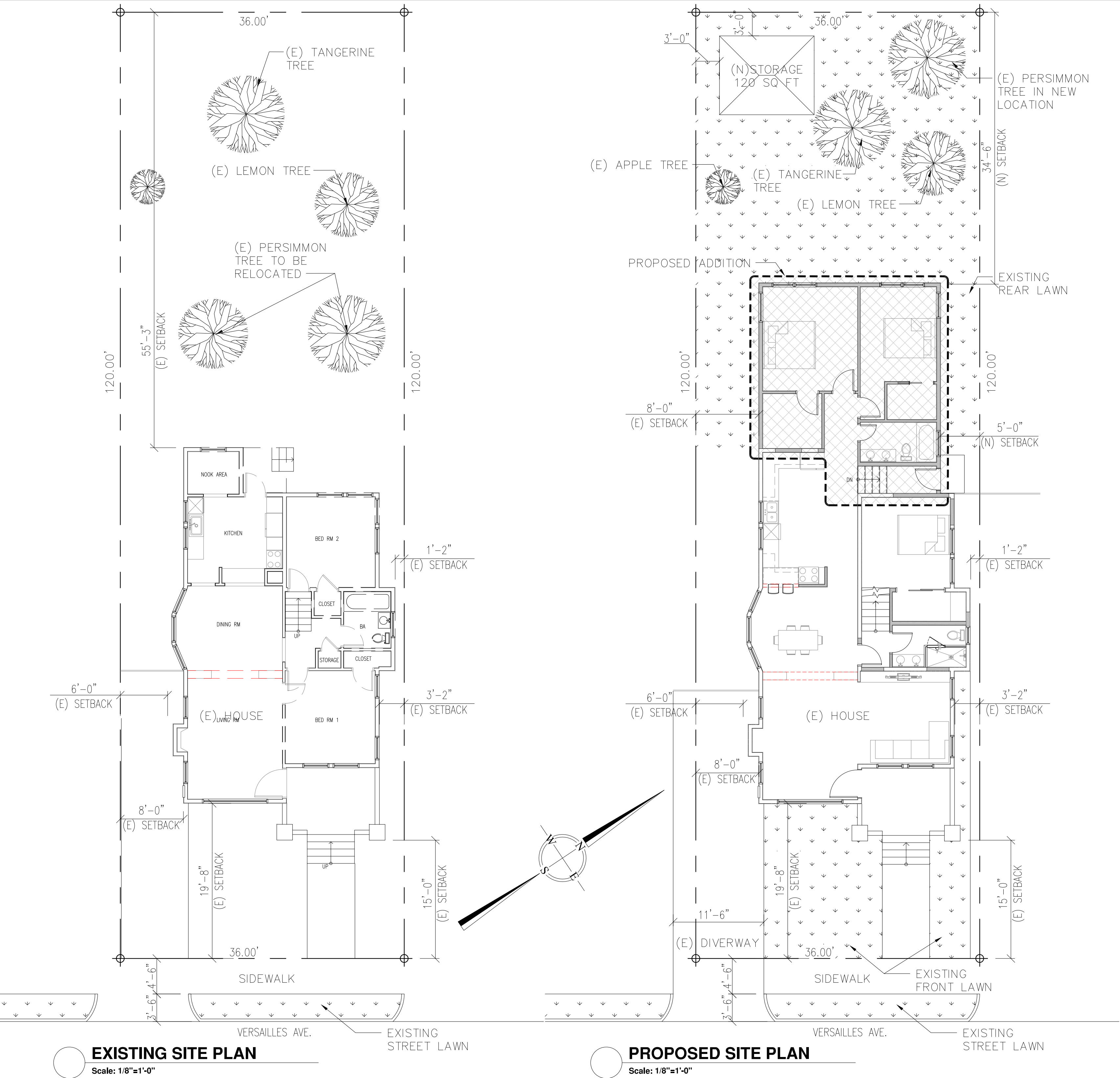


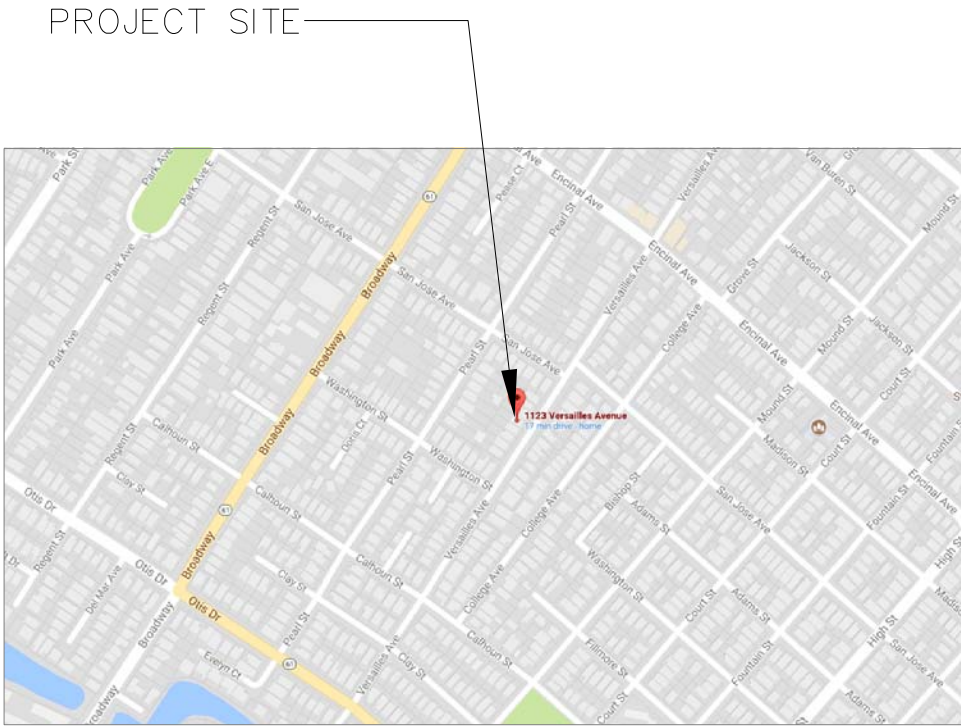
XIE'S RESIDENCE

ROOM ADDITION AND REMODEL

1123 VERSAILLES AVE. ALAMEDA, CA 94501



PROJECT DATA	
APN: 70-149-11	
NON SPRINKLERED BLDG	
1. BUILDING TYPE: TYPE V-B	
2. OCCUPANCY GROUP: R-1	
3. ZONING: R-1 ONE FAMILY RESIDENCE	
LOT SIZE	4320 SQ. FT.
EXISTING BLDG	999 SQ. FT.
(E) TOTAL	= 999 SQ. FT.
ADDITION LIVING ARE	+ 562 SQ. FT.
(N) TOTAL	= 1561 SQ. FT.
(E) BLDG. LOT COVERAGE	1098 SQ. FT.
(N) BLDG. LOT COVERAGE	1694 SQ. FT.
	(1561/4320)X100% = 36.1% < 40%
PROPERTY OWNER:	SHIRLEY XIE 1123 VERSAILLES AVE. ALAMEDA, CA 94501
DESIGNER:	CIBOTTI ENGINEERING 12935 ALCOSTA BLVD. SUITE #2025 SAN RAMON, CA 94583 (925) 829-0920



- PROJECT DESCRIPTION:
- COVER THE EXISTING FRONT BEDROOM TO LIVING ROOM.
 - REMODEL THE KITCHEN AND EXISTING BATH ROOM.
 - ADDING TWO BEDROOMS AND A FAMILY ROOM AT REAR OF THE EXISTING BUILDING, AND ADDING A 2ND STORIES AT THE REAR OF THE EXISTING BUILDING.
- GENERAL NOTES:
- CONSTRUCTION IS PROHIBITED BETWEEN 7:00 PM TO 7:00 AM AND SUNDAY AND HOLIDAYS.
 - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK.
 - IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN OR NOT TO PROTECT THEM FROM DAMAGE.
 - ALL INFORMATION SHOWN ON THE DRAWINGS RELATING TO EXISTING CONDITIONS ARE GIVEN AS THE BEST PRESENT KNOWLEDGE, BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWING, IT SHALL BE REPORTED TO THE OWNER AND ENGINEER, SO THE PROPER REVISIONS MAY BE MADE.

DRAWING INDEX:

- A.0 : SITE PLAN
A.1 : EXISTING AND DEMOLISHED PLAN
A.2 : EXISTING ELEVATIONS
A.3 : PROPOSED FLOOR & ROOF PLANS
A.4 : PROPOSED ELEVATIONS
A.5 : PROPOSED SECTIONS
AD.1 : ARCHITECTURAL DETAILS

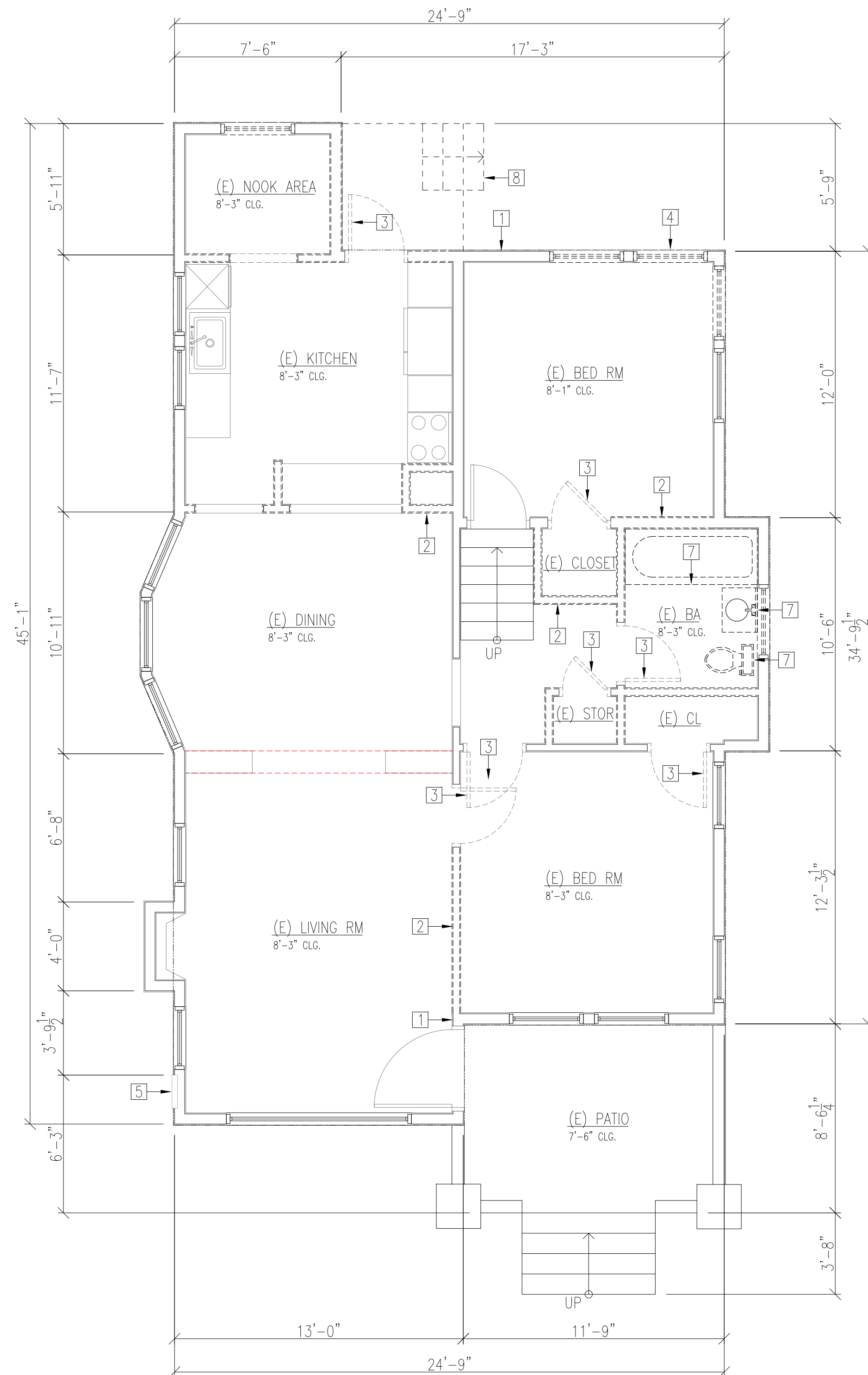
- LEGEND :
- NEW ADDITION
- PROPERTY LINE
- LAWN
- SHEET FLOW

CODE COMPLIANCE	
ALL WORK SHALL BE COMPLIANCE WITH THE CITY OF ALAMEDA CODES AND ALL OTHER APPLICABLE CODES	
1. 2016 CALIFORNIA BUILDING CODE	
2. 2016 CALIFORNIA PLUMBING CODE	
3. 2016 CALIFORNIA MECHANICAL CODE	
4. 2016 CALIFORNIA ELECTRICAL CODE	
5. 2016 CALIFORNIA ENERGY CODE	
6. 2016 CALIFORNIA RESIDENTIAL CODE	
7. 2016 CALIFORNIA FIRE CODE	
8. 2016 CALIFORNIA GREEN BUILDING CODE	

