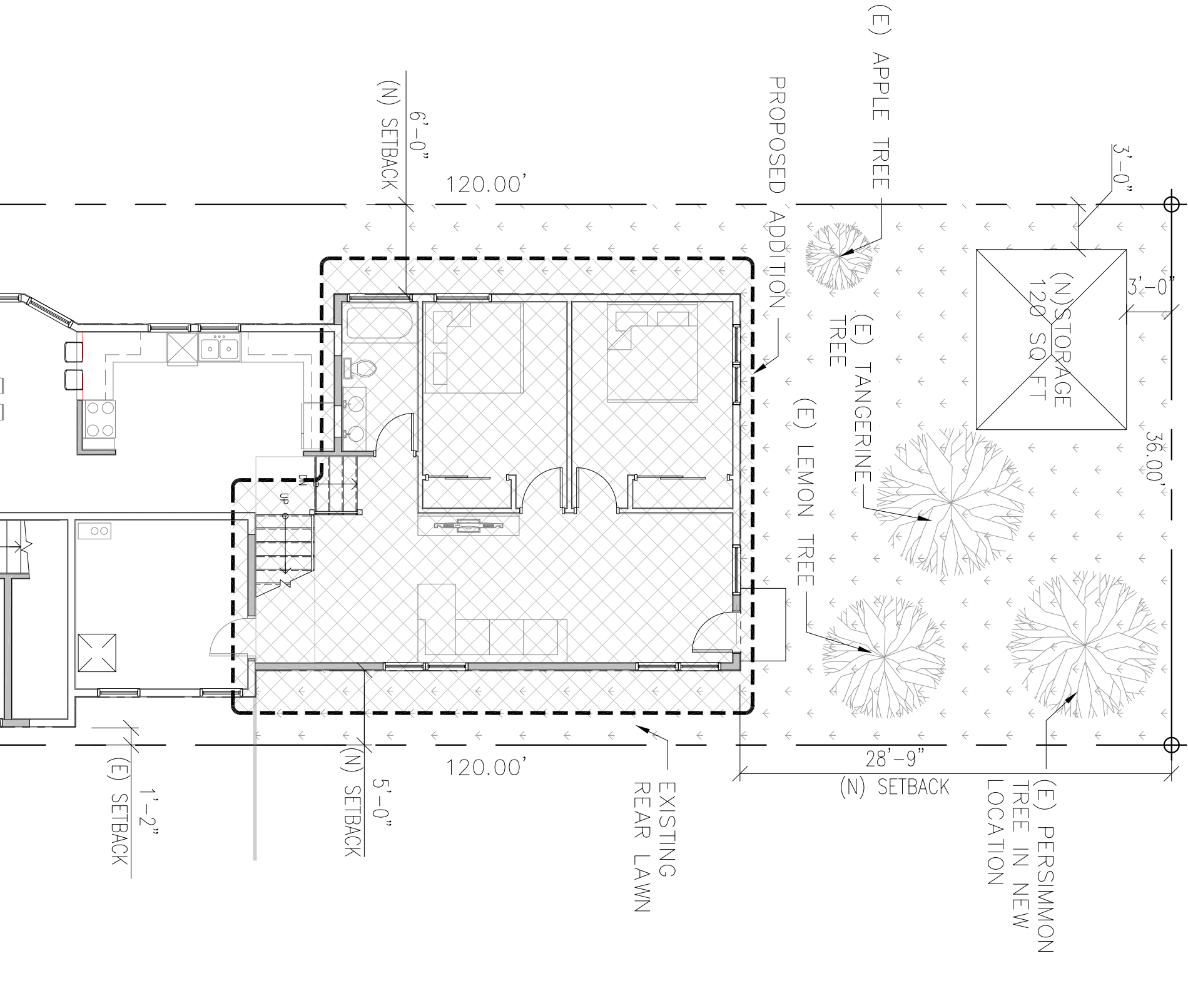
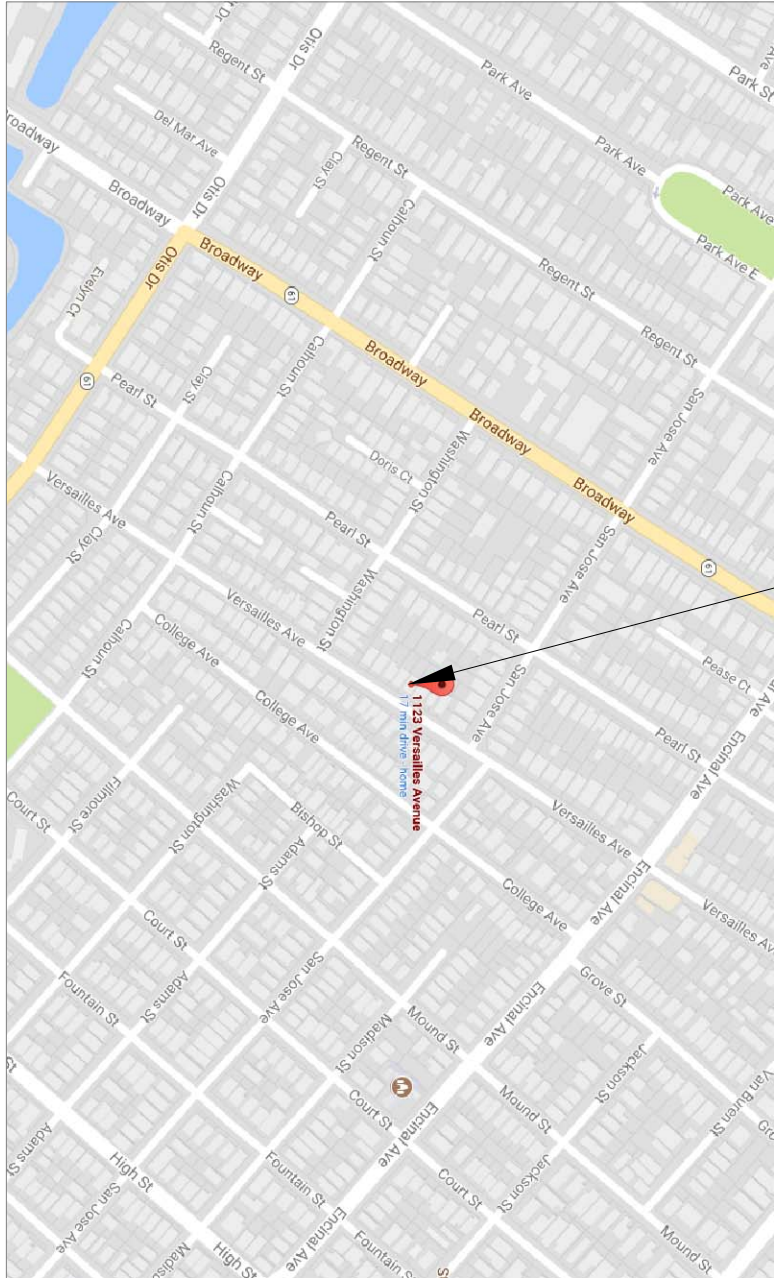


XIE'S RESIDENCE ROOM ADDITION AND REMODEL

1123 VERSAILLES ALAMEDA, CA 94501



PROJECT DATA	
APN: 70-149-11	NON SPRINKLERED BLDG
1. BUILDING TYPE: TYPE V-B	
2. OCCUPANCY GROUP: R-1	
2. TRACT # 148 LOT # 11	
3. ZONING: R-1 ONE FAMILY RESIDENCE	
LOT SIZE	4320 SQ FT.
EXISTING BLDG	974 SQ FT.
(E) TOTAL	= 974 SQ FT.
ADDITION LIVING ARE	+ 1572 SQ FT.
(N) TOTAL	= 2546 SQ FT.
(E) BLDG. LOT COVERAGE	1098 SQ FT.
(N) BLDG. LOT COVERAGE	1694 SQ FT.
(1694/4320)x100% = 39.2% < 40%	
PROPERTY OWNER:	SHIRLEY XIE
	1123 VERSAILLES AVE.
	ALAMEDA, CA 94501
DESIGNER:	CIBOTTI ENGINEERING
	12935 ALCOSTA BLVD.
	SUITE #2025
	SAN RAMON, CA 94583
	(925) 829-0920



SITE PLAN
Scale: 1/8"=1'-0"

PROJECT DESCRIPTION:

- COVER THE EXISTING FRONT BEDROOM TO LIVING ROOM.
- REMODEL THE KITCHEN AND EXISTING BATH ROOM.
- ADDING TWO BEDROOMS AND A FAMILY ROOM AT REAR OF THE EXISTING BUILDING, AND ADDING A 2ND STORES AT THE REAR OF THE EXISTING BUILDING.

GENERAL NOTES:

- CONSTRUCTION IS PROHIBITED BETWEEN 7:00 PM TO 7:00 AM AND SUNDAY AND HOLIDAYS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK.
- IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN OR NOT TO PROTECT THEM FROM DAMAGE.
- ALL INFORMATION SHOWN ON THE DRAWINGS RELATING TO EXISTING CONDITIONS ARE GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWING, IT SHALL BE REPORTED TO THE OWNER AND ENGINEER, SO THE PROPER REVISIONS MAY BE MADE.

DRAWING INDEX:

- A.0 : SITE PLAN
A.1 : EXISTING AND DEMOLISHED PLAN
A.2 : EXISTING ELEVATIONS
A.3 : PROPOSED FLOOR & ROOF PLANS
A.4 : PROPOSED ELEVATIONS
A.5 : PROPOSED SECTIONS
AD.1 : ARCHITECTURAL DETAILS



CODE COMPLIANCE
ALL WORK SHALL BE COMPLIANCE WITH THE CITY OF ALAMEDA CODES AND ALL OTHER APPLICABLE CODES
1. 2016 CALIFORNIA BUILDING CODE
2. 2016 CALIFORNIA PLUMBING CODE
3. 2016 CALIFORNIA MECHANICAL CODE
4. 2016 CALIFORNIA ELECTRICAL CODE
5. 2016 CALIFORNIA ENERGY CODE
6. 2016 CALIFORNIA RESIDENTIAL CODE
7. 2016 CALIFORNIA FIRE CODE
8. 2016 CALIFORNIA GREEN BUILDING CODE

ABBREVIATION		
A.B.	ANCHOR BOLT	(N) NEW
ABV	ABOVER	NTS NOT TO SCALE
AFF	ABOVE FINISH FLOOR	O/ OVER
BLDG	BUILDING	O.C. ON CENTER
CLG	CEILING	PW PLYWOOD
CONC	CONCRETE	PT PRESSURE TREATED
D.F.	DOUGLAS FIR	RET RETAINING
DN	DOWN	RM ROOM
DS	DOWNSPOUT	RWD REDWOOD
(E)	EXISTING	RWL RAIN WATER LEADER
E.N.	EDGE NAIL	SA SUPPLY AIR
EQ	EQUAL	SO. FT SQUARE FOOT
EW	EACH WAY	T&B TOP & BOTTOM
FDN	FOUNDATION	TYP. TYPICAL
FTG	FOOTING	UN UNLESS OTHERWISE NOTED
GYPBD	GYPSPUM BOARD	VF VERIFY IN FIELD
HGR.	HANGER	W/ WITH
HK.	HOOK	W/O WITHOUT
MAX	MAXIMUM	WP WEATHER PROOF
MIN	MINIMUM	

