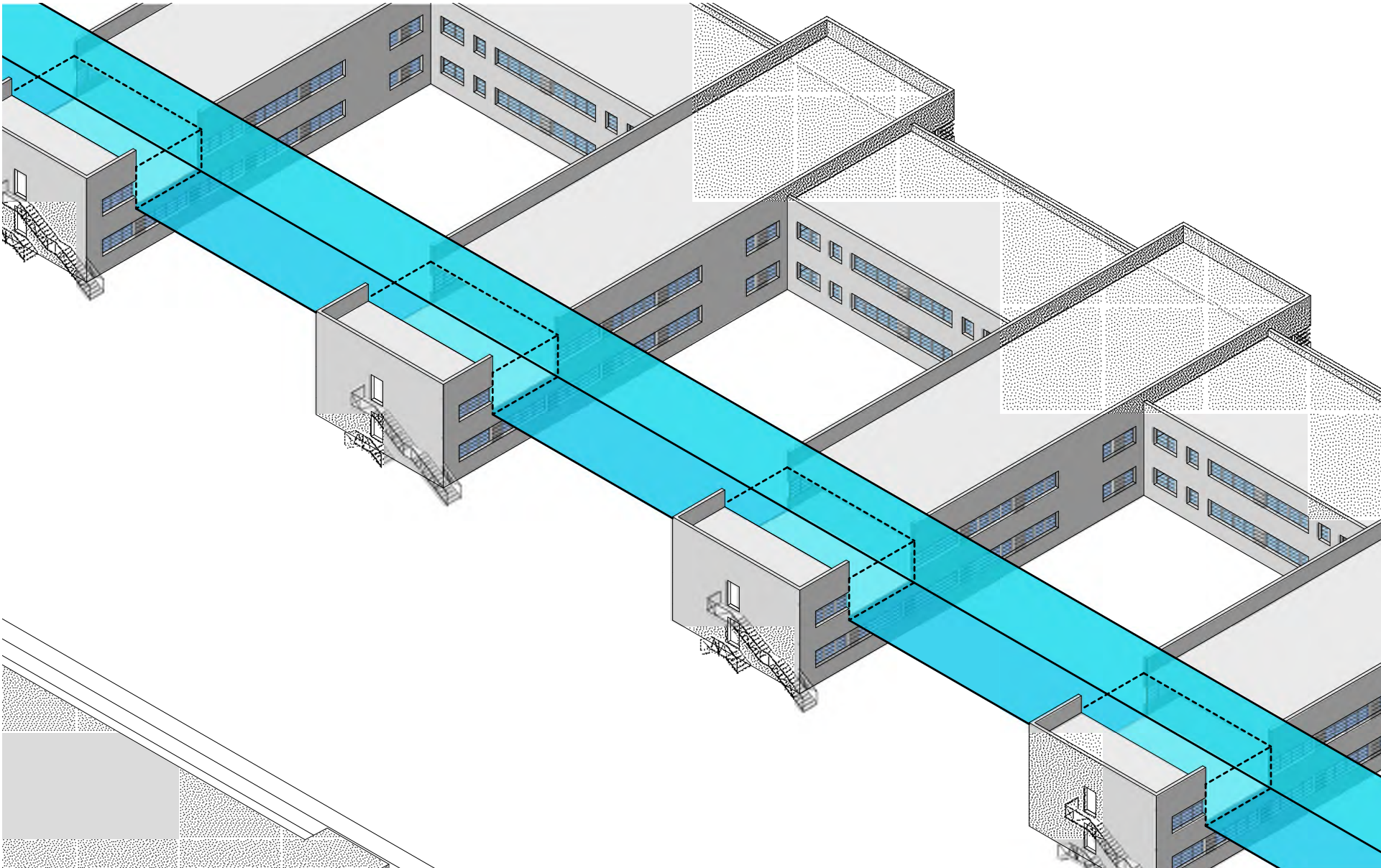
- NEW CONSTRUCTION
- MEETING ROOMS
- DESK NEIGHBORHOODS
