

PARK SOCIAL

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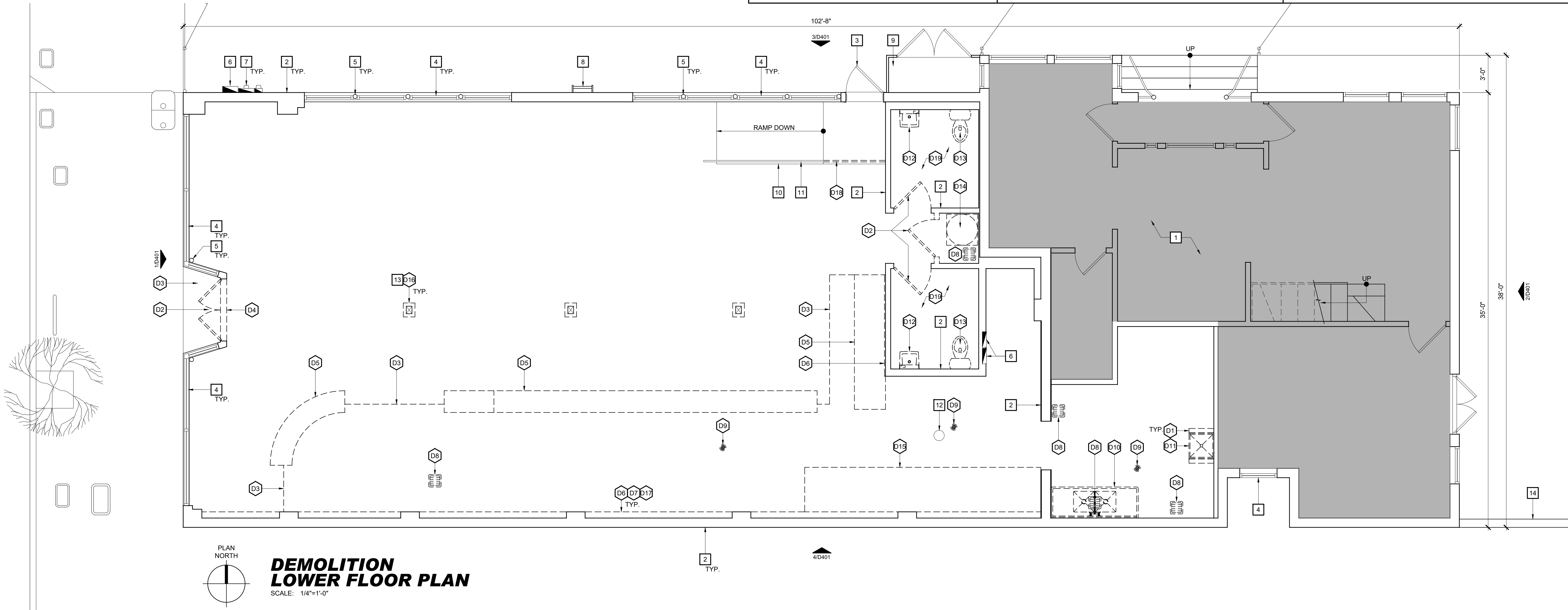
ABBREVIATIONS		LEGEND		SYMBOLS		PROJECT TEAM		PROJECT INFORMATION		SHEET INDEX	
& L @ /	AND ANGLE AT CENTERLINE DIAMETER OR ROUND PERPENDICULAR PROPERTY LINE POUND OR NUMBER	HDR. HDWR. H.M. HORIZ. H.S. HTG. H.W. HWD. HVAC.	HEADER HARDWARE HOLLOW METAL HORIZONTAL HEAVY SHEET HEIGHT HEATING HOT WATER HARDWOOD HEATING/VENTILATING/AIR CONDITIONING	T T.B. T.B.D. T.C. TEL. TEMP. T.E.N. T & G THK. THRESH. T.J. T.O. T.P.H. T.Q. T.V. T.W. TYP. U/L U.N.O. U.O.N. UR. V.I.F. W. W.C. WD. WDW. W.H. WI. W.P. W.R. W.S. WSC. WT. W.W.M.	TREAD TOWEL BAR TO BE DETERMINED TOP OF CURB TELEPHONE TEMPERED TYPICAL EDGE NAILING TONGUE & GROOVE THICKNESS THRESHOLD TRUSS JOIST INTERNATIONAL TOP OF TOILET PAPER HOLDER TOP OF PAVEMENT TELEVISION TOP OF WALL TYPICAL UNDERWRITER'S LABORATORY UNLESS NOTED OTHERWISE UNLESS OTHERWISE NOTED URINAL VERIFY IN FIELD WEST/WIDTH/WIDE WITH WATER CLOSET WOOD WINDOW WATER HEATER WOODWORK INSTITUTE WITHOUT WATERPROOF(ING) WATER RESISTANT WOOD SCREW WAJNSCOT WEIGHT WELDED WIRE MESH	PROPERTY OWNER		PROJECT: LOCATION: APN: ZONING: CURRENT USE: PROPOSED USE: LOT SIZE: TWO-STORY BUILDING:	SHT. # TITLE A001	SHEET TITLE COVER SHEET	
A.B. A.C. ACOUS. ADJ. A.F.F. AGGR. ALUM. ANOD. A.P.A. APPROX. ARCH. A.S.	ANCHOR BOLT ACRYLONITRILE BUTADIENE ABOVE ASPHALTIC CONCRETE AIR CONDITIONING ACOUSTICAL ADJUSTABLE (ING) ABOVE FINISH FLOOR AGGREGATE ALUMINUM ANODIZED AMERICAN PLYWOOD ASSOCIATION APPROXIMATE ARCHITECTURAL ADJUSTABLE SHELF	I.C.C. INTERNATIONAL CODE COUNCIL INSIDE DIAMETER INCLUDED (ING) INSULATE(D) (ING) INTERIOR INVERT JAN. JANITOR JOIST HANGER JOINT KIT. KITCHEN	INTERNATIONAL CODE COUNCIL INSIDE