CIBOTTI
ENGINEERING

12935 ALCOSTA BLVD.
SUITE # 2025
SAN RAMON, CA 94583
TEL: (925) 829-0920
E-MAIL: luecho@att.net

10-9-2017	Preliminary Schedule
11-30-2017	2nd Schedule
02-21-2018	3rd Schedule

Residential Addition
& Remodel
1123 Versailles
Alameda, CA 94501



STAMP

Site Plan

P&PM:	EL
DRAWN BY:	EL
JOB No:	0113

A.0

FLOOR PLAN KEY NOTES

- 1

EXISTING 2x STUD TO BE REMAIN
- 2

EXISTING DOOR TO BE REMOVED
- 3

EXISTING DOOR TO BE REMOVED
- 4

EXISTING WINDOW TO BE REMOVED
- 5

EXISTING 125 AMP ELECTRIC MAIN PANEL
- 6

EXISTING WATER HEATER TO BE REPLACED

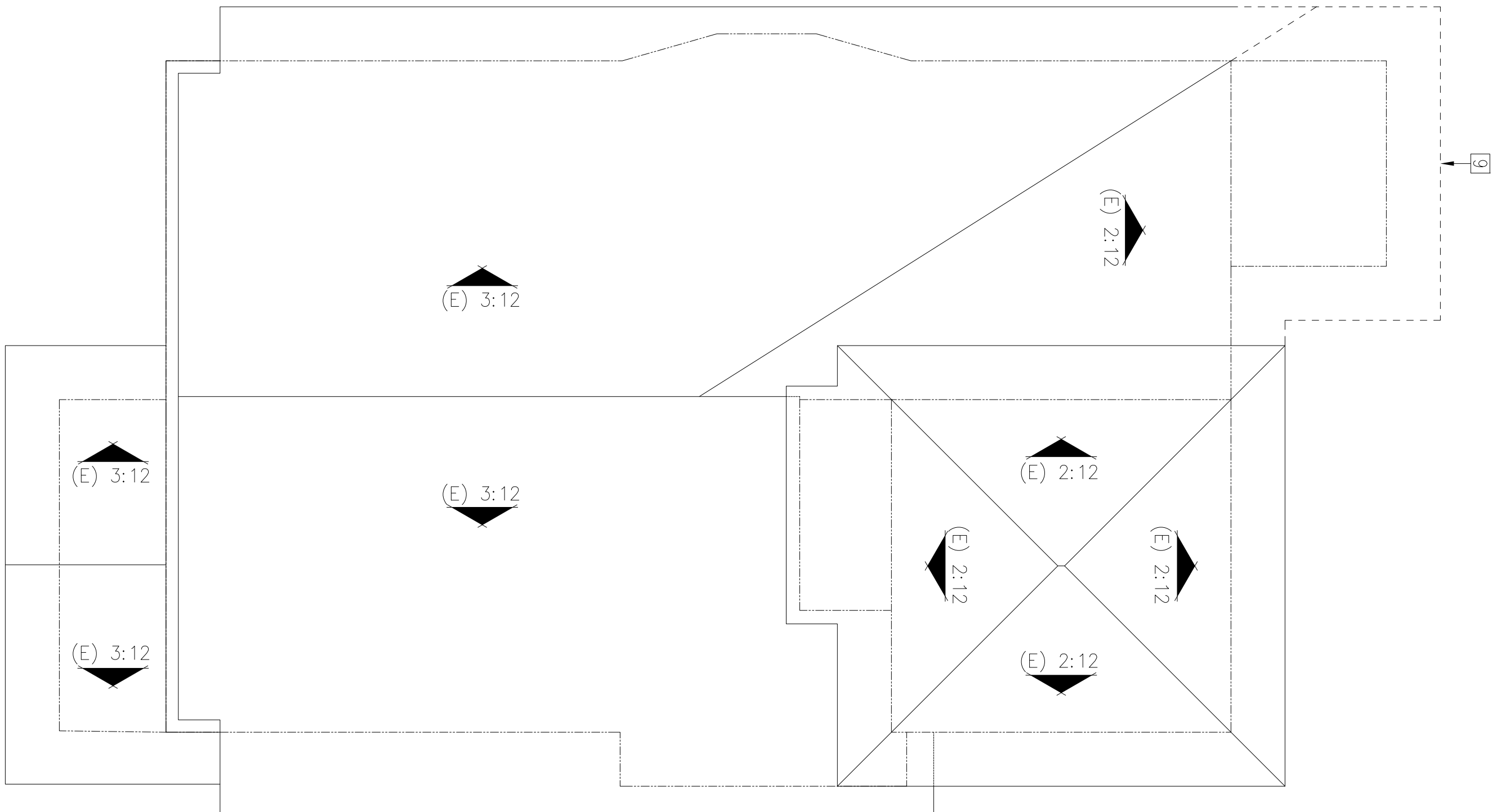
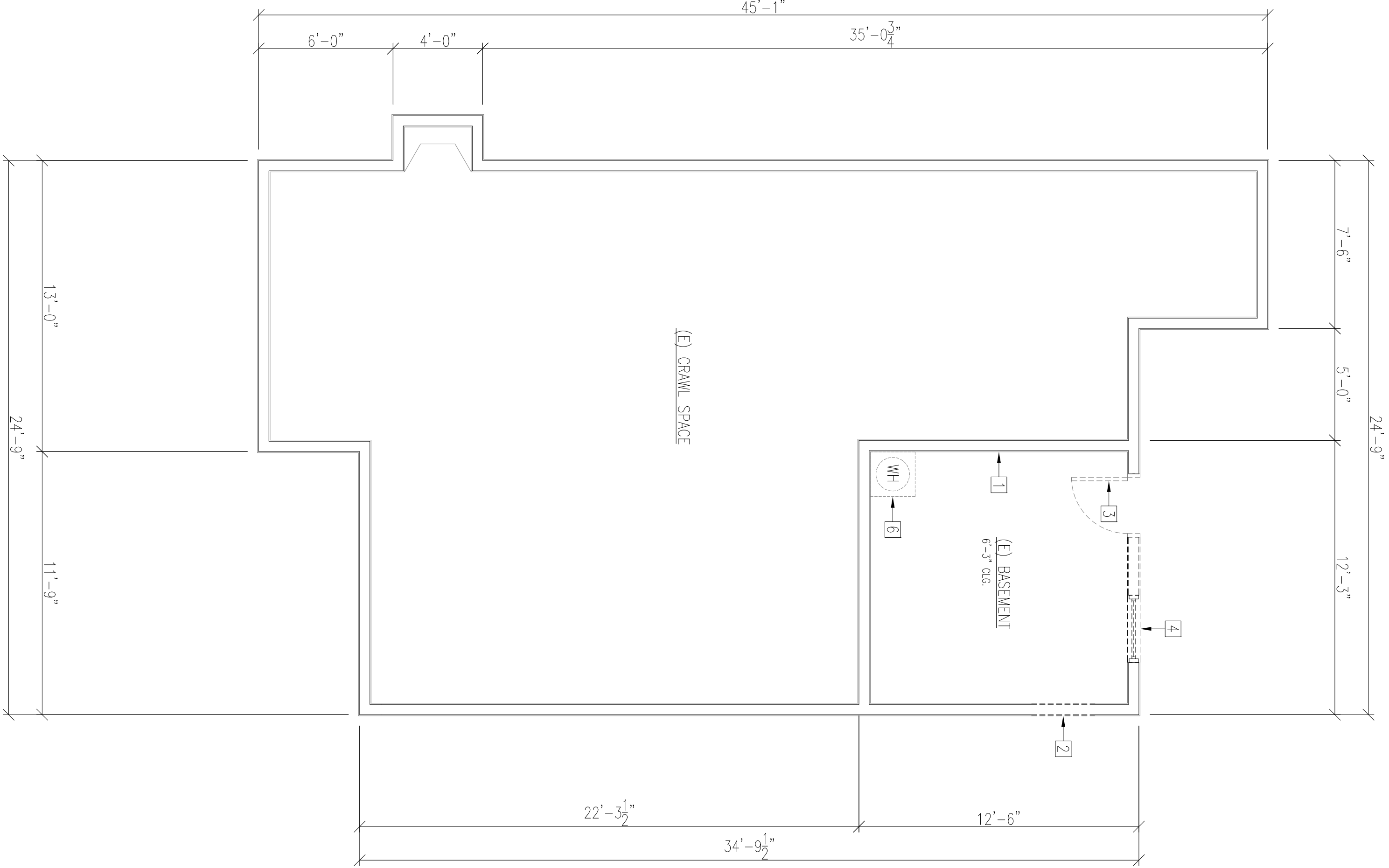
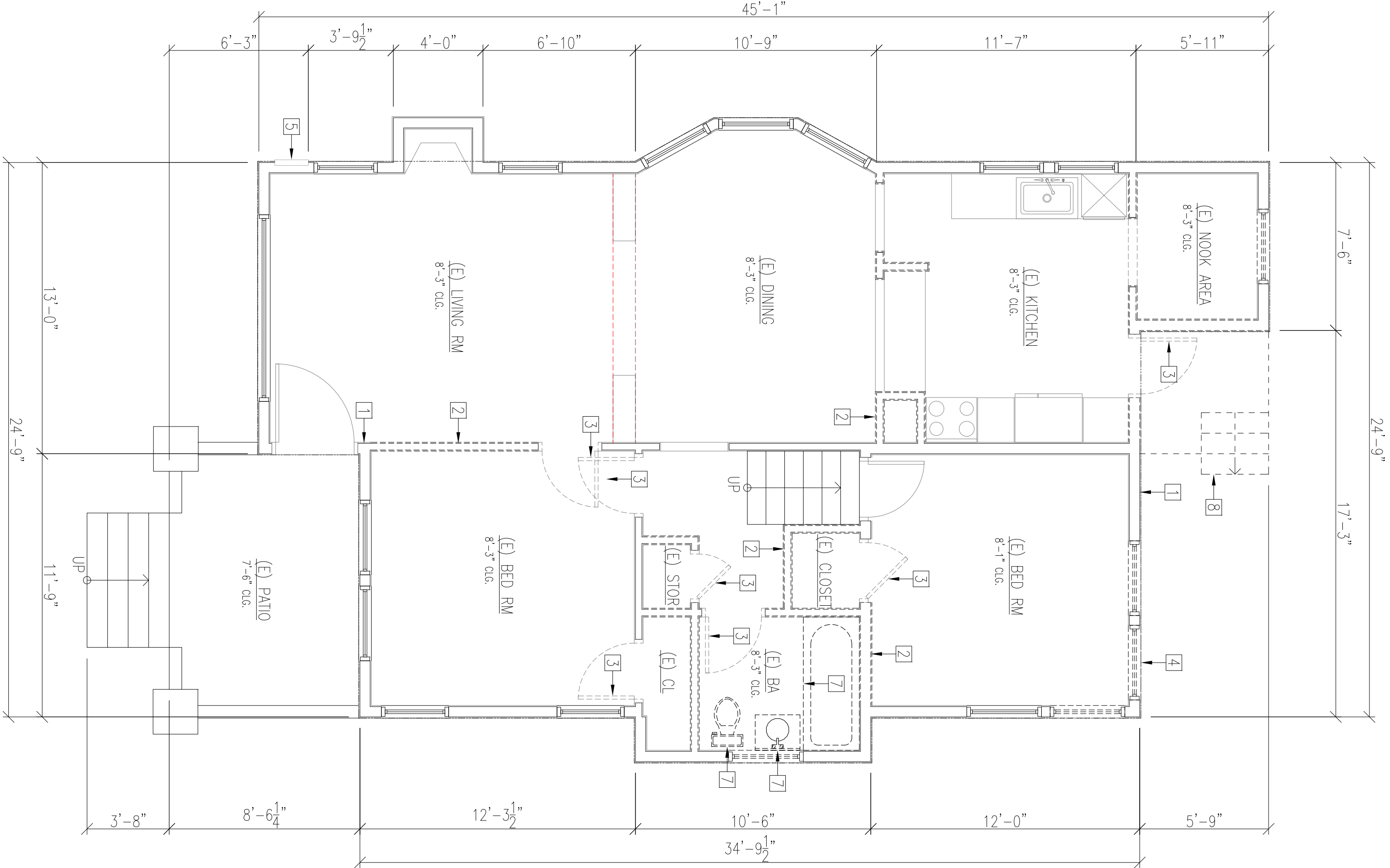
7

EXISTING PLUMBING FIXT. TO BE REMOVED

8

EXISTING STAIRS TO BE REMOVED

9

EXISTING ROOF TO BE DEMOLISHED

EXISTING & DEMOLISHED FLOOR PLAN

Scale: 1/4"=1'-0"

EXISTING & DEMOLISHED BASEMENT PLAN

Scale: 1/4"=1'-0"

EXISTING ROOF PLAN

Scale: 1/4"=1'-0"