- POTENTIAL GREEN SPACE

COURTYARD OPTIONS 1



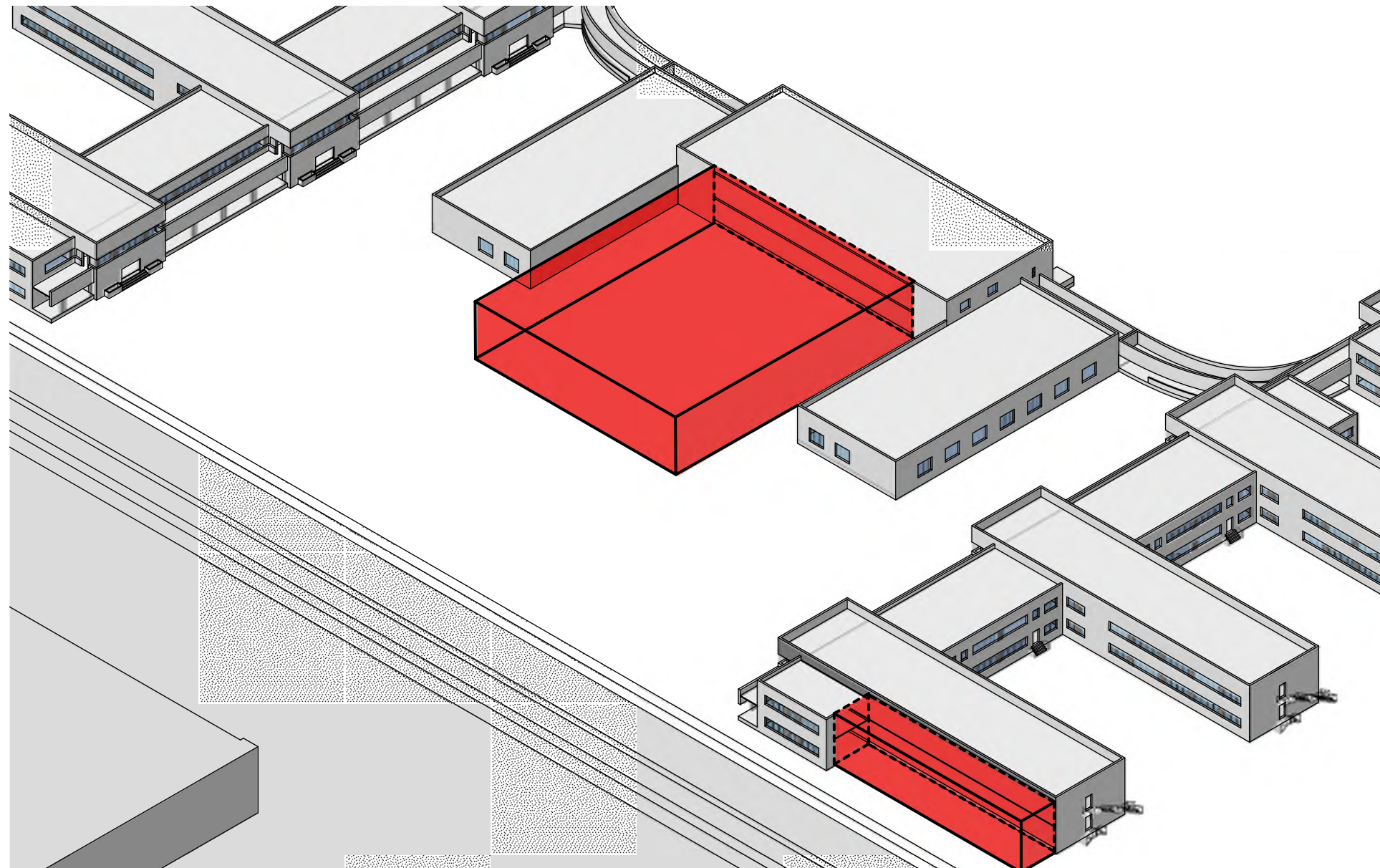