DIAMETER INCLUDED (ING) INSULATE(D) (ING) INTERIOR INVERT JANITOR JOIST HANGER JOINT KITCHEN LENGTH LAMINATE LAVATORY LAG BOLT LOCATION(ION) LAMINATED VENEER LUMBER LIGHTWEIGHT MASONRY MATERIAL(S) MAXIMUM MACHINE BOLT MEDICINE CABINET MAN HOLE MECH. MEMB. MEZZANINE MANUFACTURE(ER) MINIMUM MIRROR MISCELLANEOUS MOLDING/MOULDING MALLEABLE IRON WASHER MASONRY OPENING MOUNTED METAL MULLION N. NORTH NEW NATURAL NOT IN CONTRACT NOMINAL NOT TO SCALE O. OVER OBS. ON CENTER(S) O.D. OUTSIDE DIAMETER OFF. OFFICE OWNER FURNISHED CONTRACTOR INSTALLED OWNER FURNISHED OWNER INSTALLED O.H. OVER HANG O.H.M.S. OVALHEAD MACHINE SCREW O.H.W.S. OVALHEAD WOOD SCREW OPNG. OPENING OPP. OPPOSITE P.A.F. POWDER ACTUATED FASTENER P.B. PANIC BAR PART. T.BD. PARTICLE BOARD PCF. POUNDS PER CUBIC FOOT P.D. POWDER DRIVEN P.G. PAINT GRADE PERF. PERFORATE PLF. POUNDS PER LINEAR FOOT PLAS. LAM. PLASTIC LAMINATE PLAS. PLASTER PLYWD. PLYWOOD PR. PAIR PSF. POUNDS PER SQUARE FOOT PSI. POUNDS PER SQUARE INCH PT. PRESSURE TREATED PART. PARTITION P.T. DISP. PAPER TOWEL DISPENSER P.V.C. POLYVINYL CHLORIDE R. RISER R.A. RETURN AIR RAD. RADIUS R.D. ROOF DRAIN REG. REGISTER REF. REFRIGERATOR REINF. REINFORCED REIN. REQUIRED REQMT. REQUIREMENT RESIL. RESILIENT REV. REVERSED R.H.M.S. ROUNDHEAD MACHINE SCREW R.H.W.S. ROUNDHEAD WOOD SCREW RM. ROOM R.O. ROUGH OPENING R.O.W. RIGHT OF WAY RESAWN RUB. RUBBER RWD. REDWOOD R.W.L. RAIN WATER LEADER S. SOUTH S.B. SOLID BLOCKING S.C. SOLID CORE SCHED. SCHEDULE S.A. STORM DRAIN SECT. SECTION SERV. SERVICE S.F. SQUARE FOOT S.G. STAIN GRADE SH. SHELF/SHELVING SHWR. SHOWER SHT. SHEET SHTG. SHEATHING SIM. SIMILAR S.S. STAINLESS STEEL SERVICE SINK S.S.D. SEE STRUCTURAL DRAWINGS S.M. SHEET METAL S.M.S. SHEET METAL SCREW