CIBOTTI
ENGINEERING

10868 PEARLESS CT.
OAKLAND, CA 94603
TEL: (415) 261-8286
E-MAIL: llivecho@att.net

06/18/2017	Preliminary Schematic
11/30/2017	2nd Schematic

Residential Addition
& Remodel

1123 Versailles Ave.
Alameda, CA 94501



STAMP

EXISTING &
DEMOLISHED
PLANS

P.A.P.M:	EL
DRAWN BY:	EL
JOB NO:	0116

A.1

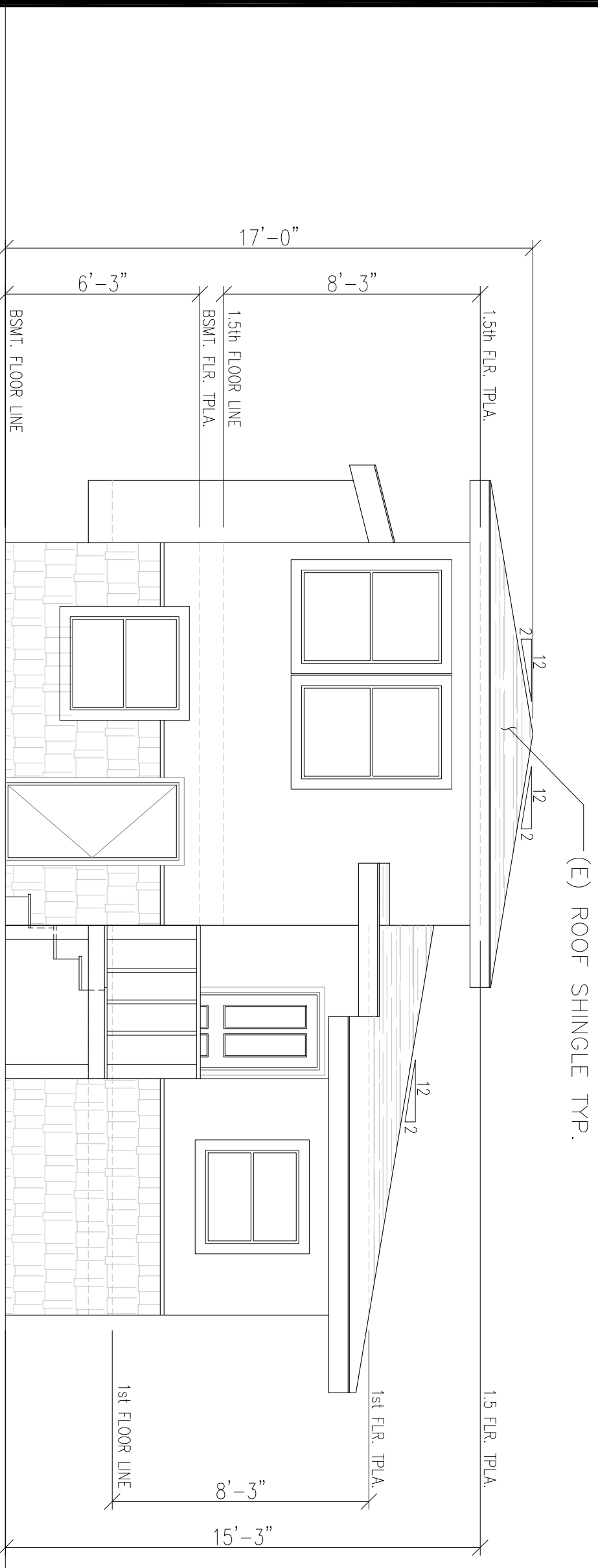
10868 PEERLESS CT.
OAKLAND, CA 94603
TEL: (415) 261-8286
E-MAIL: liuecho@att.net

Architectural elevation drawing of the rear exterior of a building. The drawing shows a gabled roof with a 12/12 pitch. The main wall is labeled "(E) ROOF SHINGLE TYP." and features a large double window with a transom. To the left, there is a smaller window and a door. The drawing includes dimensions: 17'-0" for the total width, 8'-3" for the upper section, 15'-3 1/2" for the lower section, and 6'-3" for the base. Floor lines are indicated for 1st, 1.5th, and BSMT levels. The roof pitch is shown as 12/12.

[illegible]

(E) FRONT ELEVATION

Scale: 1/4"=1'-0"



17'-0"

8'-3"

1st FLOOR LINE

1st FLOOR LINE

(E) ROOF SHINGLE TYP.

2/12

EXISTING ELEVATIONS	
PAP/PM:	EL
DRAWN BY:	EL

A.2

10/18/2017	Preliminary Schematic
11/30/2017	2nd Schematic
02/21/2018	3rd Schematic

Residential Addition
& Remodel
1123 Versailles Ave.
Alameda, CA 94501



STAMP

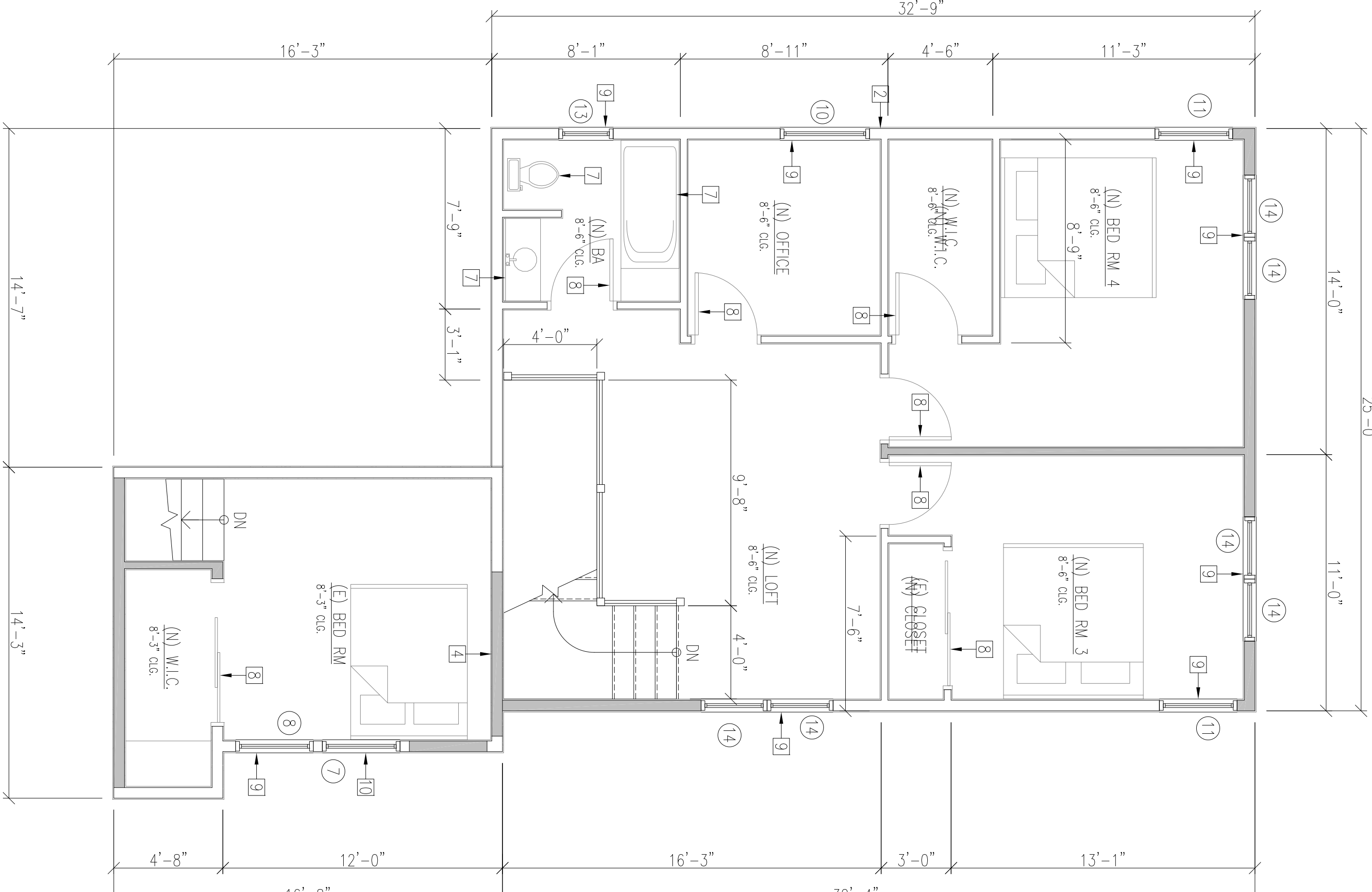
Proposed
Floor & Roof
Plans

P&PW:	EL
DRAWN BY:	EL
JOB NO:	0116

A.3

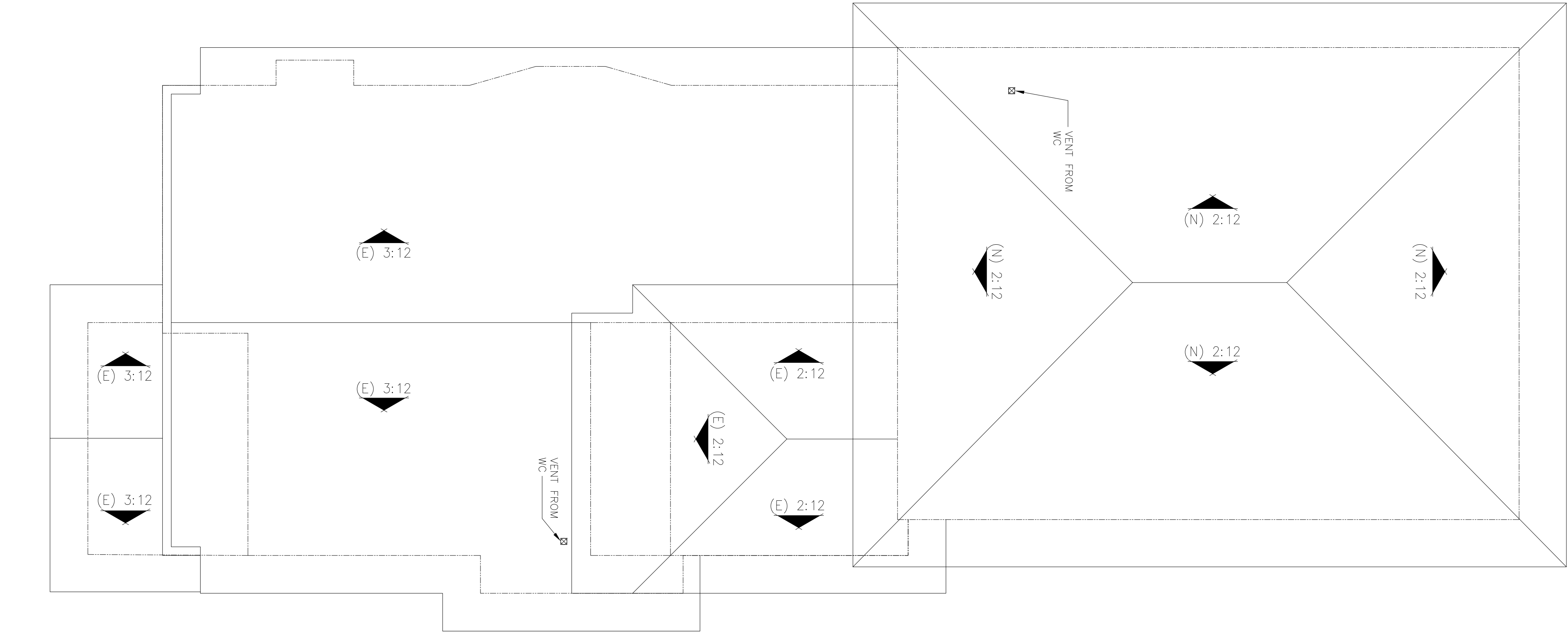
FLOOR PLAN KEY NOTES

- EXISTING 2x STUD @ 16" O.C.
- NEW 2x STUD @ 16" O.C.
- EXISTING DOOR OPENING TO BE FILLED
- EXISTING WINDOW OPENING TO BE FILLED
- NEW 150 AMP ELECTRIC MAIN PANEL
- NEW TANKLESS WATER HEATER
- NEW PLUMBING FIXTURE
- NEW DOOR
- (N) WINDOW MATCH (E) WINDOW KING & COLOR
- EXISTING WINDOW
- NEW LOUVER VENT
- NEW FURNACE



