

# ALAMEDA MARINA - THE LAUNCH

## DEVELOPMENT PLAN AND DESIGN REVIEW





PROJECT DESCRIPTION

THE LAUNCH IS A PART OF THE ALAMEDA MASTER PLAN LOCATED ON CLEMENT AVENUE IN BETWEEN SCHILLER AND ALAMEDA MARINA DRIVE. IT CONSISTS OF 360 MULTIFAMILY DWELLING UNITS RANGING FROM STUDIOS, 1 BEDROOM, 2 BEDROOMS, AND 8 SEPARATE WORK/LIVE UNITS. THERE ARE 416 OFF-STREET PARKING SPOTS PROVIDED FOR RESIDENTS AND GUESTS TO THE FACILITIES ALONG WITH BIKE PARKING. THIS PROJECT CONSISTS OF 3 TYPES OF CONSTRUCTION; IA (GARAGE), TYPE IIIA AND V (RESIDENTIAL).

THE LAUNCH WILL PROVIDE AN ON-SITE LEASING OFFICE FOR MANAGEMENT OF RESIDENTS AND FUTURE RESIDENTS. THERE ARE 4 INTERIOR COURTYARDS WITH POOL, SPA, DOG RUNS, KITCHENETTES, FIRE PITS, AND LOUNGE SEATING. OTHER AMENITIES IN THIS PROJECT INCLUDE ROOF DECKS WITH BBQ AND FIRE PITS, A FITNESS ROOM, AND CLUB ROOM.

AT THE STREET LEVEL, THE BUILDING GIVES CONNECTION FROM CLEMENT TO THE BAY TRAIL AND OTHER MARINA AMENITIES THROUGH A DOUBLE HEIGHT, TWENTY FEET WIDE PEDESTRIAN CORRIDOR. THE CORRIDOR TRAVELS ALONG THE AMENITY BAR AND INTERIOR COURTYARDS OF THE PROJECT ALLOWING ALL GREAT ASPECTS OF THIS SITE AND PROJECT BUILDING TO CONNECT WITH ONE ANOTHER.

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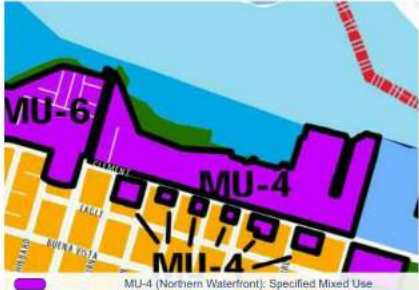




Vicinity Map



City Land Use Map



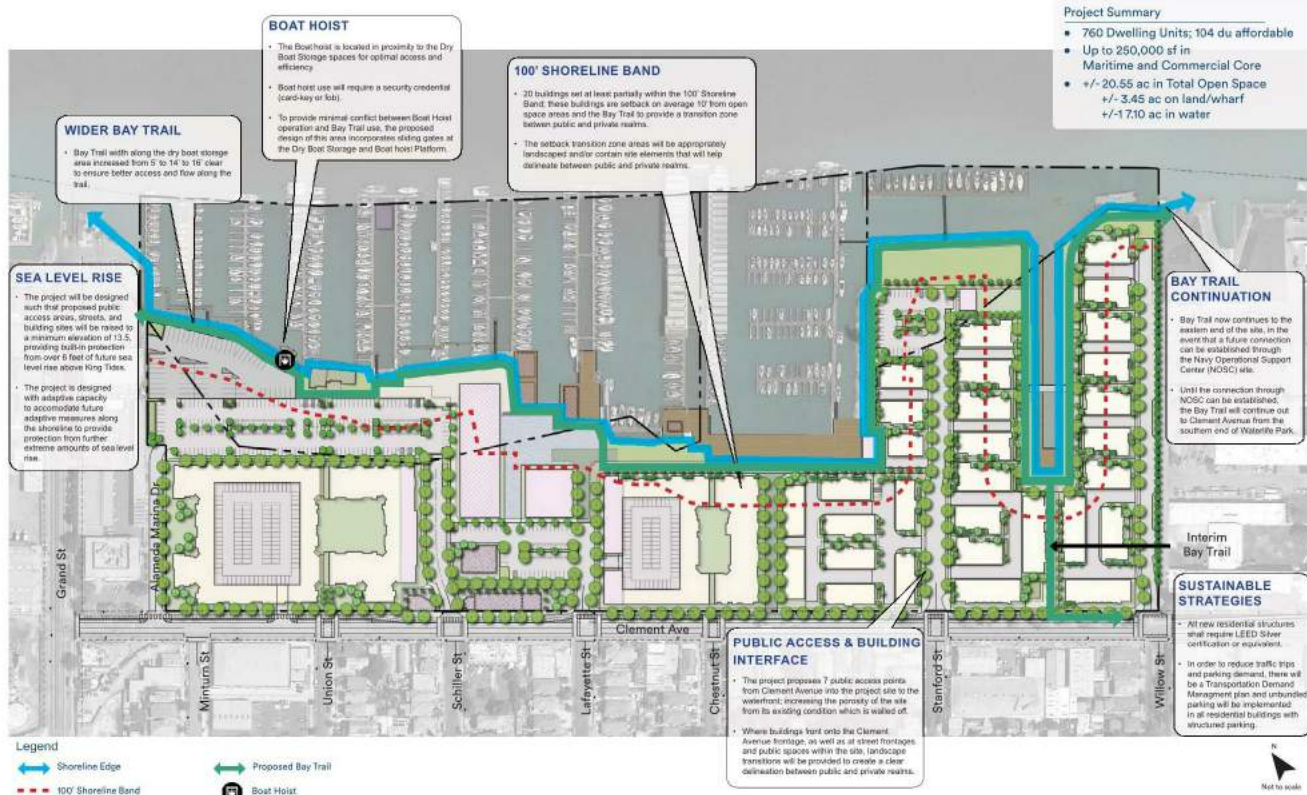
City General Plan Map



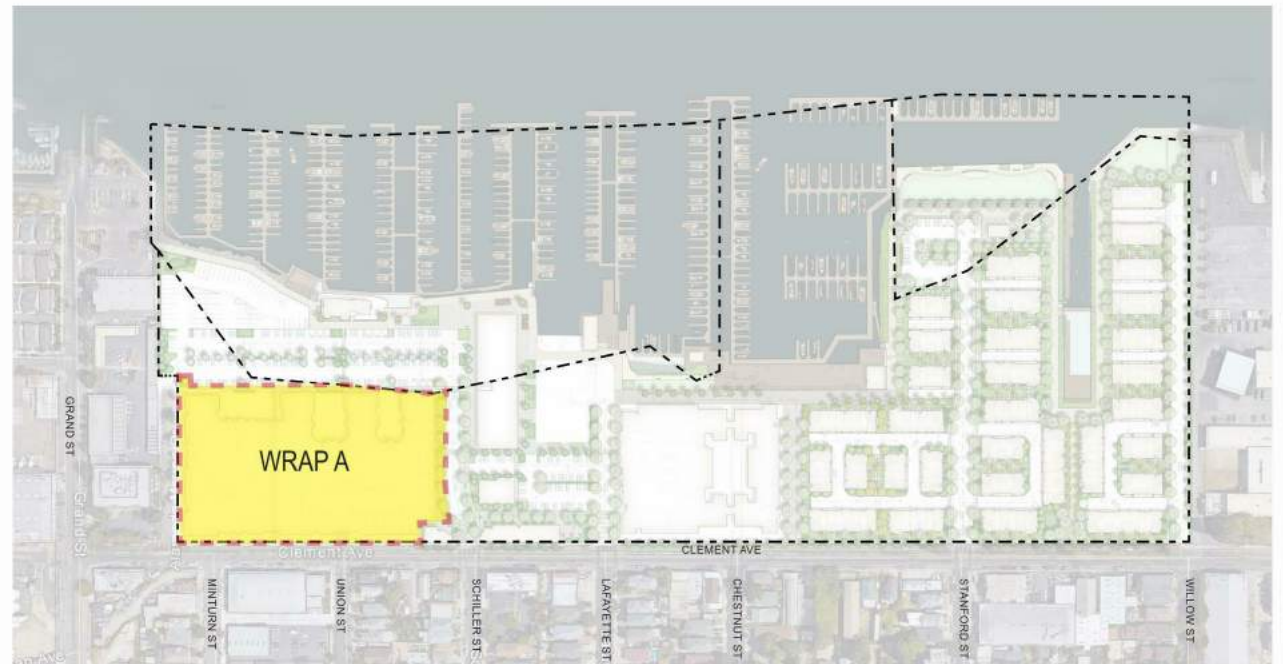
PROJECT TIMELINE BACKGROUND



MAY 2019 PLANNING BOARD APPROVED OPEN SPACE DEVELOPMENT PLAN

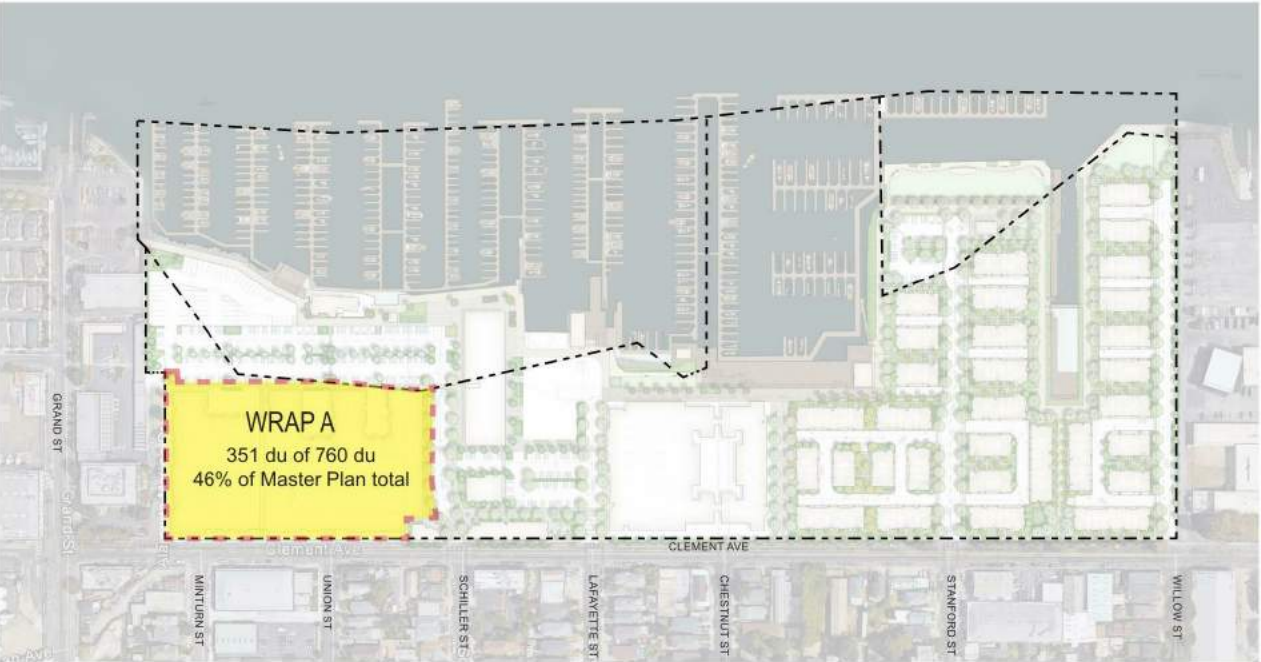


JULY 2018 CITY COUNCIL APPROVED MASTER PLAN



MASTER PLAN OVERALL SITE PLAN: WRAP A LOCATION





UNIVERSAL RESIDENTIAL DESIGN ORDINANCE OF MASTER PLAN DIAGRAM

UNIVERSAL RESIDENTIAL DESIGN ORDINANCE (A.M.C 30-18)	MASTER PLAN	WRAP A
<p>a. <i>Visitability.</i> To ensure that all new residential dwellings units subject to the provisions of this section meet the basic needs of a wide range of guests to enter and use critical portions of the home, all units subject to this section shall include the following features:</p> <ol style="list-style-type: none"><li>1. An accessible exterior access to an accessible entry;</li><li>2. An accessible interior access from the accessible entry to an accessible powder room, accessible common use room or an accessible bedroom, and adaptable internal stairs;</li><li>3. Blocking within the walls to support future installation of grab bar/hand rails in all bathrooms; and</li><li>4. If ground floor open space is provided, then an accessible path of travel to the open space shall be provided.</li></ol>	<p>The goal of the Master Plan is to have as many of the residential units meet visitability.</p>	<p>100% of the units proposed in Wrap A meet the visitability requirement. Per CBC Ch.11A, the following accessible architectural elements will be provided in all units:</p> <ul style="list-style-type: none"><li>- Clear floor space and accessible path of travel to accessible features</li><li>- In-wall blocking installed at accessible plumbing fixtures for future grab bar/hand rail installation in bathrooms</li><li>- Removable base cabinets</li><li>- Accessible height countertops</li><li>- Two 15-inch breadboards or work surfaces in kitchen areas</li></ul> <p>See unit plan sheets AP4.00, AP4.01, and AP4.02 for more detailed information</p>
<p>b. <i>Universal Design.</i> To ensure that a share of all new dwelling units are usable by the greatest number of people with the widest reasonable range of abilities or disabilities, to the greatest extent feasible, thirty (30%) percent of all new residential units in a residential development of five (5) or more units shall include the following features:</p> <ol style="list-style-type: none"><li>1. An accessible exterior access to an accessible entry;</li><li>2. An accessible interior access from the accessible entry to an accessible bathroom, an accessible common use room, an accessible bedroom, accessible kitchen, accessible common or private open space; accessible laundry facility, and adaptable internal stairs;</li><li>3. In determining the number of universally designed units required by this subsection, any decimal fraction less than 0.5 shall be rounded down to the nearest whole number, and any decimal fraction of 0.5 or more shall be rounded up to the nearest whole number.</li></ol>	<p>Master Plan max unit total: 760 du</p> <p>Universal Design Units required: 760 du x 0.30 = 228 du</p> <p>Total Universal Design Units: Wrap A: 360 du (47%)</p>	<p>Total Wrap A units: 360 du</p> <p>100% of the units proposed in Wrap A meet the Universal Design requirements; each unit is accessible via a common corridor that is elevator served.</p>
<p>c. <i>Optional Features.</i> Any residential development that includes an on-site sales office in which a buyer may purchase a unit prior to completion of construction of the unit must offer buyers the opportunity to select and purchase additional universal design features from a pre-approved list of offered features. The seller of the residential dwelling units shall prepare a brochure or checklist of the additional universal design features and pricing for the features that will be offered. The brochure or checklist shall be reviewed and pre-approved by the Planning Board concurrently with the discretionary permits for the development. The office shall have an accessible exterior access to the primary entrance, and be fully accessible per the Americans with Disabilities Act (ADA).</p>	<p>N/A</p>	<p>Wrap A residential is for-rent.</p>



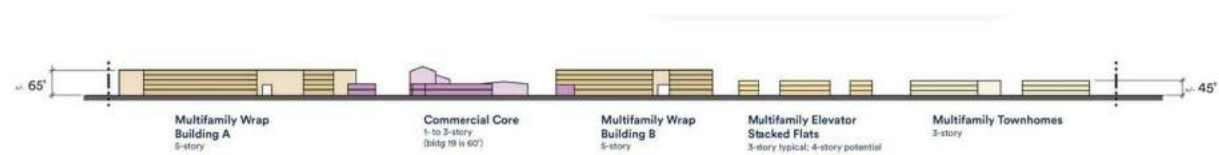


Exhibit 6.6 - Allowable Building Height Diagram

MASTER PLAN BUILDING HEIGHT EXHIBIT

7 TYPOLOGIES AND DESIGN GUIDELINES

DESIGN CHARACTER IMAGERY



Building character example images are for reference only

ALAMEDA MARINA MASTER PLAN JULY 2018

7 TYPOLOGIES AND DESIGN GUIDELINES

DESIGN CHARACTER IMAGERY



Building character example images are for reference only

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MASTER PLAN DESIGN CHARACTER IMAGERY

ALAMEDA MARINA MASTER PLAN DEVELOPMENT STANDARDS (CH.6)	PROPOSED						
<b>VISUAL CORRIDOR:</b> Visual corridors from Clement to the waterfront through Wrap A and Wrap B will meet the following standards: <ul style="list-style-type: none"><li>Two-story, 20' wide</li></ul>	<b>VISUAL CORRIDOR:</b>  20' wide, 18' tall visual corridor						
<b>BUILDING SETBACKS:</b> Clement Avenue: 12'-0" minimum Internal Street: 8'-0" minimum Internal Park: 10'-0" minimum	<b>BUILDING SETBACKS:</b> Clement Avenue: 15'-0" Internal Street: 8'-0" (along Alameda Marina Dr. & Schiller Street) Internal Park: N/A						
<b>BUILDING HEIGHT:</b> All new construction shall have a maximum height of 45' to 65', as height is defined in Chapter 30-2 of the Alameda Municipal Code, as shown on Alameda Master Plan exhibit 6.6.	<b>BUILDING HEIGHT:</b>  56'-5"						
<b>PARKING:</b> Residential Parking: Each residential building with parking contained within a common shared structure shall provide a maximum of 1.5 spaces for each unit in the building. Townhomes are exempt from the Residential Parking provisions and may be constructed with an enclosed garage that holds a maximum of 2 cars, which not be managed by the Parking Owner Operator (PO).  Unbundled parking will be implemented in all residential buildings with structured parking.  Non-Residential Parking: Approximately 348 public parking spaces shall be provided, managed and marked for use by marina patrons, maritime and commercial patrons, and open space users.	<b>PARKING:</b> Residential Parking:  <table><tr><td>STANDARD:</td><td>397</td></tr><tr><td>VAN/ACCESSIBLE:</td><td>19</td></tr><tr><td><b>TOTAL:</b></td><td><b>416</b></td></tr></table>  Non-Residential Parking: N/A	STANDARD:	397	VAN/ACCESSIBLE:	19	<b>TOTAL:</b>	<b>416</b>
STANDARD:	397						
VAN/ACCESSIBLE:	19						
<b>TOTAL:</b>	<b>416</b>						



ALAMEDA MARINA MASTER PLAN BUILDING DESIGN GUIDELINES (CH.7.2)	PROPOSED
<b>SITING &amp; ORIENTATION:</b> <ul style="list-style-type: none"><li>• Orient building fronts toward the streets, pedestrian promenades/paths, waterfront and other public spaces, wherever possible.</li><li>• Establish a consistent alignment of building façades that frame the edges of the street, pedestrian promenades/paths and other public spaces. Street-level uses, primary building entries, storefronts and building lobbies must address the street frontage.</li><li>• Where ground floor retail/commercial space exists a minimum of 70% of the frontage facing onto a street, paseo, or open space shall be at the property line or minimum setback.</li><li>• Arrange buildings to create a variety of outdoor spaces such as courtyards, pathways and other common open space that encourage social activity and promote pedestrian connectivity.</li><li>• Orient buildings to maximize views of the waterfront and open space.</li><li>• Position buildings to optimize daylight access and resident privacy.</li><li>• Consider passive solar design when locating windows and overhangs.</li><li>• Design common outdoor spaces between buildings to be functional, provide appropriate amenities and site furnishing, and incorporate interpretive maritime elements at key locations.</li></ul>	<b>SITING &amp; ORIENTATION:</b> <p>Wrap A is designed with a prominent articulated building edge along Clement Ave setback 15' from the sidewalk to provide relief to the public walk while framing the street.</p> <p>The building design provides four courtyards: 1 large central internal courtyard and 3 along the northern edge creating a variety of outdoor spaces while maximizing the number of units with waterfront views.</p>
<b>BUILDING DESIGN:</b> <ul style="list-style-type: none"><li>• There shall be clear glazing facades with a minimum of 60% of the linear frontage (i.e. not height or area) at all retail/commercial buildings</li><li>• Ground floors at retail/commercial buildings shall have a minimum glazing/opening height of 14'.</li><li>• All ground floor retail space shall have a minimum height of 14'.</li></ul>	<b>BUILDING DESIGN:</b> <p>Work/Live is proposed along Schiller Street. These units are 18 ft tall. See A2.11 and A2.12.</p>
<b>ENTRIES:</b> <ul style="list-style-type: none"><li>• Orient building entries toward public spaces such as streets, pedestrian promenades/paths, waterfront and other public spaces, whenever feasible.</li><li>• Building entries shall be the prominent feature of the front façades.</li><li>• Incorporate design features such as entry stoops, porches, awnings or other coverings, hedge landscaping, etc. scaled to a pedestrian level experience for residential buildings to differentiate between public and private spaces along the street.</li><li>• Identify commercial building entrances by incorporating recessed entries, awnings and/or other distinct architectural elements.</li></ul>	<b>ENTRIES:</b> <p>The main lobby and building entry faces Clement Avenue located in between Mintum &amp; Union Street next to the visual corridor and courtyard space. Building signage of "The Launch" helps mark the entry. See AP1.02.</p>
<b>MASSING &amp; ARTICULATION:</b> <ul style="list-style-type: none"><li>• Building massing and form shall be appropriate to the architectural style.</li><li>• Front building elevations and elevations facing streets, pedestrian promenades/paths, waterfront and other public spaces with public right of way less than 50' shall include plane breaks/modulation on the upper stories to create a more pedestrian friendly scale. Offset forms may include vertical breaks between stories or horizontal breaks between spaces, and shall incorporate changes in materials and colors as appropriate to the building style. Stepped massing and layered wall planes may incorporate cantilevered masses or balconies, recessed masses or inset balconies, and volume spaces.</li><li>• Ground-floor façades shall be designed using articulation and material/color variations to create a visually interesting and varied pedestrian experience.</li><li>• Upper-floor façades shall be differentiated from the ground floor façades by a transition line, which may be in the form of an articulated trim course, a shallow recess or cantilever, a continuous balcony, or other means appropriate to the building style, accompanied by a change of window size/rhythm, materials, colors or textures.</li><li>• Lower height elements, such as recessed massing above ground floor, porches, entry features, bay windows, etc., are encouraged to articulate massing, establish pedestrian scale and add variety to the streetscene.</li><li>• Use projections to emphasize design features such as entries, primary windows or outdoor spaces. Projections may include, but are not limited to, awnings, balconies, window/door surrounds, bay windows or dormers, roof overhangs, shed roof elements and tower elements.</li><li>• Long walls with no windows or entries shall be articulated by changes in plane and/or material to break up the monotonous planes.</li></ul>	<b>MASSING &amp; ARTICULATION:</b> <p>The building massing provides multiple breaks in plane both vertical and horizontal. Refer to renderings on AP1.00, AP1.01 and plans AP2.11-AP2.15. Using 4 different materials stucco, lap siding, metal panel, and metal siding at these transitions allows the building to express the differences in scale. The building creates a base, middle, and top form by having bay windows, balconies, and material change. These features create a well articulated facade on all sides of the building and in the interior courtyards thus providing a unique experience for everyone both residents and visitors.</p>

ALAMEDA MARINA MASTER PLAN BUILDING DESIGN GUIDELINES (CH.7.2)	PROPOSED
<b>ROOF CONSIDERATIONS:</b> <ul style="list-style-type: none"><li>• Roof form, ridgelines, pitch, materials and colors shall be compatible with the architectural style of the building.</li><li>• Variety in roof forms and/or building/ridge heights is encouraged along the streets, pedestrian promenades/paths, waterfront, and other public spaces to provide visual interest.</li><li>• Where flat roofs are used, the buildings are encouraged to have pronounced parapet treatments complementary to the design vocabulary of the building.</li></ul>	<b>ROOF CONSIDERATIONS:</b> <p>Refer to Elevations on AP1.10 and AP1.11 to see the multiple parapet heights that are shown. These parapets undulate along the facades and they include all 4 exterior materials to reflect the architectural design below.</p>
<b>MATERIALS &amp; COLORS:</b> <ul style="list-style-type: none"><li>• Incorporate a range of colors and materials that are complementary to the building's architectural style to produce diversity and provide visual interest.</li><li>• Use durable, non-corrosive building materials that are appropriate to the marina environment, including, but are not limited to, stucco, wood, brick, tile, stone, metal and glass.</li><li>• Buildings are encouraged to incorporate materials salvaged from the site.</li><li>• The building color palette shall be appropriate to the waterfront environment and compatible with the existing environment. Variations in shade or tone that are reflective of nature can be used to enhance forms and heighten interest.</li><li>• Changes in materials and colors shall occur at interior corners of the building façades.</li></ul>	<b>MATERIALS &amp; COLORS:</b> <p>Refer to AP3.02 for materials. There are 4 material changes on the facades of this building and another change in color within the pedestrian corridor. The materials include stucco (2 colors), lap siding, metal siding, and metal panels. The colors of these materials reflect soft nature tones, and then provide a pop of color throughout the pedestrian corridor and main entry of the building. Refer to AP1.11.</p>
<b>CORNER TREATMENTS:</b> <ul style="list-style-type: none"><li>• Corner buildings are encouraged to have enhanced treatments on both street-facing sides, which may include wrap-around porches or balconies, recessed stories above the ground floor, feature windows, awnings, tower elements, or other façade detailing.</li><li>• At corner buildings, primary facade materials and details shall wrap around to side elevations.</li><li>• The primary entry to corner buildings are encouraged to be located at the corner.</li></ul>	<b>CORNER TREATMENTS:</b> <p>Refer to AP1.00, AP1.01, and AP1.11. At each corner of the building there is a unique condition including wrap around balconies, change in building stories, material changes, and architectural pop-outs.</p>
<b>ALLEY TREATMENT:</b> <ul style="list-style-type: none"><li>• Plane offsets and stepped massing (recessed or cantilevered) along the alleys are encouraged to provide visual interest and articulation.</li><li>• Consider incorporating architectural projections such as balconies, bays, eaves or other elements.</li><li>• Use similar material window trims, colors and appropriate details as the front elevation.</li><li>• Residential buildings shall use enhanced garage door patterns or finishes that complement the building's design vocabulary, as appropriate.</li><li>• Provide planting areas between garage doors where feasible to soften the alley environment.</li></ul>	<b>ALLEY TREATMENT:</b> <p>N/A</p>
<b>SURROUNDING AREA CHARACTER:</b> <ul style="list-style-type: none"><li>• All new development should complement the building forms, architectural styles and landscape patterns of neighboring development. This may be accomplished through a combination of massing, materials, colors, or details.</li><li>• New development should respect existing historic or potentially historic structures in the immediate area through the use of similar materials and proportions and the avoidance of overwhelming scale and visual obstruction.</li><li>• Transitions between existing and new buildings should be gradual. The height and mass of new projects should not create abrupt changes from those of existing buildings.</li></ul>	<b>SURROUNDING AREA CHARACTER:</b> <p>Refer to AP0.07 to review historical context of the historic building closest to our site. Wrap A is designed to respect this historic building in providing a setback and additional access at the side walk. The landscape design provides a unique experience at the corner to accommodate both buildings needs.</p>