SPEC. SPECIFICATION SQ. SQUARE STL. STEEL STD. STANDARD STAG. STAGGERED STOR. STORAGE STRUCT. STRUCTURAL SUSP. SUSPENDED SYMM. SYMMETRY(CAL) SYS. SYSTEM	TENANT / APPLICANT		PARK SOCIAL, LLC 1017 AUBURN DRIVE ALAMEDA, CA 94502 ph: (510) 847-7047 Email: platinum@suite1life@gmail.com Contact: AARON KRAW	AREA OF WORK (RETAIL ONLY): HISTORIC STUDY LIST:				
ARCHITECT						WALD, RUHNKE & DOST ARCHITECTS, LLP 2340 GARDEN ROAD, SUITE 100 MONTEREY, CA 93940 ph: (831) 649-4642 fax: (831) 649-3530 Email: kent@wrdrch.com KENNETH TURGEN		APPLICABLE BUILDING CODES & STANDARDS CALIFORNIA CODE OF REGULATIONS (CCR): 2019 CALIFORNIA ADMINISTRATIVE CODE (CAC), CCR TITLE 24, PART 1 2019 CALIFORNIA BUILDING CODE (CBC), CCR TITLE 24, PART 2, VOLUMES 1 AND 2 2019 CALIFORNIA RESIDENTIAL CODE (CRC), CCR TITLE 24, PART 2.5 2019 CALIFORNIA ELECTRICAL CODE (CEC), CCR TITLE 24, PART 3 2019 CALIFORNIA MECHANICAL CODE (CMC), CCR TITLE 24, PART 4 2019 CALIFORNIA PLUMBING CODE (CPC), CCR TITLE 24, PART 5 2019 CALIFORNIA ENERGY CODE (CEC), CCR TITLE 24, PART 6 PART 7 VACANT 2019 CALIFORNIA HISTORICAL BUILDING CODE (CHBC), CCR TITLE 24, PART 8 2019 CALIFORNIA FIRE CODE (CFC), CCR TITLE 24, PART 9 2019 CALIFORNIA EXISTING BUILDING CODE (CEBC), CCR TITLE 24, PART 10 2019 CALIF. GREEN BUILDING STANDARDS CODE (CALGreen), CCR TITLE 24, PART 11 2019 CALIFORNIA REFERENCED STANDARDS CODE, CCR TITLE 24, PART 12 CCR TITLE 19, PUBLIC SAFETY, DIVISION 1, STATE FIRE MARSHAL			
SCOPE OF WORK						1. CONVERT PORTION OF LOWER LEVEL FROM RESTAURANT / RETAILS USE TO CANNABIS DISPENSARY WITH SMOKING LOUNGE. 2. NEW ENTRY DOOR, SIGNAGE AND FACADE PAINT. 3. NO WORK TO OCCUR IN LOWER AND UPPER FLOOR RESIDENTIAL AREAS.					
VICINITY MAP						PARK STREET		SITE PLAN			