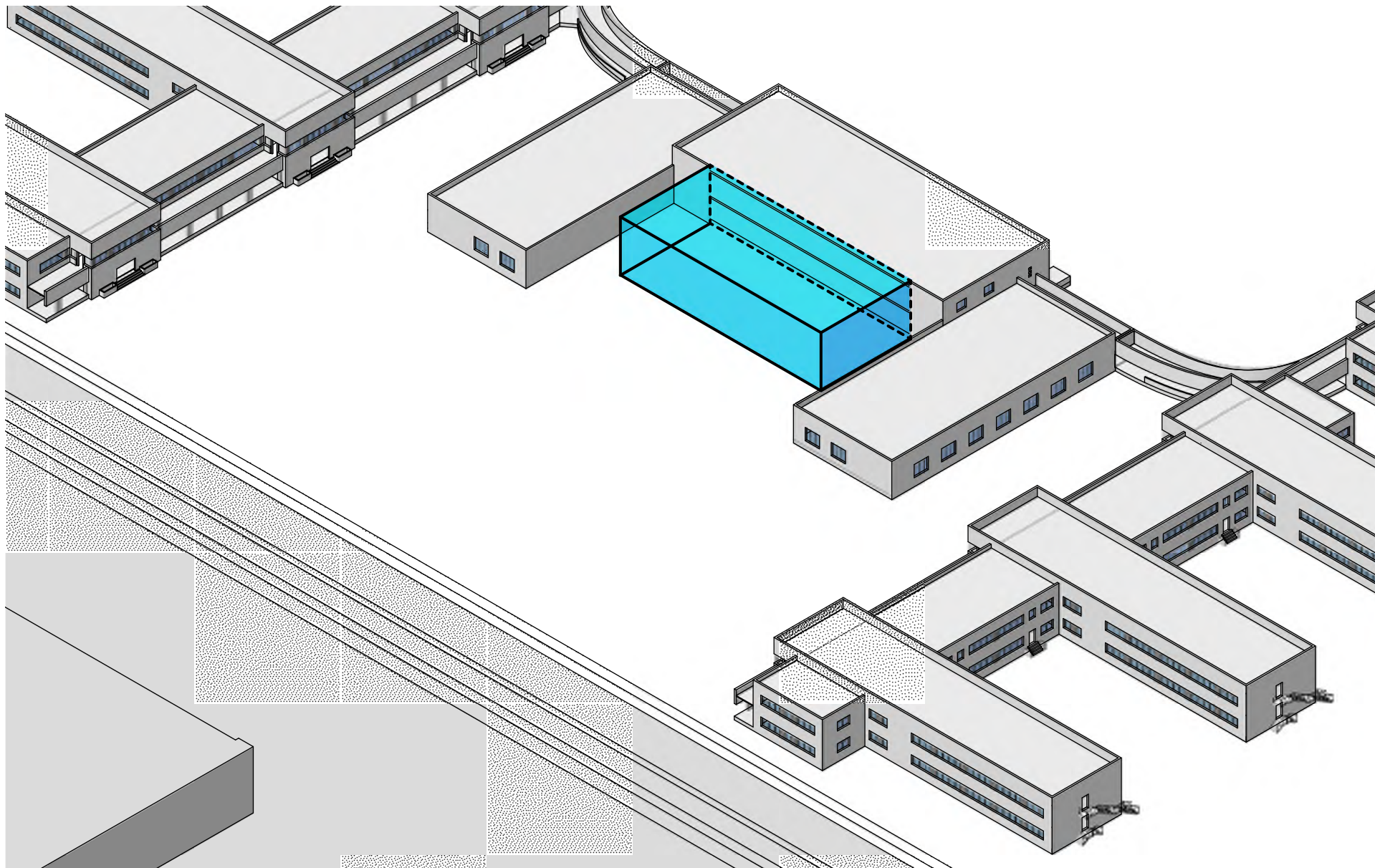
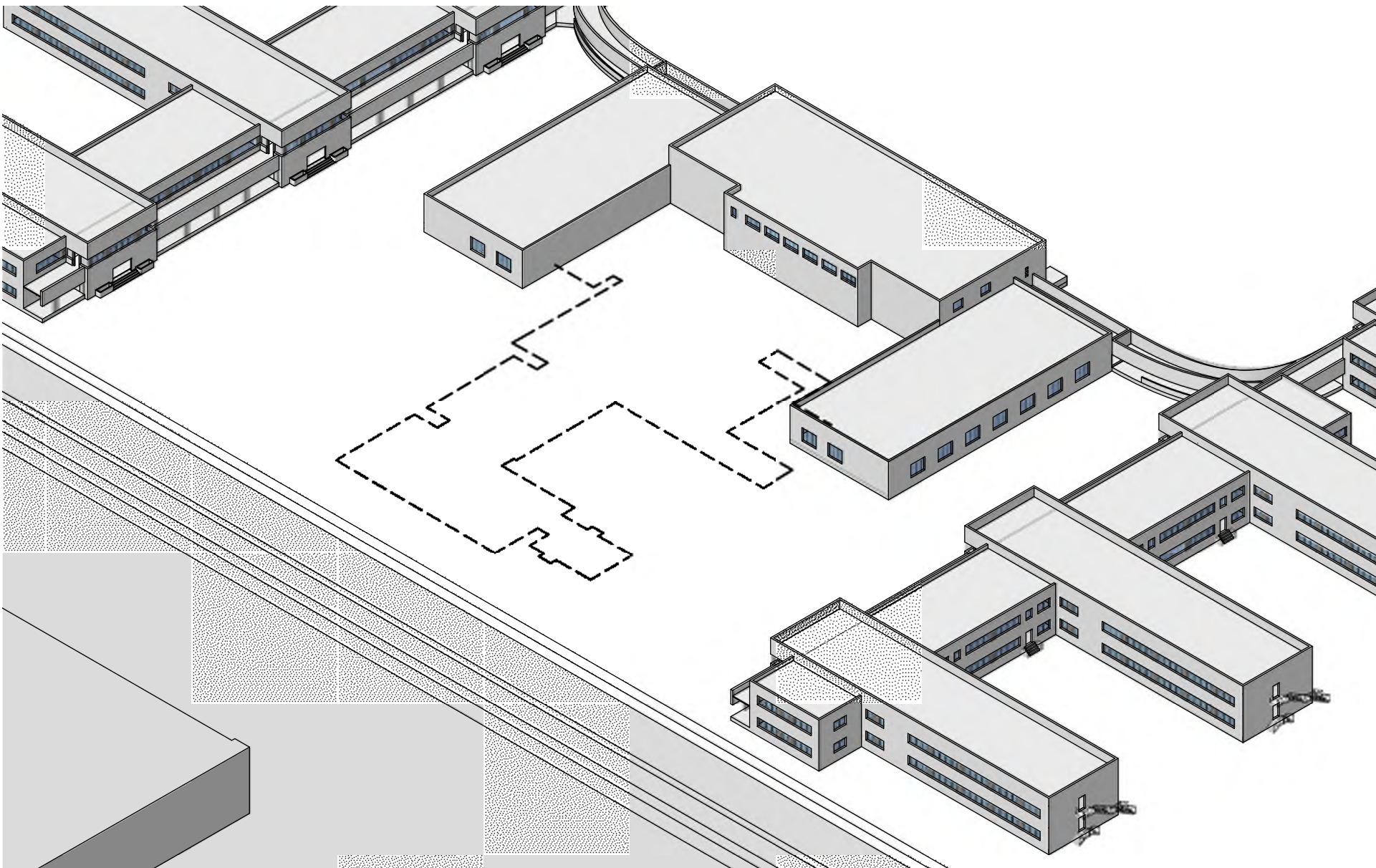
 **NEW OFFICE**