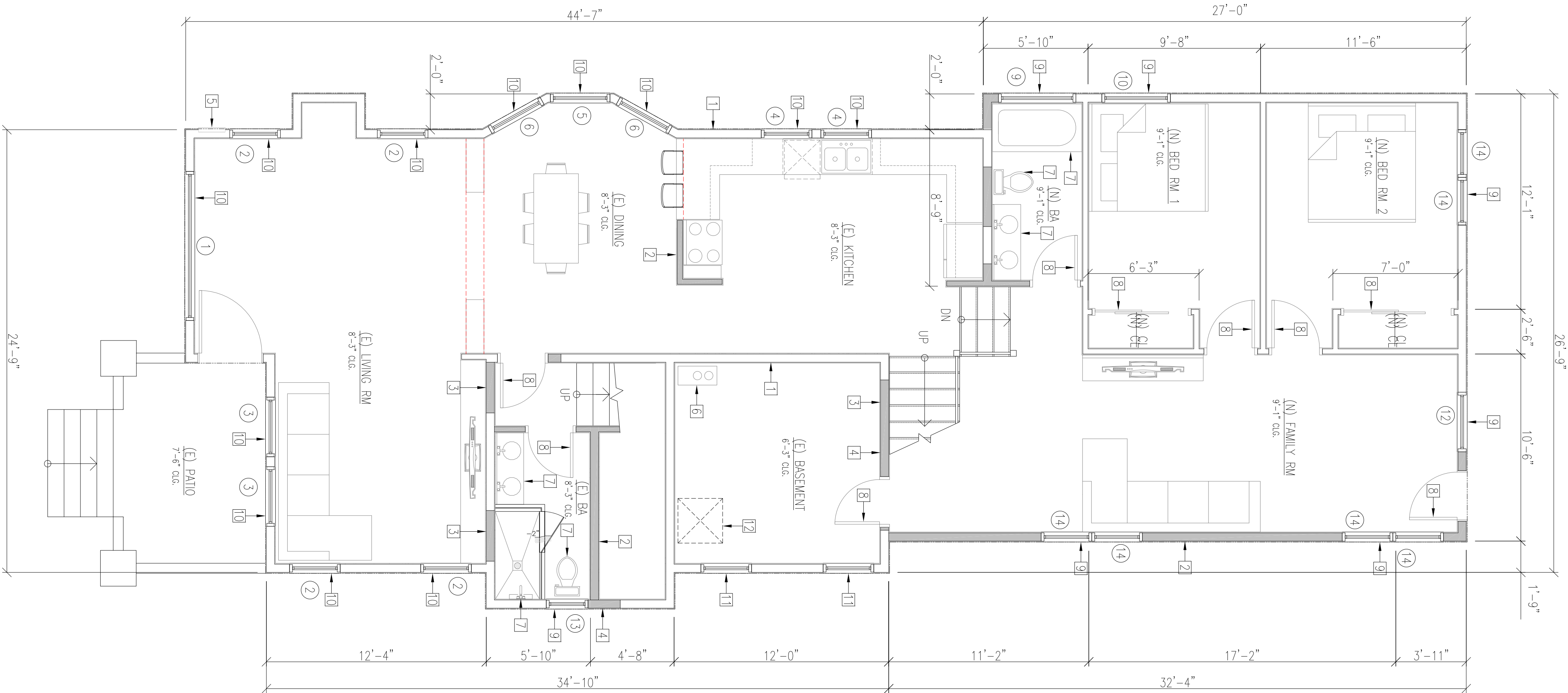
(E) 1.5 FLOOR PLAN AND PROPOSED 2ND FLOOR PLAN

Scale: 1/4"=1'-0"



PROPOSED ROOF PLAN

Scale: 1/4"=1'-0"



PROPOSED 1ST AND BASEMENT PLAN

Scale: 1/4"=1'-0"

CIBOTTI
ENGINEERING

10868 PEARLESS CT.
OAKLAND, CA 94603
TEL: (415) 261-8286
E-MAIL: tluecho@att.net

06-19-2017	Preliminary Schematic
11-30-2017	2nd Schematic
02-21-2018	3rd Schematic

Residential Addition
& Remodel
1123 Versailles Ave.
Alameda, CA 94501

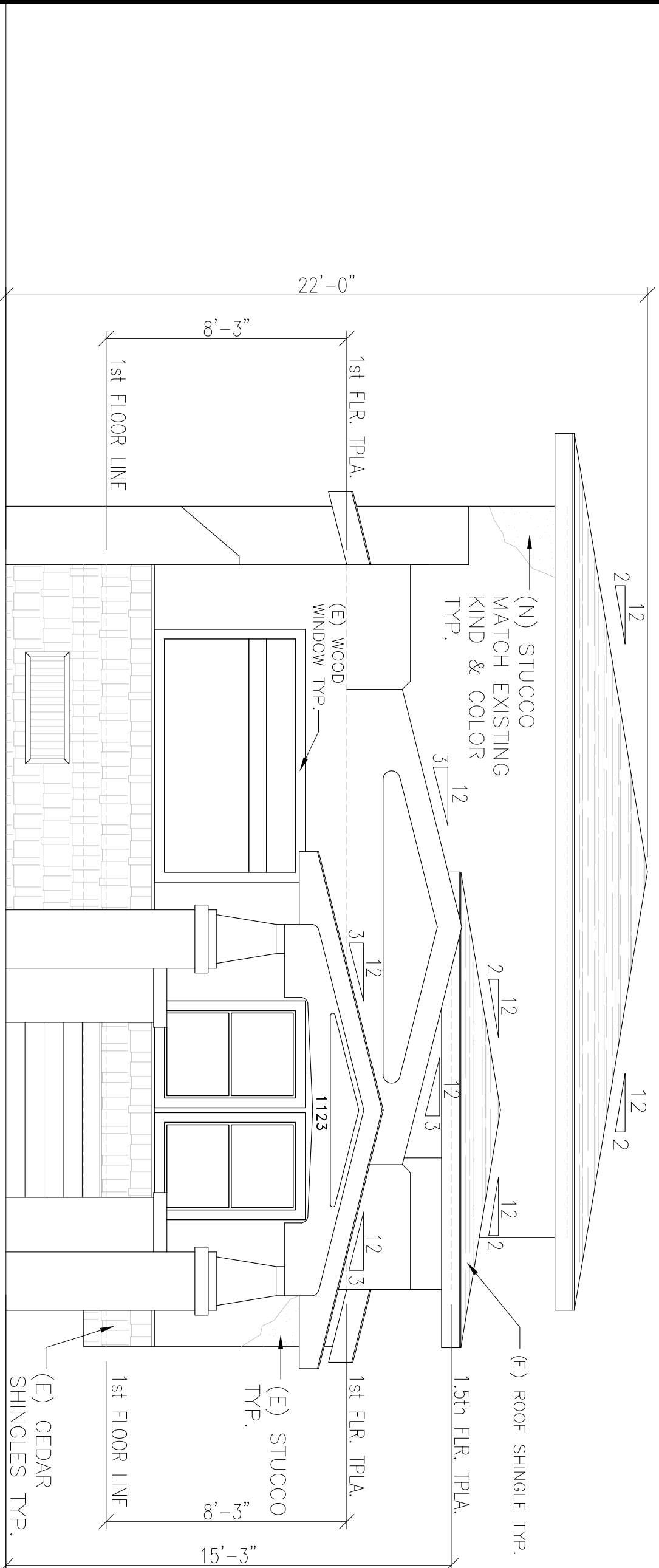


STAMP

PROPOSED
ELEVATIONS

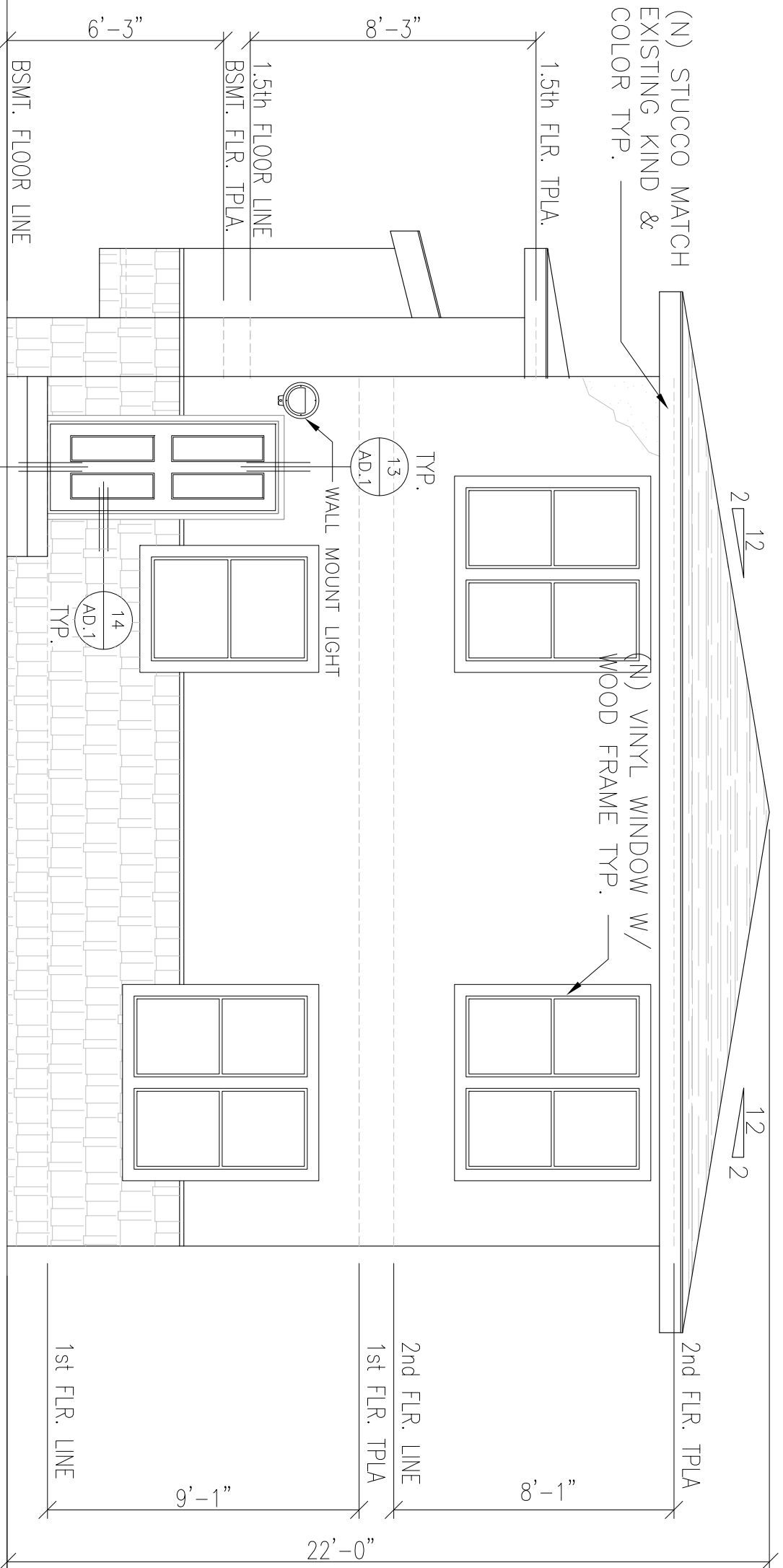
P&PM:	EL
DRAWN BY:	EL
JOB No:	0132

A.4



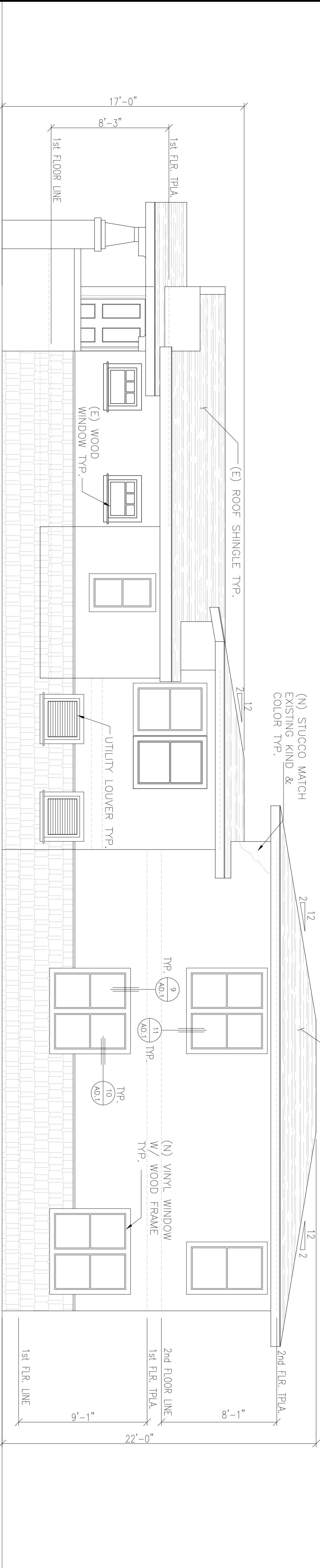
FRONT ELEVATION

Scale: 1/4"=1'-0"



REAR ELEVATION

Scale: 1/4"=1'-0"



LEFT ELEVATION

Scale: 1/4"=1'-0"



RIGHT ELEVATION

Scale: 1/4"=1'-0"

10/19/2017	Preliminary Schedule
11/30/2017	2nd Submittal
02/21/2018	3rd Submittal