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DEMO GENERAL NOTES	DEMOLITION NOTES	KEY NOTES
<p>1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DOCUMENTS AND FIELD CONDITIONS PRIOR TO PROCEEDING WITH THE WORK. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT IN QUESTION WITH THE ARCHITECT BEFORE PROCEEDING. ALL ELEMENTS NOT SHOWN TO REMAIN ARE TO BE DEMOLISHED PER ARCHITECT'S APPROVAL.</p> <p>2. CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS THAT ARE NOT SCHEDULED FOR REMOVAL FROM DAMAGE. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND/OR REPAIRING ANY DAMAGE CAUSED TO THE ITEMS TO REMAIN.</p> <p>3. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, AND EQUIPMENT AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED.</p> <p>4. PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM EMANATING FROM DEMOLITION/CONSTRUCTION AREA. KEEP AREA CLEAN.</p> <p>5. AT COMPLETION OF DEMOLITION WORK, THE CONSTRUCTION AREA(S) SHALL BE LEFT IN "BROOM CLEAN" CONDITION. ALL DEBRIS AND MISCELLANEOUS MATERIAL SHALL BE REMOVED.</p> <p>6. THE ELECTRICAL CONTRACTOR SHALL FURNISH A SYSTEM OF TEMPORARY LIGHT AND POWER IN THE SPACE DURING CONSTRUCTION, INCLUDING PROVISIONS FOR EMERGENCY LIGHTING.</p> <p>7. REMOVE ALL EXISTING TILE WHERE OCCURS, U.O.N. REMOVE ALL EXISTING IRREGULAR MATERIALS WHICH CAUSE RISES OR DEPRESSIONS IN FLOORING SURFACE, SUCH AS FASTNERS, OUTLET CORES, COVER PLATES, CARPET PADS, FLASH PATCH, CONCRETE FILL, PLYWOOD, ETC.</p> <p>8. DEMOLITION IS NOT NECESSARILY LIMITED TO WHAT IS SHOWN ON DRAWINGS. THE INTENT IS TO INDICATE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.</p> <p>9. REMOVE TO SOURCE AND CAP ALL PIPES, VENTS, APPLIANCES AND/OR DRAINS NOT BEING RE-USED.</p> <p>10. ALL DOORS, FRAMES, HARDWARE, MECHANICAL ITEMS, PLUMBING FIXTURES, LIGHT FIXTURES (INCLUDING DOWNLIGHTS & FLUORESCENTS), AND SPECIAL EQUIPMENT TO BE DEMOLISHED EXCEPT AS SPECIFICALLY EXCLUDED BECOMES PROPERTY OF THE CONTRACTOR AND SHOULD BE REMOVED FROM THE PREMISES.</p> <p>11. GENERAL CONSTRUCTION CONTRACTOR SHALL PROVIDE APPROPRIATE WEATHER PROTECTION OF EXISTING STRUCTURE WHEN DEMOLITION WORK CAUSES EXPOSURE OF EXISTING CONSTRUCTION TO THE ELEMENTS.</p> <p>12. PATCH AND REPAIR WALL SURFACES TO REMAIN TO MATCH SCHEDULE FINISHES AFTER COMPLETION OF DEMOLITION WORK AND INSTALLATION OF NEW PARTITIONS AND/OR NEW DOORS AND WINDOWS.</p> <p>13. AT ALL WALLS TO REMAIN, REFER TO DRAWINGS FOR TREATMENT OF EXISTING SURFACES OTHER THAN PAINT. PATCH AND FILL WALLS, PREP FOR NEW FINISH.</p> <p>14. CONTRACTOR SHALL LEGALLY DISPOSE OF ANY MATERIAL SCHEDULED FOR DEMOLITION.</p>	<p>THE DEMOLITION NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.</p> <p>D1 REMOVE WALL, OR PORTION OF WALL, TO ACCOMMODATE NEW WORK.</p> <p>D2 REMOVE EXISTING DOOR.</p> <p>D3 REMOVE ALL FLOOR COVERINGS DOWN TO CONCRETE SLAB.</p> <p>D4 REMOVE THRESHOLD PLATE.</p> <p>D5 REMOVE ALL COUNTERS AND CABINETRY.</p> <p>D6 REMOVE ALL SSTL BACKSPASH SHEETS.</p> <p>D7 REMOVE PLUMBING ALONG WALL - CAP AT NEAREST SOURCE.</p> <p>D8 REMOVE FLOOR SINK - CAP AT NEAREST SOURCE.</p> <p>D9 REMOVE FLOOR DRAIN - COVER OPENING LEVEL WITH SLAB.</p> <p>D10 REMOVE EXISTING KITCHEN EQUIPMENT / SSTL SINK ENTIRELY.</p> <p>D11 REMOVE JANITOR SINK - CAP PLUMBING AT NEAREST SOURCE.</p> <p>D12 REMOVE BATHROOM SINK - CAP PLUMBING AT NEAREST SOURCE.</p> <p>D13 REMOVE TOILET AND ASSOCIATED APPURTENANCES - CAP PLUMBING AT NEAREST SOURCE.</p> <p>D14 REMOVE WATER HEATER - CAP PLUMBING AT NEAREST SOURCE.</p> <p>D15 REMOVE REFRIGERATION UNIT IN ITS ENTIRETY.</p> <p>D16 REMOVE COLUMN FURRING.</p> <p>D17 REMOVE FURRING ALONG SOUTH WALL.</p> <p>D18 PORTION OF METAL HANDRAIL TO BE REMOVED.</p> <p>D19 REMOVE RESTROOM FLOOR AND WAINSCOT TILE.</p>	<p>THE NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.</p> <p>1 SHADED AREA (APARTMENTS) NOT IN SCOPE OF WORK.</p> <p>2 EXISTING WALL, OR PORTION OF WALL, TO REMAIN.</p> <p>3 EXISTING DOOR TO REMAIN.</p> <p>4 EXISTING WINDOW TO REMAIN.</p> <p>5 EXISTING PIPE COLUMN TO REMAIN.</p> <p>6 EXISTING ELECTRICAL PANEL.</p> <p>7 EXISTING ELECTRICAL METER.</p> <p>8 EXISTING ROOF ACCESS LADDER TO REMAIN.</p> <p>9 EXISTING STORAGE ENCLOSURE TO REMAIN.</p> <p>10 EXISTING CONCRETE RAMP TO REMAIN.</p> <p>11 PORTION OF EXISTING METAL HANDRAIL TO REMAIN.</p> <p>12 EXISTING CLEANOUT TO REMAIN.</p> <p>13 EXISTING STRUCTURAL WOOD COLUMN.</p> <p>14 EXISTING 60" HEIGHT CMU PATIO WALL.</p>
		LEGEND
		<p>(E) WALL TO REMAIN.</p> <p>(E) DOOR TO REMAIN.</p> <p>(E) WINDOW TO REMAIN. (U.N.O.)</p> <p>(E) WALL TO BE REMOVED</p> <p>(E) DOOR AND FRAME TO BE REMOVED.</p> <p>(E) WINDOW TO BE REMOVED.</p>