ALAMEDA MARINA MASTER PLAN BUILDING DESIGN GUIDELINES (CH.7.2)	PROPOSED
<b>SITE CHARACTER:</b> <ul style="list-style-type: none"><li>Natural amenities such as views, the Bay Trail, and similar features unique to the site shall be preserved and incorporated into development proposals, if feasible.</li><li>Some structures which are historic or are otherwise distinctive should also be preserved and incorporated into development proposals where feasible and appropriate.</li><li>Buildings should not back on to existing or potential amenities. High activity areas, such as building entries, restaurant dining areas, or major pedestrian routes should be oriented to create a connection between the amenity and the project.</li></ul>	<b>SITE CHARACTER:</b> <p>Refer to AP2.11 to review the 1st Floor that provides a pedestrian corridor accessing the amenities of Wrap A along with connection for the public to the Bay Trail/marina. Refer to AP1.04 showing 1 of 2 unique roof decks providing amazing views of the marina.</p>
<b>INTERFACES:</b> <ul style="list-style-type: none"><li>Loading areas, access and circulation driveways, trash, and storage areas and rooftop equipment should be located as far as possible from adjacent residence and should never be located next to residential properties without fully mitigating their negative effects.</li><li>Adjacent residential and non-residential uses should be as segregated as is necessary to maintain a livable residential environment by landscaping or building orientation and activity limitations</li><li>However, when adjacent residential and non-residential uses can mutually profit from connection rather than separation, applicable connective elements such as walkways, common landscaped areas, building orientation, and unfenced property lines should be employed, and are strongly encouraged.</li><li>Parking lots for commercial uses should have no access from or to an otherwise intact residential street and should be separated from the residential street.</li></ul>	<b>INTERFACES:</b> <p>Wrap A was designed to provide a garage that is surrounded by the multi family units, which allows the garage to be hidden behind the beautiful architecture of the facade. The loading area and trash pick up is planned within the garage. The work/live units are on Schiller st to provide direct access to the street as well.</p>
<b>FUNCTIONAL ELEMENTS:</b> <ul style="list-style-type: none"><li>Gutters and downspouts shall be integrated into the design of the building. Exposed gutters and downspouts must be colored to match or complement the surface to which they are attached.</li><li>Both roof-mounted and ground-mounted mechanical equipment such as air conditioning/heating equipment, pool/spa equipment, etc. (excluding solar panels) shall be screened from view of streets, pedestrian promenades/paths, and other public spaces.</li><li>Mechanical devices such as exhaust fans, vents and pipes shall be painted to match or compliment the colors of the surfaces to which they are attached.</li></ul>	<b>FUNCTIONAL ELEMENTS:</b> <p>Refer to A2.15 and A2.16 for roof plans showing internal drains at all the street facing facades and downspouts at the interior courtyards. Roof mounted equipment will be placed in the center of the roof hidden behind the parapet walls.</p>
<b>REFUSE COLLECTION, SERVICE &amp; LOADING AREAS:</b> <ul style="list-style-type: none"><li>Locate loading and service areas on the rear or the side of the building away from primary street facades and public view, or screen such areas from public view.</li><li>Locate loading and service areas in a manner that minimize conflicts with pedestrian and vehicular circulation.</li><li>Outdoor refuse collection areas shall be enclosed and screened from view by walls or fences, and shall not be located adjacent to public streets.</li><li>Fences and walls that provide screening shall be designed as an integral part of the building design and be constructed of durable materials, with textures and colors that are complementary to the adjacent buildings.</li></ul>	<b>REFUSE COLLECTION, SERVICE &amp; LOADING AREAS:</b> <p>Wrap A was designed to provide a garage that is surrounded by the multi family units, which allows the garage to be hidden behind the beautiful architecture of the facade. The loading area and trash pick up is planned within the garage.</p>
<b>SUSTAINABLE STRATEGIES:</b> <p>All new residential structures shall require LEED Silver certification or equivalent as part of the project's sustainability vision implementation. Sustainable building techniques may include the use of recycled materials where appropriate, high efficiency energy standards, incorporation of renewable power generation.</p>	<b>SUSTAINABLE STRATEGIES:</b> <p>Wrap A will be designed to comply with these requirements.</p>



UNIT TYPE	NAME	DESCRIPTION	OPEN AREA	Unit Net Rentable						Private Open Space	Unit	Percent	Rentable Area	
OCCUPANCY R-2						1ST	2ND	3RD	4TH	5TH	Total	Total	of Total Units	by Type
STUDIO	S1	STUDIO	0		527	4	4	4	4		0	16	4.44%	8,432
	S2	STUDIO	0		544	9	12	11	11	4	0	47	13.06%	25,568
	S3	STUDIO	0		595			1	1		0	2	0.56%	1,190
STUDIO SUB-TOTAL						7,004	8,636	8,687	8,687	2,176	0	65	18.06%	35,190
1 BEDROOM	A1	1 BDRM/ 1 BATH	0		775	1	1	7	7	6	0	22	6.11%	17,050
	A2	1 BDRM/ 1 BATH	43		800	26	27	30	30	10	5,289	123	34.17%	98,400
	A3	1 BDRM/ 1 BATH	0		875	1	1	2	2		0	6	1.67%	5,250
	A4	1 BDRM/ 1 BATH	75		804	12	12	14	14	10	4,650	62	17.22%	49,848
	A5	1 BDRM/ 1 BATH	0		800						0	0	0.00%	0
	A6	1 BDRM/ 1 BATH	75		804	1	1	3	3	1	675	9	2.50%	7,236
	A7	1 BDRM/ 1 BATH	0		1,051			2	2		0	4	1.11%	4,204
	A8	1 BDRM/ 1 BATH	0		1,240			1	1	1	0	3	0.83%	3,720
	A9	1 BDRM/ 1 BATH	0		827	1					0	1	0.28%	827
1 BDRM SUB-TOTAL						33,729	33,702	48,185	48,185	22,734	10,614	230	63.89%	186,535
2 BEDROOM	B1	2 BDRM/ 2 BATH	45		1,152	4	4	4	4	1	765	17	4.72%	19,584
	B2	2 BDRM/ 2 BATH	0		1,156	3	3	3	2	1	0	12	3.33%	13,872
	B3	2 BDRM/ 2 BATH	0		1,218	1	2	2	2	2	0	9	2.50%	10,962
	B4	2 BDRM/ 2 BATH	0		1,326	1	1	1	1		0	4	1.11%	5,304
	B5	2 BDRM/ 2 BATH	0		1,285	2	2	2	2	1	0	9	2.50%	11,565
	B6	2 BDRM/ 2 BATH	0		1,235			1	1	1	0	3	0.83%	3,705
	B7	2 BDRM/ 2 BATH	36		1,260			1	1		72	2	0.56%	2,520
	B8	2 BDRM/ 2 BATH	0		1,116			1	1	1	0	3	0.83%	3,348
	B9	2 BDRM/ 2 BATH	0		1,185			1	1	1	0	3	0.83%	3,555
	B10	2 BDRM/ 2 BATH	0		1,410			1	1	1	0	3	0.83%	4,230
2 BDRM SUB-TOTAL						13,190	14,408	20,614	19,458	10,975	837	65	18.06%	78,645
TOTAL UNITS (OCCUPANCY R-2)				Avg SqFt	834	53,923	56,746	77,486	76,330	35,885	11,451	360	100.00%	300,370
OCCUPANCY B														
WORK/LIVE	D1	-	0		1,131	5					0	5	62.50%	5,655
	D2	-	0		1,980	1					0	1	12.50%	1,980
	D3	-	0		1,311	1					0	1	12.50%	1,311
	D4	-	0		1,131	1					0	1	12.50%	1,131
WORK/LIVE SUB-TOTAL						10,077	0	0	0	0	0	8	100.00%	10,077
TOTAL WORK/LIVE UNITS (OCCUPANCY B)				Avg SqFt	1,260	10,077	0	0	0	0	0	8	100.00%	10,077
Net rentable residential area is measured center of demising wall, ext face of stud of ext wall, ext face of stud of corridor wall, excl decks														
Net rentable Residential by floor (excl decks)						64,000	56,746	77,486	76,330	35,885	310,447			
Gross (Including Corridors, Excluding Decks)							74,495	69,183	89,210	89,210	39,717		TYPE III	361,815
Amenity (Including Leasing)							9,689						TYPE III	9,689
Garage							28,524	28,524	28,524	28,524	24,304		TYPE I	138,400
Total Gross							112,708	97,707	117,734	117,734	64,021			509,904
OFF STREET PARKING - RESIDENTIAL														
PROVIDED RESIDENTIAL PARKING								Compact stalls will be used in accordance with local code the amount to be determined during building permit. Also EV stalls will be in compliance with local code at that time. <div>TOTAL PROVIDED416PARKING RATIO PROVIDED1.12</div>						
FLOOR	STANDARD	ACCESS	VAN ACCESS				TOTAL							
1st	73	1	2				76							
2nd	88	2	2				92							
3rd	88	2	2				92							
4th	88	2	2				92							
5th	60	2	2				64							
TOTAL	397	9	10				416							
PROVIDED BIKE PARKING (OCCUPANCY R-2)							PROVIDED BIKE PARKING (OCCUPANCY B)							
LONG TERM REQUIRED		1 SPACES PER UNIT = 361 SPACES REQUIRED					LONG TERM REQUIRED		8 SPACES PER UNIT = 8 SPACES REQUIRED					
LONG TERM PROPOSED		361 SPACES PROVIDED					LONG TERM PROPOSED		8 SPACES PROVIDED					
SHORT TERM REQUIRED		426 BEDROOMS x 0.1 SPACES PER BEDROOM = 42.6 SPACES					SHORT TERM REQUIRED		8 BEDROOMS x 0.1 SPACES PER BEDROOM = 0.8 SPACES					
SHORT TERM PROPOSED		43 SPACES PROVIDED					SHORT TERM PROPOSED		1 SPACES PROVIDED					
TOTAL PROVIDED		404 SPACES					TOTAL PROVIDED		9 SPACES					

PROJECT ADDRESS:

1777 CLEMENT AVENUE  
ALAMEDA, CA 94501

PROJECT DESCRIPTION:

CONSTRUCTION TYPE: IA, IIIA, AND VA

FLOORS: 5

SITE AREA: ±3.91 ACRES (170,583 SF)

A COMBINATION OF 5 STORY BUILDING (TYPE IIIA) AND 4 STORY BUILDING OF (TYPE VA) OF RESIDENTIAL UNITS. THESE BUILDINGS WRAP A PARKING GARAGE (TYPE IA)

ZONE: ALAMEDA MARINA MASTER PLAN, M-X WITH MF OVERLAY

LOT COVERAGE:

ENTIRE SITE

±3.91 ACRES (170,583 SF)

EXTENT OF WORK

120,592 SF

PROPOSED BUILDING S.F.

489,099 SF

PROPOSED USE

RESIDENTIAL (360 UNITS)  
COMMERCIAL (8 UNITS)

OPEN SPACE:

PUBLIC OPEN SPACE

PEDESTRIAN CORRIDOR: 9,795 SF

COMMON OPEN SPACE

COURTYARDS & ROOF DECKS: 28,488 SF

PRIVATE OPEN SPACE

BALCONIES: 10,814 SF

TOTAL OPEN SPACE

PUBLIC OPEN SPACE: 9,795 SF  
COMMON OPEN SPACE: 28,488 SF  
PRIVATE OPEN SPACE: 10,814 SF  
TOTAL: 49,097 SF



ALAMEDA MARINA  
1 777 CLEMENT AVENUE,  
ALAMEDA, CA

PROJECT INFORMATION

09/30/19

AP0.06

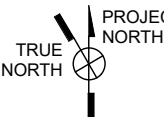




STREET VIEWS



KEY PLAN

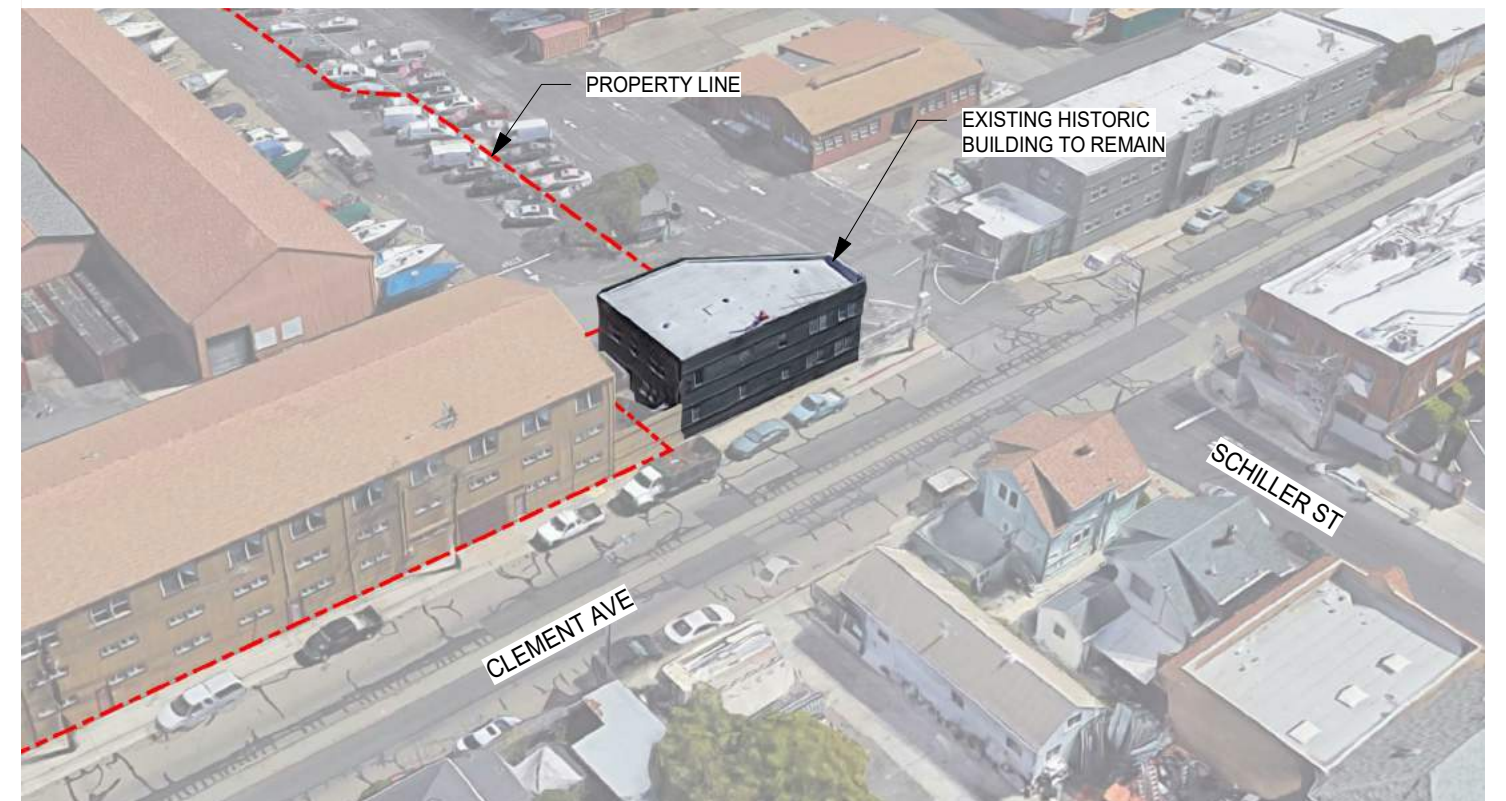
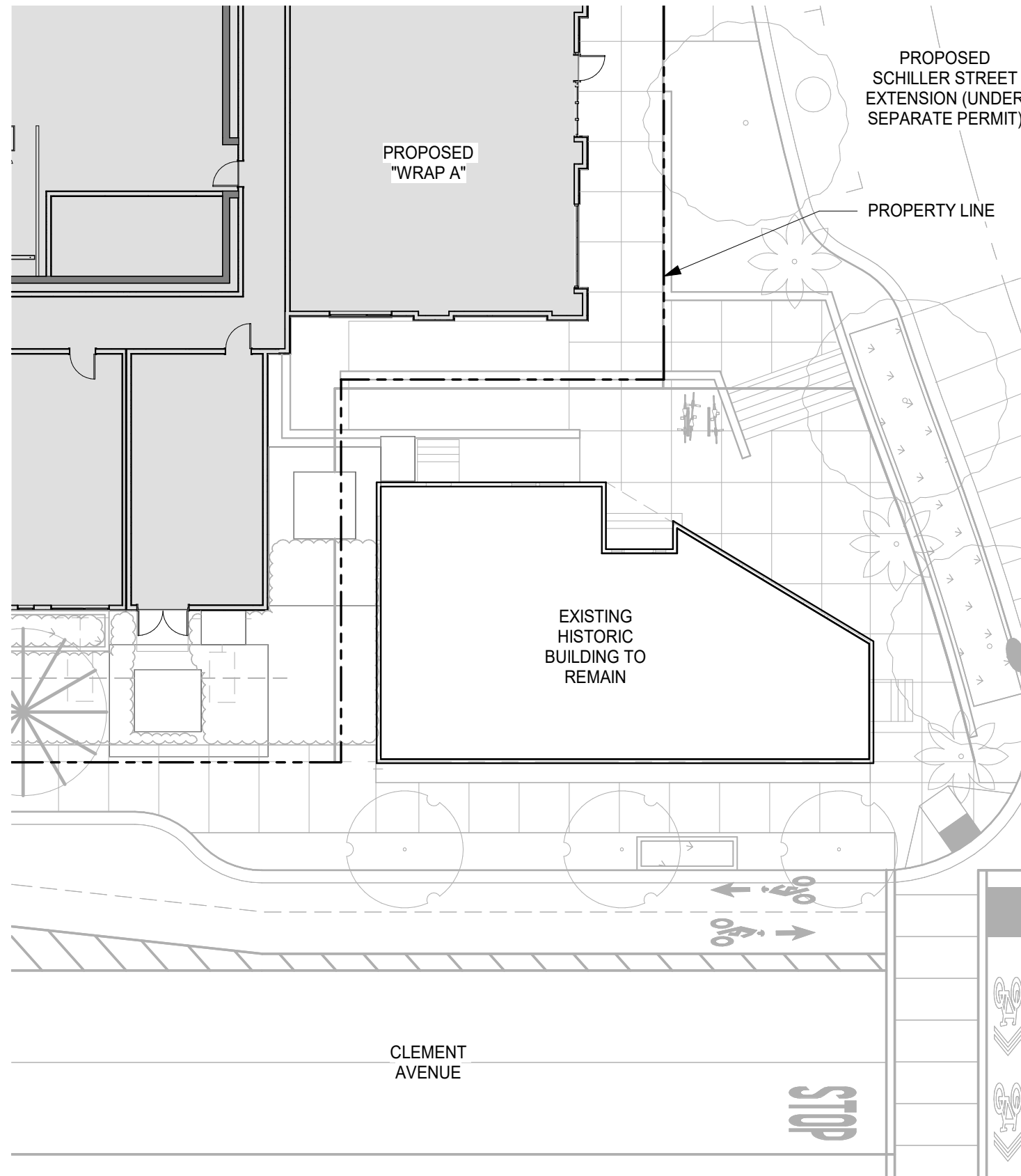