1123 Versailles Ave.
Alameda, CA 94501

Residential Addition
& Remodel



STAMP

PROPOSED
SECTIONS

P&PW:	EL
DRAWN BY:	EL
JOB NO:	0132

A.5

WINDOW SCHEDULE

#	SIZE	TYPE	FENESTRATION	U-VALUE	FRAME	FINISH	HARDWARE	QUANTITY	NOTES
1	96" X 58"	FIXING	SAFETY	-	WOOD	PAINT GRADE	BRUSHED METAL	1	EXISTING
2	30" X 24"	FIXING	SAFETY	-	WOOD	PAINT GRADE	BRUSHED METAL	4	EXISTING
3	36" X 58"	SINGLE HUNG	SAFETY	-	ALUMINUM	PAINT GRADE	BRUSHED METAL	2	EXISTING
4	30" X 42"	SINGLE HUNG	SAFETY	-	ALUMINUM	PAINT GRADE	BRUSHED METAL	2	EXISTING
5	36" X 58"	SINGLE HUNG	SAFETY	-	WOOD	PAINT GRADE	BRUSHED METAL	1	EXISTING
6	30" X 58"	SINGLE HUNG	SAFETY	-	WOOD	PAINT GRADE	BRUSHED METAL	2	EXISTING
7	36" X 60"	SINGLE HUNG	SAFETY	-	WOOD	PAINT GRADE	BRUSHED METAL	1	EXISTING
8	36" X 60"	SINGLE HUNG	SAFETY	0.30	WOOD	PAINT GRADE	BRUSHED METAL	1	TEMP
9	48" X 30"	AWNING	SAFETY	0.30	VINYL	PAINT GRADE	BRUSHED METAL	1	TEMP
10	42" X 60"	SINGLE HUNG	SAFETY	0.30	VINYL	PAINT GRADE	BRUSHED METAL	2	TEMP
11	36" X 60"	SINGLE HUNG	SAFETY	0.30	VINYL	PAINT GRADE	BRUSHED METAL	2	TEMP
12	36" X 54"	SINGLE HUNG	SAFETY	0.30	VINYL	PAINT GRADE	BRUSHED METAL	1	-
13	24" X 48"	SINGLE HUNG	SAFETY	0.30	VINYL	PAINT GRADE	BRUSHED METAL	2	TEMP
14	30" X 60"	SINGLE HUNG	SAFETY	0.30	VINYL	PAINT GRADE	BRUSHED METAL	12	TEMP

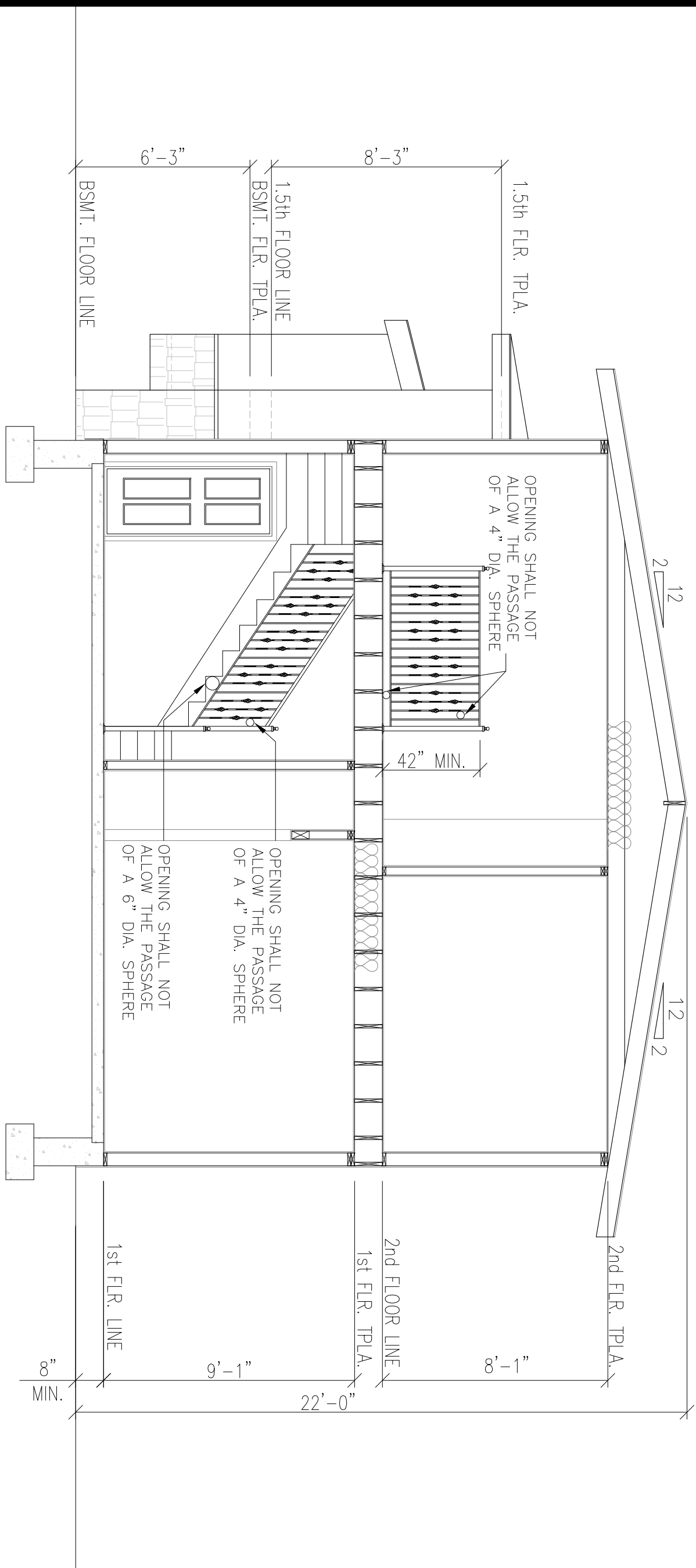
WINDOWS MANUFACTURED BY JELD WEN

AVAILABLE AT:

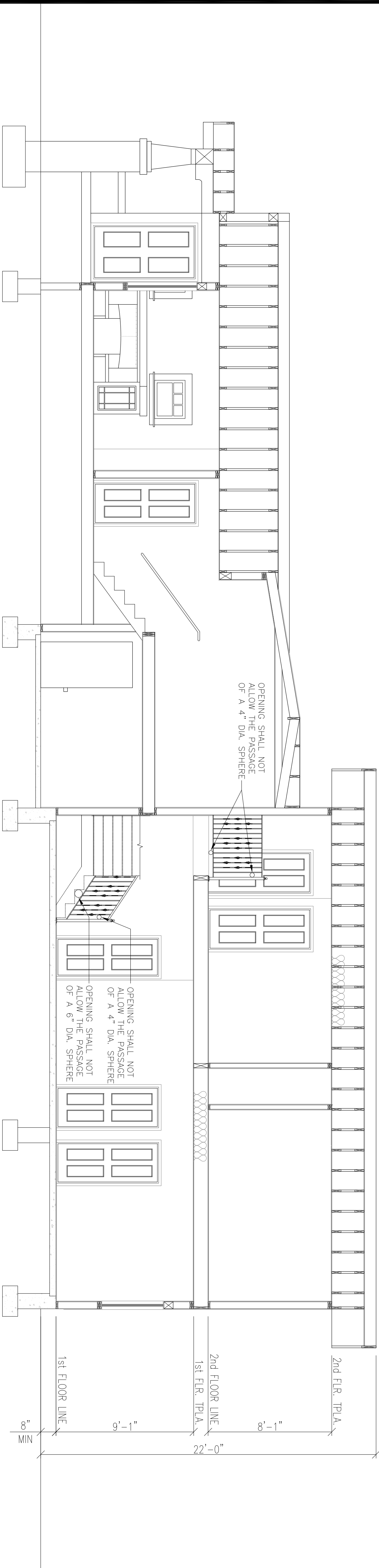
Associated Building Supply, Inc.
702 Harrison Street Ste C
Berkeley, CA 94710

WINDOW NOTES

- REFER TO PLANS FOR WINDOW SWING DIRECTIONS.
- ALL WINDOWS SHALL BE SOLID WOOD CORE AND GLAZED WITH LOW-E GLASS UNLESS IN AN AREA WHERE TEMPERED/SECURITY GLASS IS REQUIRED (SEE PLANS AND GENERAL NOTES FOR SUCH LOCATIONS)
- ALIGN TOP OF DOOR (U.N.O.) SO THAT FINISHES OF DOOR LINE UP WITH WALL FINISH OF WINDOWS (UNLESS OTHERWISE NOTED PER PLANS)
- SHOP DRAWINGS OF ALL WINDOWS MUST BE SUBMITTED AND APPROVED BY DESIGNER PRIOR TO FABRICATION.
- ALL OPERABLE WINDOWS SHALL BE EQUIPPED WITH SECURITY DEVICES.
- ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MIN. NET CLEAR OPEN AREA OF 5.7 SQ. FT. A MIN. NET CLEAR OPEN AREA DIMENSION OF 20" AND A MIN. NET CLEAR WIDTH AREA DIMENSION OF 20"
- WINDOWS #7, #8, #10, #11, & #15 ARE EMERGENCY ACCESS / EGRESS WINDOWS WHICH LOCATIONS PLEASE SEE A-3 FLOOR PLANS (WINDOW #7 & #8 CLEAR OPEN AREA ARE 5.7 SQ. FT. & 5.7 SQ. FT. RESPECTIVELY. WINDOW #10 CLEAR OPEN AREA IS 8.68 SQ. FT. & WINDOW #15 CLEAR OPEN AREA IS 5.88 SQ. FT.)



1 SECTION
Scale: 1/4"=1'-0"



2 SECTION
Scale: 1/4"=1'-0"

[illegible]

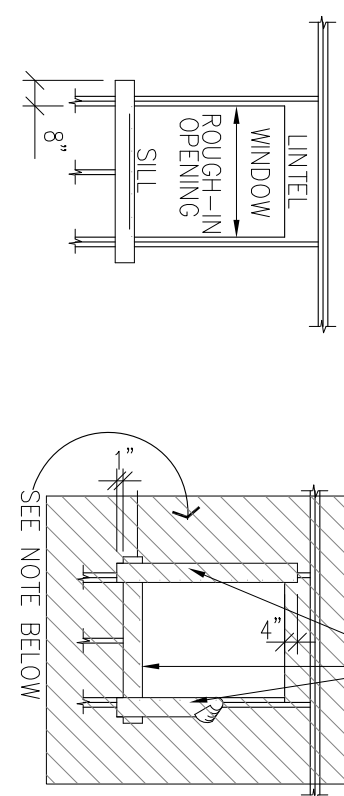
1123 Versailles
Alameda, CA 94501



STAMP

Details

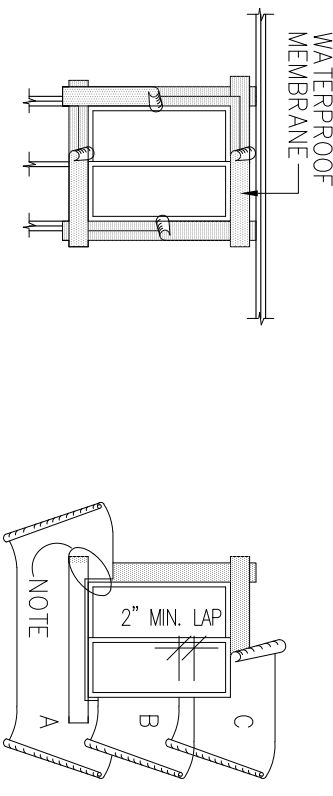
PA/PM:	EL
DRAWN BY:	EL
JOB No:	0132



WINDOW FLASHING.
SECTION 1402.2 OF THE CODE STATES THAT
"EXTERIOR OPENINGS EXPOSED TO THE WEATHER
SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE
THEM WATERPROOF".

ATTACH W.P. MEMBRANE SILL STRIP W/ TOP
EDGE LEVEL WITH ROUGH SILL - EXTEND
BEYOND EDGE OF ROUGH OPENING AT
LEAST 8" SECURE ALL WATERPROOF
MEMBRANE (OR EQUAL) WITH GALVANIZED
NAILS OR POWER-DRIVEN STAPLES.

2. ATTACH JAMB STRIP WITH SIDE EDGE
EVEN WITH ROUGH-JAMB FRAMING.
START STRIP 1" BELOW LOWER EDGE
OF SILL STRIP AND EXTEND 4" ABOVE
LOWER EDGE OF LINTEL.