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A.P.N.: 70-184-18

JOB NO.: 20041

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PLOT DATE: 4.13.2020

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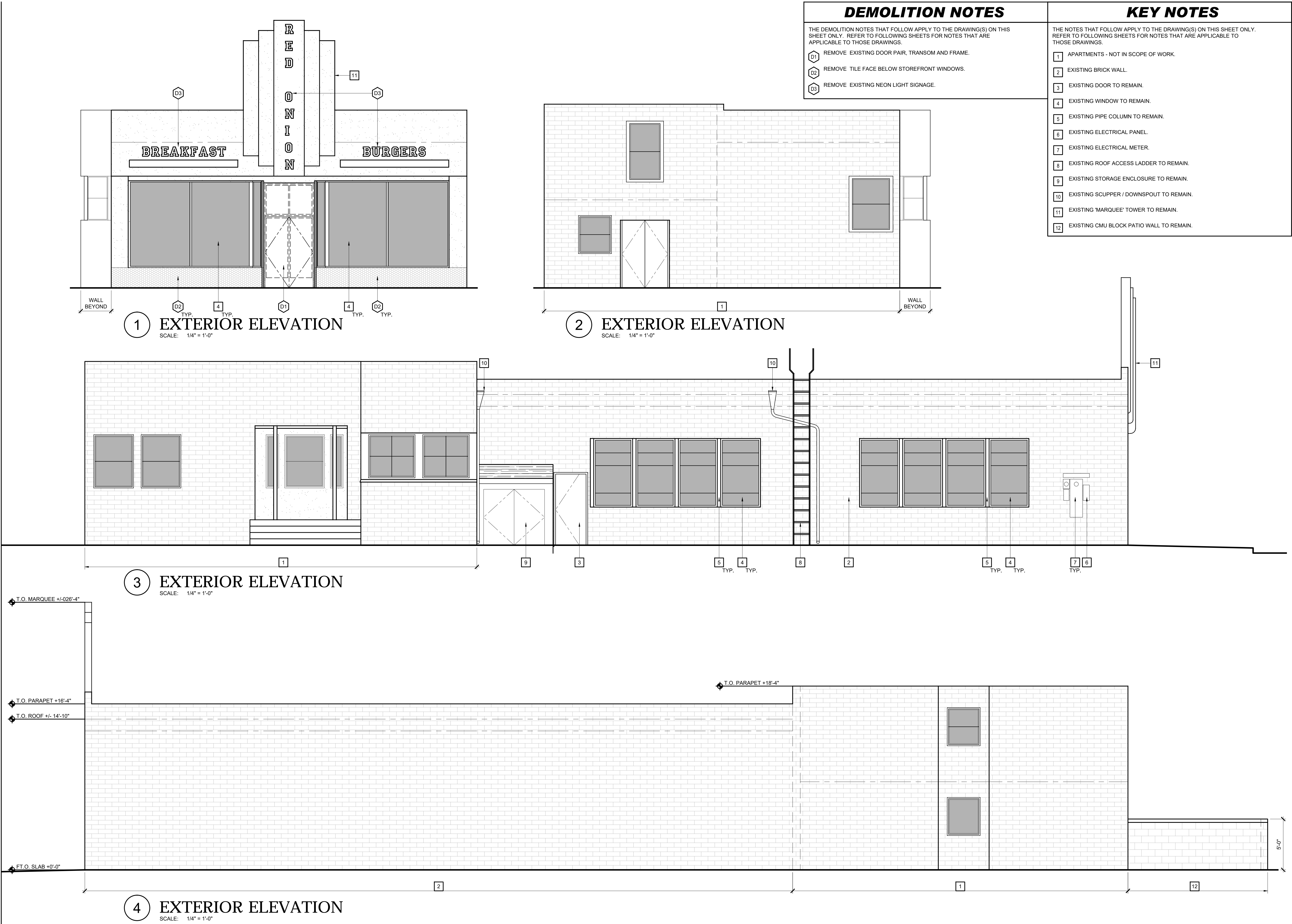
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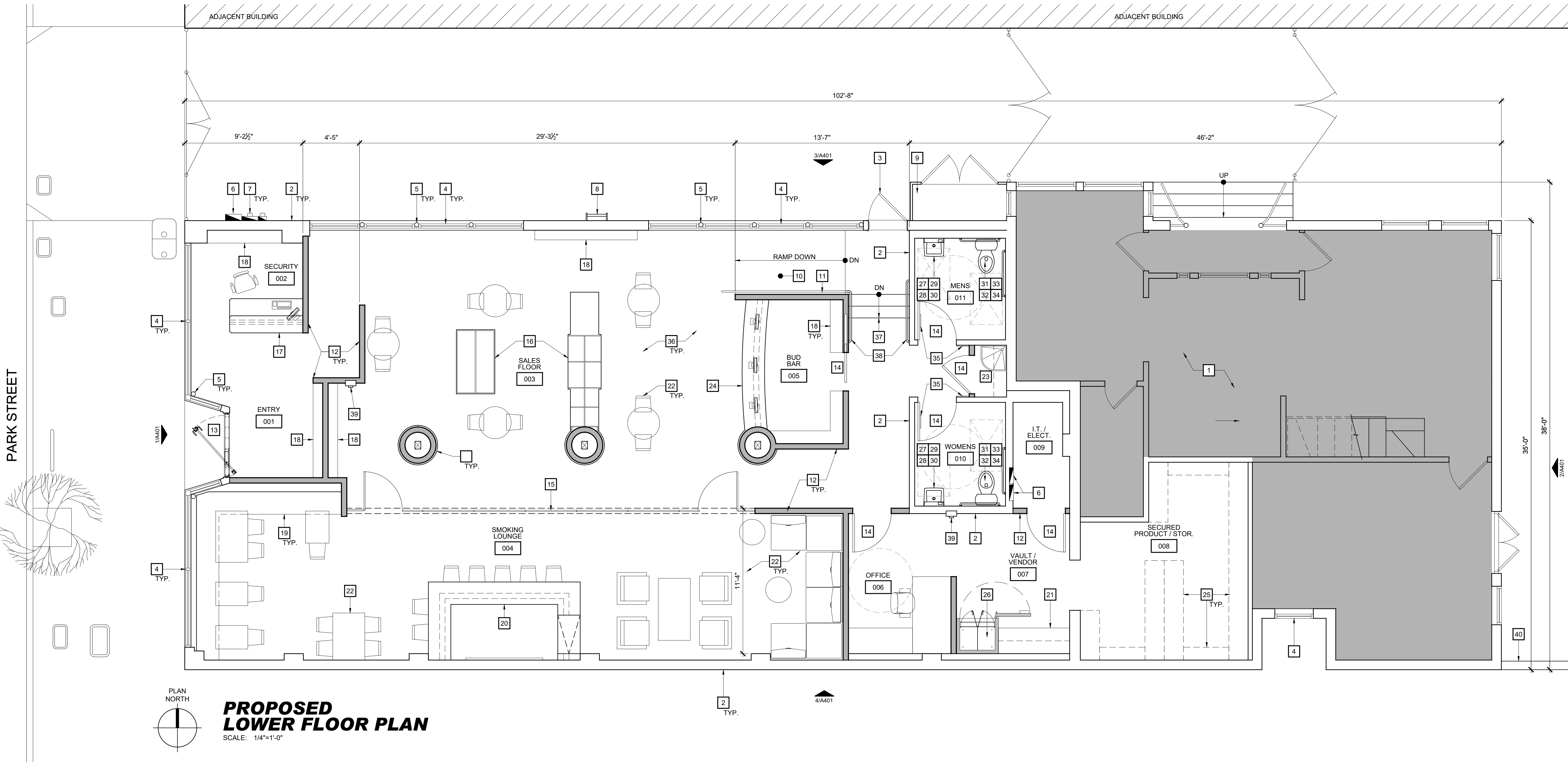
SHEET NAME: DEMOLITION FLOOR PLAN