AERIAL VIEW - LOOKING NORTH





**HISTORIC BUILDING - AXON VIEW**



**HISTORIC BUILDING - CONTEXT PLAN**





















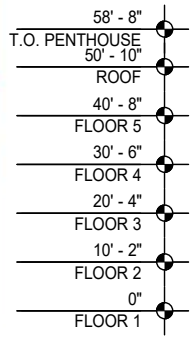




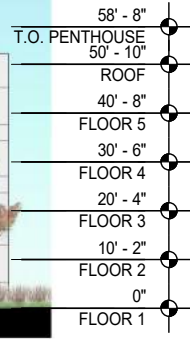




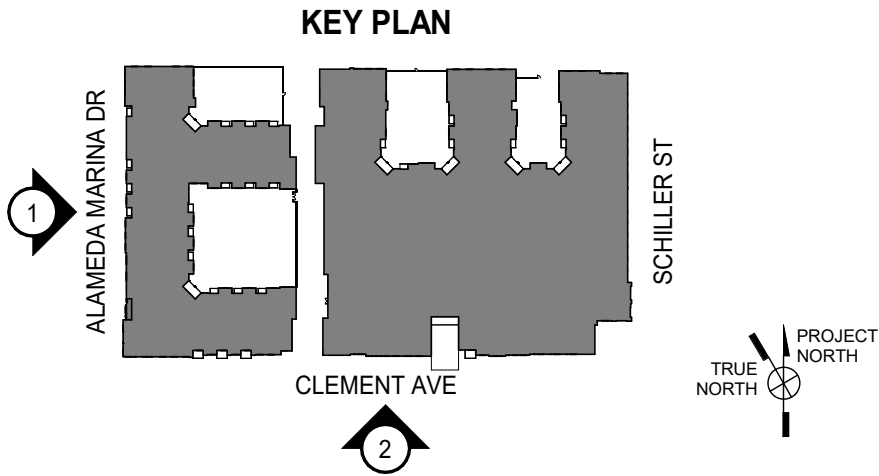




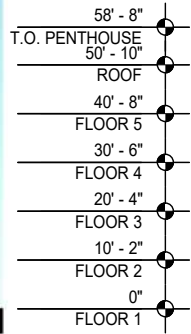
ELEVATION 2 - CLEMENT AVE



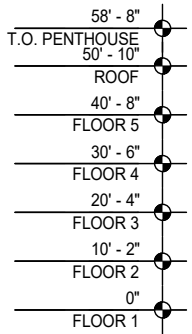
ELEVATION 1 - ALAMEDA MARINA DR



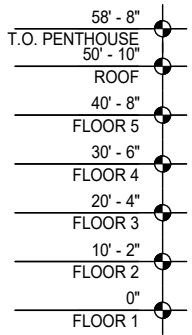




ELEVATION 3 - NORTH



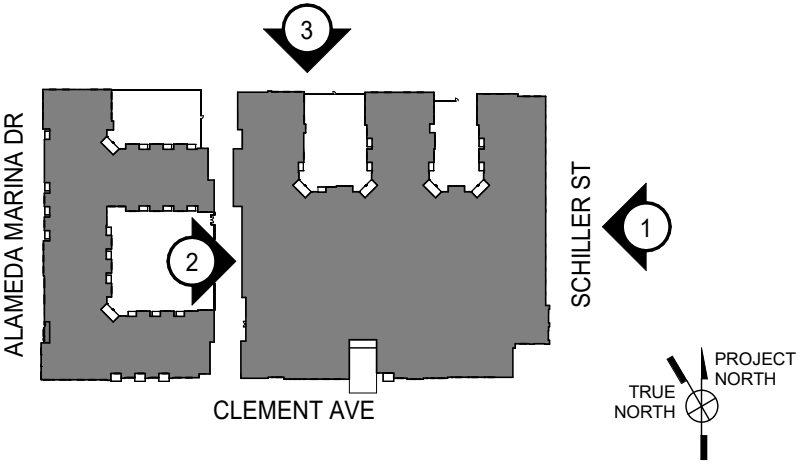
ELEVATION 2 - COURTYARD



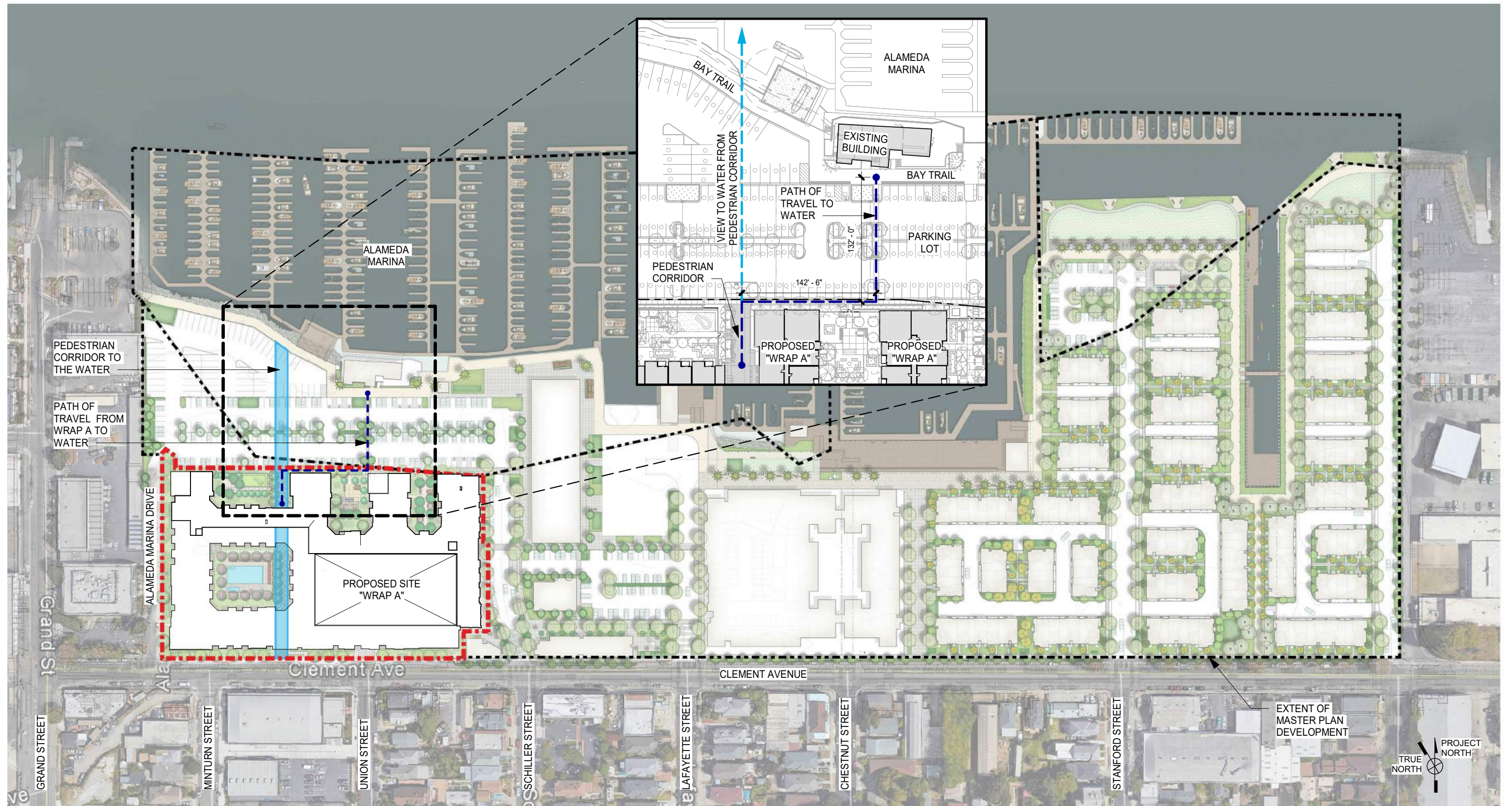
WORK/LIVE UNITS

ELEVATION 1 - SCHILLER ST

KEY PLAN







ALAMEDA MARINA DEVELOPMENT  
ALAMEDA, CA 94501

SITE PLAN

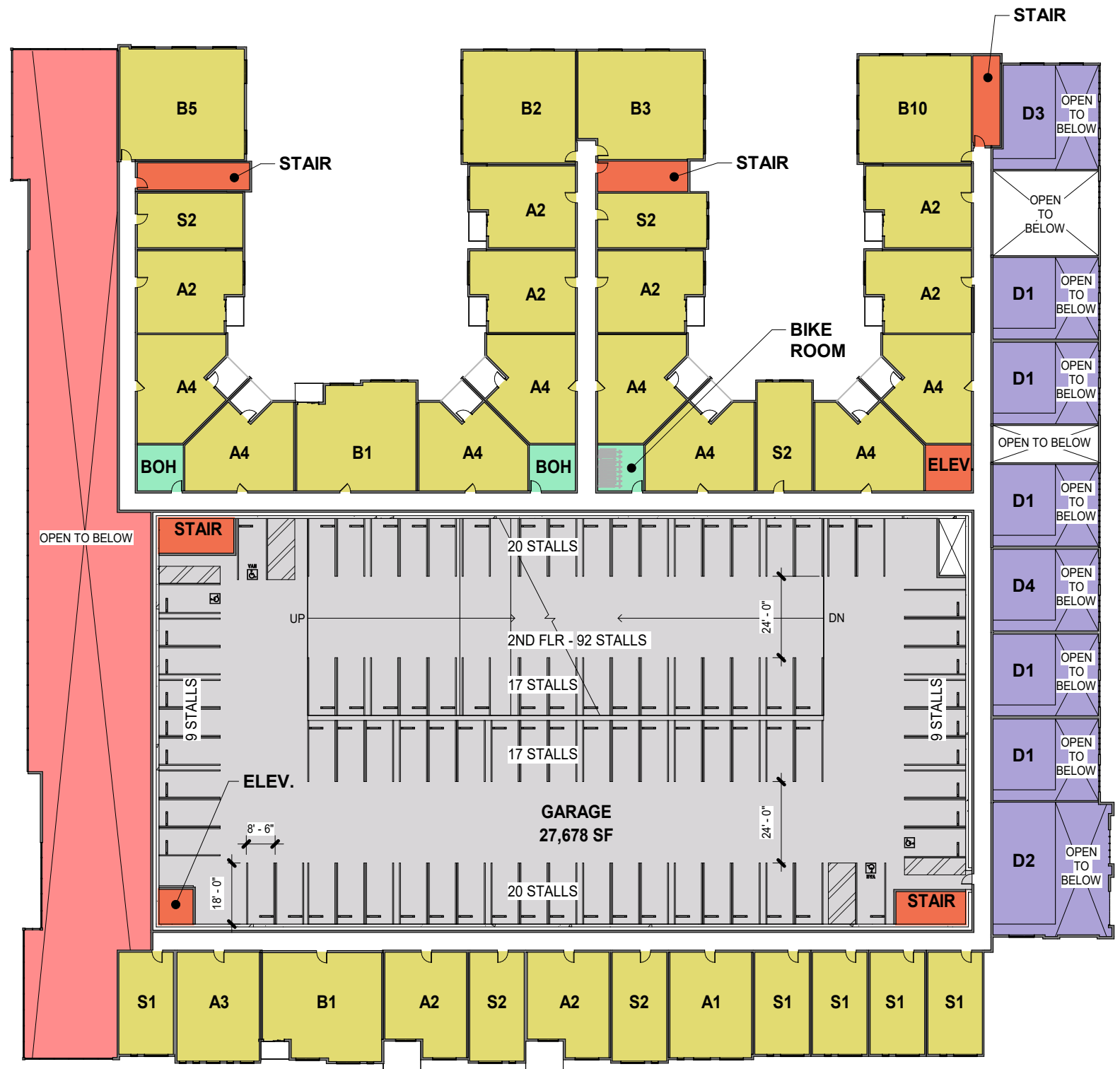
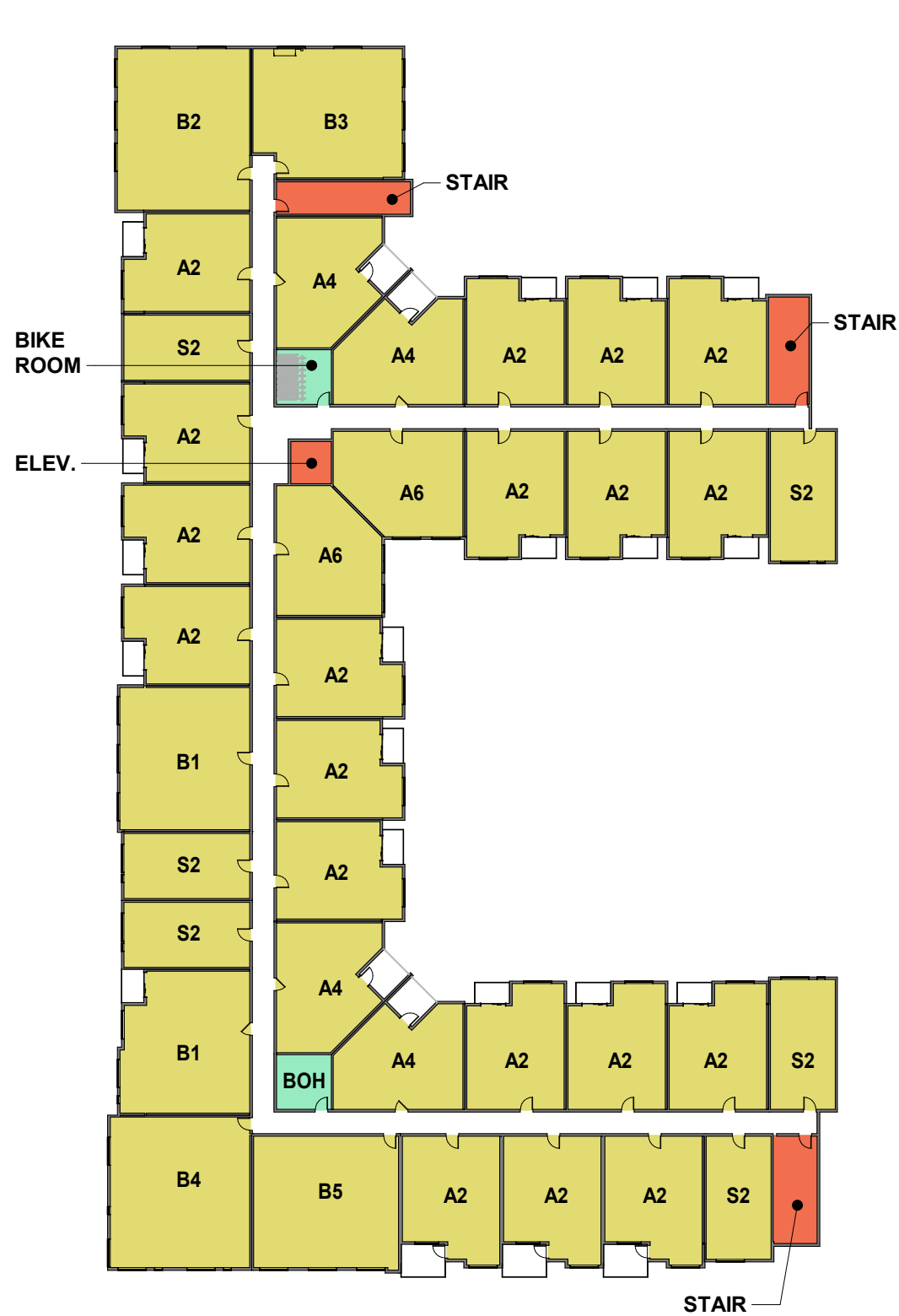






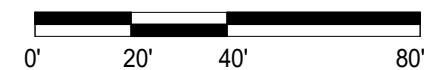






**LEGEND**

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<span style="background-color: purple; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span> WORK/LIVE UNIT	<span style="background-color: pink; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span> AMENITY	<span style="background-color: green; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span> BOH/ELEC.







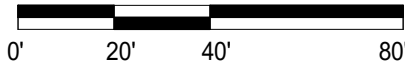
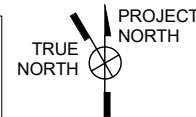




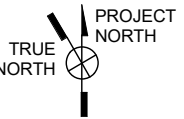
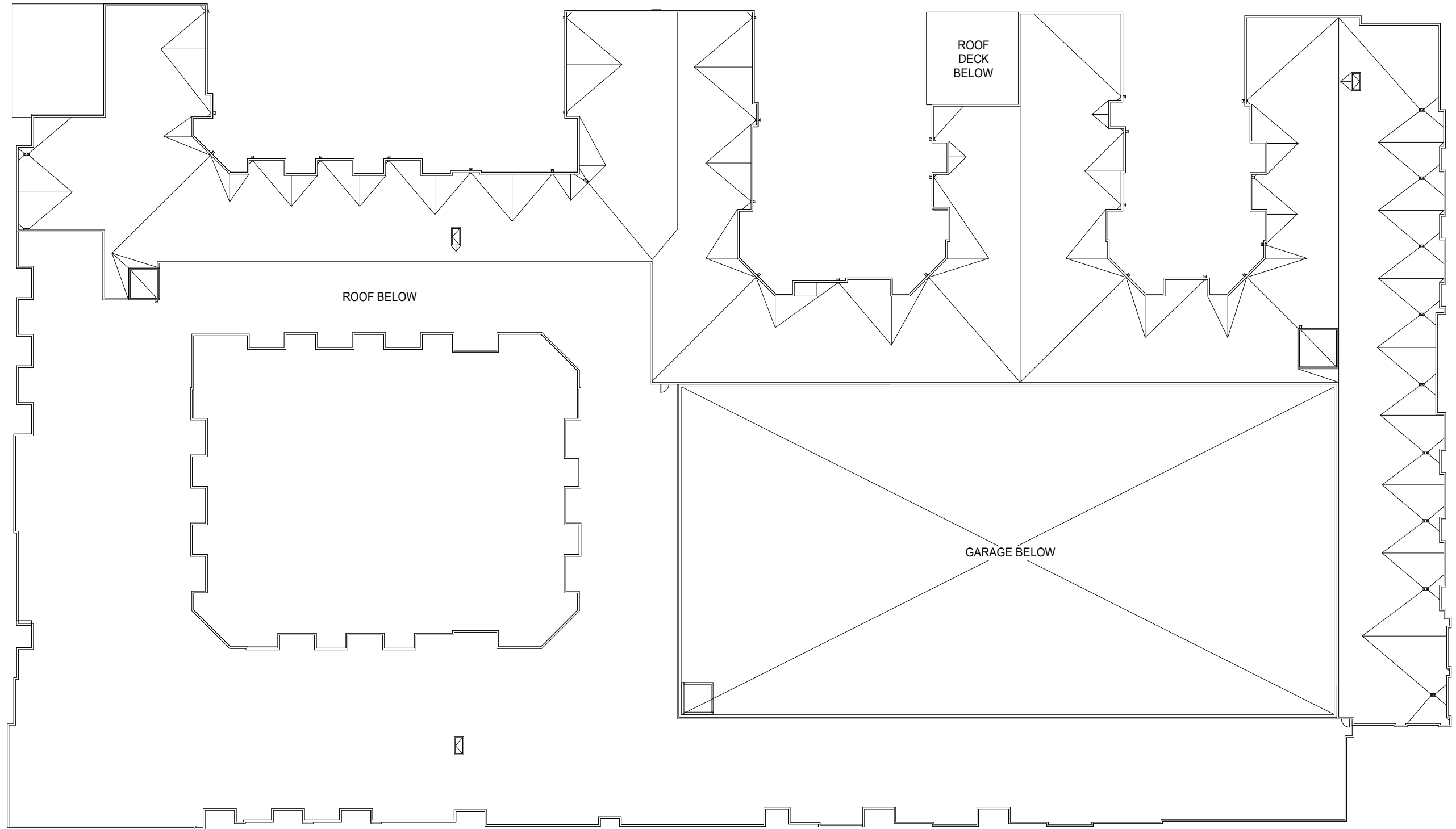




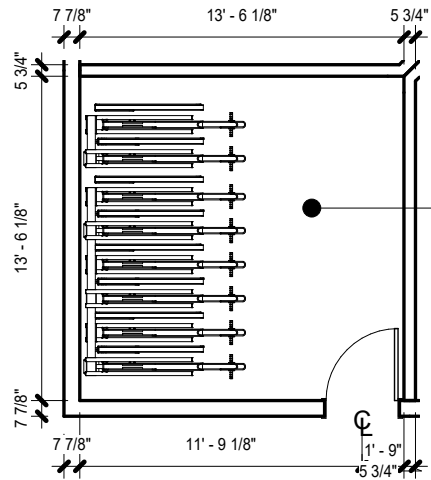
LEGEND			
<span style="background-color: yellow;">■</span> UNIT	<span style="background-color: red;">■</span> EGRESS	<span style="background-color: grey;">■</span> GARAGE	<span style="background-color: green;">■</span> BOH/ELEC.
<span style="background-color: blue;">■</span> WORK/LIVE UNIT	<span style="background-color: pink;">■</span> AMENITY		





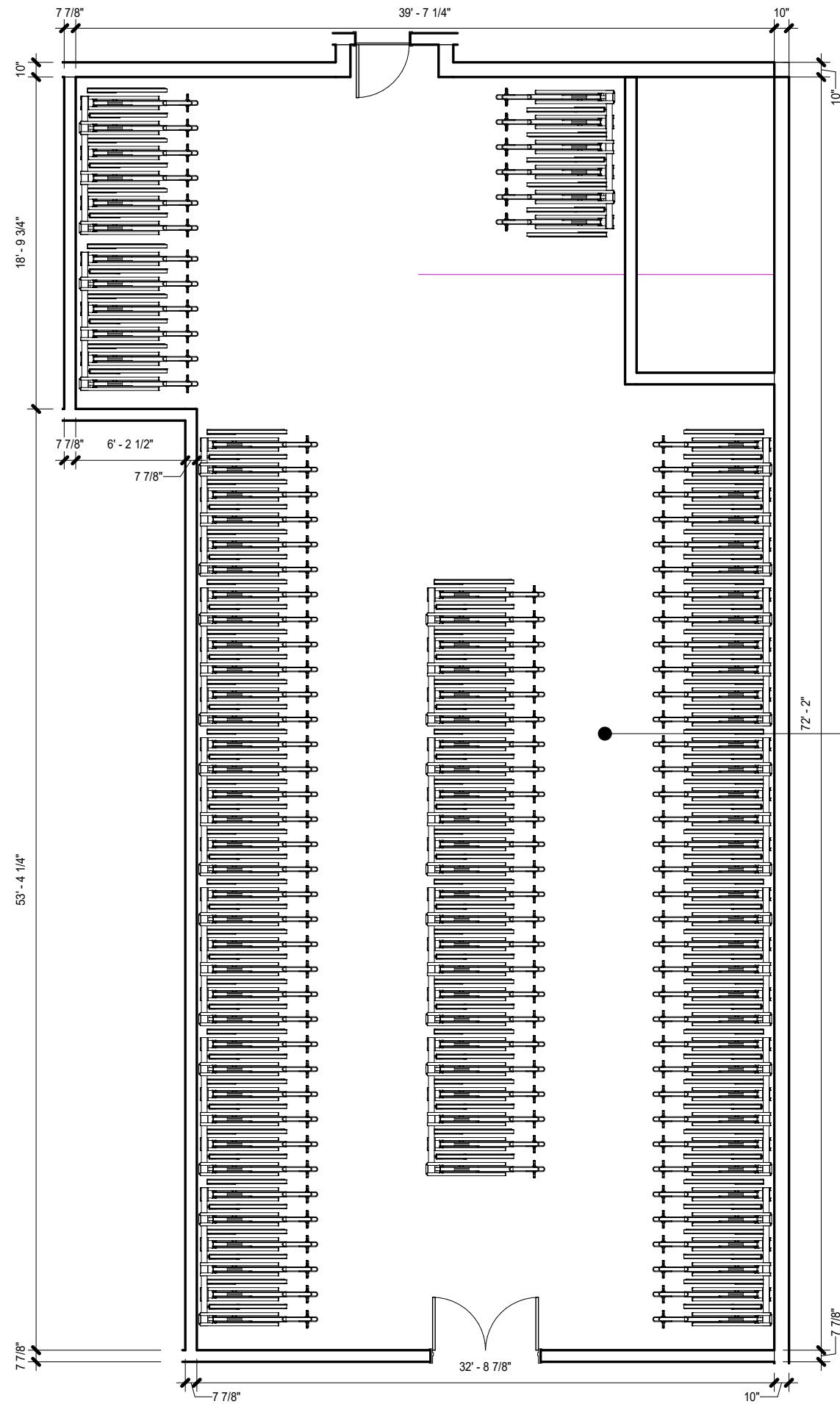






**TYPICAL BIKE ROOM - 9 PROPOSED  
16 SPACES EACH**

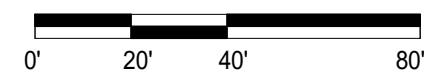
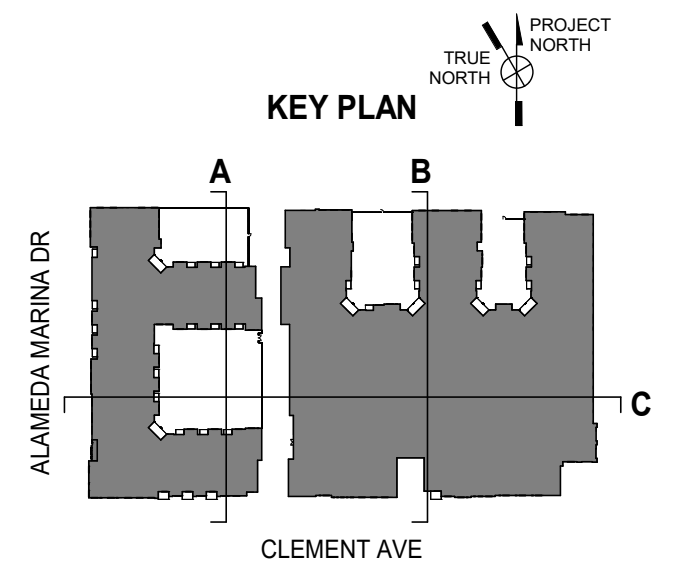
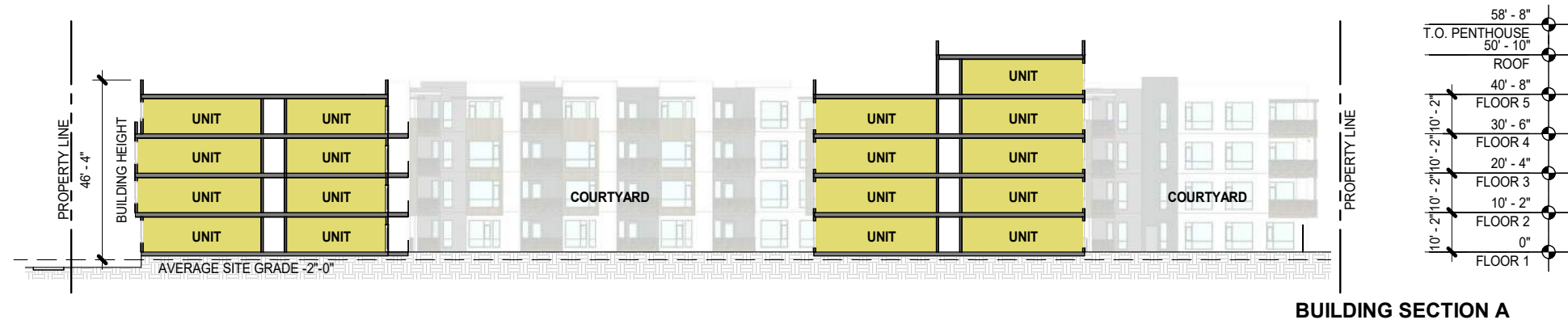
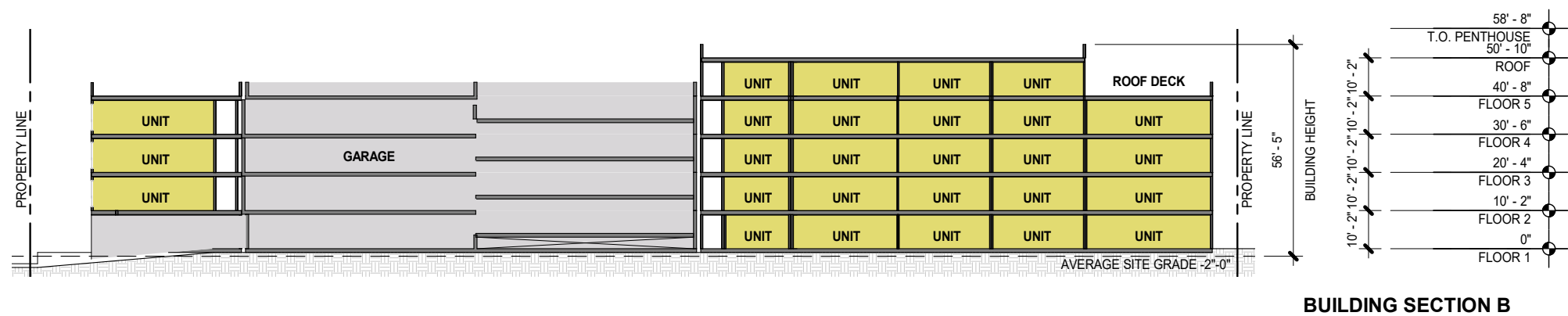
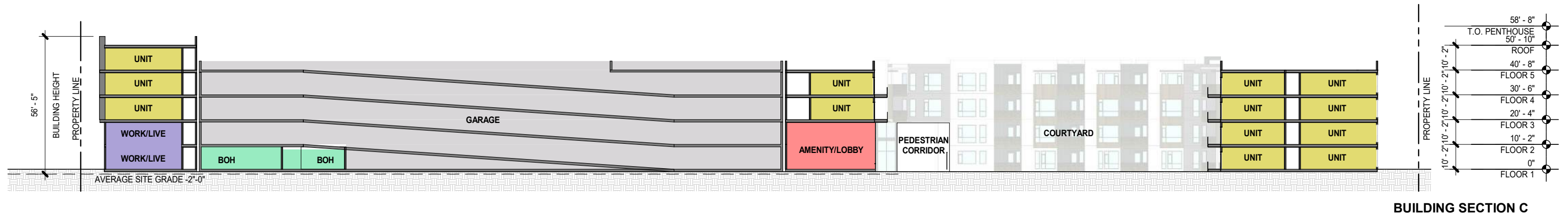
1 ON FLOOR 1 = 16 SPACES  
 2 ON FLOOR 2 = 32 SPACES  
 2 ON FLOOR 3 = 32 SPACES  
 2 ON FLOOR 4 = 32 SPACES  
2 ON FLOOR 5 = 32 SPACES  
**9 TOTAL = 144 SPACES**



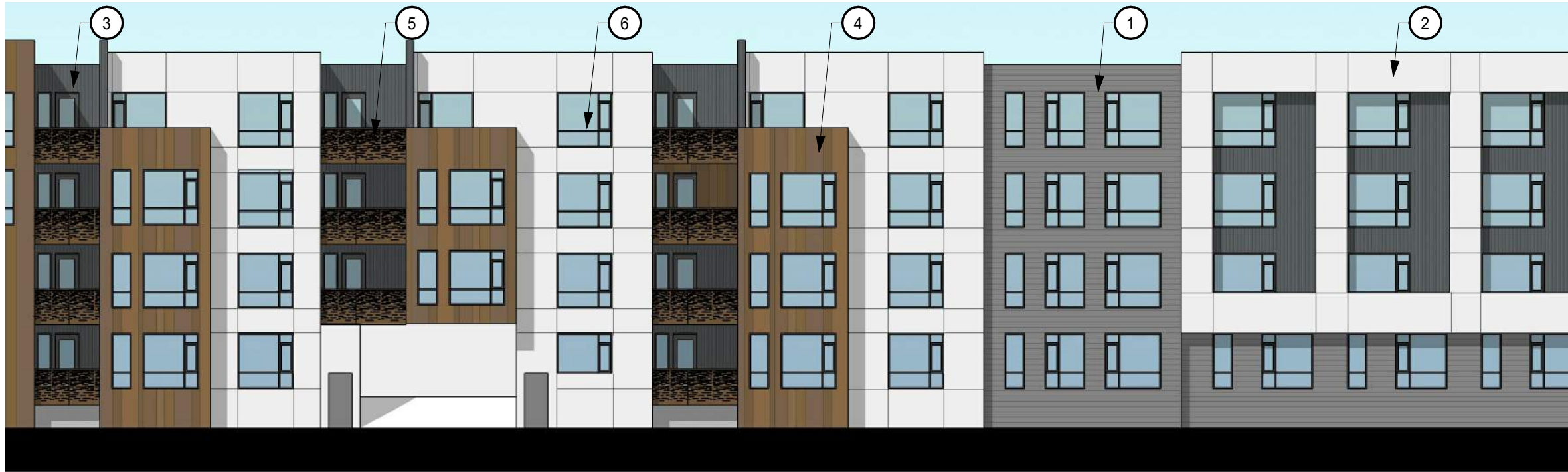
**BIKE ROOM @ FLOOR 1 PARKING GARAGE  
228 SPACES**











ELEVATION - CLEMENT AVENUE

① CEMENTITIOUS SIDING



② SMOOTH STUCCO



③ METAL SIDING



④ METAL PANELS



⑤ RAILING



⑥ VINYL WINDOW



⑦ EXTERIOR LIGHTING

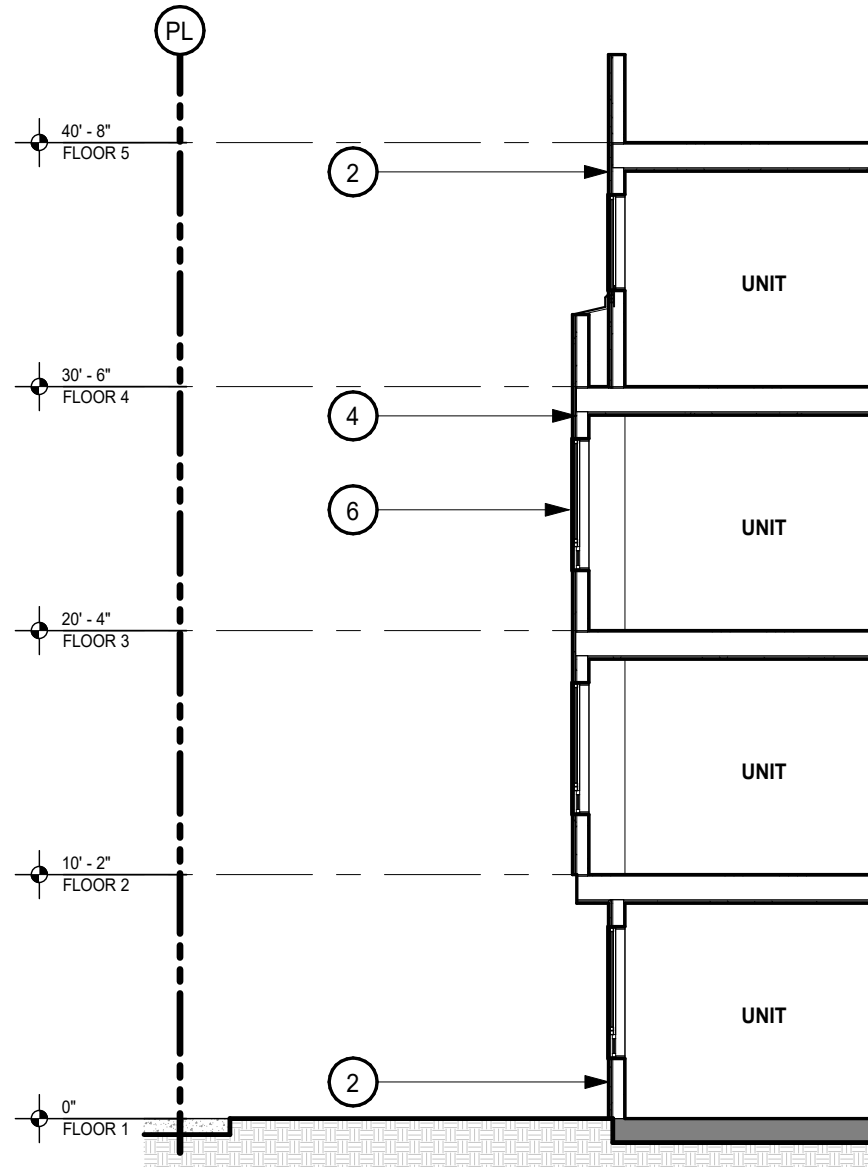




SHEET NOTES

NOTE: NOT ALL NOTES ARE USED ON EVERY SHEET.