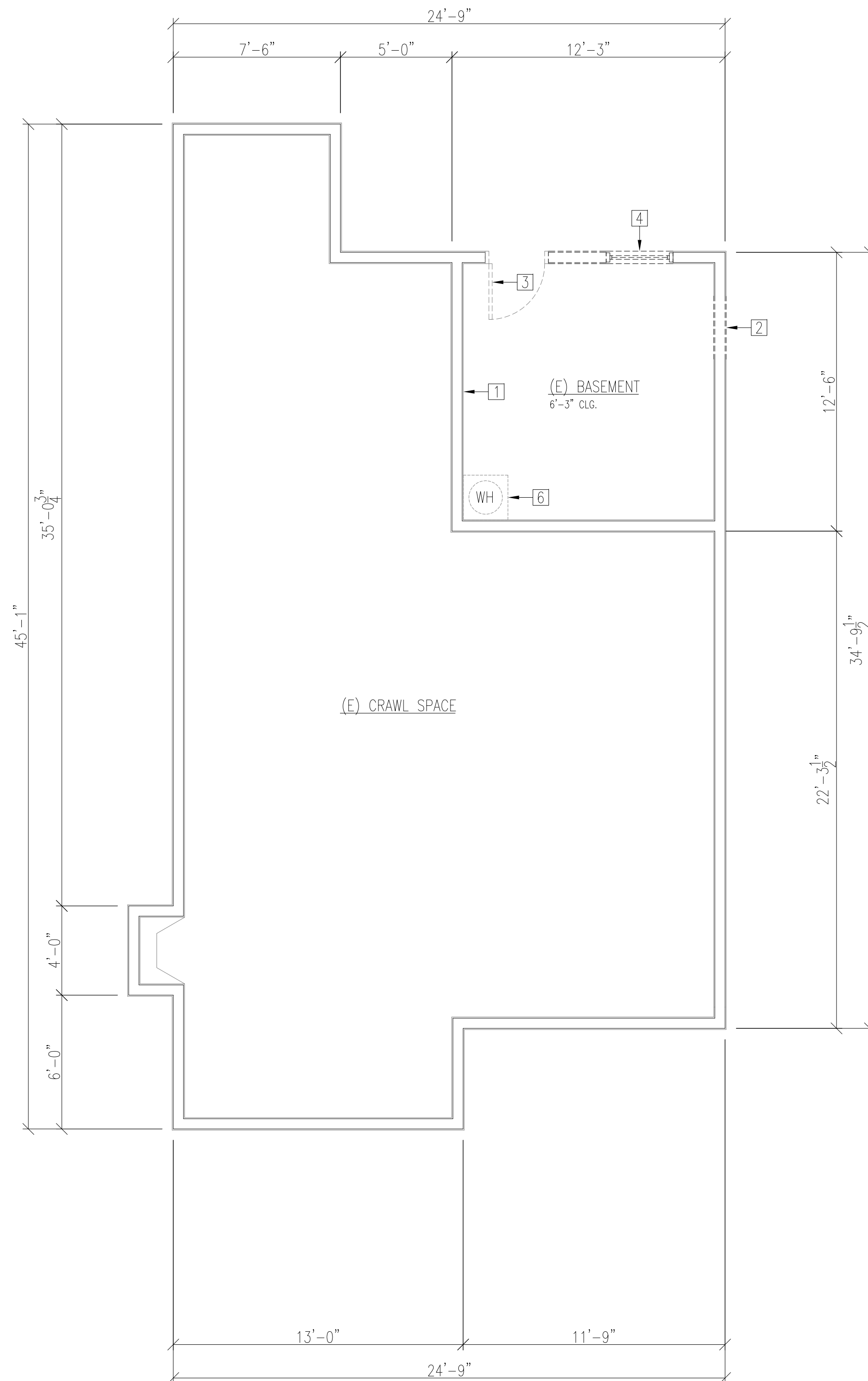
ABBREVIATION			
A.B.	ANCHOR BOLT	(N)	NEW
ABV	ABOVER	NTS	NOT TO SCALE
AFF	ABOVE FINISH FLOOR	O/	OVER
BLDG	BUILDING	O.C.	ON CENTER
CLG	CEILING	PW	PLYWOOD
CONC	CONCRETE	PT	PRESSURE TREATED
D.F.	DOUGLAS FIR	RET	RETAINING
DN	DOWN	RM	ROOM
DS	DOWNSPOUT	RWD	REDWOOD
(E)	EXISTING	RWL	RAIN WATER LEADER
E.N.	EDGE NAIL	SA	SUPPLY AIR
EQ	EQUAL	SQ. FT	SQUARE FOOT
EW	EACH WAY	T&B	TOP & BOTTOM
FDN	FOUNDATION	TYP.	TYPICAL
FTG	FOOTING	UON	UNLESS OTHERWISE NOTED
GYPBD	GYPSUM BOARD	VIF	VERIFY IN FIELD
HGR.	HANGER	W/	WITH
HK.	HOOK	W/O	WITHOUT
MAX	MAXIMUM	WP	WEATHER PROOF
MIN	MINIMUM		