SHEET NO.: D201

FILE NAME: 20041-D201



LEGEND		KEY NOTES					
	(E) WALL TO REMAIN. (E) DOOR TO REMAIN. (E) WINDOW TO REMAIN. (N) WALL, SEE DETAIL 1/A901 (N) DOOR, SEE DOOR SCHEDULE	THE NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.					
		1	SHADED AREA (APARTMENTS) NOT IN SCOPE OF WORK.	16	NEW DISPLAY SYSTEM.	31	NEW TOILET SHALL MEET MINIMUM CALGREEN WATER CONSERVING STANDARDS OF 1.28 GALLONS PER FLUSH.
		2	EXISTING WALL.	17	NEW SECURITY COUNTER.	32	BOBRICK B-35745 RECESSED COMBINATION TOILET PAPER / SEAT COVER DISPENSER, SANITARY NAPKIN DISPOSAL.
		3	EXISTING DOOR.	18	NEW ENTRANCE FEATURE WALL.	33	BOBRICK B-6806 SERIES 42" GRAB BAR.
		4	EXISTING WINDOW.	19	NEW BUILT-IN SEATING.	34	BOBRICK B-6806 SERIES 48" GRAB BAR.
		5	EXISTING PIPE COLUMN.	20	NEW PRODUCT SERVICE BAR.	35	NEW TACTILE RESTROOM SIGNAGE.
		6	EXISTING ELECTRICAL PANEL.	21	NEW SECURE CASEWORK.	36	NEW FLOOR FINISH THROUGHOUT - TBD.
		7	EXISTING ELECTRICAL METER.	22	NEW FURNISHINGS - TBD.	37	NEW STEPS.
		8	EXISTING ROOF ACCESS LADDER.	23	NEW FLOOR MOUNTED MOP SINK.	38	NEW METAL HANDRAIL (EXTENSION OF EXISTING).
		9	EXISTING STORAGE ENCLOSURE.	24	NEW 'BUD BAR' P.O.S. COUNTER.	39	NEW SEMI RECESSED WALL MOUNTED FIRE EXTINGUISHER TYPE 2A-10BC TO MEET NFPA 10 MIN. STANDARD. ONE FIRE EXTINGUISHER PER 3,000 S.F. OR FRACTION THEREOF. MAX TRAVEL DISTANCE FROM ANY SPOT WITHIN THE SUITE TO EXTINGUISHER SHALL NOT EXCEED 75 FEET. MOUNT EXTINGUISHER AT ACCESSIBLE HEIGHT.
		10	EXISTING CONCRETE RAMP.	25	VAULT STORAGE RACKS.	40	EXISTING 60" HEIGHT CMU PATIO WALL.
		11	PORTION OF EXISTING METAL HANDRAIL TO BE RE-USED.	26	NEW SAFE.	41	NEW DECORATIVE COLUMN.
		12	NEW WALL, OR INFILL PORTION OF WALL.	27	NEW WALL MOUNTED SINK PER ACCESSIBILITY REQUIREMENTS.		
		13	NEW GLASS PIVOT ENTRY DOOR.	28	NEW MIRROR.		
		14	NEW DOOR.	29	NEW SOAP DISPENSER.		
		15	NEW GLASS WALL / DOOR SYSTEM.	30	NEW PAPER TOWEL DISPENSER / PAPER TOWEL DISPOSAL.		