INSTALL WINDOW HEAD, SILL AND JAMB
NAILING, FLANGES OF A CONTINUOUS
BEAD OF SEALANT ON A 6" WIDE WATERPROOF
MEMBRANE STRIP. INSTALL THE SECOND
WINDOW HEAD, SILL AND JAMB 6" WIDE
WATERPROOF MEMBRANE STRIPS APPLIED
TO THE WINDOW NAILING FLANGES.

NOTE: CUT ANY EXCESS BUILDING
PAPER THAT MAY EXTEND ABOVE THE
SILL FLANGE LINE ON EACH SIDE OF
(SHOW AS SHORT DASHED LINES).

COMMENTING: AT THE BOTTOM (SOLE
PLATE) OF THE WALL, LAY BUILDING
PAPER UNDER SILL STRIP.

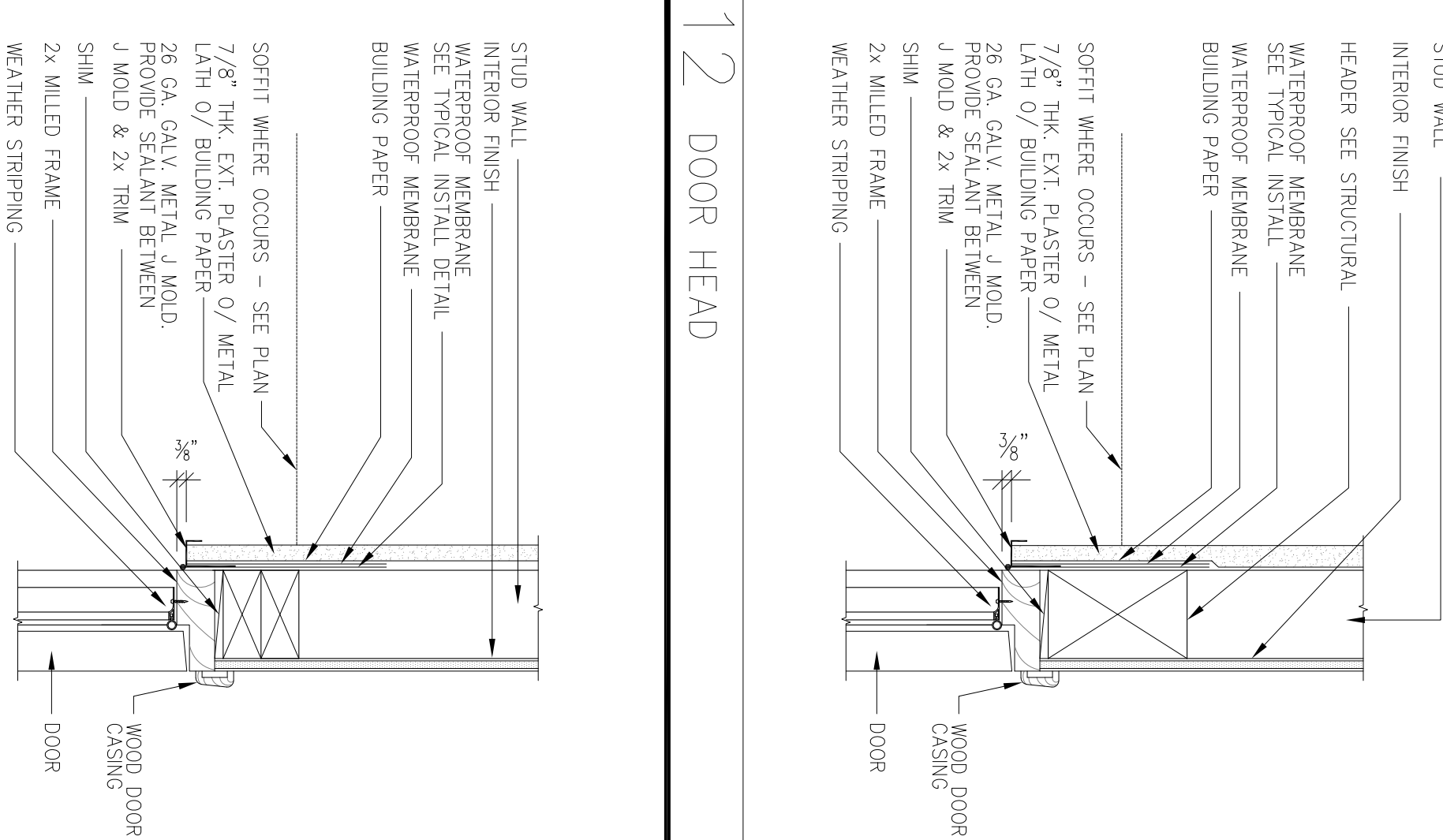
COMMENCING AT THE BOTTOM (SOLE PLATE) OF THE WALL, LAY BUILDING PAPER UNDER SILL STRIP.

NOTE: CUT ANY EXCESS BUILDING PAPER THAT MAY EXTEND ABOVE THE SILL FLANGE LINE ON EACH SIDE OF (SHOWN AS SHORT DASHED LINES). DO NOT STICE BUILDING PAPER HORIZONTALLY SO THAT THE PAPER WILL LAP OF THE JAMB STRIPS.

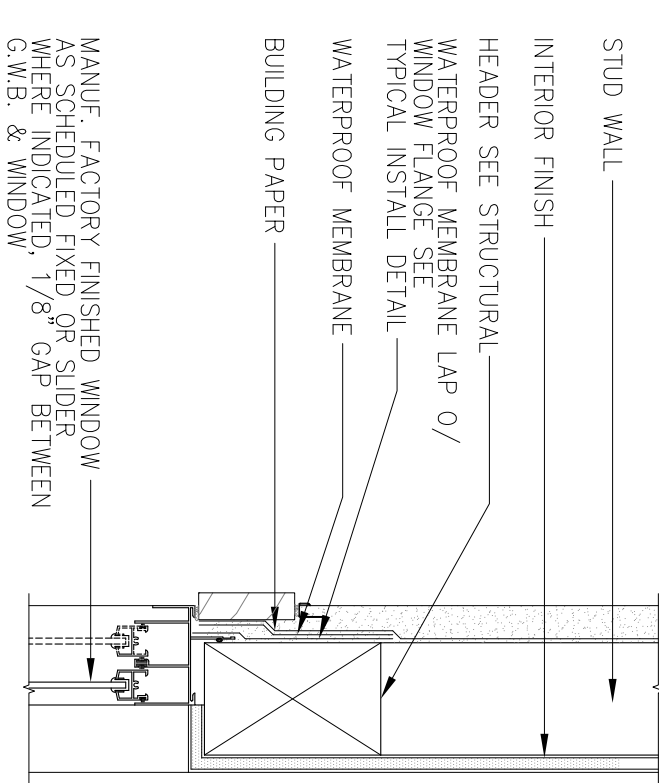
INSTALL SUCCESSIVE LINES OF BUILDING PAPER (E.G., 1/2" OR 3/4" PAPER AND HEED FLANGES, LAPPING EACH COURSE.

THE ABY METALHOD APPLIES ONLY TO THE MOST COMMONLY USED TYPE OF METAL FRAME (SURFACE MOUNTED). FOR OTHER TYPE OF FRAMES, SPECIAL ATTENTION MUST BE PAID TO THE MANUFACTURER'S RECOMMENDATIONS.