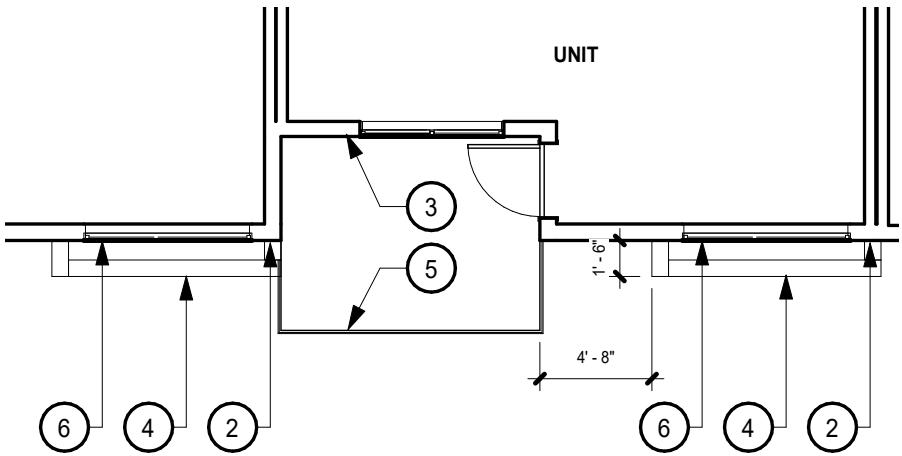
- 1 FIBER CEMENT SIDING
- 2 SMOOTH STUCCO
- 3 METAL SIDING
- 4 METAL PANELS
- 5 RAILING
- 6 VINYL WINDOW



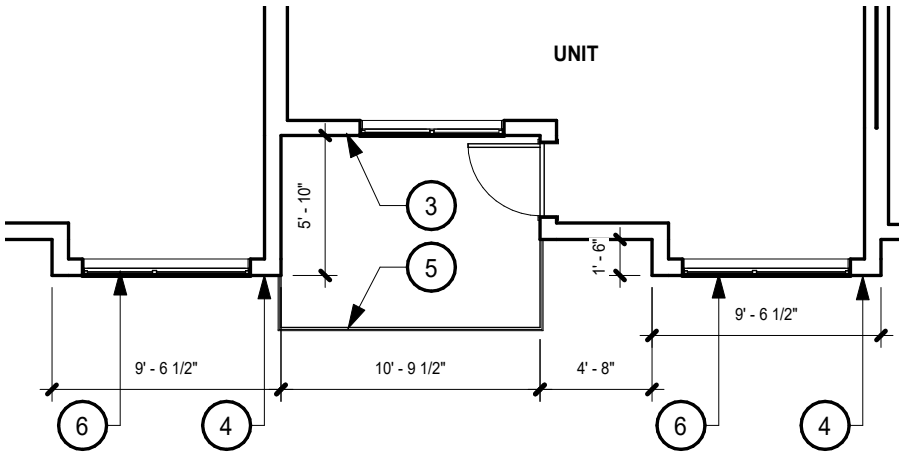
WALL SECTION



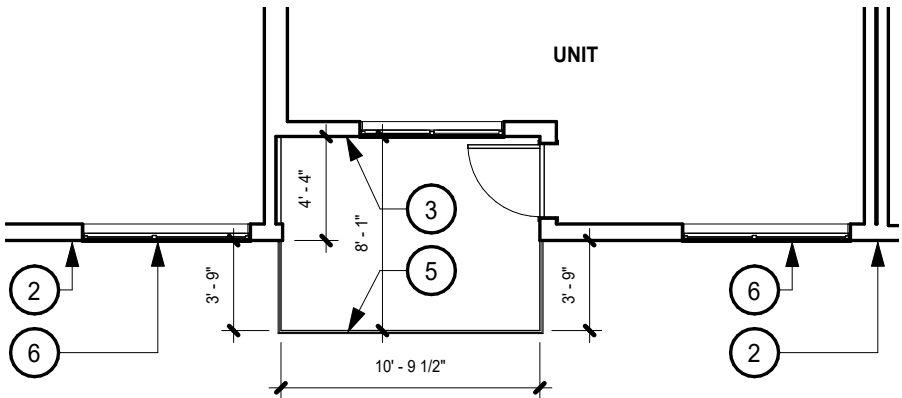
PARTIAL ELEVATION



ENLARGED PLAN - FLOOR 4

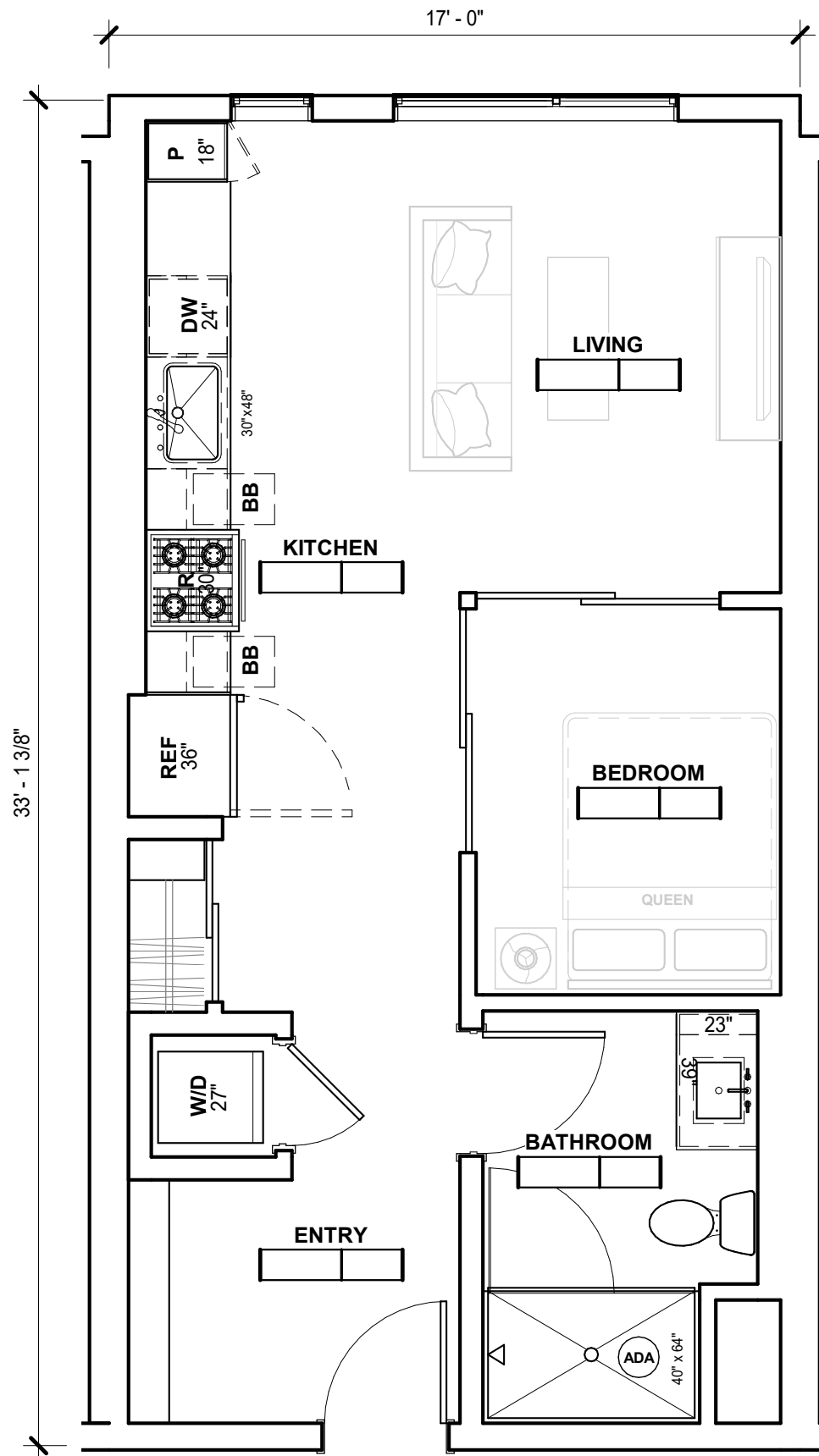


ENLARGED PLAN - FLOOR 3

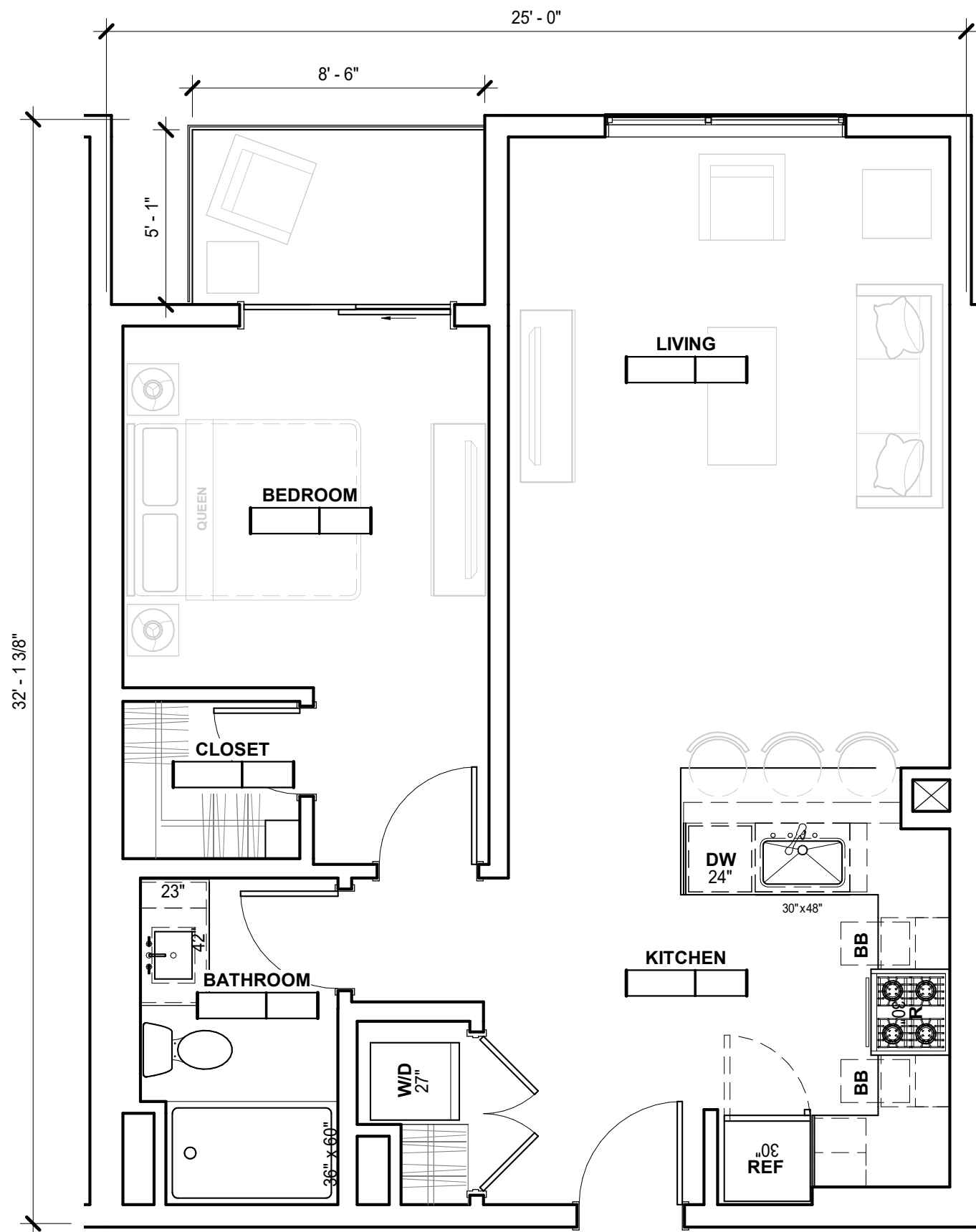


ENLARGED PLAN - FLOOR 1





TYPICAL UNIT S

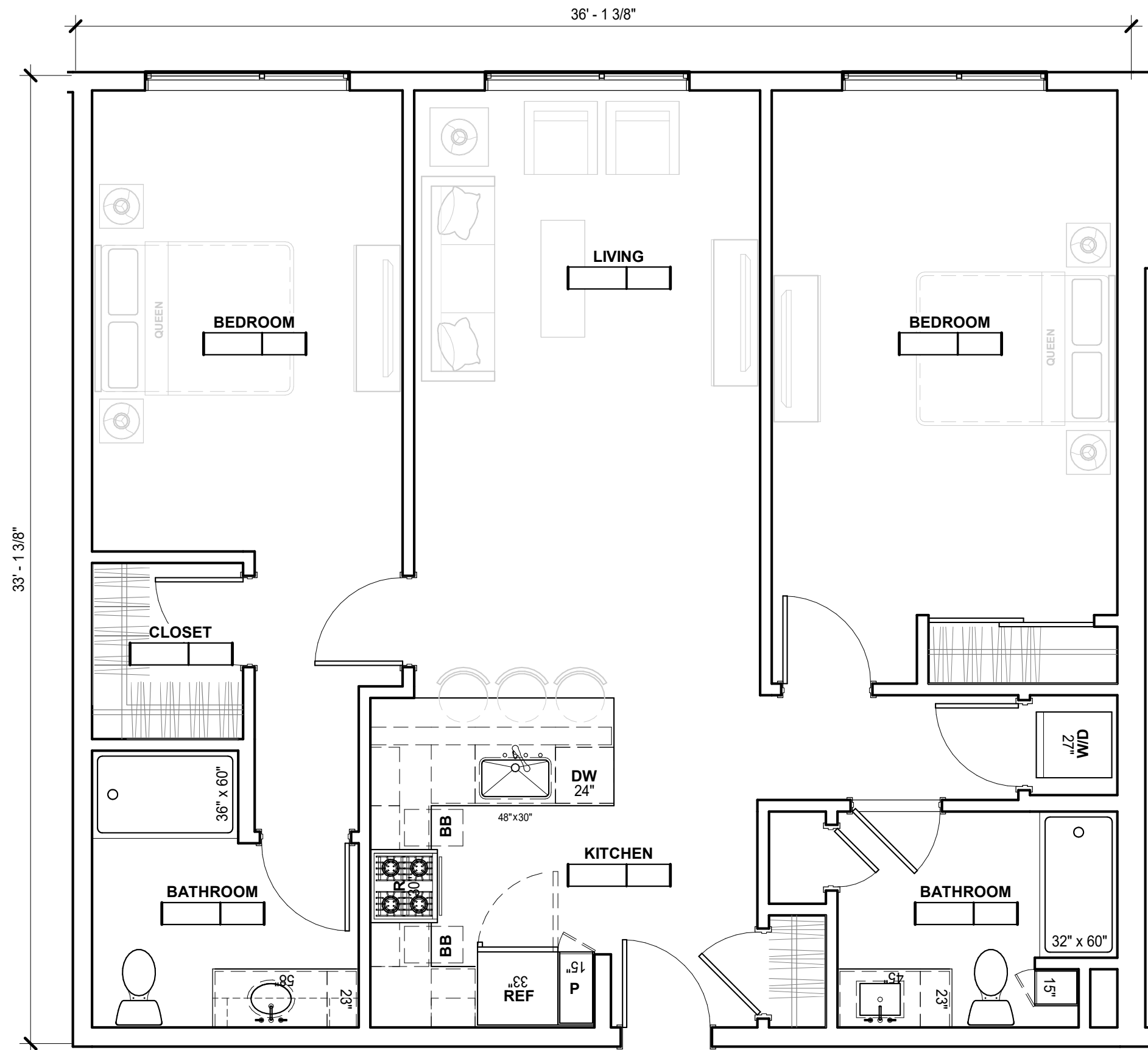


TYPICAL UNIT A

## UNIVERSAL DESIGN ELEMENTS

- 1 CLEAR FLOOR SPACE AND ACCESSIBLE PATH OF TRAVEL TO ACCESSIBLE FEATURES
- 2 IN-WALL BLOCKING INSTALLED AT ACCESSIBLE PLUMBING FIXTURES FOR FUTURE GRAB BAR/HAND RAIL INSTALLATION IN BATHROOMS
- 3 REMOVABLE BASE CABINETS
- 4 ACCESSIBLE HEIGHT COUNTERTOPS
- 5 TWO 15-INCH BREADBOARDS OR WORK SURFACES IN KITCHEN AREAS



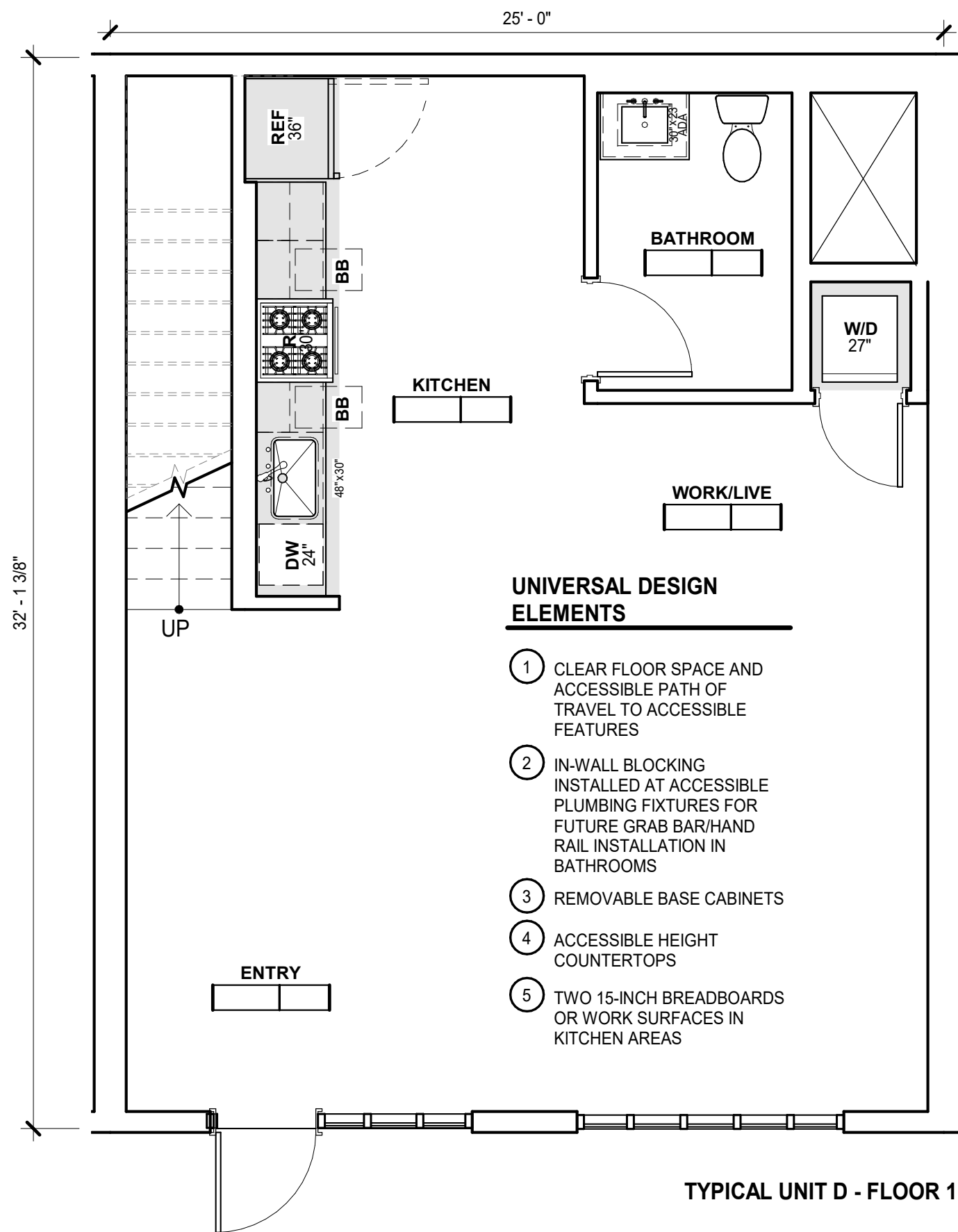


TYPICAL UNIT B

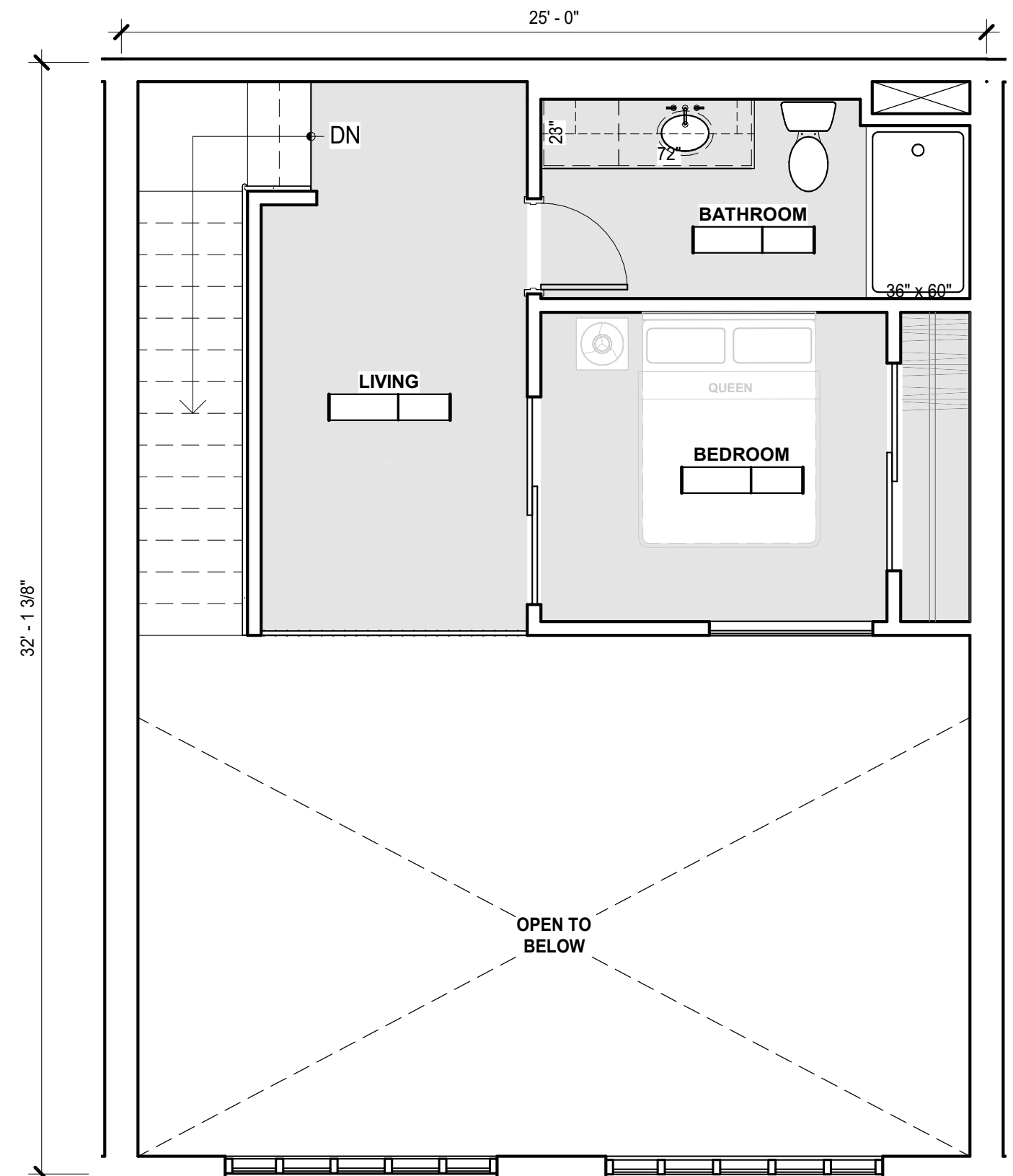
# UNIVERSAL DESIGN ELEMENTS

- 1 CLEAR FLOOR SPACE AND ACCESSIBLE PATH OF TRAVEL TO ACCESSIBLE FEATURES
- 2 IN-WALL BLOCKING INSTALLED AT ACCESSIBLE PLUMBING FIXTURES FOR FUTURE GRAB BAR/HAND RAIL INSTALLATION IN BATHROOMS
- 3 REMOVABLE BASE CABINETS
- 4 ACCESSIBLE HEIGHT COUNTERTOPS
- 5 TWO 15-INCH BREADBOARDS OR WORK SURFACES IN KITCHEN AREAS





TYPICAL UNIT D - FLOOR 1



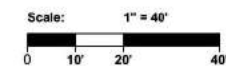
WORK SF: 804 SF  
LIVE SF: 327 SF  
TOTAL: 1,131 SF