COURTYARD OPTIONS 2



 **NEW OFFICE**

BUILDING 3 OPTIONS

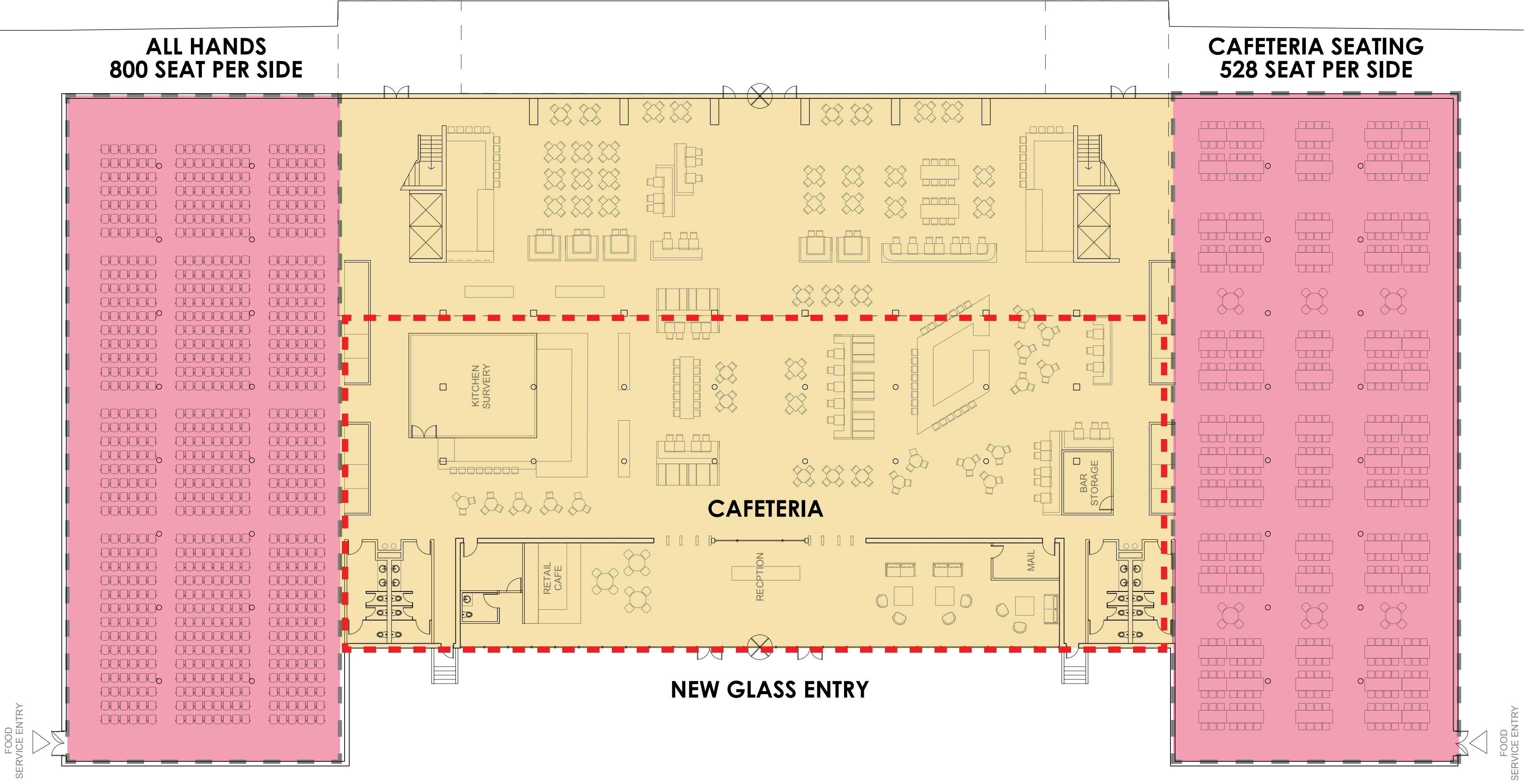


--- DEMOLISHED STRUCTURE

NEW OFFICE

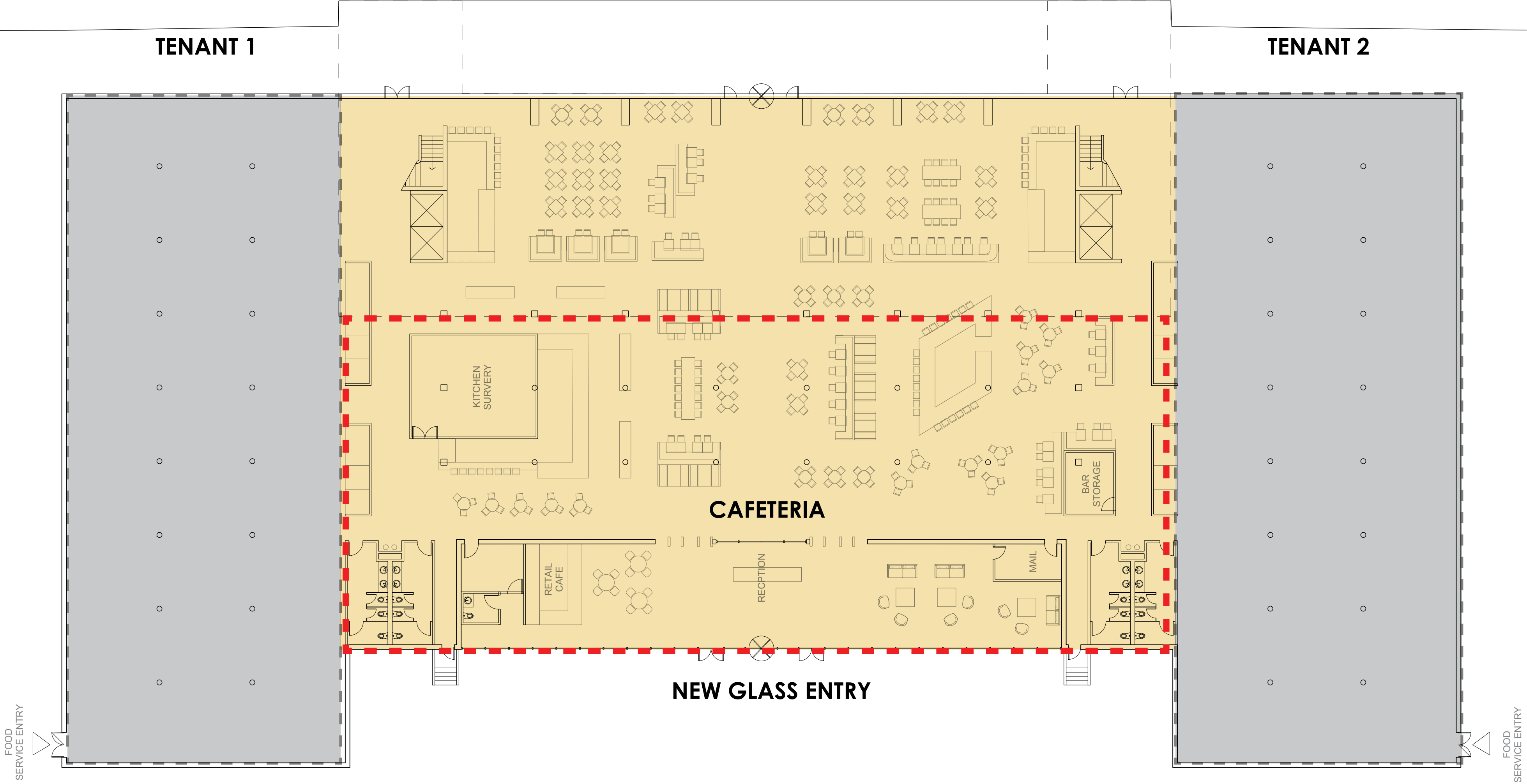
NEW RETAIL/COMMERCIAL