FLOOR PLAN KEY NOTES

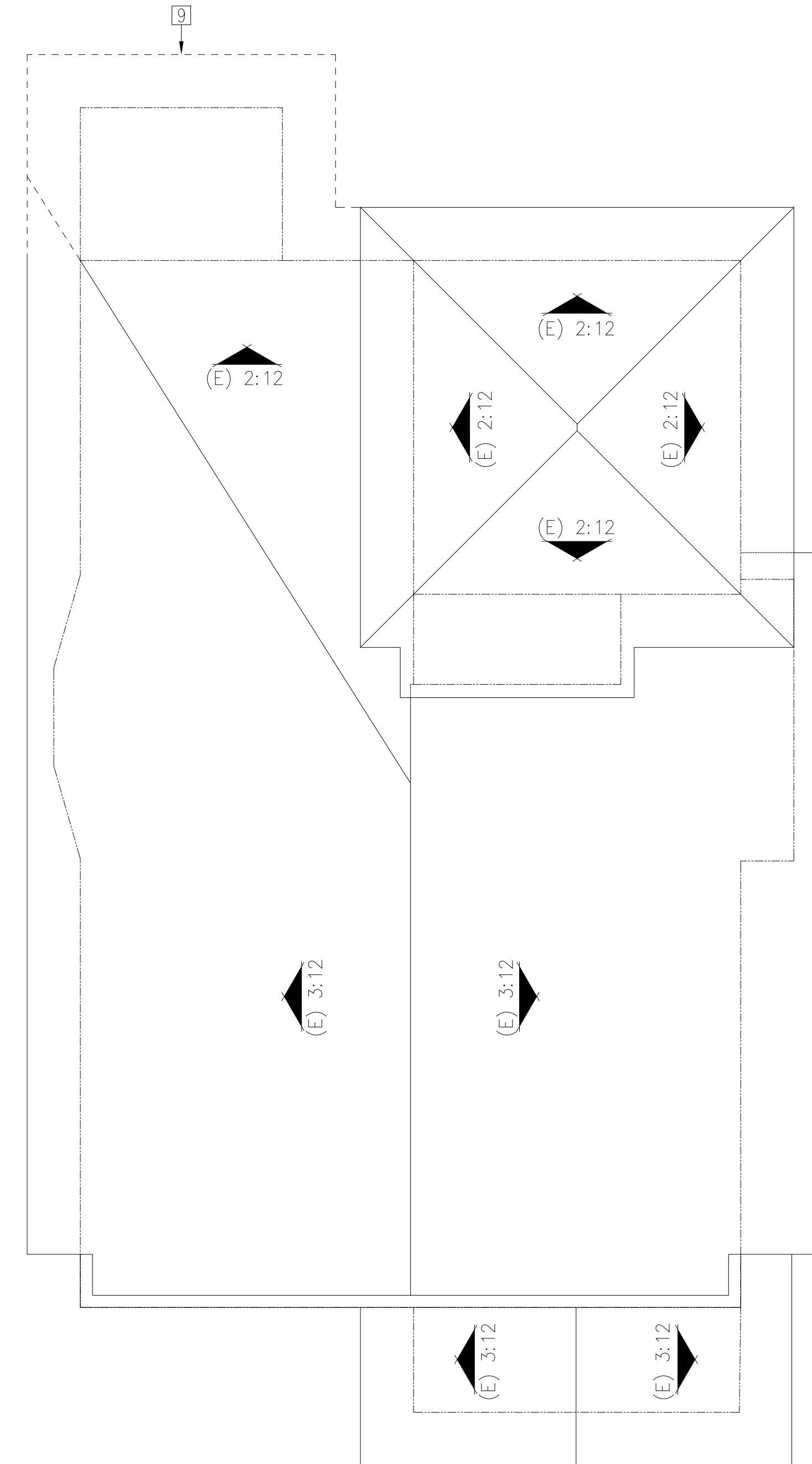
- | | | | |
|---|--------------------------------------|---|---------------------------------------|
| 1 | EXISTING 2x STUD TO BE REMAIN | 7 | EXISTING PLUMBING FIXT. TO BE REMOVED |
| 2 | EXISTING DOOR TO BE REMOVED | 8 | EXISTING STAIRS TO BE REMOVED |
| 3 | EXISTING DOOR TO BE REMOVED | 9 | EXISTING ROOF TO BE DEMOLISHED |
| 4 | EXISTING WINDOW TO BE REMOVED | | |
| 5 | EXISTING 125 AMP ELECTRIC MAIN PANEL | | |
| 6 | EXISTING WATER HEATER TO BE REPLACED | | |



EXISTING & DEMOLISHED FLOOR PLAN
Scale: 1/4"=1'-0"



EXISTING & DEMOLISHED BASEMENT PLAN
Scale: 1/4"=1'-0"



EXISTING ROOF PLAN
Scale: 1/4"=1'-0"

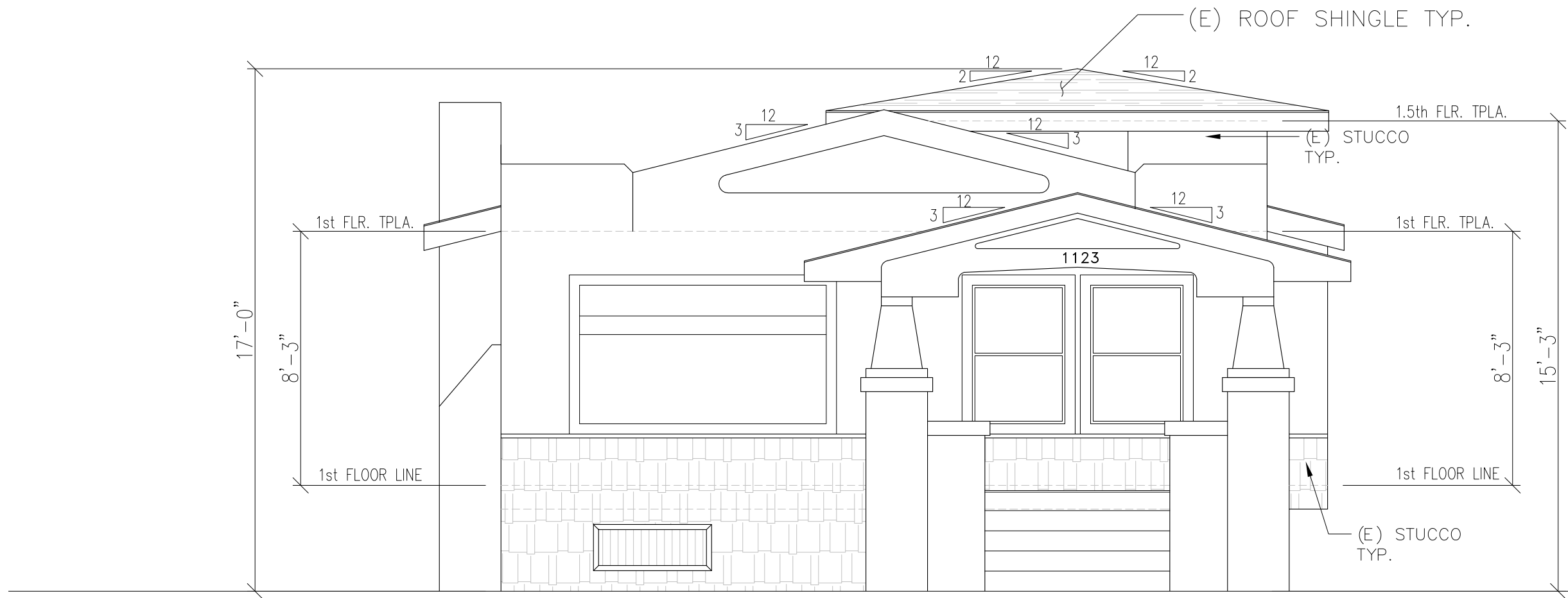
No.	Date	Description
1	09-19-2017	Preliminary Submittal
2	11-30-2017	2nd Submittal
3	02-21-2018	3rd Submittal
4	04-23-2018	4th Submittal
5		
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7		
8		
9		