$\frac{327 \text{ SF (LIVE)}}{1,131 \text{ SF (TOTAL)}} = 29\%$

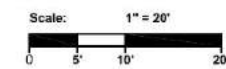
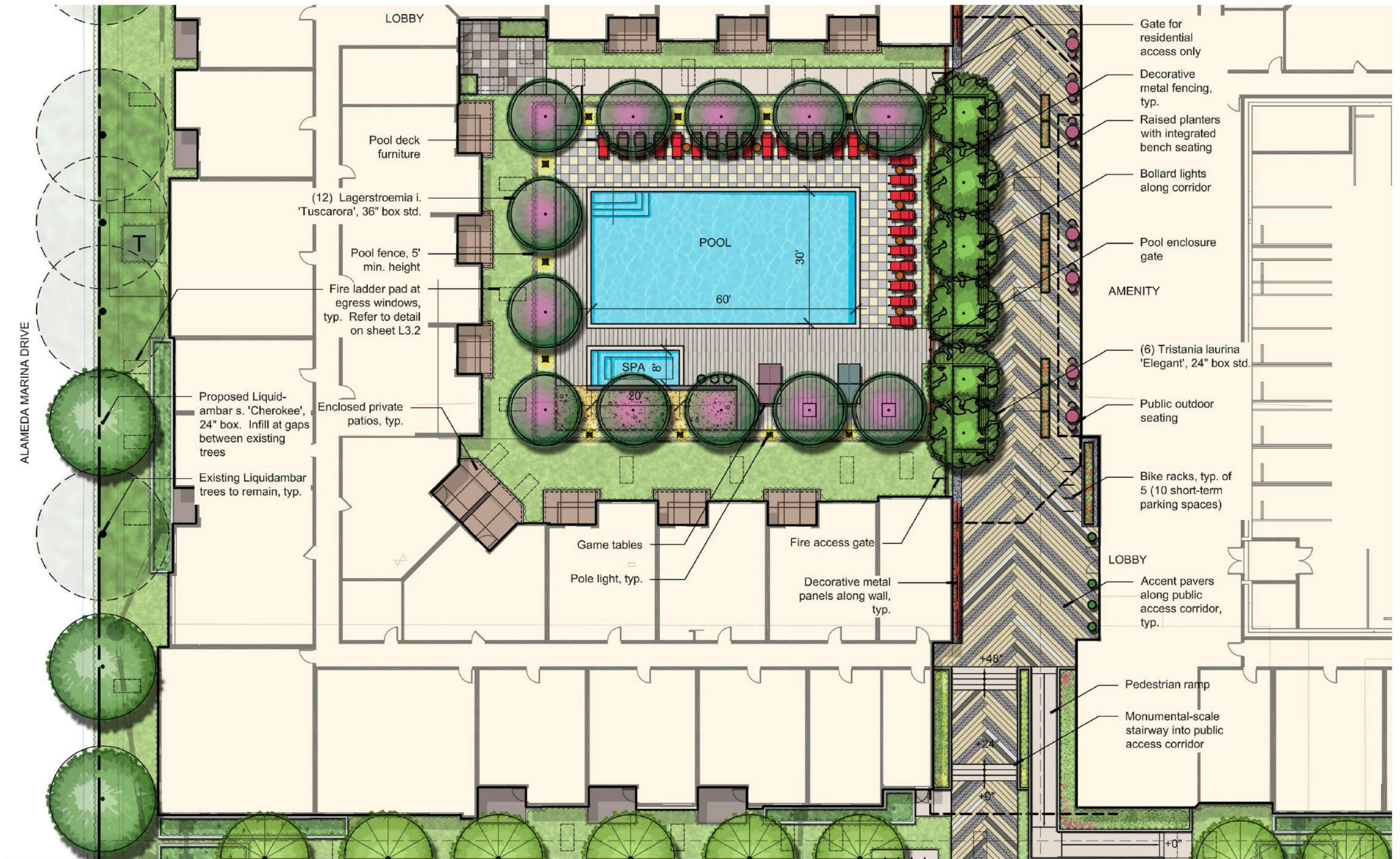
HATCH INDICATES "LIVE" AREA  
SQUARE FOOTAGE ON PLAN

TYPICAL UNIT D - FLOOR 2

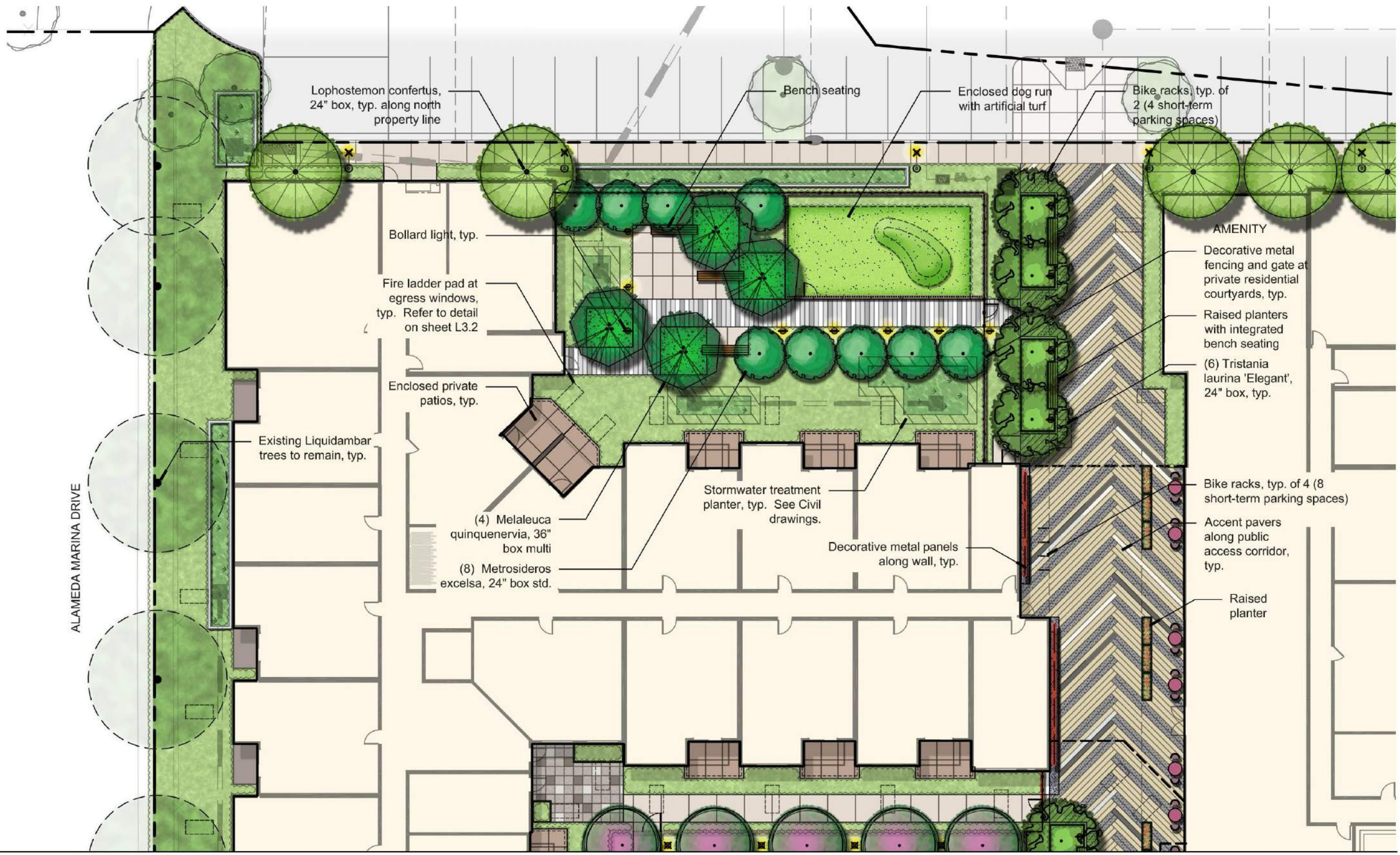












ALAMEDA MARINA DRIVE

Lophostemon confertus, 24" box, typ. along north property line

Bench seating

Enclosed dog run with artificial turf

Bike racks, typ. of 2 (4 short-term parking spaces)

Bollard light, typ.

Fire ladder pad at egress windows, typ. Refer to detail on sheet L3.2

Enclosed private patios, typ.

Existing Liquidambar trees to remain, typ.

(4) Melaleuca quinquenervia, 36" box multi  
(8) Metrosideros excelsa, 24" box std.

Stormwater treatment planter, typ. See Civil drawings.

Decorative metal panels along wall, typ.

AMENITY

Decorative metal fencing and gate at private residential courtyards, typ.

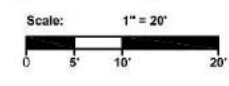
Raised planters with integrated bench seating

(6) Tristania laurina 'Elegant', 24" box, typ.

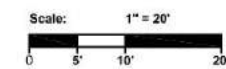
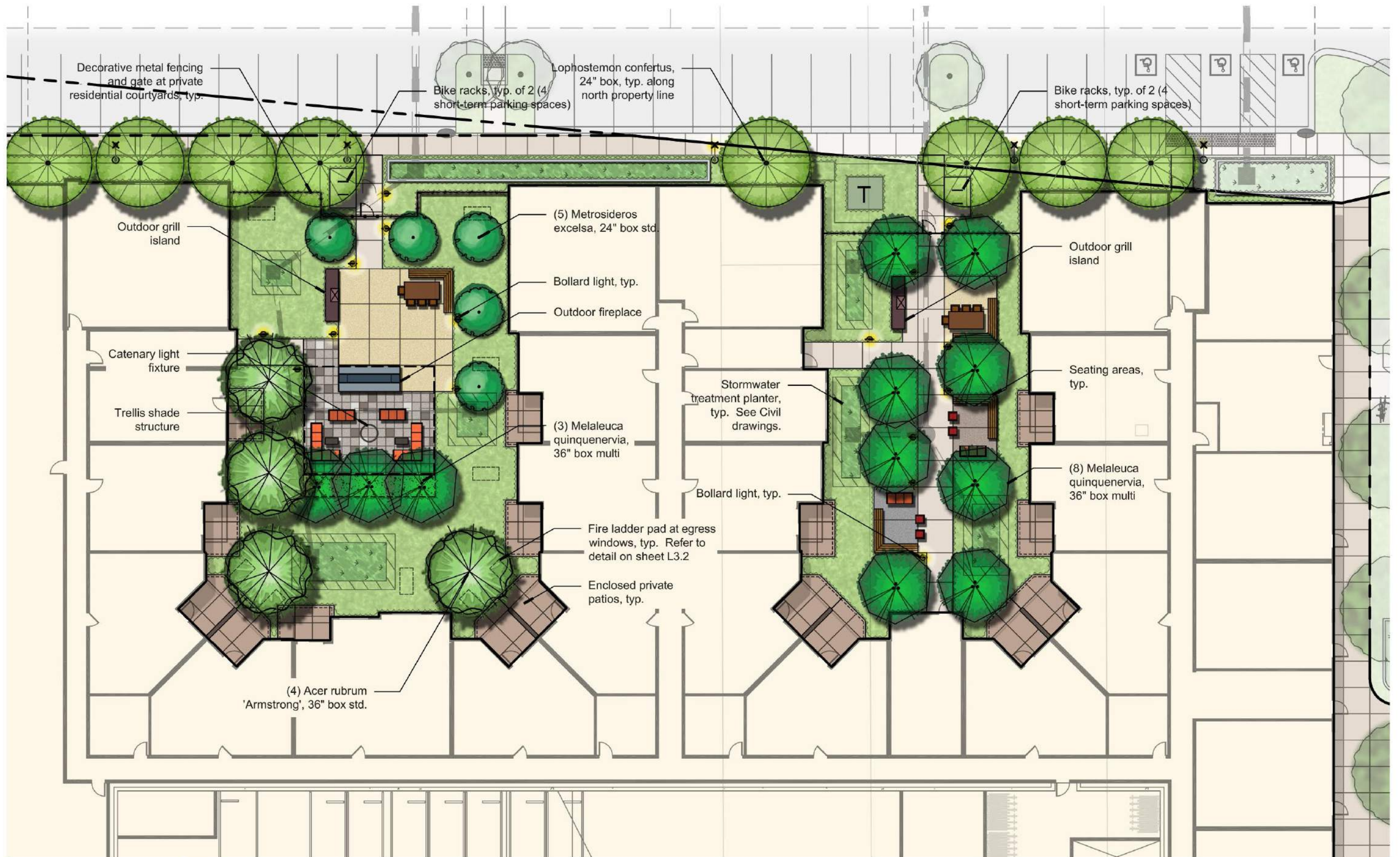
Bike racks, typ. of 4 (8 short-term parking spaces)

Accent pavers along public access corridor, typ.

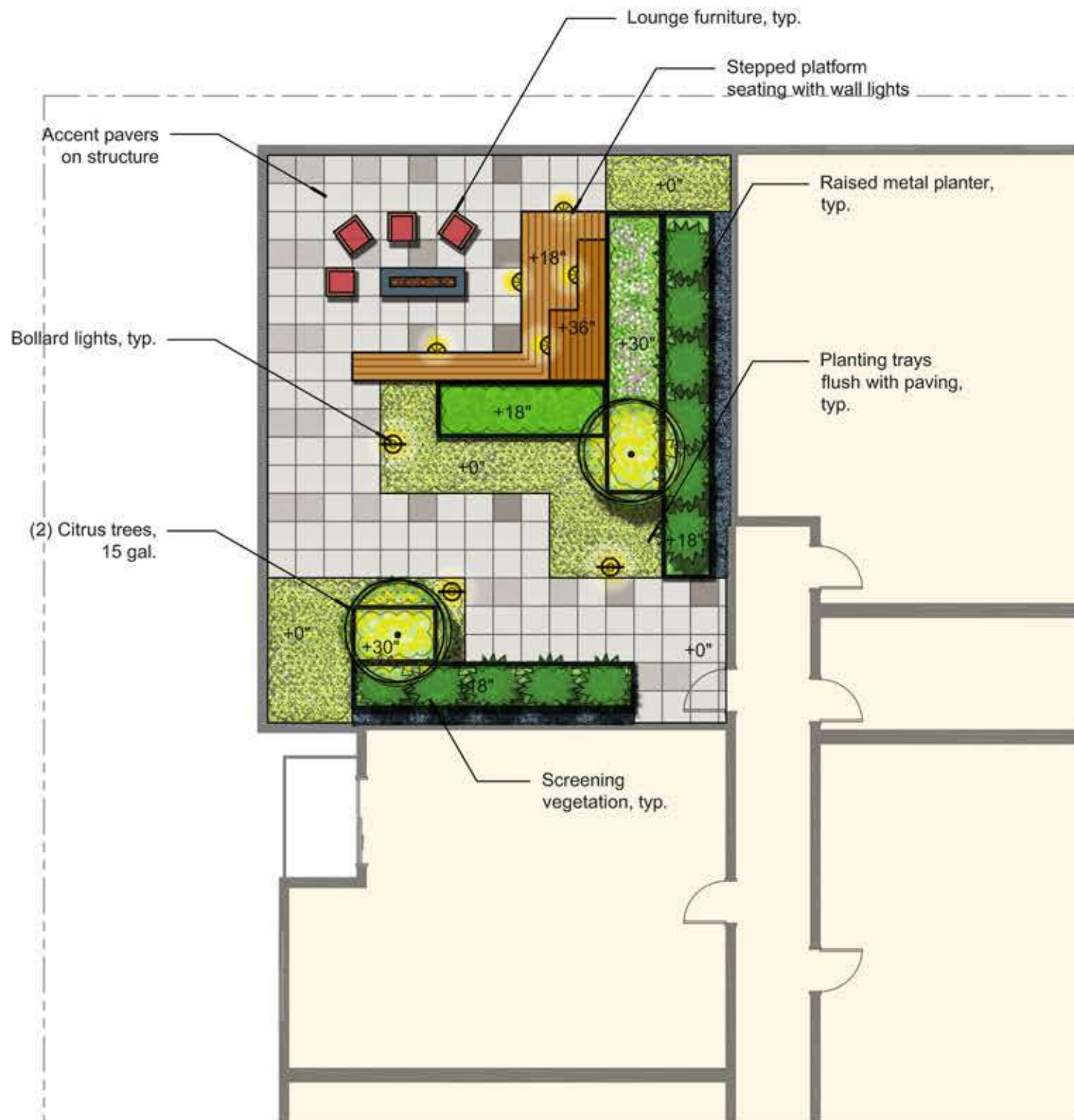
Raised planter



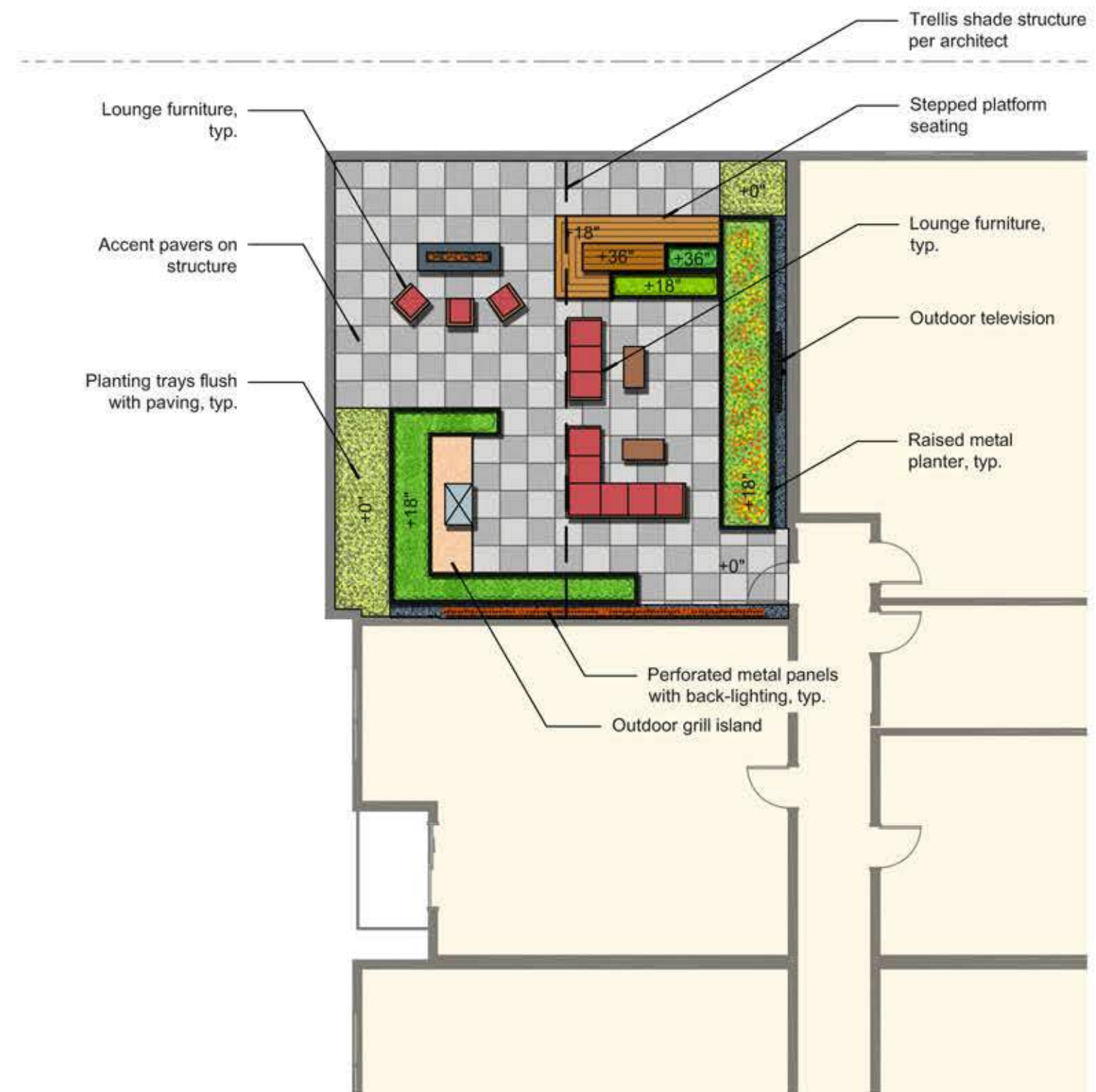




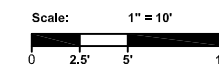




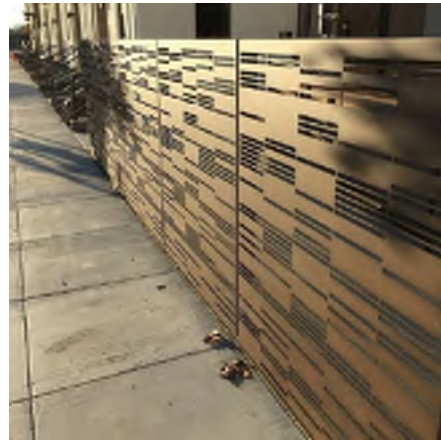
Level 4 Roof Deck



Level 5 Roof Deck









PLANTING NOTES

1.

All work shall be performed by persons familiar with planting work and under supervisions of a qualified planting foreman.
2.

Plant material locations shown are diagrammatic and may be subject to change in the field by the Landscape Architect before the maintenance period begins.
3.

All trees are to be staked as shown in the staking diagrams.
4.

All tree stakes shall be cut 6" above tree ties after stakes have been installed to the depth indicated in the staking diagrams. Single stake all conifers per tree staking diagram.
5.

Plant locations are to be adjusted in the field as necessary to screen utilities but not to block windows nor impede access. The Landscape Architect reserves the right to make minor adjustments in tree locations after planting at no cost to the Owner. All planting located adjacent to signs shall be field adjusted so as not to interfere with visibility of the signs.
6.

The Landscape Architect reserves the right to make substitutions, additions, and deletions in the planting scheme as felt necessary while work is in progress. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary and subject to the Owner's approval.
7.

The contractor is to secure all vines to walls and columns with approved fasteners, allowing for two (2) years growth. Submit sample of fastener to Landscape Architect for review prior to ordering.
8.

All planting areas, except lawns and storm water treatment zones (as defined by the civil engineer), shall be top-dressed with a 3" layer of recycled wood mulch, "Colored Wood Chip" by Vision Recycling (510.429.1300; www.visionrecycling.com) or approved equal. Planter pots shall be top-dressed with "Colored Lumber Fines" mulch by Vision Recycling. Mulch shall be Mahogany in color. Submit sample to Landscape Architect for review prior to ordering. Hold all mulch six (6) inches from all plants where mulch is applied over the rootball.
9.

All street trees to be installed in accordance with the standards and specifications of the City of Alameda. Contractor to contact the city arborist to confirm plant type, plant size (at installation), installation detailing and locations prior to proceeding with installation of street trees. Contractor is to obtain street tree planting permit from the city, if a permit is required, prior to installation of street trees. Contractor is to consult with the Landscape Architect during this process.
10.

Seasonal color is to be current and locally available. Plant material is to be selected by the Landscape Architect from a list of currently available stock provided by the Landscape Contractor prior to installation. Seasonal color to be 4" pots at 12" o.c. unless otherwise noted.
11.

The lawn shall be sod or seeded (as noted) and consist of a drought tolerant hard fescue blend such as Pacific Sod "Medallion Dwarf with Bonsai", installed per manufacturer's recommendations and specifications. The mix shall consist of the following proportions of grass species: 100% Bonsai Double Dwarf fescue. Available through: Pacific Sod 800.542.7633
12.

Trees planted in lawn areas shall have a 12" diameter cutout for trimming purposes.
13.

Plants shall be installed to anticipate settlement. See Tree and Shrub Planting Details.
14.

All trees noted with 'deep root' and those planted within 5'-0" of concrete paving, curbs, and walls shall have deep root barriers installed per manufacturer's specifications. See specifications and details for materials, depth of material, and location of installation.
15.

The Landscape Contractor shall arrange with a nursery to secure plant material noted on the drawings and have those plants available for review by the Owner and Landscape Architect within thirty (30) days of award of contract. The Contractor shall purchase the material and have it segregated and grown for the job upon approval of the plant material. The deposit necessary for such contract growing is to be born by the Contractor.
16.

The project has been designed to make efficient use of water through the use of drought tolerant plant materials. Deep rooting shall be encouraged by deep watering plant material as a part of normal landscape maintenance. The irrigation for all planting shall be limited to the amount required to maintain adequate plant health and growth. Water usage should be decreased as plants mature and become established. The irrigation controllers shall be adjusted as necessary to reflect changes in weather and plant requirements.
17.

The Landscape Contractor shall verify the location of underground utilities and bring any conflicts with plant material locations to the attention of the Landscape Architect for a decision before proceeding with the work. Any utilities shown on the Landscape drawings are for reference and coordination purposes only. See Civil Drawings.
18.

The design intent of the planting plan is to establish an immediate and attractive mature landscape appearance. Future plant growth will necessitate trimming, shaping and, in some cases, removal of trees and shrubs as an on-going maintenance procedure.
19.

Install all plants per plan locations and per patterns shown on the plans. Install all shrubs to ensure that anticipated, maintained plant size is at least 2'-0" from the face of building(s) unless shown otherwise on the plans. Refer to Plant Spacing Diagram for plant masses indicated in a diagrammatic manner on the plans. Refer to Plant Spacing Diagram for spacing of formal hedge rows.
20.

Contractor to provide one (1) Reference Planting Area for review by Landscape Architect prior to installation of the project planting. The Reference Planting Area shall consist of a representative portion of the site of not less than 900 (nine hundred) square feet. Contractor to set out plants, in containers, in the locations and patterns shown on the plans, for field review by the Landscape Architect. The Reference Planting Area will be used as a guide for the remaining plant installation.
21.

The Maintenance Period(s) shall be for 60 (sixty) days. Portions of the installed landscape of a project may be placed on a maintenance period prior to the completion of the project at the Owner's request and with the Owner's concurrence.
22.

Contractor to verify drainage of all tree planting pits. See Planting Specifications. Install drainage well per specifications and Tree Planting Detail(s) if the tree planting pit does not drain at a rate to meet the specifications.
23.

Contractor shall remove all plant and bar code labels from all installed plants and landscape materials prior to arranging a site visit by the Landscape Architect.
24.

Geotech drainage board or approved equal is to be installed in all on-structure planters and all pre-cast planters/pots as shown in the drawings. Material available through: TWE Products and Services, Walnut Creek, CA 925.708.0549. Allow 4 weeks lead time for ordering product. All Geotech board shall be completed covered with filter fabric as shown in the drawings and per manufacturer's specifications.
25.

All tree rootballs shall be irrigated by water jet during the sixty (60) day maintenance period established by specifications. This irrigation shall occur each time normal irrigation is scheduled.
26.

The Landscape Contractor shall, as a part of this bid, provide for a planting allowance for the amount of \$5,000.000 (Five Thousand Dollars) to be used for supplying and installing additional plant material as directed by the Landscape Architect and approved by the Owner in writing. The unused portion of the allowance shall be returned to the Owner at the beginning of the maintenance period.
27.

The contractor is required to submit plant quantities and unit prices for all plant materials as a part of the bid.
28.

Assume 15 gallon plant for any un-labelled or un-sized tree; 5 gallon plant for any un-labelled or un-sized shrub; and 1 gallon @ 18" o.c. for any un-labelled ground cover.
29.

Assume 5 gallon plant size at 36" o.c. for all planting beds not provided with planting callouts or planting information.
30.

The planting areas on grade shall be ripped to a depth of 8" to reduce compaction. The native subgrade soil shall be treated with 100 lbs of gypsum/1000 sf and leached to improve drainage and reduce the soil interface barrier. Contractor shall coordinate this work with other trades. This is subject to the final recommendations of the soils test (see below) and review by the Landscape Architect and the Owner.
31.