BUILDING 3 TEST FIT PLAN - SINGLE TENANT



- NEW CONSTRUCTION
- CAFETERIA
- ALL HANDS OR CAFETERIA SEATING

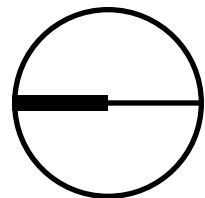
BUILDING 3 TEST FIT PLAN - MULTI TENANT OR RETAIL / COMMERCIAL



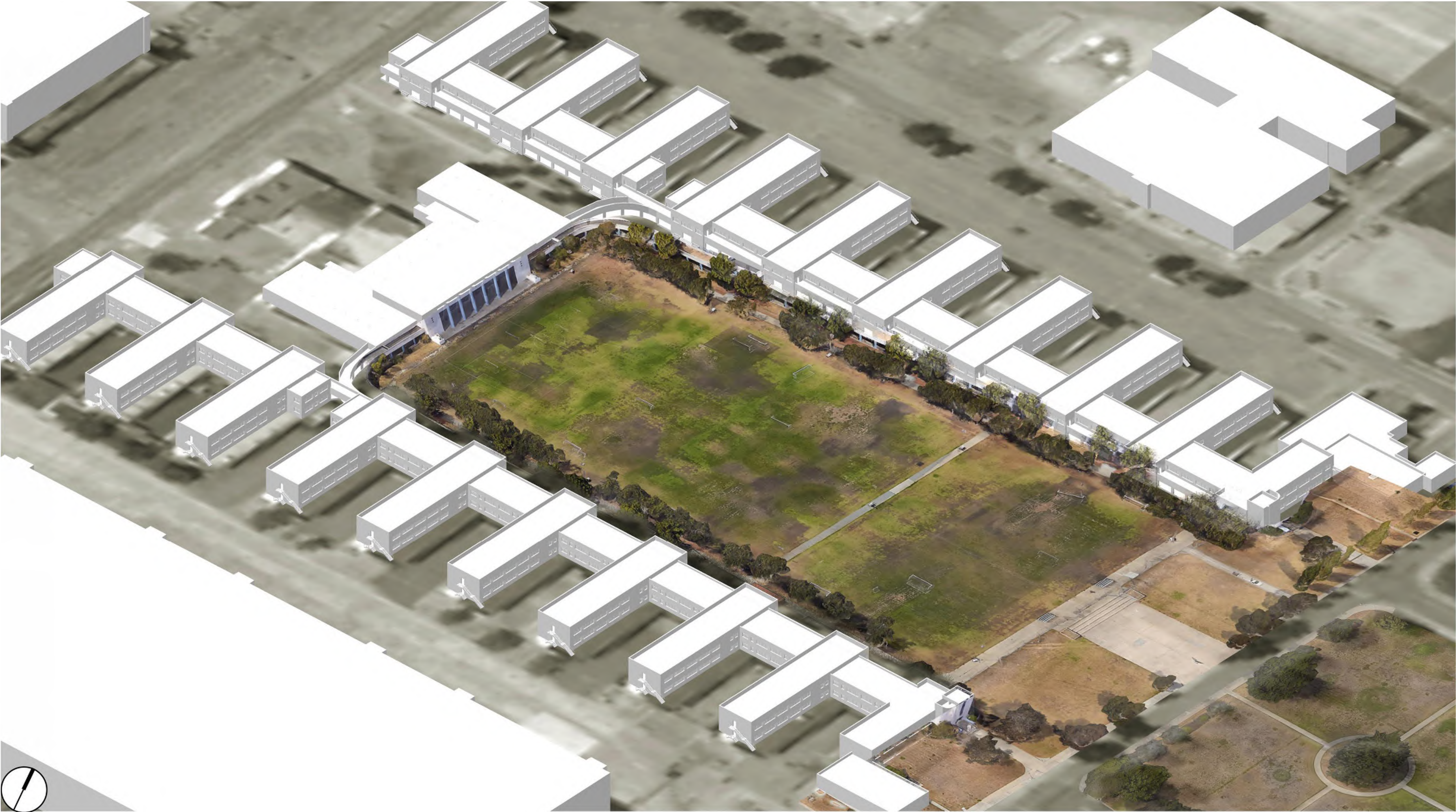
--- NEW CONSTRUCTION

CAFETERIA

SHARED AMENITIES



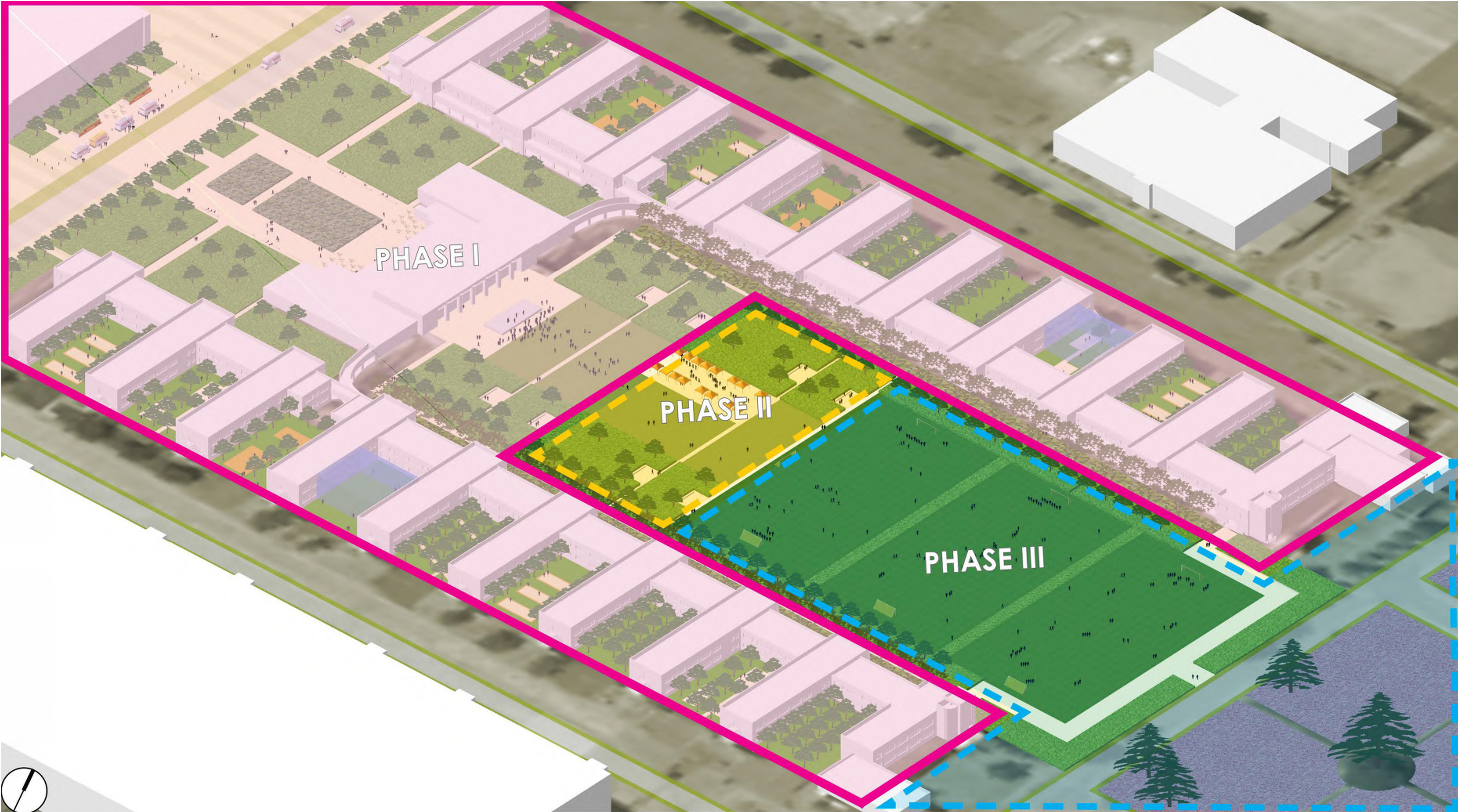
EXISTING SITE



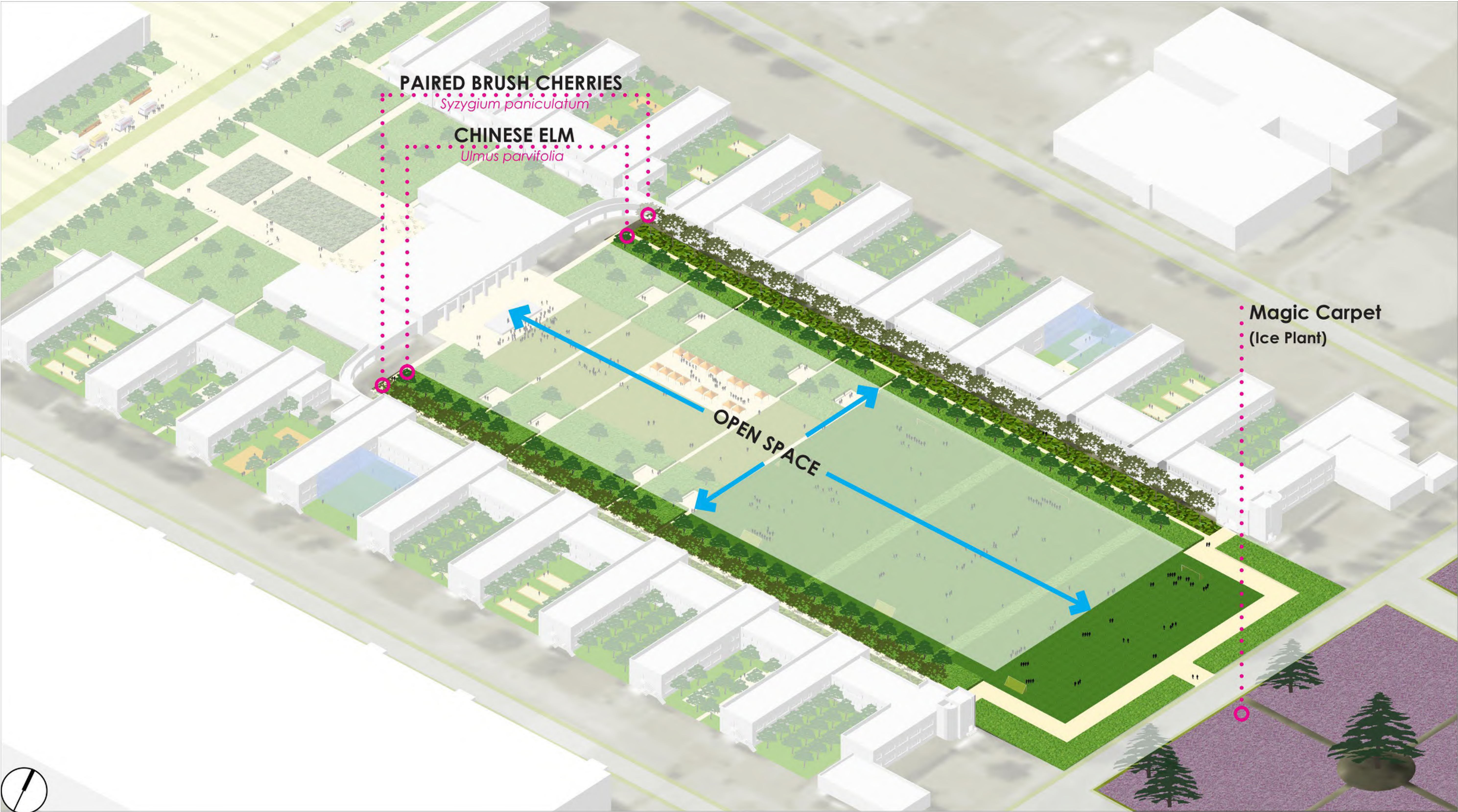
LANDSCAPE AND SITE OPPORTUNITIES



PHASING OF OPEN SPACE



CELEBRATE HISTORIC LANDSCAPE



CELEBRATE HISTORIC LANDSCAPE



CONSOLIDATE PUBLIC RECREATION AND CREATE A CAMPUS PARK



CONSOLIDATE PUBLIC RECREATION AND CREATE A CAMPUS PARK



STRENGTHEN SPIRITS ALLEY



STRENGTHEN SPIRITS ALLEY



FLEXIBLE PLAZAS



MULTI-USE ENTRY SPACE



POP-UP PARKS/ RETAIL SPACES



BIKE PROMENADE

DIVERSE AMENITY EXPERIENCES AT COURTYARDS



DIVERSE AMENITY EXPERIENCES AT COURTYARDS