Project For:
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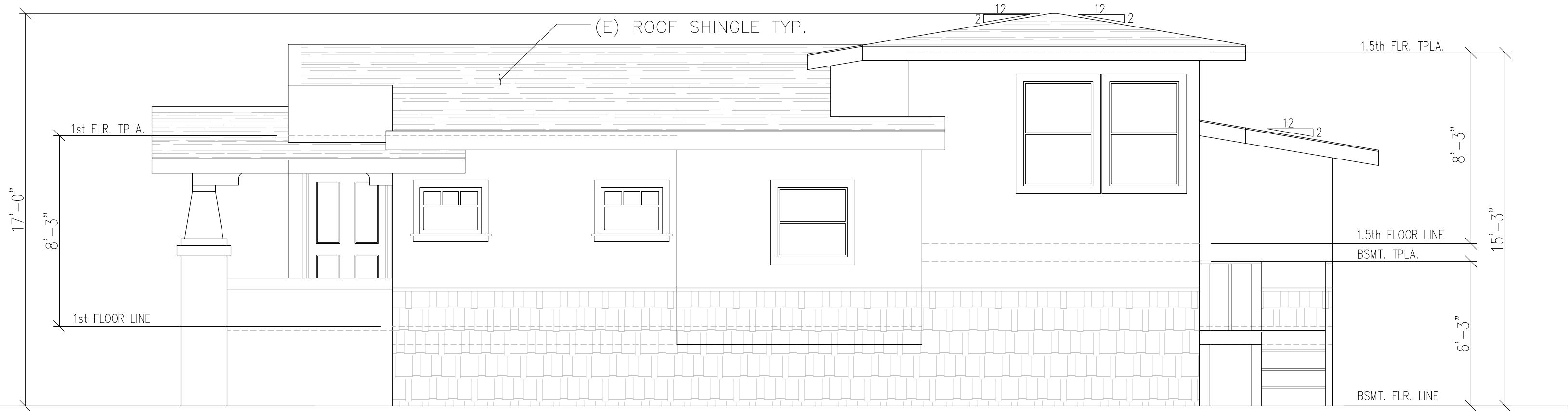
Site Plan

P&P/M: EL
SCALE: AS NOTED
DRAWN: EL
JOB: - O132
SHEET NO:

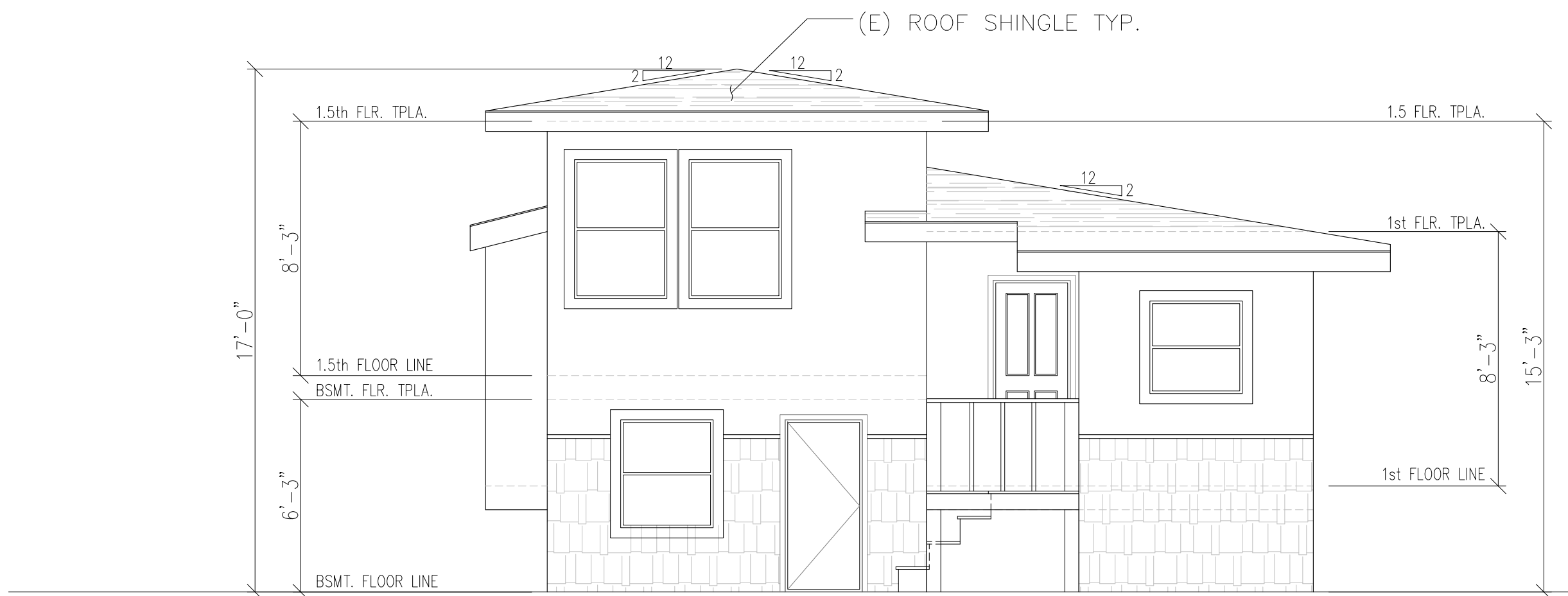
A.1



(E) FRONT ELEVATION
Scale: 1/4"=1'-0"