All planting areas on grade are to receive Vision Comp OMRI Listed Compost by Vision Recycling, (510) 429-1300, or approved equal, at the rate of 6 cubic yards/1000 square feet, evenly tilled 6" deep into the soil to finish grade. All planting areas shall have 6-20-20 Commercial Fertilizer at 25lbs/1000 square feet evenly distributed into the soil. This is subject to the final recommendations and review of the soils test (see below) by the Landscape Architect and the Owner.
32.

Planting pits are to be backfilled with a mixture of 50% native soil and 50% amended native soil per note #5 above.
33.

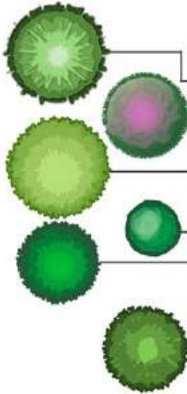
The General Contractor is to provide an agricultural suitability analysis for representative samples of on-site rough graded soil and any imported topsoil. Recommendations for amendments contained in this analysis are to be carried out before planting occurs. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary. See specifications for testing procedure.
34.

The Maintenance Period(s) shall be for 60 (sixty) days. Portions of the installed landscape of a project may be placed on a maintenance period prior to the completion of the project at the Owner's request and with the Owner's concurrence.
35.

For built in place planters on structure, use imported regular weight soil mix.
36.

For planter pots, use lightweight soil mix.
37.

See civil drawings for imported storm water treatment area soil. Contractor to provide agricultural suitability analysis of the soil with amendment recommendations to the Landscape Architect for review.

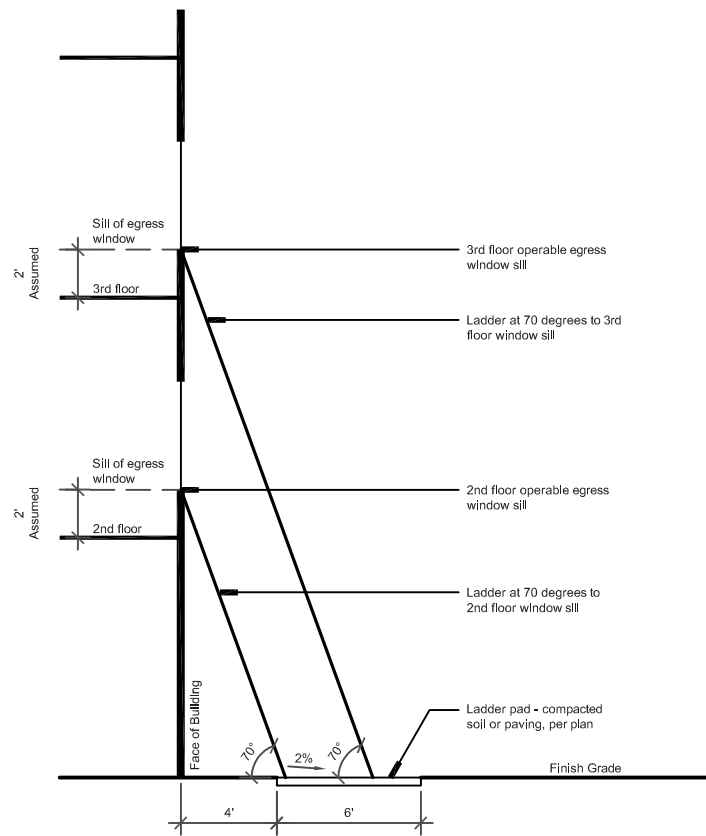


PRELIMINARY PLANT PALETTE

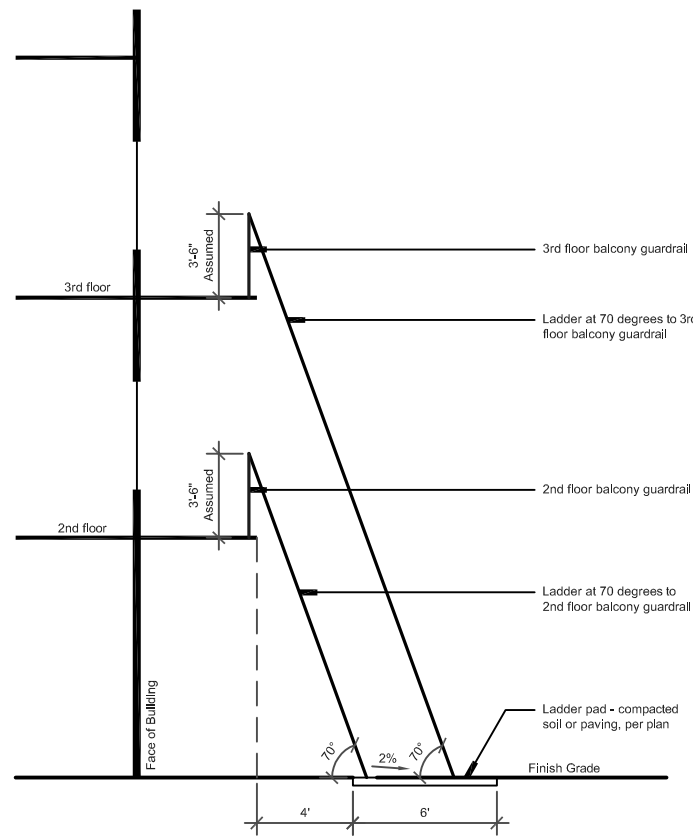
KEY	SIZE	BOTANICAL NAME	COMMON NAME	NOTES	WATER USE
TREES					
	24" box	Acer rubrum 'Armstrong'	Armstrong Red Maple	Standard	M
	24" box	Lagerstroemia l. 'Tuscarora'	Tuscarora Crape Myrtle	Standard	L
	24" box	Liquidambar 'Cherokee'	Cherokee Liquidambar	Standard	M
	24" box	Lophostemon confertus	Brisbane Box	Standard	M
	24" box	Magnolia g. 'St. Mary'	St. Mary Southern Magnolia	Multi	M
	24" box	Metrosideros excelsa	New Zealand Christmas Tree	Standard	L
	24" box	Melaleuca quinquenervia	Paperbark	Multi	L
	24" box	Platanus a. 'Columbia'	Columbia London Plane Tree	Standard	M
	24" box	Pistacia c. 'Keith Davey'	Chinese Pistache	Standard	L
	24" box	Tristania laurina 'Elegant'	Elegant Water Gum	Standard	M
	24" box	Washingtonia robusta	Mexican Fan Palm	Standard	L
SHRUBS					
	5 gallon	Coleonema p. 'Sunset Gold'	Breath of Heaven		M
	5 gallon	Dodonaea v. 'Purpurea'	Purple Hopseed		L
	5 gallon	Escallonia rubra	Escallonia		M
	5 gallon	Lavatera assurgentifolia	Tree Mallow		L
	5 gallon	Phormium hybrids	New Zealand Flax		L
	5 gallon	Pittosporum tobira 'Variegata'	Variegated Mock Orange		L
	5 gallon	Rhamnus cal. 'Leatherleaf'	Coffeeberry		L
	5 gallon	Westringia fruticosa	Coast Rosemary		L
Groundcovers					
	1 gallon	Arctostaphylos 'Emerald Carpet'	Manzanita		L
	1 gallon	Baccharis pilularis 'Pigeon Point'	Dward Coyote Bush		L
	1 gallon	Ceanothus 'Yankee Point'	Yankee Point California Lilac		L
	1 gallon	Fragaria chiloensis	Beach Strawberry		M
	1 gallon	Gazania m. 'Trailing Yellow'	Trailing Yellow Gazania		M
	1 gallon	Grevillea lanigera 'Coastal Gem'	Wooly Grevillea		L
Grasses / Perennials					
	1 gallon	Anigozanthos species	Kangaroo Paw		L
	1 gallon	Calamagrostis foliosa	Mendocino Reed Grass		M
	1 gallon	Festuca californica	Red Fescue		L
	1 gallon	Helictotrichon sempervivens	Blue Oat Grass		L
	1 gallon	Limonium perezii	Sea Lavender		L
	1 gallon	Lomandra longifolia 'Breeze'	Dwarf Mat Rush		L
	1 gallon	Muhlenbergia rigens	Deer Grass		L
	1 gallon	Pennisetum a. 'Foxtrot'	Giant Fountain Grass		L
	1 gallon	Pennisetum . 'Hamelin'	Dwarf Fountain Grass		L
Bio-Treatment					
	1 gallon	Carex tumulicola	Berkeley Sedge		L
	1 gallon	Chondropetalum tectorum	Cape Rush		L
	1 gallon	Juncus Patens	California Gray Rush		L

- SUNSET ZONE: 17  
PLANTING DESIGN NOTES:
- The above plants have been selected as being representative of the overall planting design intent. This plant palette is suggested for use based on the Alameda Marina Master Plan Landscape Guidelines but does not preclude use of other appropriate plant material. The landscape shall incorporate plants that are tolerant of the challenging conditions of the site and that are appropriate to the local climate. These plants are found along the streets and roof deck open space areas. Native, habitat-enhancing, and low water-use plants should be selected as to complement the character of the project.
  - All trees shall be a minimum of 24" box size. All shrubs and vines shall be a minimum of 5 gallon size. All groundcover shall be a minimum of 1 gallon size.
  - All planted areas are to be watered with an approved automatic underground irrigation system. The system shall be designed to make efficient use of water through conservation techniques, and be in compliance with the Water District's rules and regulations for water service and water use.
  - Water use value based on WUCOLS (Water Use Classification of Landscape Species) IV, 2014 edition.

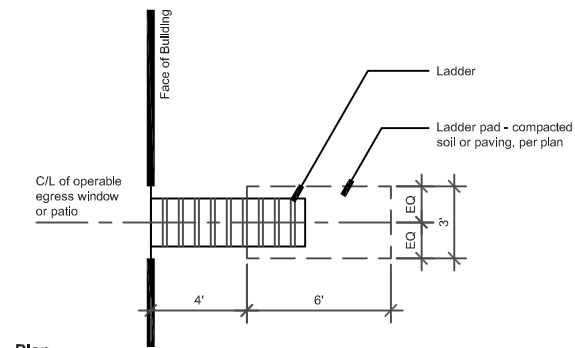




**Section - At Egress Window**



**Section - At Private Balcony**

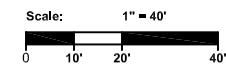
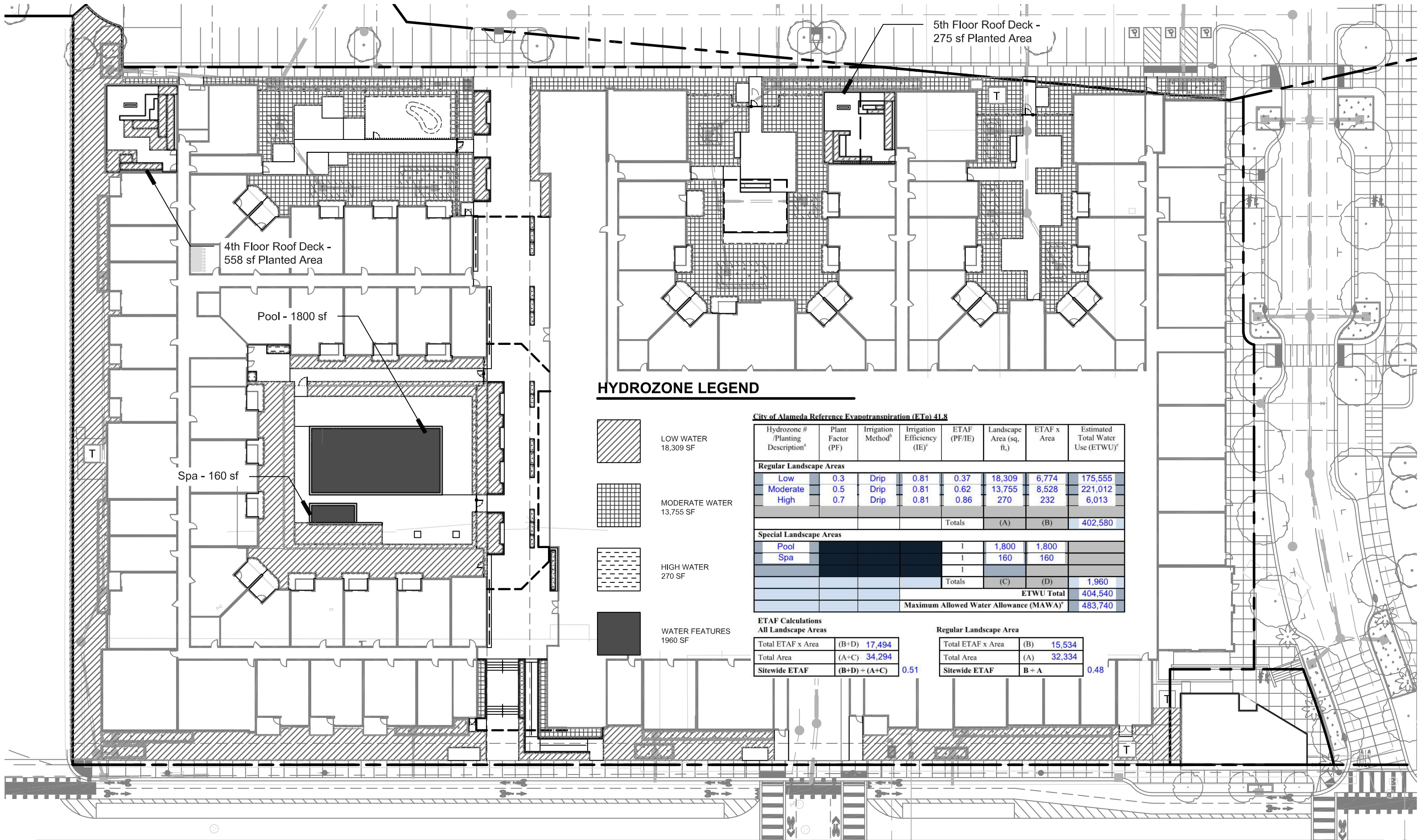


**Plan**

# 1 Ladder Pad Diagram

Scale: 1/8" = 1'-0"







FORM (1) – COVER FORM AND  
SUBMITTAL CHECKLIST

Community Development • Planning & Building  
2263 Santa Clara Ave., Rm. 190 Alameda, CA 94501-4477  
510.747.6805 • TDD: 510.522.7538 • alamedaca.gov

Project Address: Alameda Marina, 1777 Clement Ave, Alameda, CA APN: 071-0288-001-02

Property Owner(s): Alameda Marina, LLC

Address: 1815 Clement Ave City: Alameda State: CA Zip: 94501  
Email: sean@alamedamarina.com Phone: 415.602.8128 (mobile):

Applicant(s): (if different from owner)

Address: City: State: Zip:  
Email: Phone: (mobile):

Project Information

Date Prepared: 09/18/19 Project Type: Residential  
Total Landscape Area: 31,834 Sq. Ft. Water Supply Type: Domestic

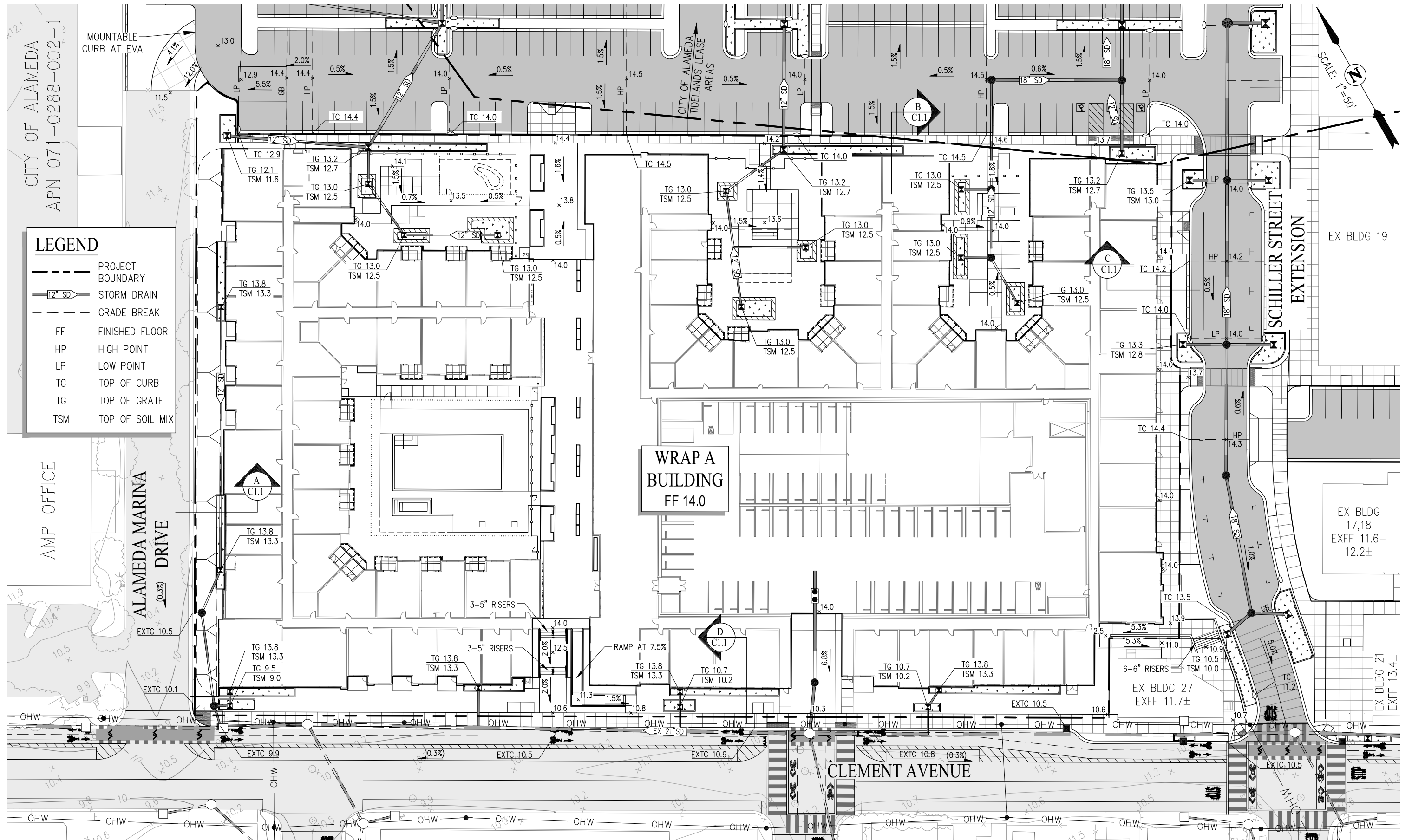
Submittal Checklist

- 1) Water Efficient Landscape Worksheet
  - a) Hydrozone Information Table L4.1
  - b) Water Budget Calculations
    - i) Maximum Applied Water Allowance (MAWA) L4.1
    - ii) Estimated Total Water Use (ETWU) L4.1
- 2) Soil Management Report To be provided as a deferred submittal to building permit plans prior to construction.
- 3) Landscape Design Plan L1.0-L4.1
- 4) Irrigation Design Plan To be provided for building permit.

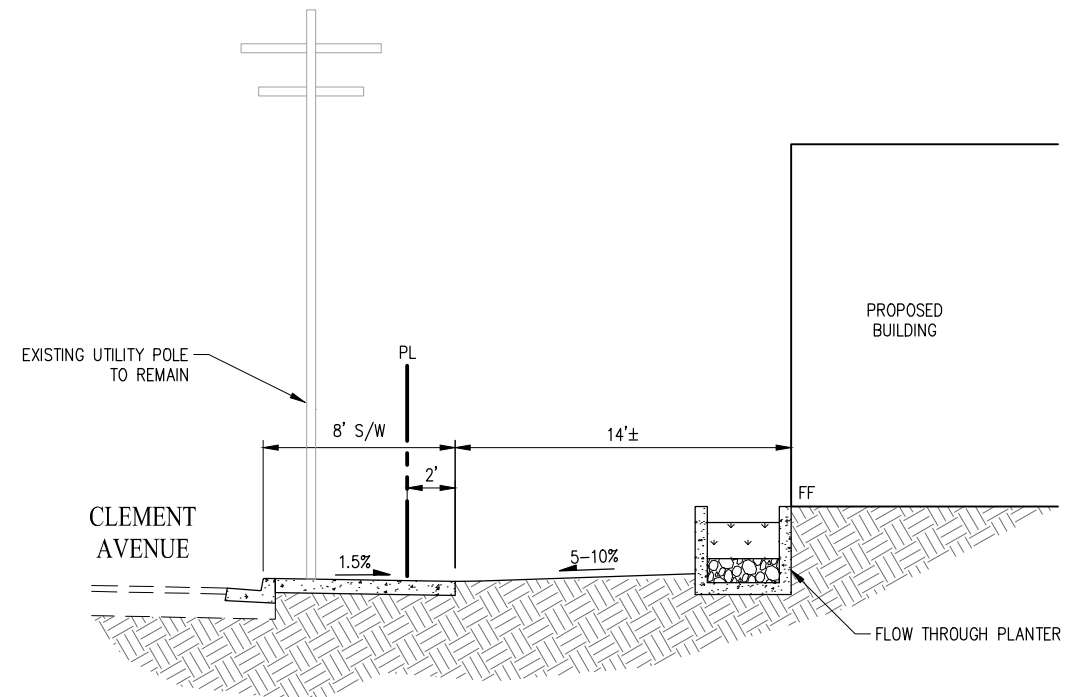
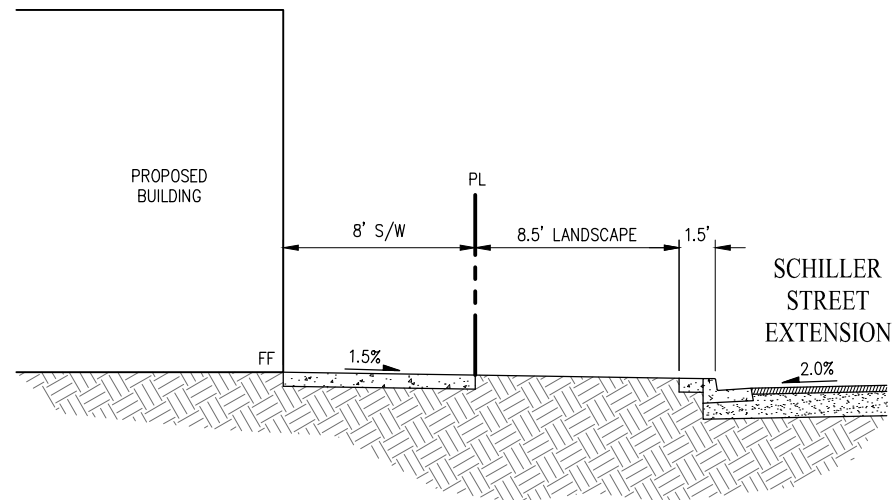
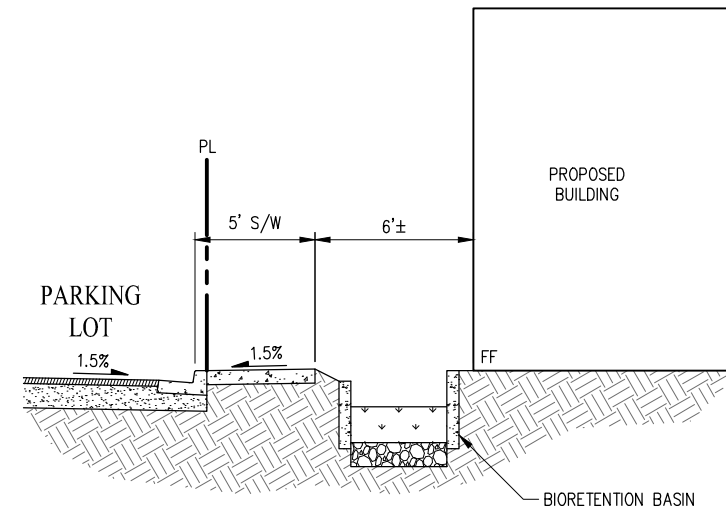
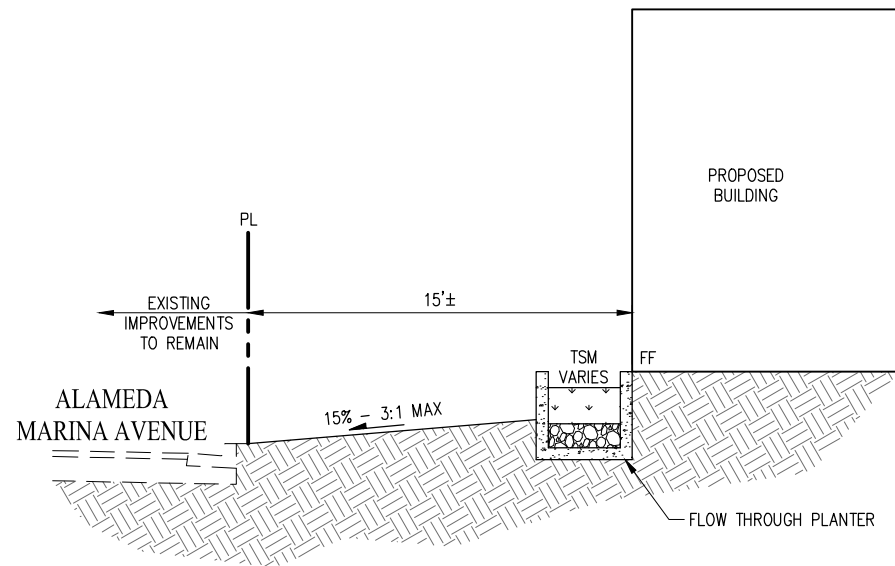
Preparer of Landscape Plans: I agree to comply with the requirements of the Water Efficient Landscape Ordinance and submit a complete Landscape Document Package

X Elyse Eastman 09/18/19  
Preparer(s) of Landscape Plans Signature Required Date