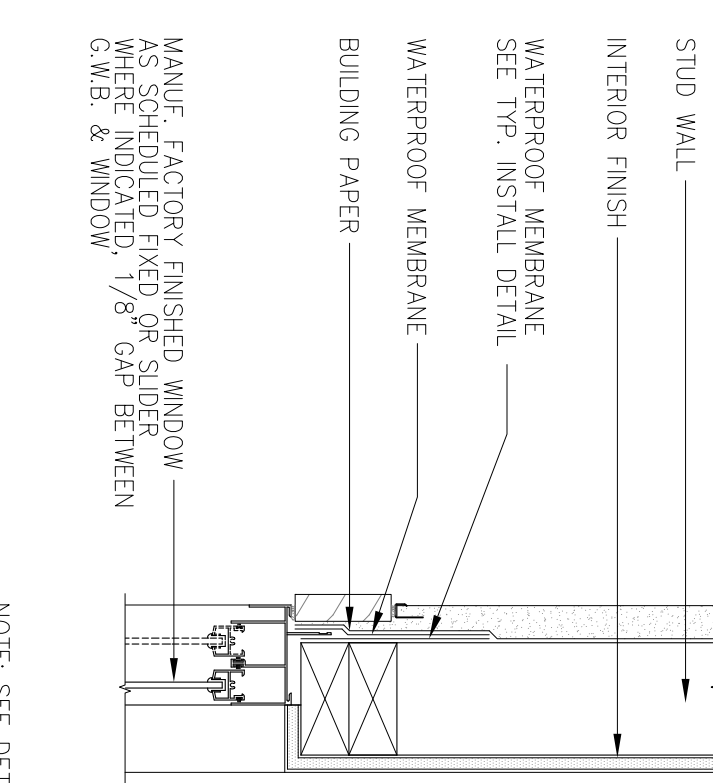
16 TYP. WATERPROOF MEMBRANE INSTALL



12 DOOR HEAD

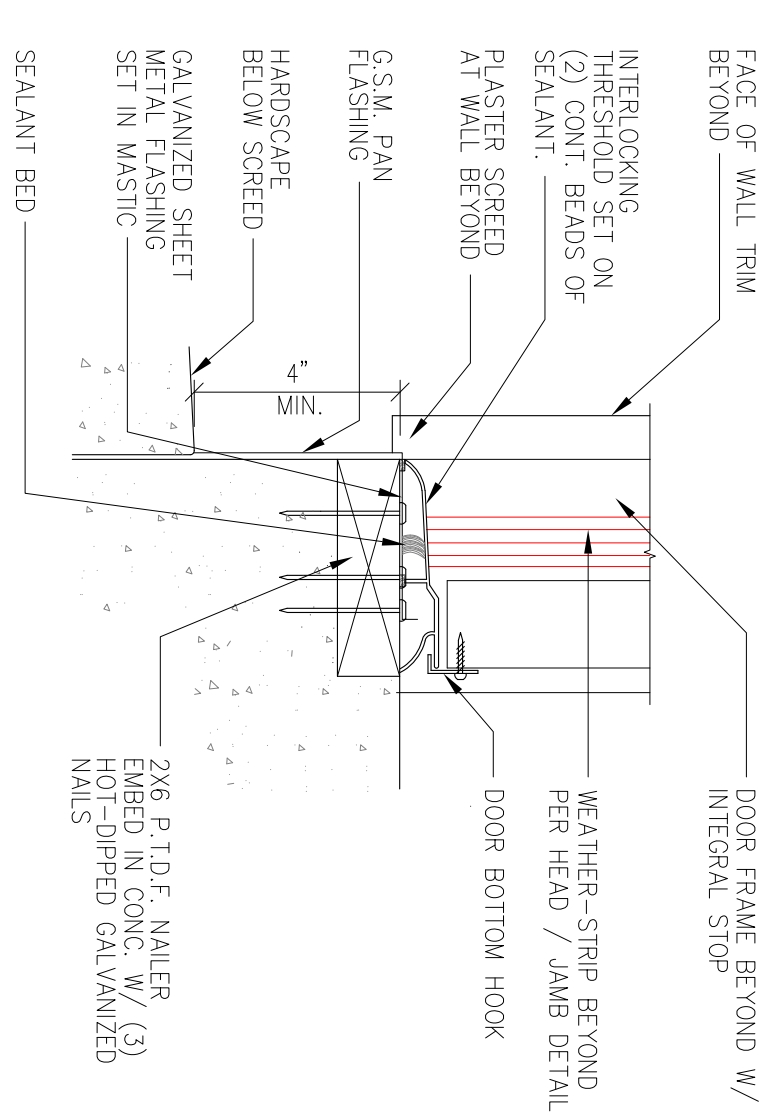


NOTE: SEE DETAIL 16 FOR PROPER
INSTALLATION OF FLASHING,
WATERPROOF MEMBRANES &
SEALANTS

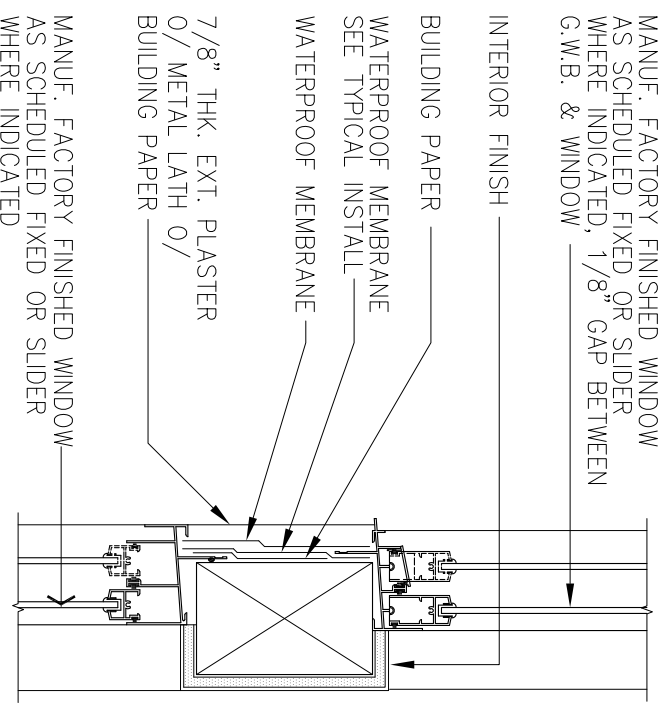


NOTE: SEE DETAIL 16 FOR PROPER INSTALLATION OF FLASHING, WATERPROOF MEMBRANES & SEALANTS

9 WINDOW JAMB

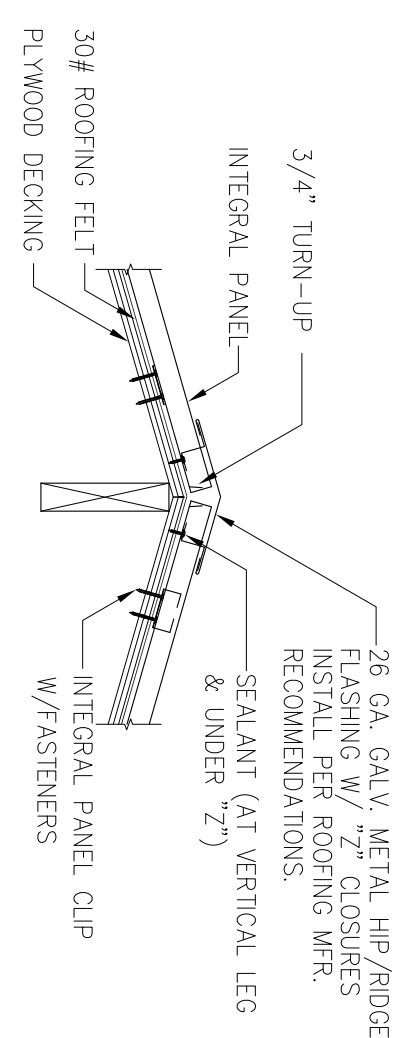


14 DOOR THRESHOLD

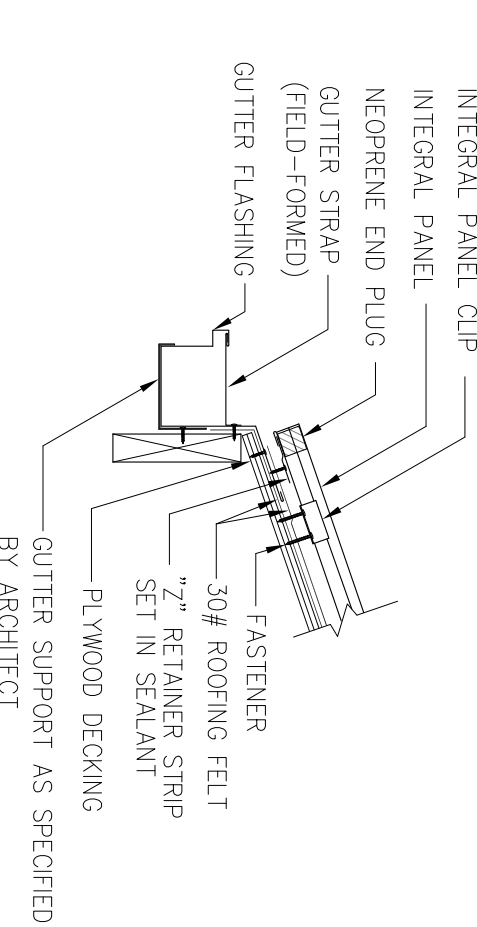


NOTE: SEE DETAIL 16 FOR PROPER
INSTALLATION OF FLASHING,
WATERPROOF MEMBRANES &
SEALANTS

15 TRANSOM WINDOW - WINDOW



ROOF RIDGE FLASHING CONNECTION

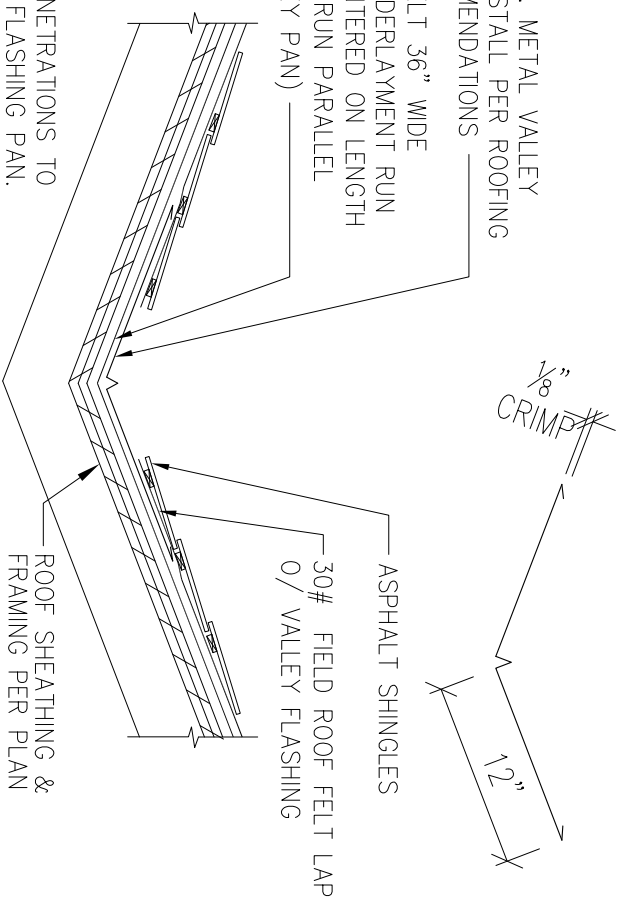


GUTTER FLASHING CONNECTION

Diagram illustrating the assembly of a roof valley. The assembly consists of the following layers and components:

- 30# ROOF FELT 36" WIDE FLASHING UNDERLAMENT RUN CONT. & CENTERED ON LENGTH OF VALLEY (RUN PARALLEL BELOW VALLEY PAN)**
- 30# FIELD ROOF FELT LAP**
- ASPHALT SHINGLES**
- 26 GA. GALV. METAL VALLEY FLASHING—INSTALL PER ROOFING MFR. RECOMMENDATIONS**

The diagram shows a cross-section of the valley with a dimension of **12"** indicated for the overlap of the 30# field roof felt.

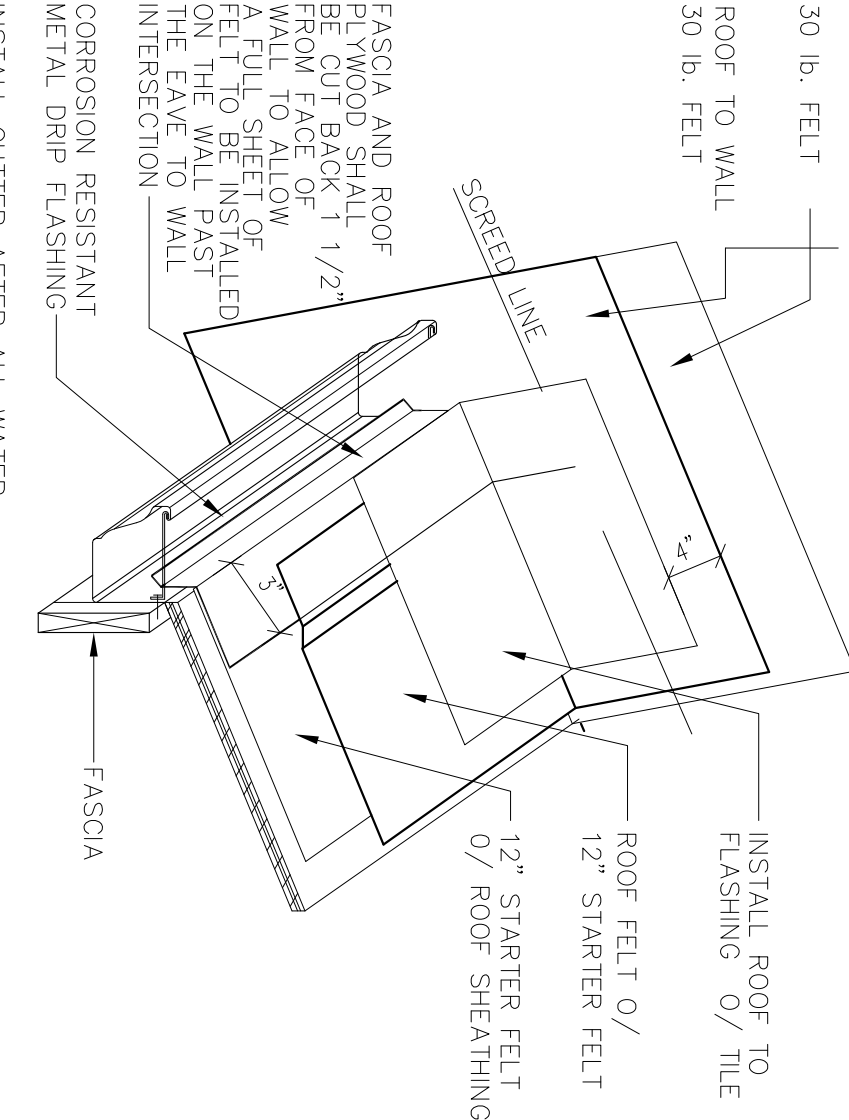


NOTE: NO PENETRATIONS TO OCCUR THRU FLASHING PAN.