(E) RIGHT ELEVATION
Scale: 1/4"=1'-0"



(E) REAR ELEVATION
Scale: 1/4"=1'-0"



(E) LEFT ELEVATION
Scale: 1/4"=1'-0"

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PAPM: EL
SCALE: AS NOTED
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JOB: - O132
SHEET NO:
A.2

No.	Date	Description
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Site Plan

PAP/PM: EL

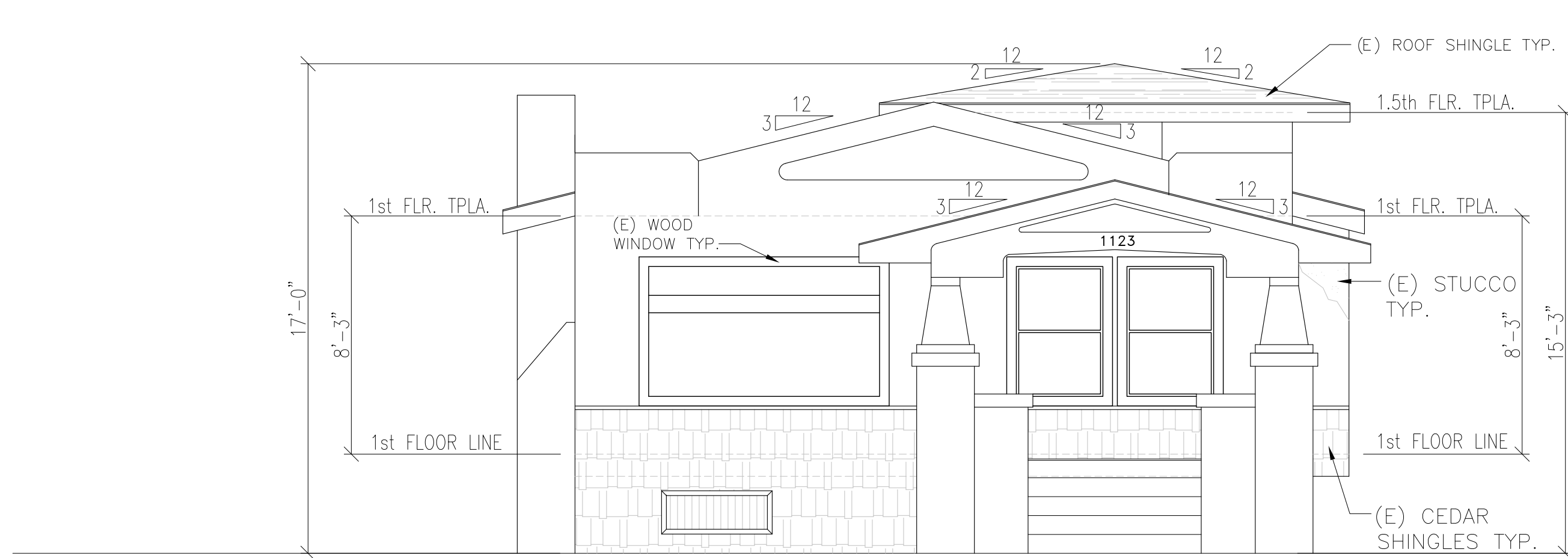
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DRAWN: EL