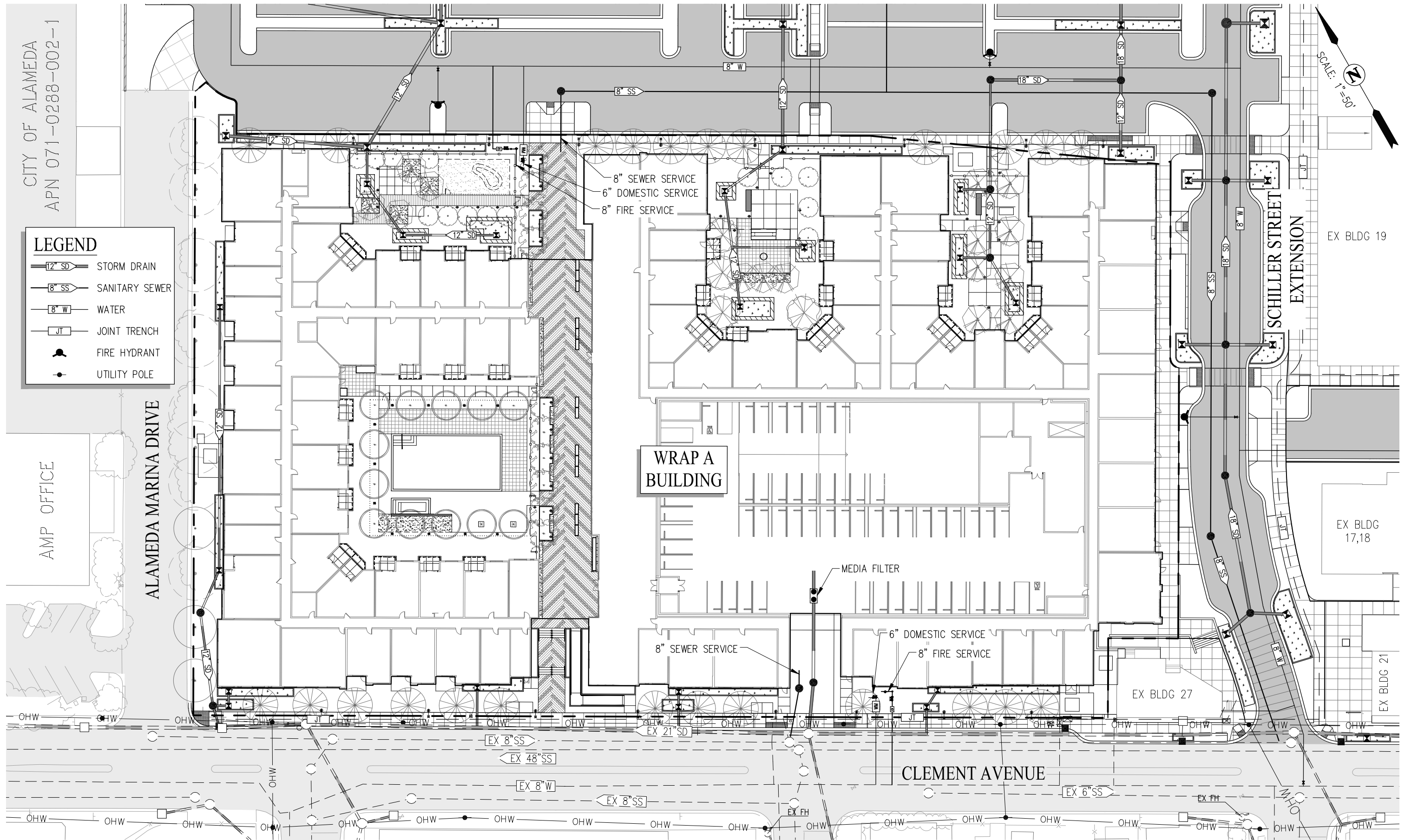




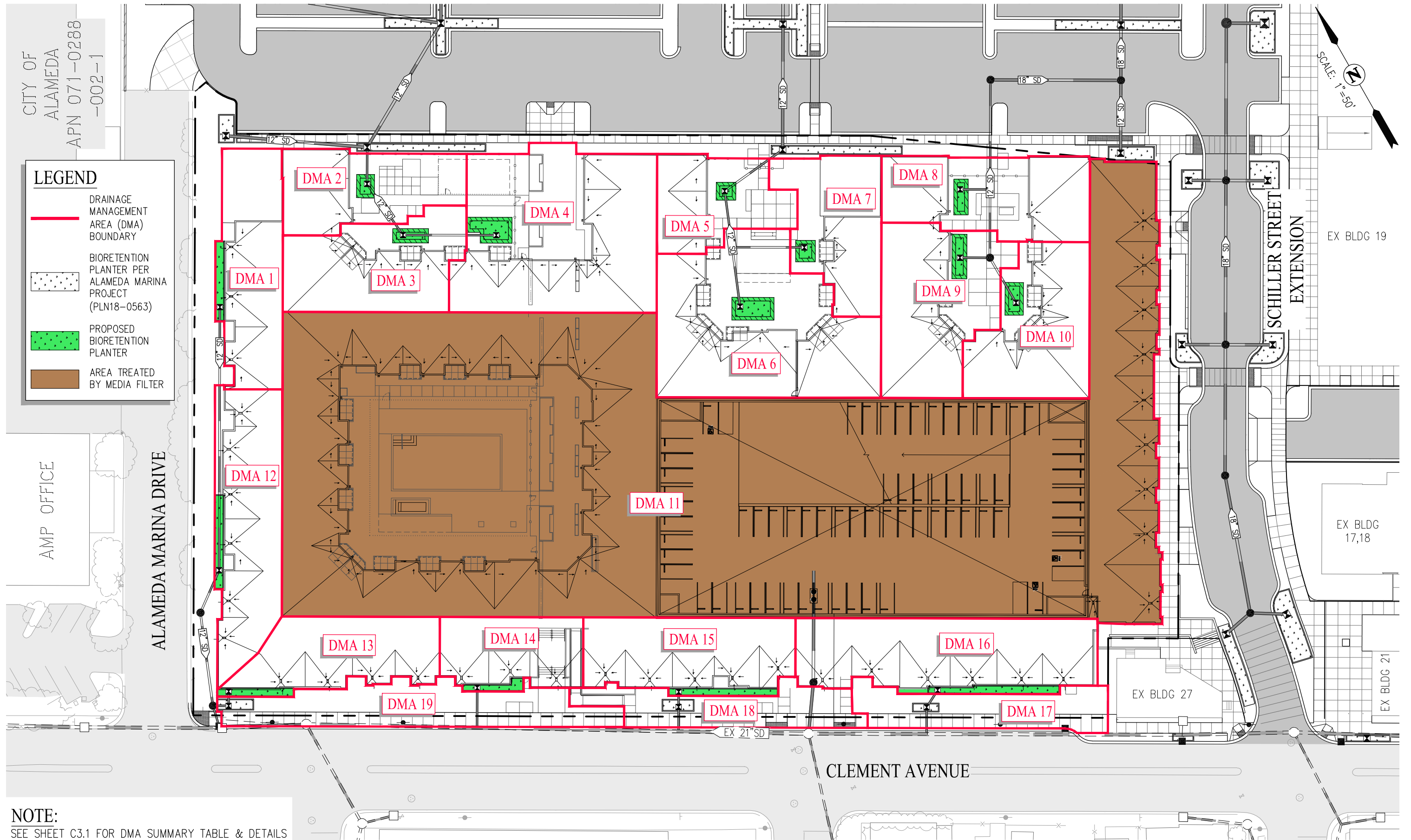


# LEGEND

- 12" SD STORM DRAIN
- 8" SS SANITARY SEWER
- 8" W WATER
- JT JOINT TRENCH
- FIRE HYDRANT
- UTILITY POLE







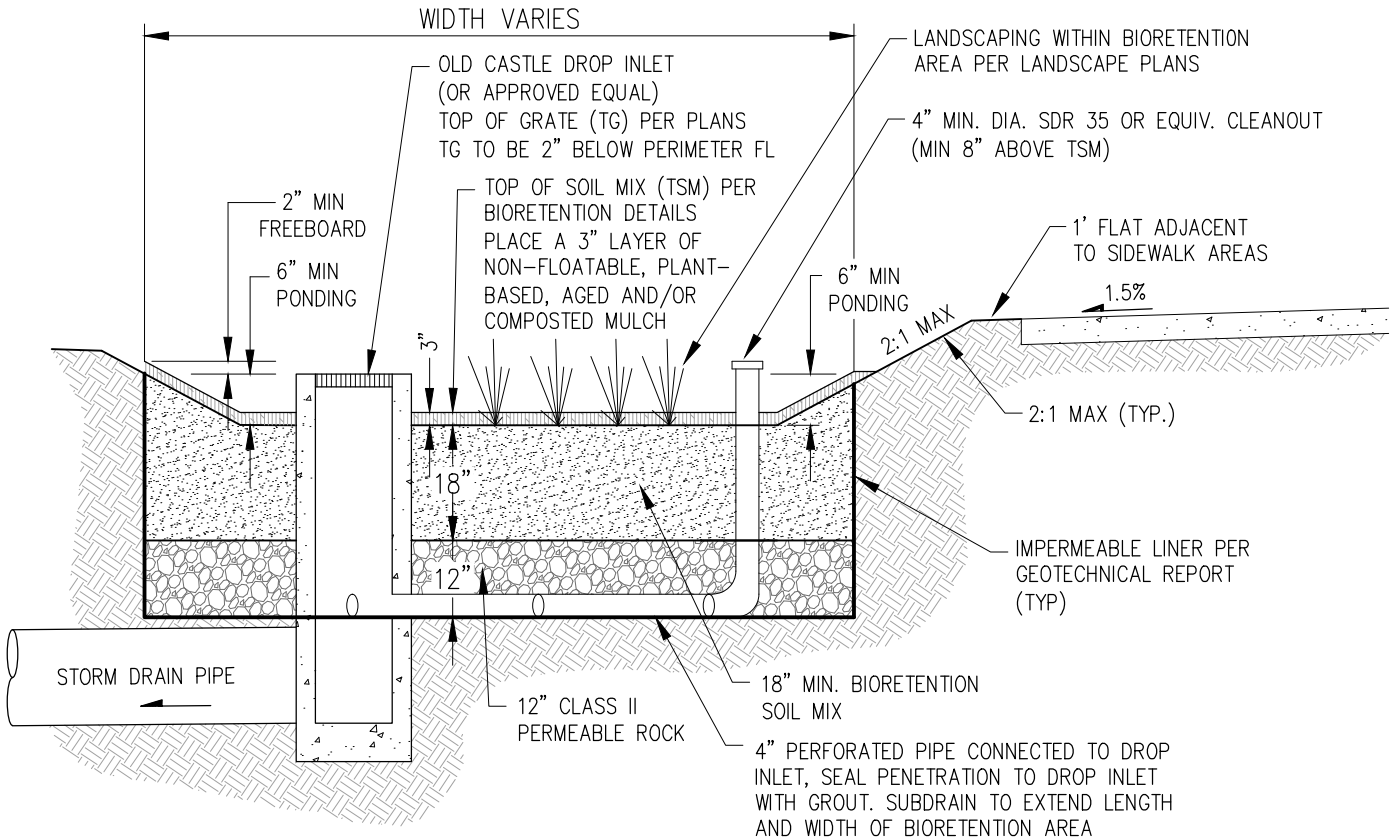


DRAINAGE MANAGEMENT AREA SUMMARY TABLE

DMA #	TOTAL AREA (SF)	TOTAL IMPERVIOUS AREA (SF)	TOTAL PERVIOUS AREA (SF)	REQUIRED BIORETENTION AREA (SF) 4% MIN	PROVIDED BIORETENTION AREA (SF)
1	4,423	4,289	134	172	181
2	4,084	2,919	1,165	121	130
3	4,881	3,672	1,209	152	160
4	9,952	7,696	2,256	317	323
5	3,390	2,507	883	104	110
6	9,454	7,122	2,332	294	300
7	4,153	2,920	1,233	122	132
8	5,024	3,656	1,368	152	160
9	5,801	4,758	1,043	194	208
10	5,001	4,330	671	176	186
11	75,756	69,479	6,277	2,804	N/A
12	5,572	4,940	632	200	216
13	4,285	3,981	304	160	172
14	3,176	3,016	160	121	122
15	4,885	4,555	330	184	204
16	6,795	6,349	446	256	257
17	3,023	1,198	1,825	55	56
18	3,041	2,247	794	93	97
19	4,606	2,133	2,473	95	102
TOTAL	167,302	141,767	25,535	5,773	3,116

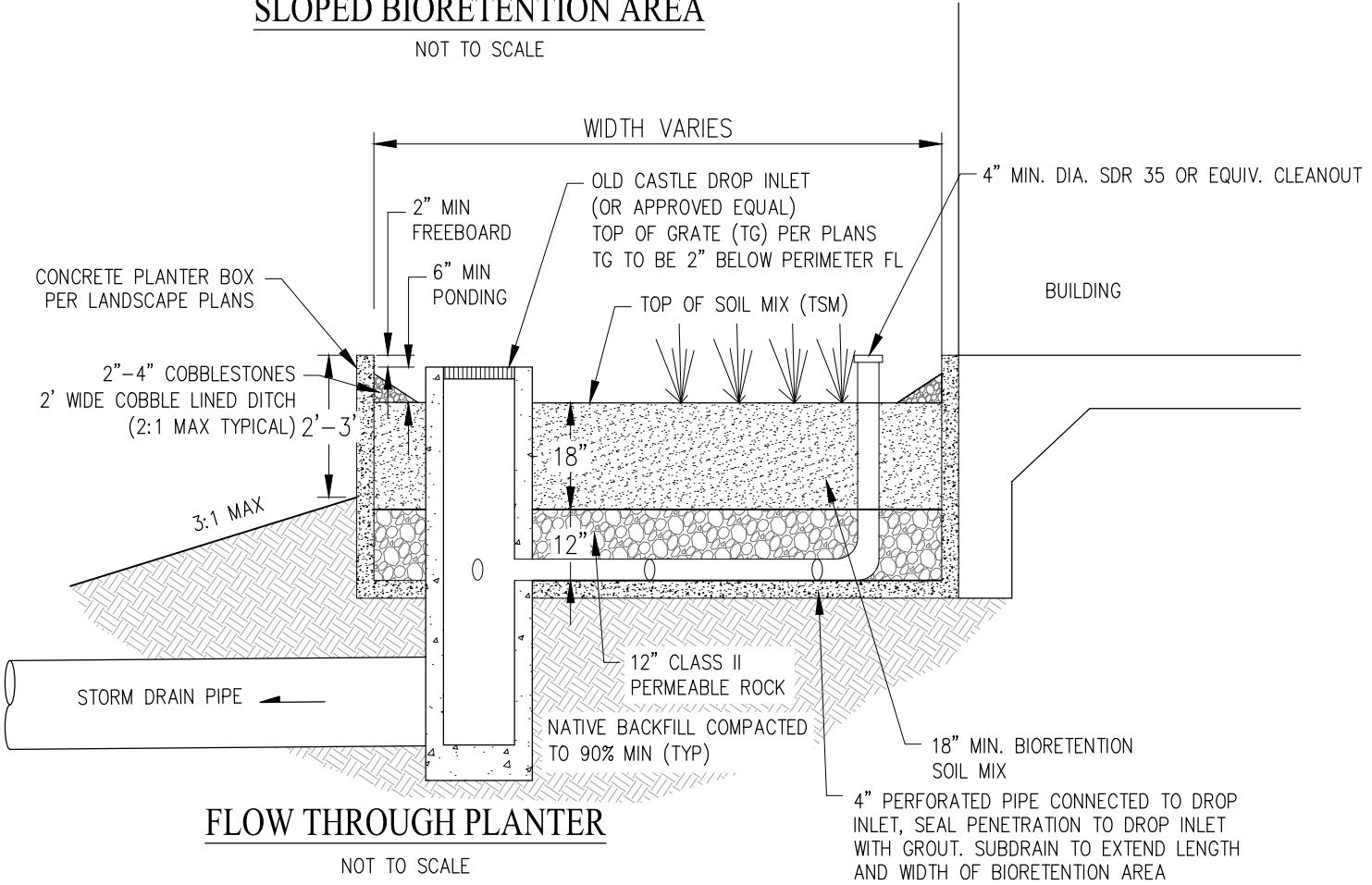
NOTE:

TOTAL LOT AREA: 167,302  
AREA OF SITE TREATED BY LID TREATMENT: 91,546 (55%)  
AREA OF SITE TREATED BY MEDIA FILTER (NON-LID TREATMENT): 75,756 (45%) [LESS THAN 60% MAX]



SLOPED BIORETENTION AREA

NOT TO SCALE



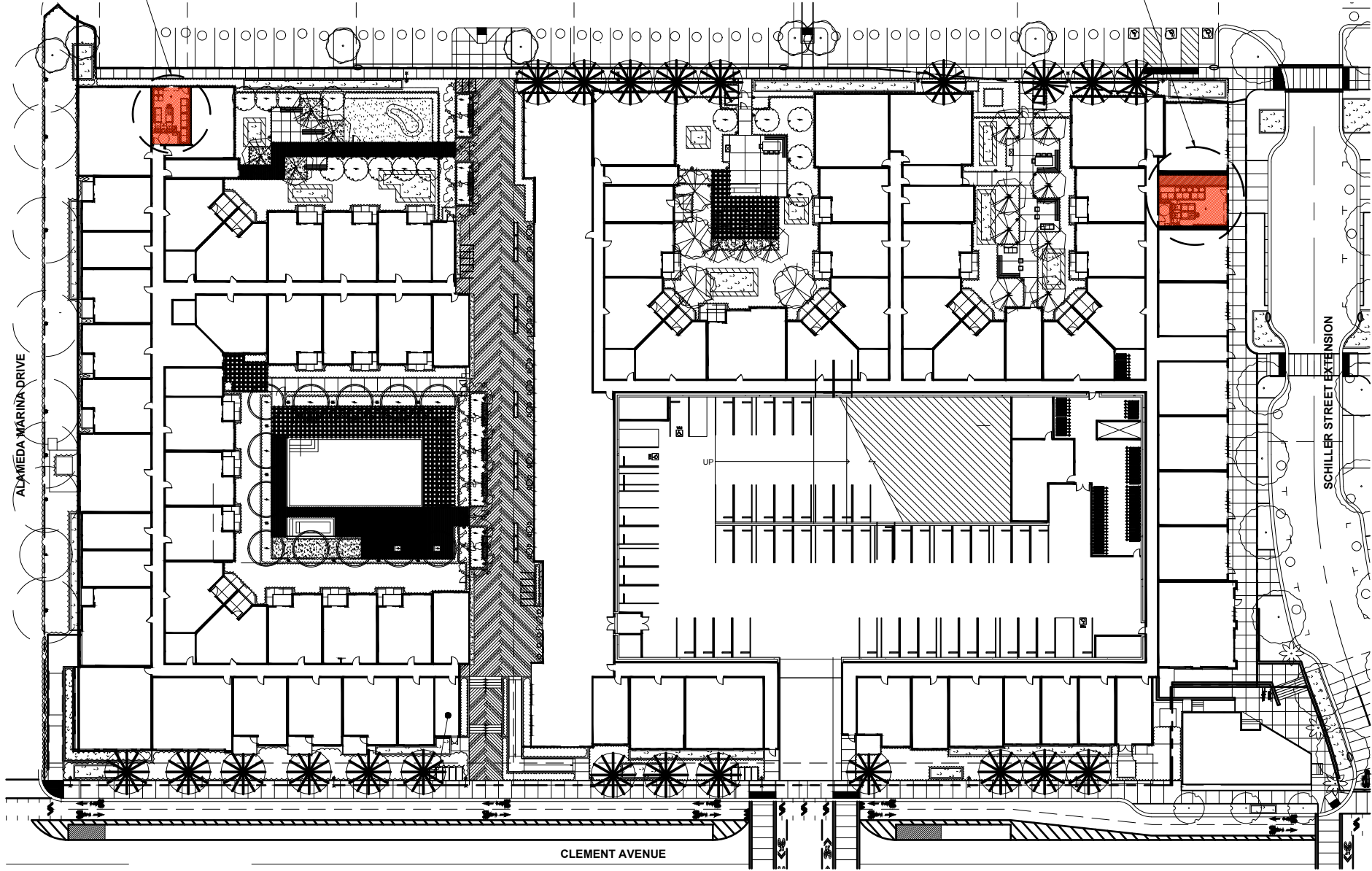
FLOW THROUGH PLANTER

NOT TO SCALE



SEE PAGE T1.0

SEE PAGE T1.1



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SBROWN@TRASHMANAGE.COM

CONSULTANT

BDE

ARCHITECT

OWNER / DEVELOPER

NO.	DATE	ISSUE / REVISION	ISSUED BY

ALAMEDA MARINA  
1777 CLEMENT AVENUE  
ALAMEDA, CA

PROJECT

SITE PLAN  
LEVEL 1

DRAWING TITLE

PROJECT NO.

DRAWN

JM

APPROVED

SB

DATE

09/30/19

SCALE

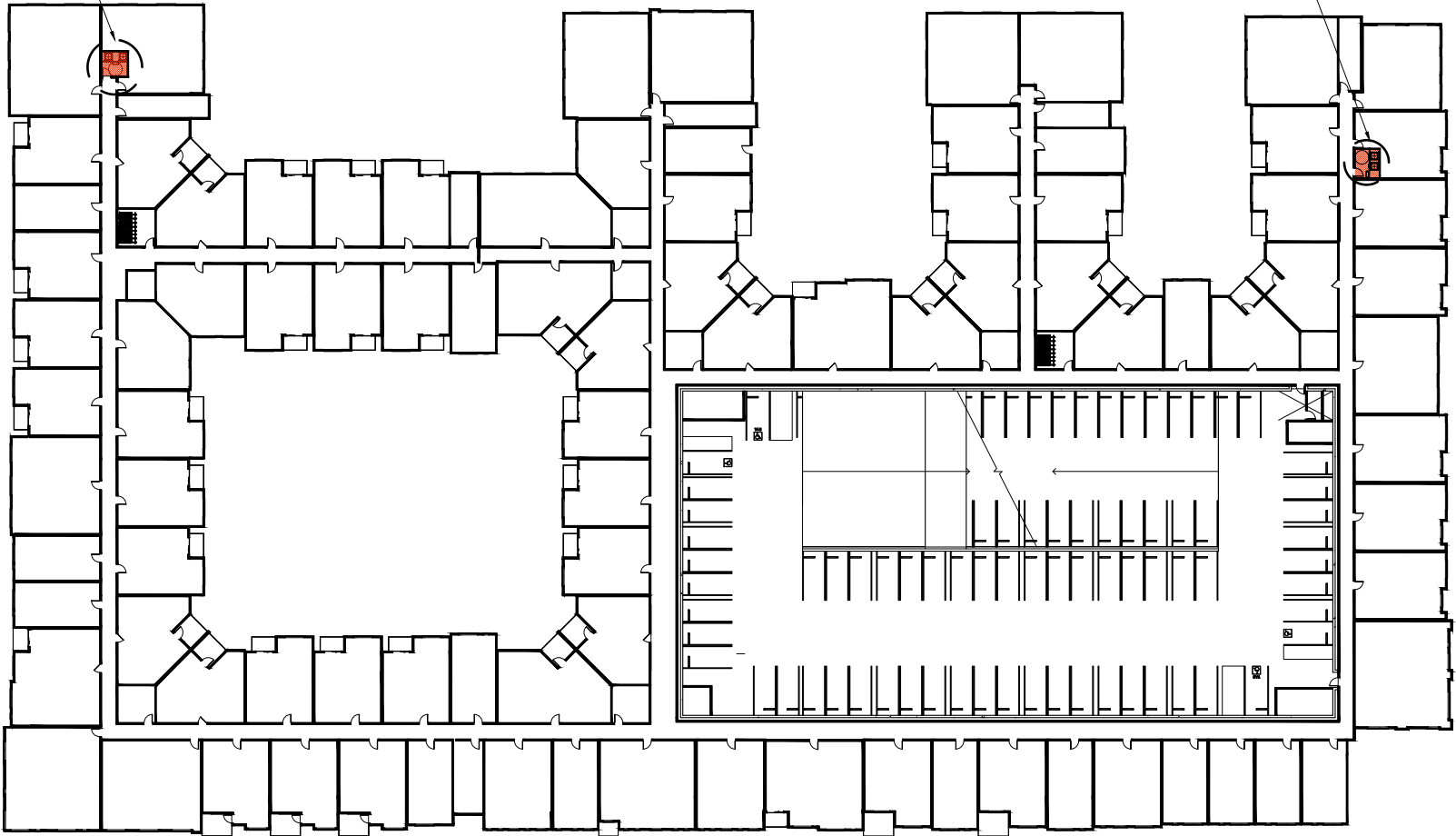
1/64" = 1'-0"

DRAWING NO.

T0.1



SEE PAGE T1.0



SEE PAGE T1.1



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NO.	DATE	ISSUE / REVISION	ISSUED BY

ALAMEDA MARINA  
1777 CLEMENT AVENUE  
ALAMEDA, CA

PROJECT

SITE PLAN  
LEVEL 2

DRAWING TITLE

PROJECT NO.

DRAWN

JM

APPROVED

SB

DATE

09/30/19

SCALE

1/64" = 1'-0"

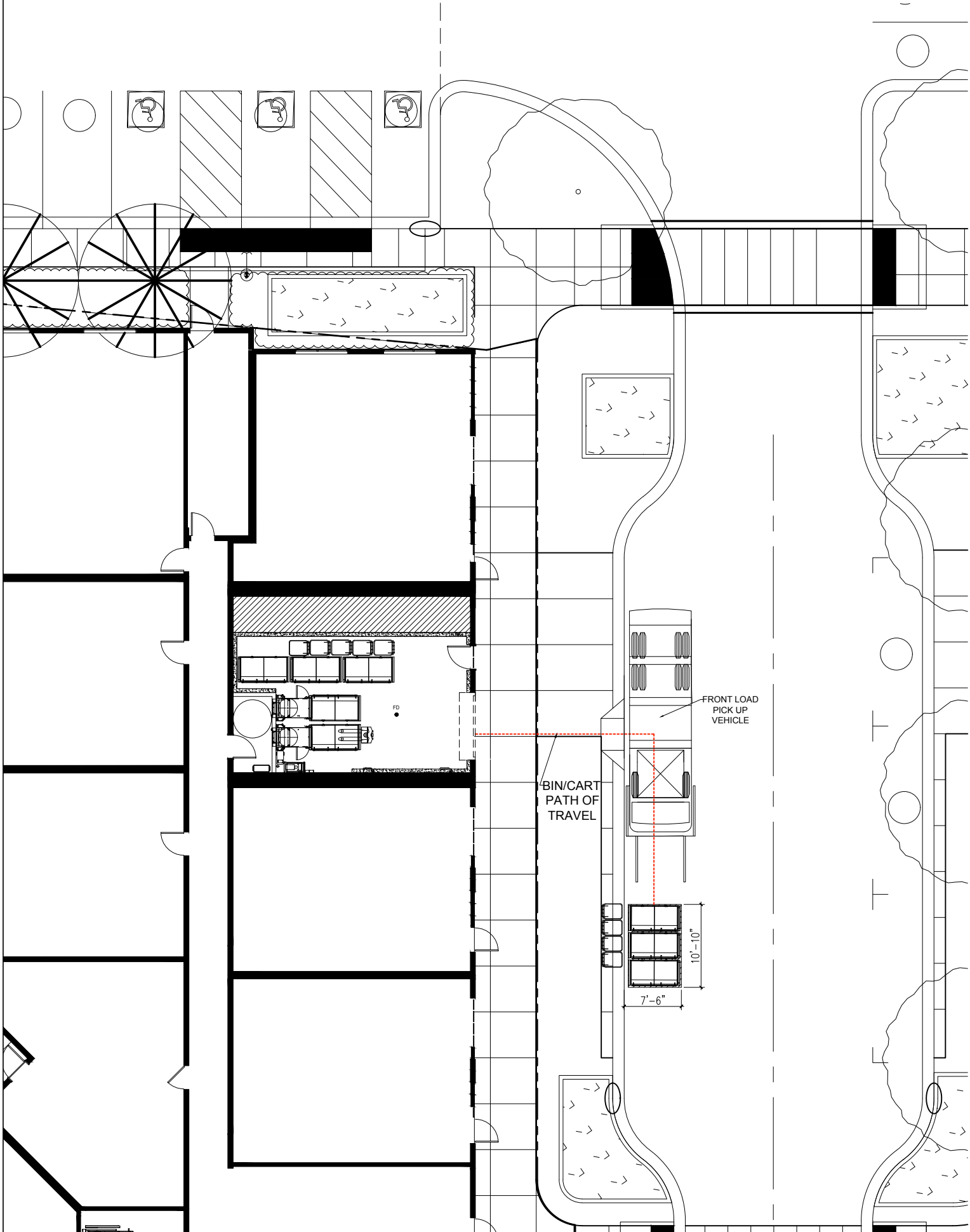
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PROJECTED COLLECTION SCHEDULE- EAST CORE		
SERVICE:	CONTAINER VOL / TYPE:	FREQUENCY:
WASTE	2 x 2CY FL COMPACTOR CONTAINERS	2x/wk
RECYCLING	1 x 2CY FL COMPACTOR CONTAINERS	3x/wk
COMPOST	4 X 64G LOOSE TOTER CARTS	2x/wk



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ARCHITECT

OWNER / DEVELOPER

NO.	DATE	ISSUE / REVISION	ISSUED BY

ALAMEDA MARINA  
1777 CLEMENT AVENUE  
ALAMEDA, CA

PROJECT

STAGING DETAILS  
EAST CORE

DRAWING TITLE

PROJECT NO.