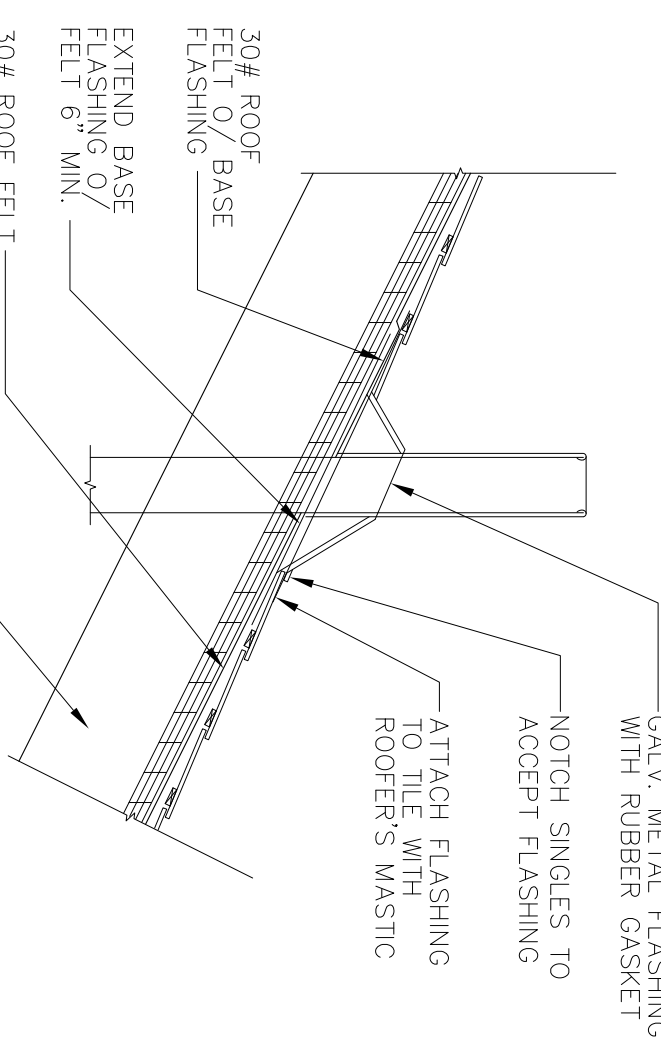
ROOF VALLEY FLASHING CONNECTION

ROOF SHEATHING & FRAMING PER PLAN

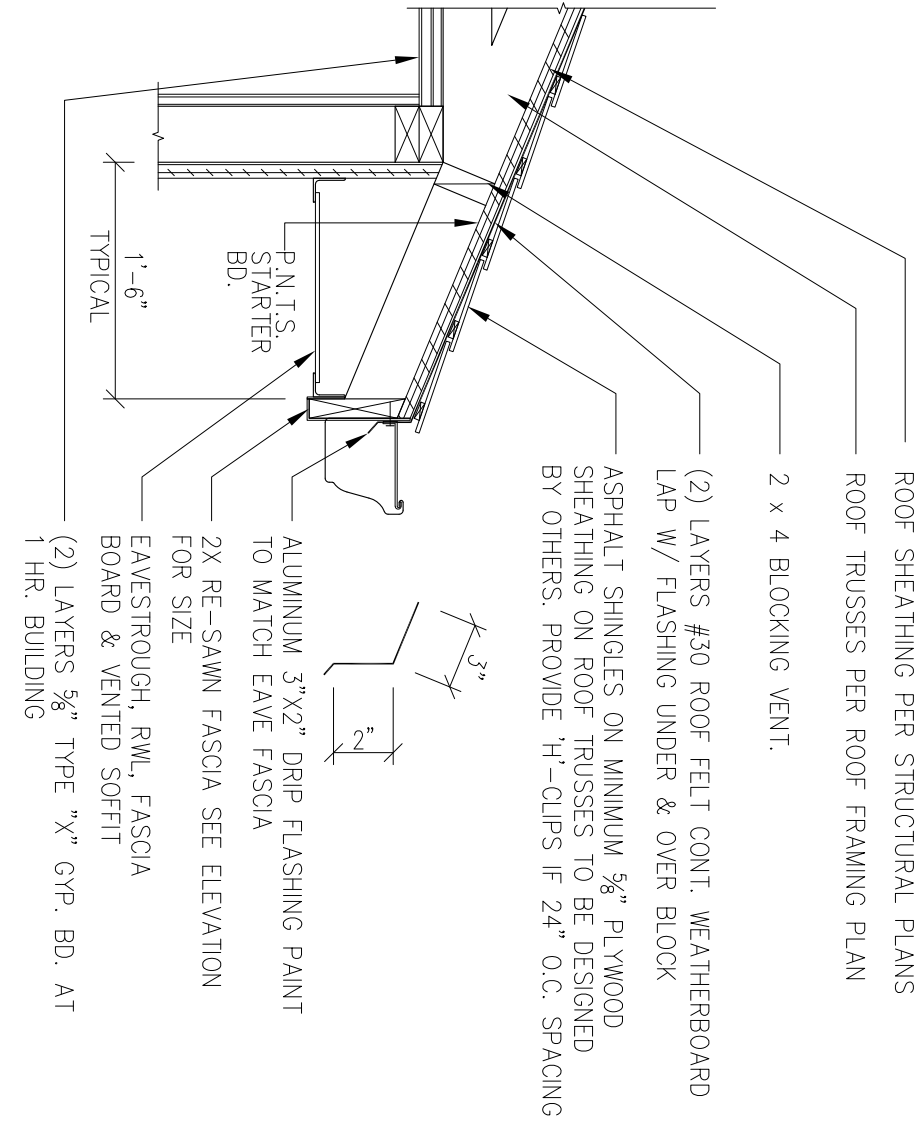
5 ROOF FLASHING DETAIL



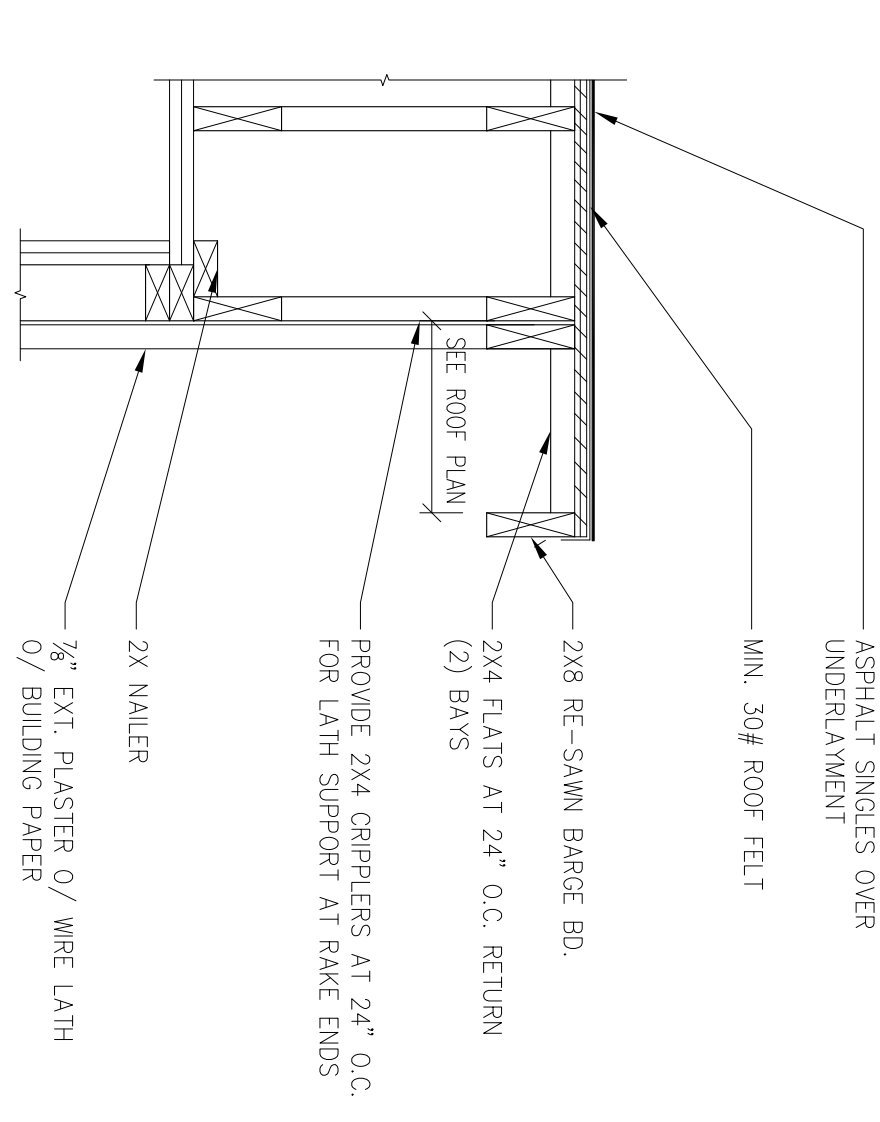
6 FASCIA TO WALL



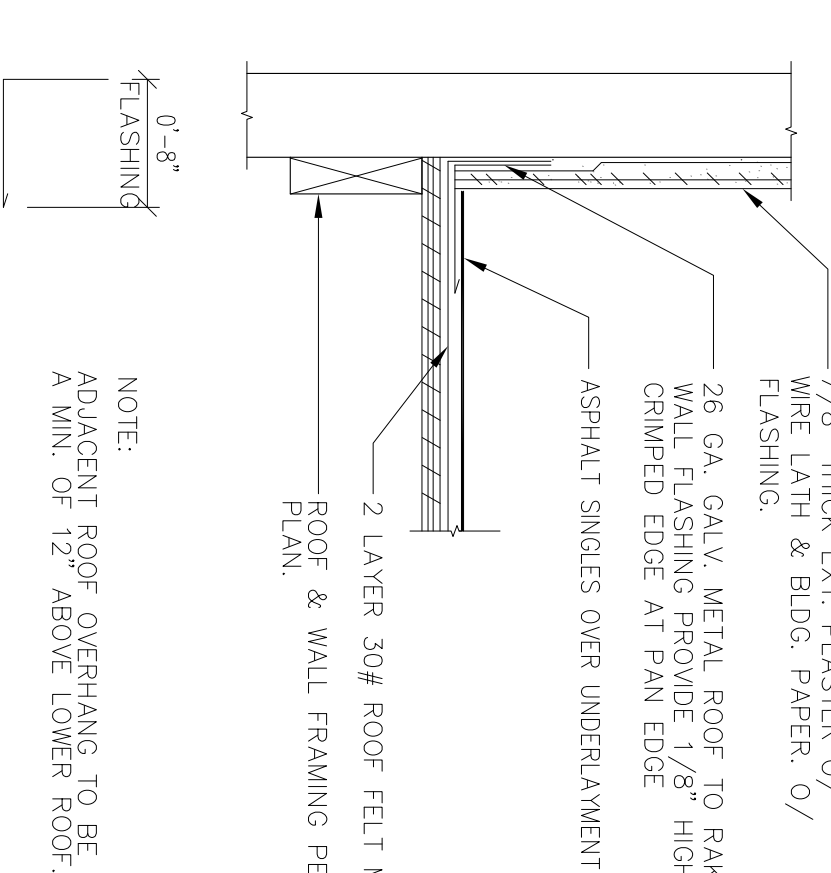
VENT THROUGH ROOF



LEAVE

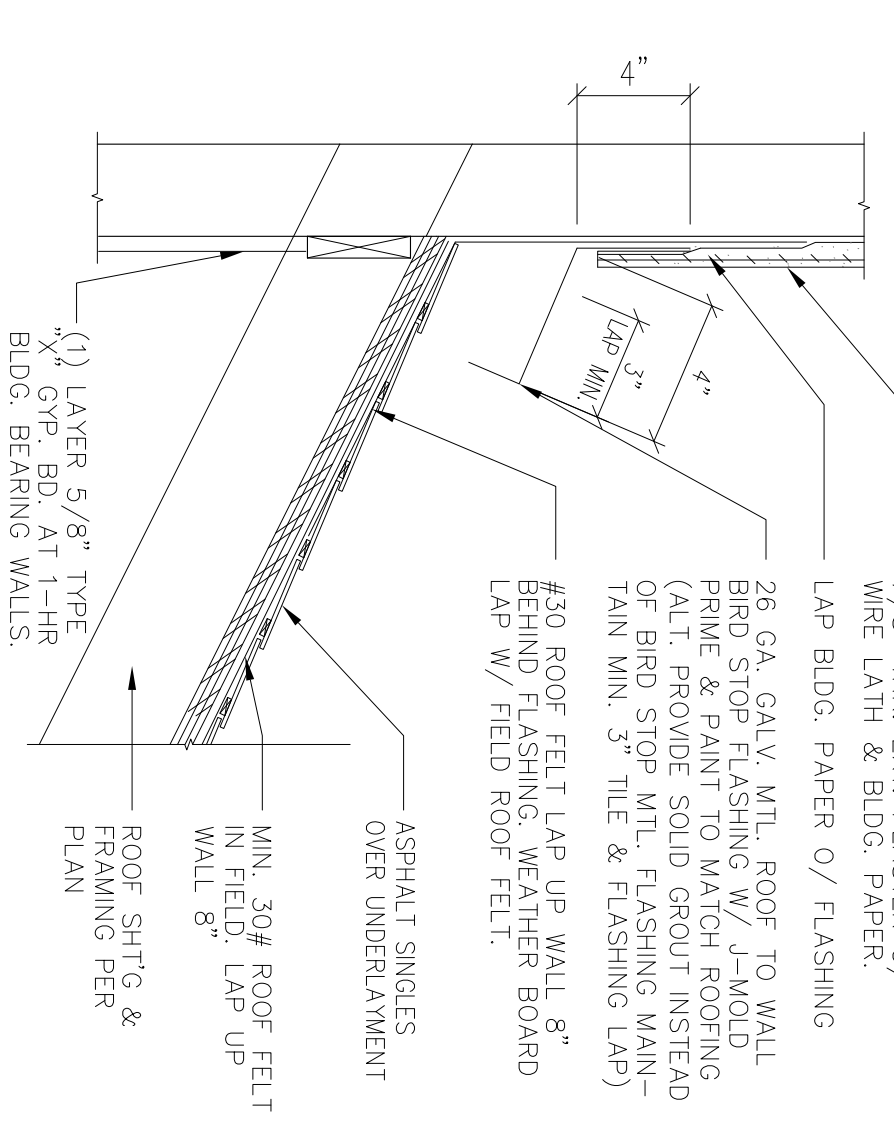


2 RAKE TYP.



NOTE:
ADJACENT ROOF OVERHANG TO BE
A MIN. OF 12" ABOVE LOWER ROOF.

5 RAKE TO WALL



4 ROOF TO WALL