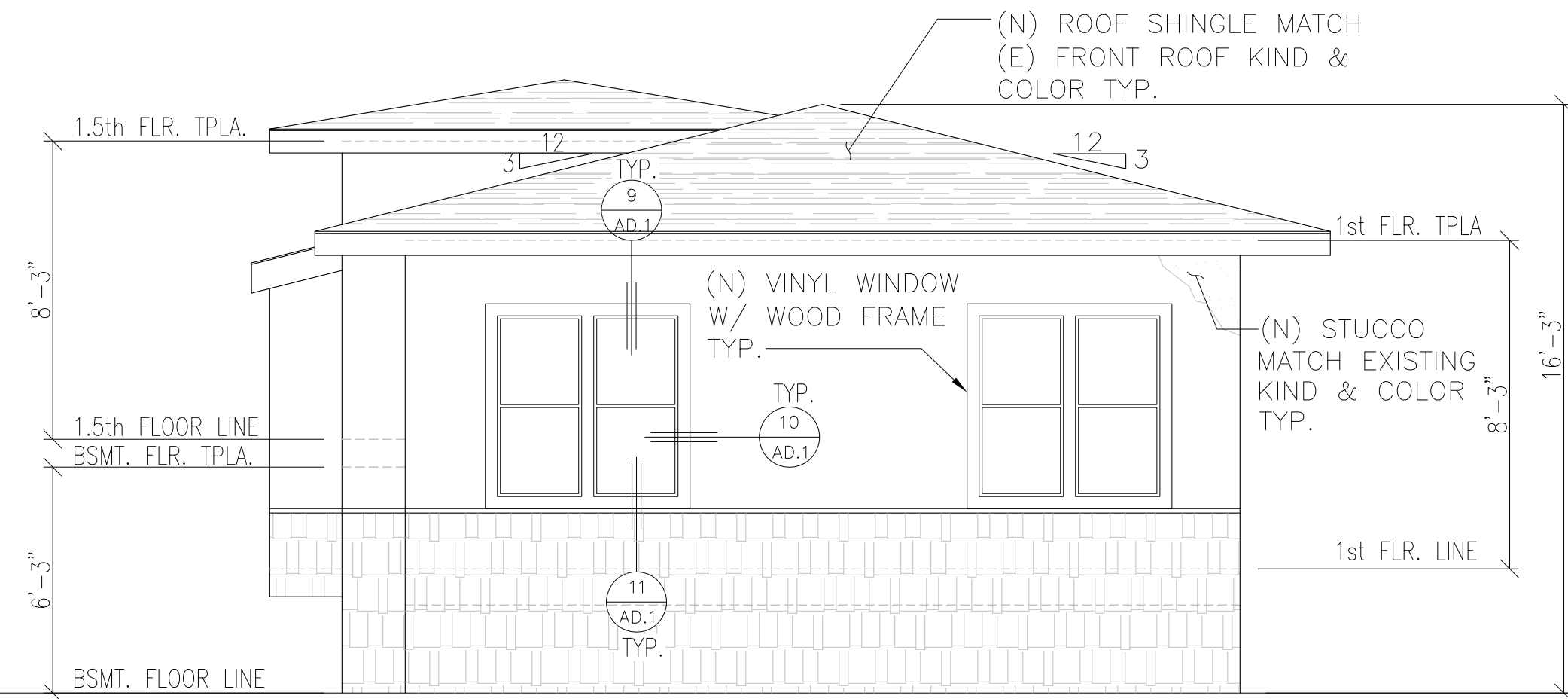
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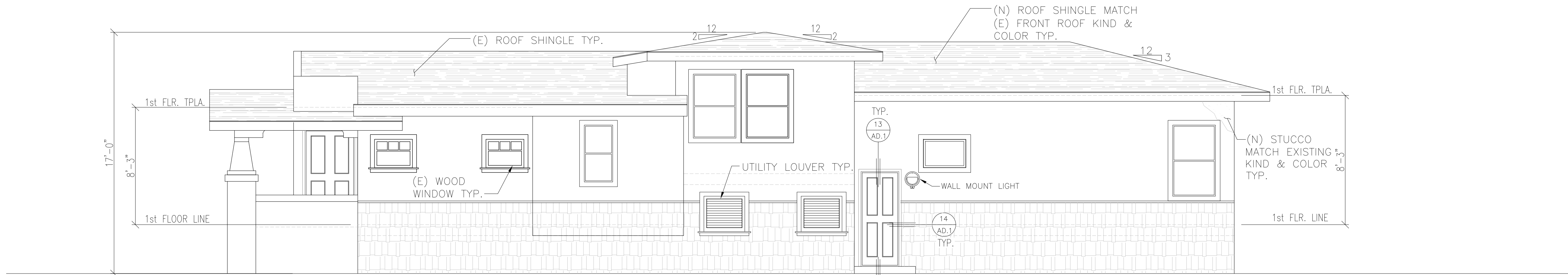
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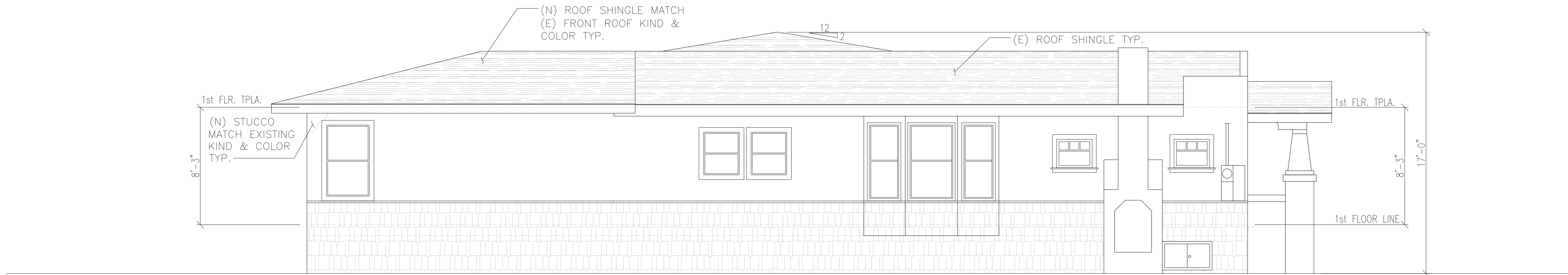
FRONT ELEVATION
Scale: 1/4"=1'-0"



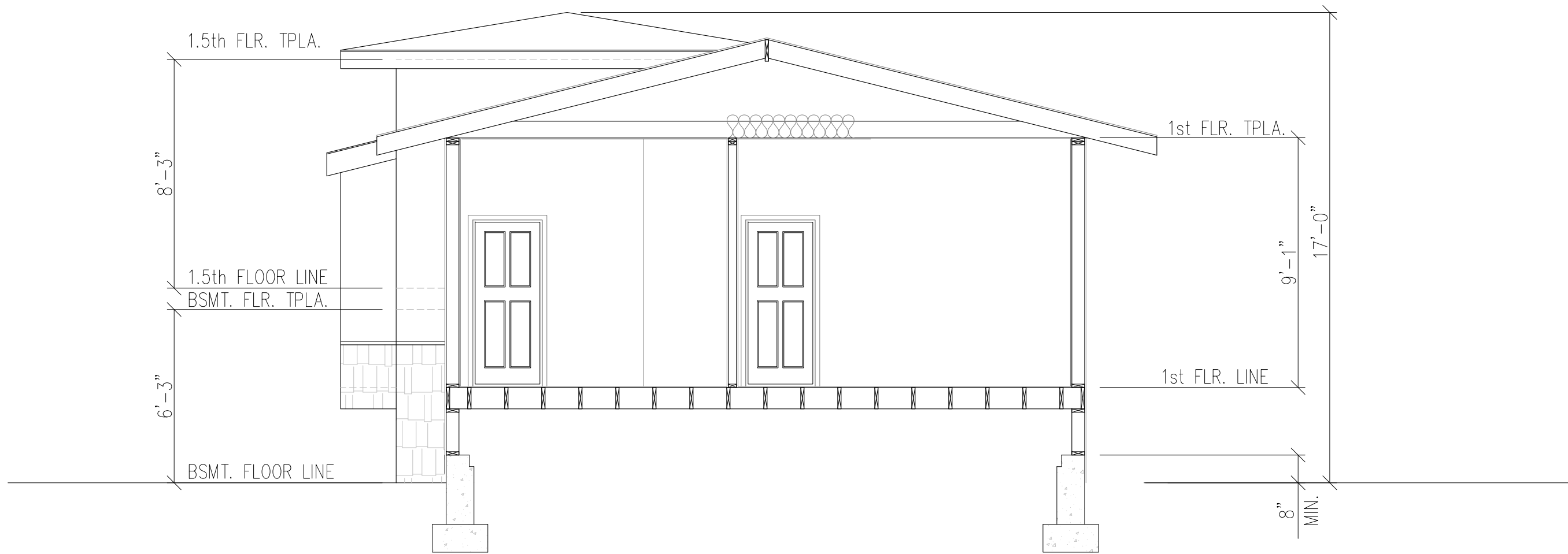
REAR ELEVATION
Scale: 1/4"=1'-0"