DRAWN

JM

APPROVED

SB

DATE

09/30/19

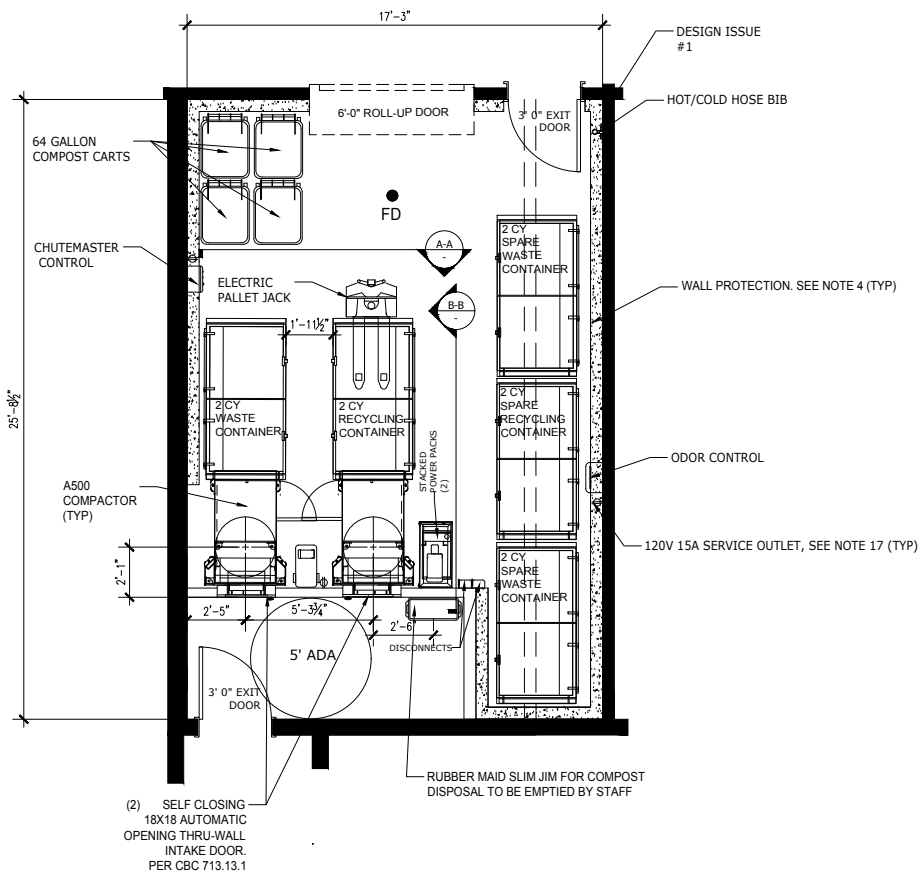
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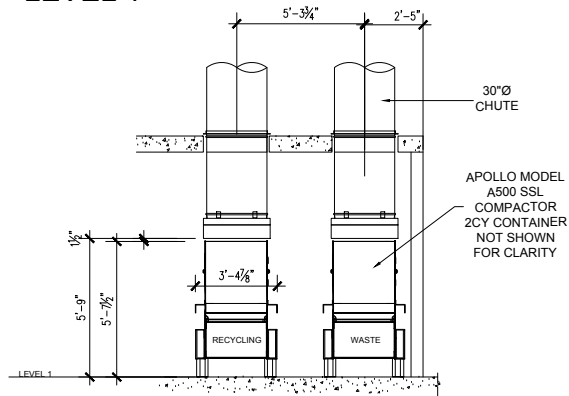
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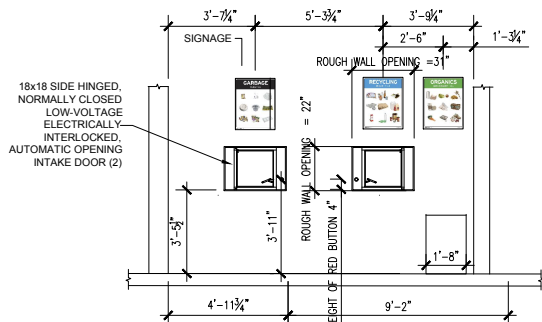




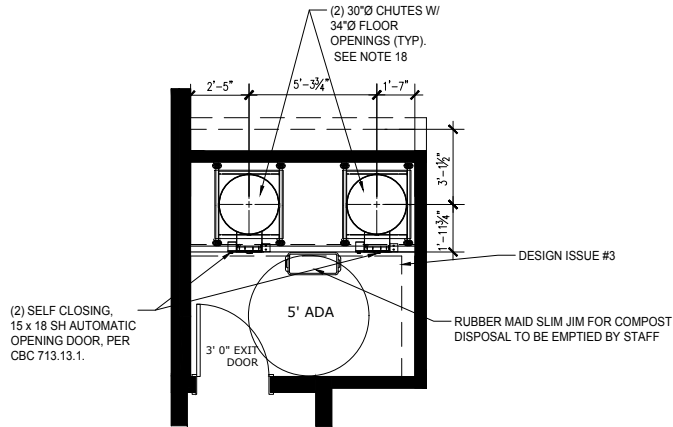
TRASH COLLECTION ROOM  
WEST CORE  
LEVEL 1



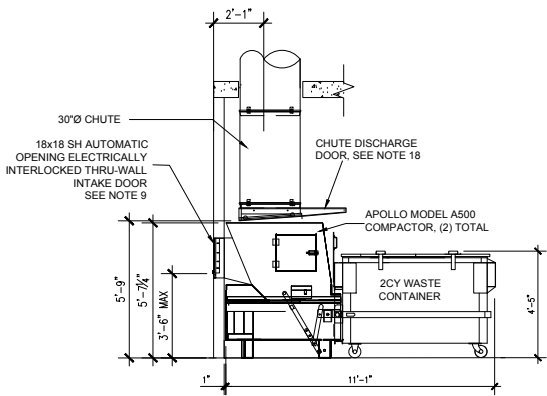
SECTION A-A



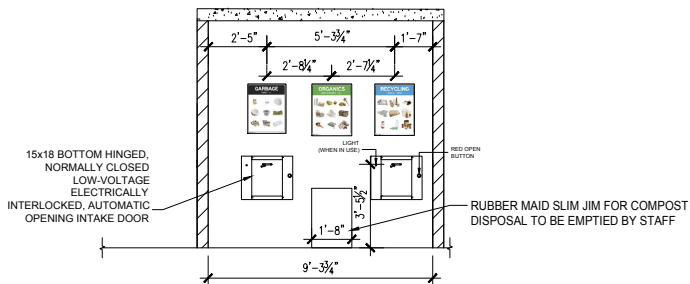
THRU WALL INTAKES  
WEST TRASH COLLECTION ROOM



TYPICAL UPPER VESTIBULE  
WEST CORE  
LEVEL 2-4



SECTION B-B



CHUTE INTAKE DOORS  
TYPICAL WEST VESTIBULE - LEVEL 2 - 4

SHEET NOTES:

RESIDENTIAL TRASH TERMINATION ROOM - LEVEL 1 - WEST CORE

- TRASH COLLECTION ROOM IS PART OF 2HR FIRE-RATED TRASH CHUTE SHAFT - RESTRICTED ACCESS.
- FLOOR SHALL BE FINISHED WITH WATERPROOF DECK COATING. FLOOR TO HAVE MINIMAL SLOPE AND FLOOR DRAIN. FLOOR LEVEL UNDER COMPACTOR.
- WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FRP OR HIGH-GLOSS ENAMEL PAINT, 8'-0" AFF.
- INSTALL WALL PROTECTION: 10"Hx6"W CONCRETE CURB AT BASE OF ALL NON-CONCRETE WALLS.
- 6'-0" ROLL-UP DOOR AND 3'-0" ACCESS DOOR.
- ROOM SHALL BE MECHANICALLY VENTILATED WITH (1) CFM/FT PER 2016 CBC.
- (1) 24"Ø #304 S.S. GRAVITY CHUTE FOR CONTAINERS RECYCLING. PROVIDE 64 GAL TOTER CARTS FOR COLLECTION.
- (2) 30"Ø GRAVITY CHUTES WITH COMPACTOR FOR WASTE AND PAPER RECYCLING. PROVIDE 2CY FL COMPACTOR CONTAINERS FOR WASTE.
- CHUTES SHALL TERMINATE AT 5'-9" AFF.
- PP: COMPACTOR POWER PACKS SHALL BE STACKED AND FLOOR-MOUNTED. (2) 5HP 3-PHASE, 208/230/460V. 30A DISCONNECTS 60" AFF.
- MCP: CHUTE MASTER CONTROL PANEL SHALL BE WALL-MOUNTED 60" AFF. MUST ALLOW LOCK DOWN OF CHUTE INTAKES FOR EXCHANGING CONTAINERS AND WASHING CHUTES. REQUIRES 120V 15A SERVICE OUTLETS.
- AC: 2HP CHUTE AIR COMPRESSOR SHALL BE FLOOR-MOUNTED. REQUIRES 120V 15A SERVICE OUTLETS.
- OC: ODOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF. REQUIRES 120V 15A SERVICE OUTLETS.
- HB: HOT OR COLD HOSE BIB SHALL BE WALL-MOUNTED 60" AFF.
- CHUTE DISCHARGE DOOR: TYPE-A, HORIZONTALLY INSULATED SLIDING-STEEL DOOR, HELD OPEN BY 165° F FUSIBLE LINK.
- PROVIDE (2)18x18 SIDE HINGED, AUTOMATIC OPENING, ELECTRICALLY INTERLOCKED THRU-WALL INTAKE DOORS THAT DISPOSE INTO CONTAINERS, PER CBC 713.13.1. SEE DETAIL 2/T2.0.
- PROVIDE ELECTRIC PALLET TRUCK FOR TRANSFERRING CONTAINERS. 4000lb CAPACITY; TURNING RADIUS: 45.5". REQUIRES 120V 15A SERVICE OUTLETS.

CHUTE INTAKE VESTIBULES: LEVELS 2 - 4

- CHUTE INTAKE VESTIBULES SHALL BE 1HR FIRE-RATED WITH 1HR FIRE-RATED DOOR; 5'-0" MIN REQUIRED PER ADA STANDARDS - RESIDENTIAL ACCESS. PROVIDE (2) SELF CLOSING, 15x18 BOTTOM HINGED, ELECTRICALLY INTERLOCKED, AUTOMATIC OPENING INTAKE DOORS TO DISPOSE TRASH AND RECYCLING INTO COMPACTORS PER CBC 713.13.1. SEE DETAIL 2/T2.0.
- CHUTE SHAFT SHALL NOT BE ERCTED UNTIL CHUTE HAS BEEN INSTALLED. FOR SOUND PROOFING PURPOSES, DOUBLE STUD-WALLS ARE REQUIRED ADJACENT TO OCCUPIED SPACES. INTERIOR OF SHAFT SHALL BE TAPED TO PREVENT ODOROUS AIR LEAKING INTO OCCUPIED SPACES.

GENERAL NOTES:

- ANY DESIGNS OR DESIGN SOLUTIONS PRESENTED IN THIS DRAWING OR SPECIFICATION, WHICH ARE DIRECT OR IMPLIED, INCLUDING NARRATIVES, DRAWINGS, OR DIAGRAMS, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS OR DESIGNS SUITABLE FOR CONSTRUCTION.
- OMISSIONS FROM DRAWINGS OR SPECIFICATIONS, OR THE INACCURATE DESCRIPTION OF DETAILS OF WORK, WHICH ARE MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH ARE CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR INACCURATELY DESCRIBED DETAILS OF THE WORK. WORK SHALL BE PERFORMED AS IF FULLY AND CORRECTLY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ALL EXISTING FIELD CONDITIONS AND ANY DISCREPANCIES OR INCONSISTENCIES.

DESIGN ISSUES :

- MOVED RIGHT WALL 3'-3" TO ALLOW FULL INSTALLATION AND USE OF NECESSARY EQUIPMENT
- PROVIDE GRIDLINES WHEN POSSIBLE IN ORDER TO ENSURE CHUTE ALIGNMENT ON ALL LEVELS
- REDUCE AND MOVE WALLS TO CURRENT DIMENSIONS TO ALLOW FULL INSTALLATION OF USE OF CHUTE CORES. ENSURE CHUTE INTAKE DOORS ARE FLUSH WITH WALL.



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SBROWN@TRASHMANAGE.COM

CONSULTANT

BDE

ARCHITECT

OWNER / DEVELOPER

NO.	DATE	ISSUE / REVISION	ISSUED BY
-----	------	------------------	-----------

ALAMEDA MARINA  
1777 CLEMENT AVENUE  
ALAMEDA, CA

PROJECT

WEST CORE  
TRASH COLLECTION ROOMS

DRAWING TITLE

PROJECT NO.

DRAWN

APPROVED

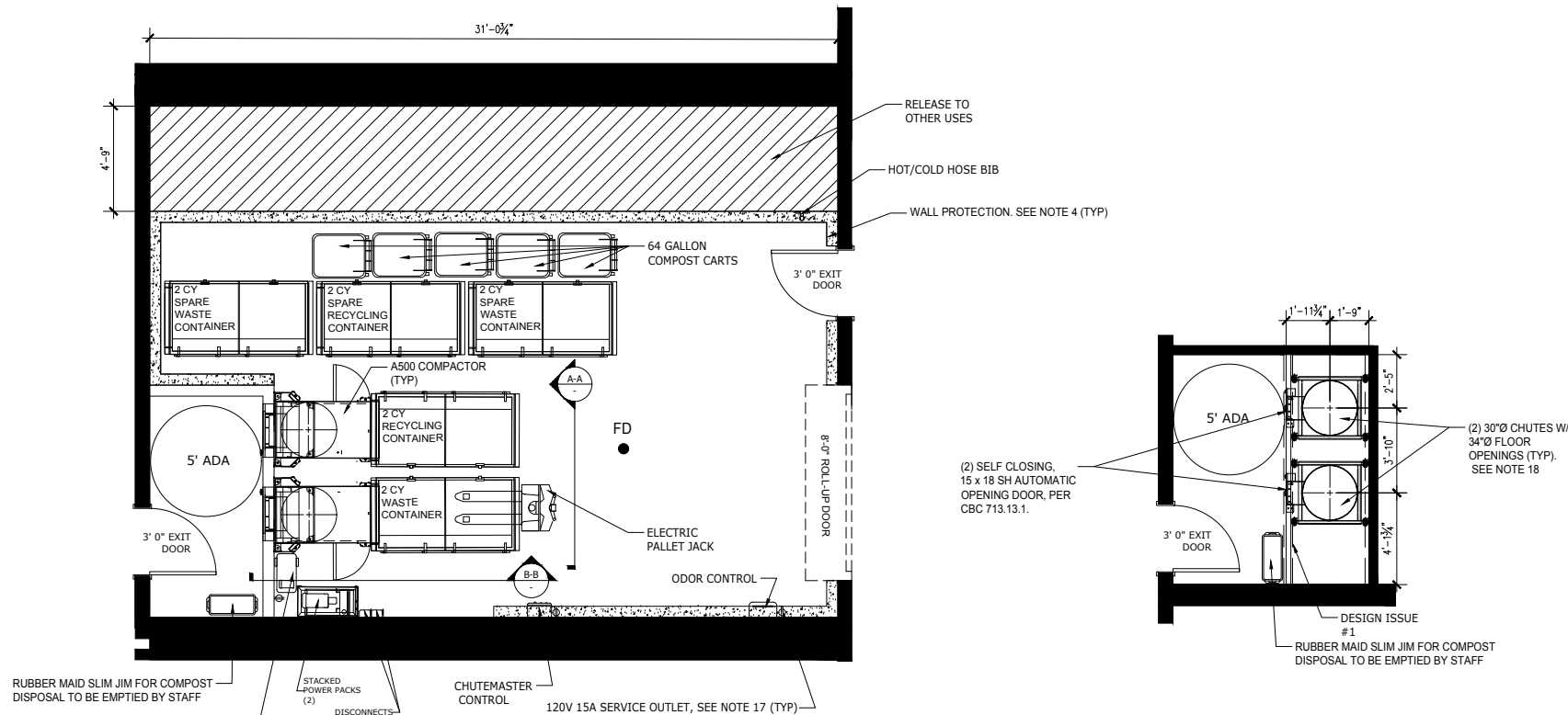
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SCALE

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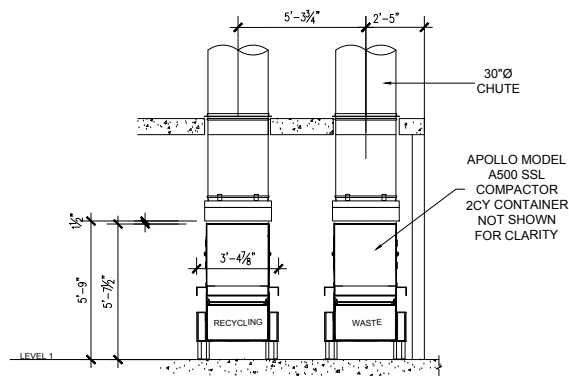
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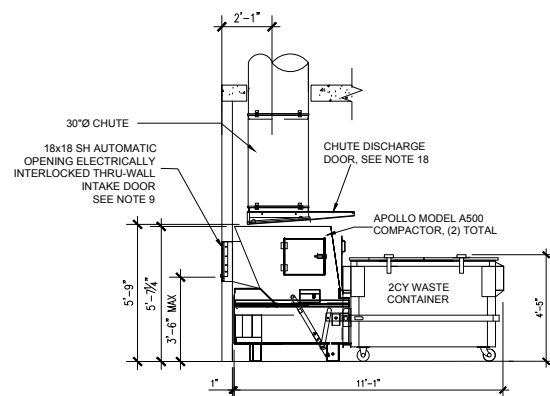


TRASH COLLECTION ROOM  
EAST CORE  
LEVEL 1

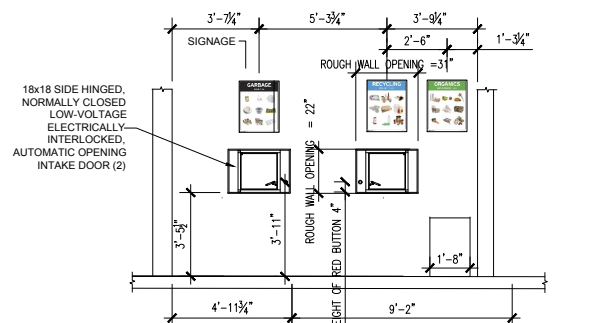
TYPICAL UPPER VESTIBULE  
EAST CORE  
LEVEL 2-5



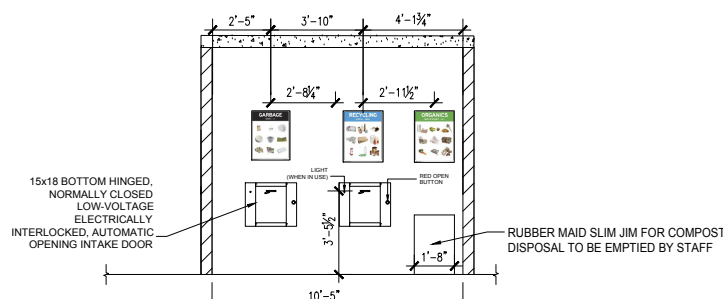
SECTION A-A



SECTION B-B



THRU WALL INTAKES  
WEST TRASH COLLECTION ROOM



CHUTE INTAKE DOORS  
TYPICAL WEST VESTIBULE - LEVEL 2 - 4

**SHEET NOTES:**

**RESIDENTIAL TRASH TERMINATION ROOM - LEVEL 1 - EAST CORE**

1. TRASH COLLECTION ROOM IS PART OF 2HR FIRE-RATED TRASH CHUTE SHAFT - RESTRICTED ACCESS.
2. FLOOR SHALL BE FINISHED WITH WATERPROOF DECK COATING. FLOOR TO HAVE MINIMAL SLOPE AND FLOOR DRAIN. FLOOR LEVEL UNDER COMPACTOR.
3. WALLS SHALL BE FINISHED WITH WASHABLE WATERPROOF SURFACE SUCH AS FRP OR HIGH-GLOSS ENAMEL PAINT, 8'-0" AFF.
4. INSTALL WALL PROTECTION: 10"Hx6"W CONCRETE CURB AT BASE OF ALL NON-CONCRETE WALLS.
5. 6'-0" ROLL-UP DOOR AND 3'-0" ACCESS DOOR.
6. ROOM SHALL BE MECHANICALLY VENTILATED WITH (1) CFM/FT PER 2016 CBC.
7. (1) 24"Ø #304 S.S. GRAVITY CHUTE FOR CONTAINERS RECYCLING. PROVIDE 64 GAL TOTER CARTS FOR COLLECTION.
8. (2) 30"Ø GRAVITY CHUTES WITH COMPACTOR FOR WASTE AND PAPER RECYCLING. PROVIDE 2CY FL COMPACTOR CONTAINERS FOR WASTE.
9. CHUTES SHALL TERMINATE AT 5'-9" AFF.
10. PP: COMPACTOR POWER PACKS SHALL BE STACKED AND FLOOR-MOUNTED. (2) 5HP 3-PHASE, 208/230/460V. 30A DISCONNECTS 60" AFF.
11. MCP: CHUTE MASTER CONTROL PANEL SHALL BE WALL-MOUNTED 60" AFF. MUST ALLOW LOCK DOWN OF CHUTE INTAKES FOR EXCHANGING CONTAINERS AND WASHING CHUTES. REQUIRES 120V 15A SERVICE OUTLETS.
12. AC: 2HP CHUTE AIR COMPRESSOR SHALL BE FLOOR-MOUNTED. REQUIRES 120V 15A SERVICE OUTLETS.
13. OC: ODOR CONTROL UNIT SHALL BE WALL-MOUNTED 60" AFF. REQUIRES 120V 15A SERVICE OUTLETS.
14. HB: HOT OR COLD HOSE BIB SHALL BE WALL-MOUNTED 60" AFF.
15. CHUTE DISCHARGE DOOR: TYPE-A, HORIZONTALLY INSULATED SLIDING-STEEL DOOR, HELD OPEN BY 165° F FUSIBLE LINK.
16. PROVIDE (2)18x18 SIDE HINGED, AUTOMATIC OPENING, ELECTRICALLY INTERLOCKED THRU-WALL INTAKE DOORS THAT DISPOSE INTO CONTAINERS, PER CBC 713.13.1. SEE DETAIL 2/T2.0.
17. PROVIDE ELECTRIC PALLET TRUCK FOR TRANSFERRING CONTAINERS. 4000lb CAPACITY; TURNING RADIUS: 45.5". REQUIRES 120V 15A SERVICE OUTLETS.

**CHUTE INTAKE VESTIBULES: LEVELS 2 - 5**

18. CHUTE INTAKE VESTIBULES SHALL BE 1HR FIRE-RATED WITH 1HR FIRE-RATED DOOR: 5'-0" MIN REQUIRED PER ADA STANDARDS - RESIDENTIAL ACCESS. PROVIDE (2) SELF CLOSING, 15x18 BOTTOM HINGED, ELECTRICALLY INTERLOCKED, AUTOMATIC OPENING INTAKE DOORS TO DISPOSE TRASH AND RECYCLING INTO COMPACTORS PER CBC 713.13.1. SEE DETAIL 2/T2.0.
19. CHUTE SHAFT SHALL NOT BE ERECTED UNTIL CHUTE HAS BEEN INSTALLED. FOR SOUND PROOFING PURPOSES, DOUBLE STUD-WALLS ARE REQUIRED ADJACENT TO OCCUPIED SPACES. INTERIOR OF SHAFT SHALL BE TAPED TO PREVENT ODOROUS AIR LEAKING INTO OCCUPIED SPACES.

**GENERAL NOTES:**

20. ANY DESIGNS OR DESIGN SOLUTIONS PRESENTED IN THIS DRAWING OR SPECIFICATION, WHICH ARE DIRECT OR IMPLIED, INCLUDING NARRATIVES, DRAWINGS, OR DIAGRAMS, ARE HEREBY CLARIFIED AS EXAMPLES AND SHALL NOT BE CONSIDERED COMPLETE DESIGNS OR DESIGNS SUITABLE FOR CONSTRUCTION.
21. OMISSIONS FROM DRAWINGS OR SPECIFICATIONS, OR THE INACCURATE DESCRIPTION OF DETAILS OF WORK, WHICH ARE MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH ARE CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR INACCURATELY DESCRIBED DETAILS OF THE WORK. WORK SHALL BE PERFORMED AS IF FULLY AND CORRECTLY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.
22. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO START OF CONSTRUCTION. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ALL EXISTING FIELD CONDITIONS AND ANY DISCREPANCIES OR INCONSISTENCIES.

**DESIGN ISSUES :**

1. REDUCE AND MOVE WALLS TO CURRENT DIMENSIONS TO ALLOW FULL INSTALLATION OF USE OF CHUTE CORES. ENSURE CHUTE INTAKE DOORS ARE FLUSH WITH WALL.
2. PROVIDE GRIDLINES WHEN POSSIBLE IN ORDER TO ENSURE CHUTE ALIGNMENT ON ALL LEVELS





BDE

ARCHITECT

OWNER / DEVELOPER

NO.	DATE	ISSUE / REVISION	ISSUED BY

ALAMEDA MARINA  
1777 CLEMENT AVENUE  
ALAMEDA, CA

PROJECT

## 30" WOOD FRAME CHUTE DETAILS

DRAWING TITLE

PROJECT NO.

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DATE \_\_\_\_\_

SCALE

DRAWING NO.

## T2.0



PROJECT NO.

DRAWING NO.

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