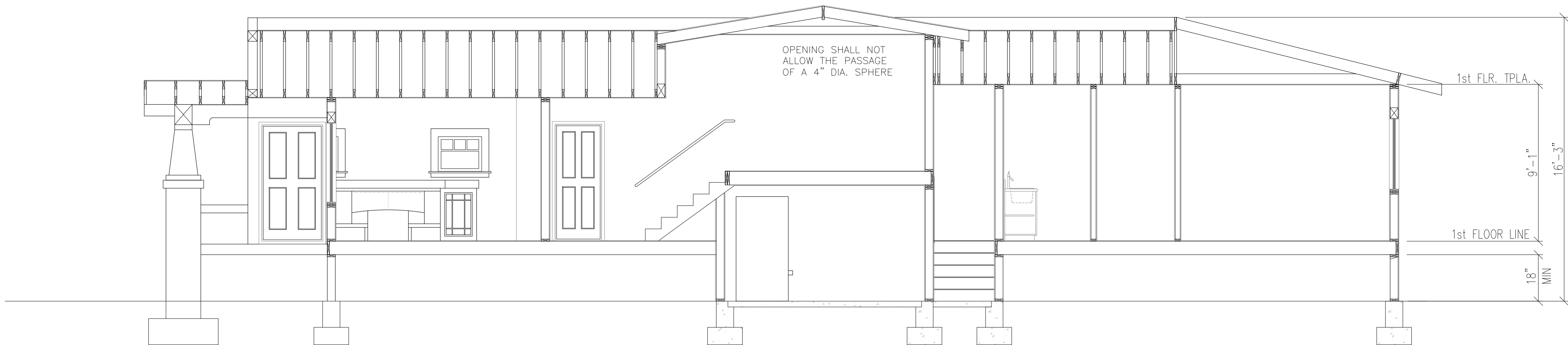
RIGHT ELEVATION
Scale: 1/4"=1'-0"



LEFT ELEVATION
Scale: 1/4"=1'-0"



1 SECTION
Scale: 1/4"=1'-0"



2 SECTION
Scale: 1/4"=1'-0"

WINDOW SCHEDULE

#	SIZE	TYPE	FENESTRATION	U-VALUE	FRAME	FINISH	HARDWARE	QUANTITY	NOTES
1	96" X 58"	FIXING	SAFETY	-	WOOD	PAINT GRADE	BRUSHED METAL	1	EXISTING
2	30" X 24"	FIXING	SAFETY	-	WOOD	PAINT GRADE	BRUSHED METAL	4	EXISTING
3	36" X 58"	SINGLE HUNG	SAFETY	-	ALUMINUM	PAINT GRADE	BRUSHED METAL	2	EXISTING
4	30" X 42"	SINGLE HUNG	SAFETY	-	ALUMINUM	PAINT GRADE	BRUSHED METAL	2	EXISTING
5	36" X 58"	SINGLE HUNG	SAFETY	-	WOOD	PAINT GRADE	BRUSHED METAL	1	EXISTING
6	30" X 58"	SINGLE HUNG	SAFETY	-	WOOD	PAINT GRADE	BRUSHED METAL	2	EXISTING
7	36" X 60"	SINGLE HUNG	SAFETY	-	WOOD	PAINT GRADE	BRUSHED METAL	1	EXISTING
8	36" X 60"	SINGLE HUNG	SAFETY	0.30	WOOD	PAINT GRADE	BRUSHED METAL	1	TEMP
9	48" X 30"	AWNING	SAFETY	0.30	VINYL	PAINT GRADE	BRUSHED METAL	1	TEMP
10	42" X 60"	SINGLE HUNG	SAFETY	0.30	VINYL	PAINT GRADE	BRUSHED METAL	2	TEMP
11	30" X 60"	SINGLE HUNG	SAFETY	0.30	VINYL	PAINT GRADE	BRUSHED METAL	4	TEMP

WINDOWS MANUFACTURED BY JELD WEN
AVAILABLE AT:
Associated Building Supply, Inc.
702 Harrison Street Ste C
Berkeley, CA 94710

WINDOW NOTES

- REFER TO PLANS FOR WINDOW SWING DIRECTIONS.
- ALL WINDOWS SHALL BE SOLID WOOD CORE AND GLAZED WITH LOW-E GLASS UNLESS IN AN AREA WHERE TEMPERED/SECURITY GLASS IS REQUIRED (SEE PLANS AND GENERAL NOTES FOR SUCH LOCATIONS)
- ALIGN TOP OF DOOR (U.N.O.) SO THAT FINISHES OF DOOR LINE UP WITH WALL FINISH OF WINDOWS (UNLESS OTHERWISE NOTED PER PLANS)
- SHOP DRAWINGS OF ALL WINDOWS MUST BE SUBMITTED AND APPROVED BY DESIGNER PRIOR TO FABRICATION.
- ALL OPERABLE WINDOWS SHALL BE EQUIPPED WITH SECURITY DEVICES.
- ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MIN. NET CLEAR OPEN AREA OF 5.7 SQ. FT. A MIN. NET CLEAR OPEN HEIGHT AREA DIMENSION OF 24" AND A MIN. NET CLEAR WIDTH AREA DIMENSION OF 20"
- WINDOWS #7, #8, #10, #11, & #15 ARE EMERGENCY ACCESS / EGRESS WINDOWS WHICH LOCATIONS PLEASE SEE A-3. FLOOR PLANS (WINDOW #7 & #8 CLEAR OPEN AREA ARE 5.76 SQ. FT. WINDOW #10 CLEAR OPEN AREA IS 6.984 SQ. FT. WINDOW #11 CLEAR OPEN AREA IS 8.638 SQ. FT. & WINDOW #15 CLEAR OPEN AREA IS 5.89 SQ. FT.)

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A.5