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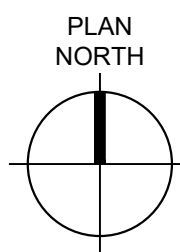
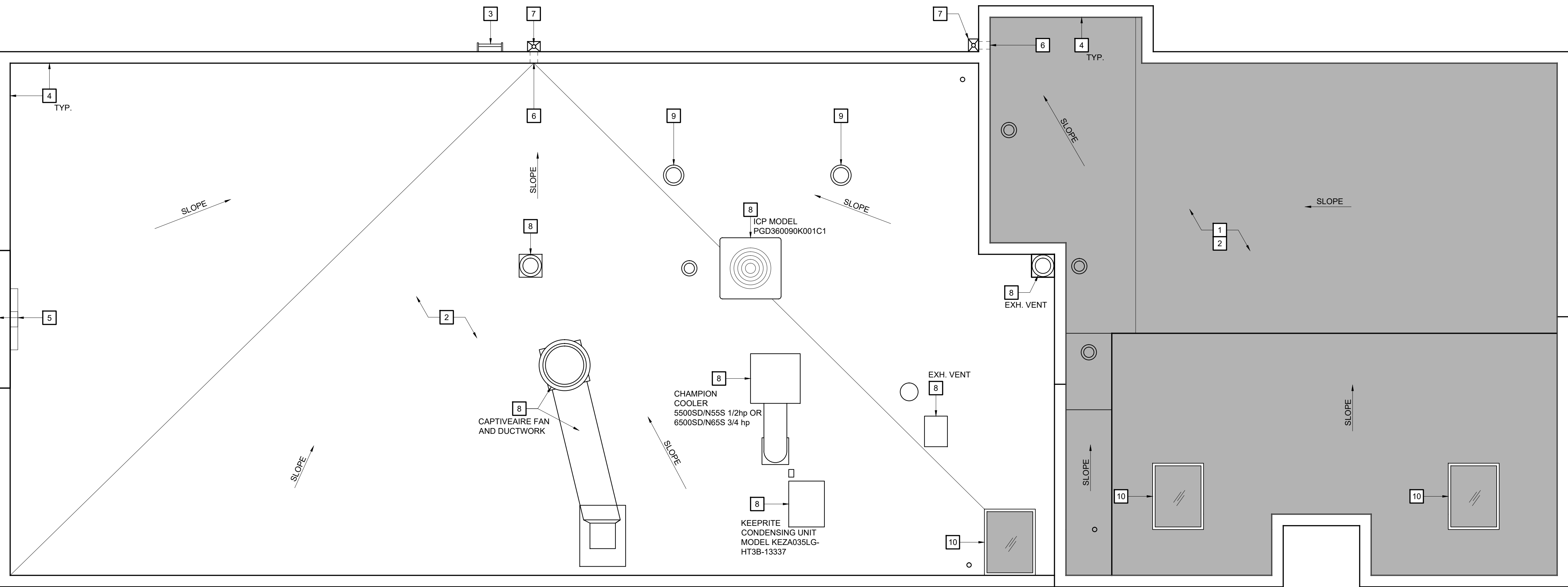
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SHEET NAME:
**PROPOSED
LOWER
FLOOR PLAN**

SHEET NO.:

A201

FILE NAME: 20041-A201



ROOF PLAN

SCALE: 1/4"=1'-0"

KEY NOTES

THE KEY NOTES THAT FOLLOW APPLY TO THE DRAWING(S) ON THIS SHEET ONLY. REFER TO FOLLOWING SHEETS FOR NOTES THAT ARE APPLICABLE TO THOSE DRAWINGS.

- 1 SHADED AREA (APARTMENTS) NOT IN SCOPE OF WORK.
- 2 EXISTING BUILT-UP ROOF SYSTEM TO REMAIN.
- 3 EXISTING ROOF ACCESS LADDER.
- 4 EXISTING PARAPET.
- 5 EXISTING MARQUIS AND LIGHTING JUNCTION BOX.
- 6 EXISTING DRAIN OPENING IN PARAPET.
- 7 EXISTING SCUPPER / DOWNSPOUT.
- 8 EXISTING MECHANICAL EQUIPMENT.
- 9 EXISTING TURBINE VENT.
- 10 EXISTING SKYLIGHT.



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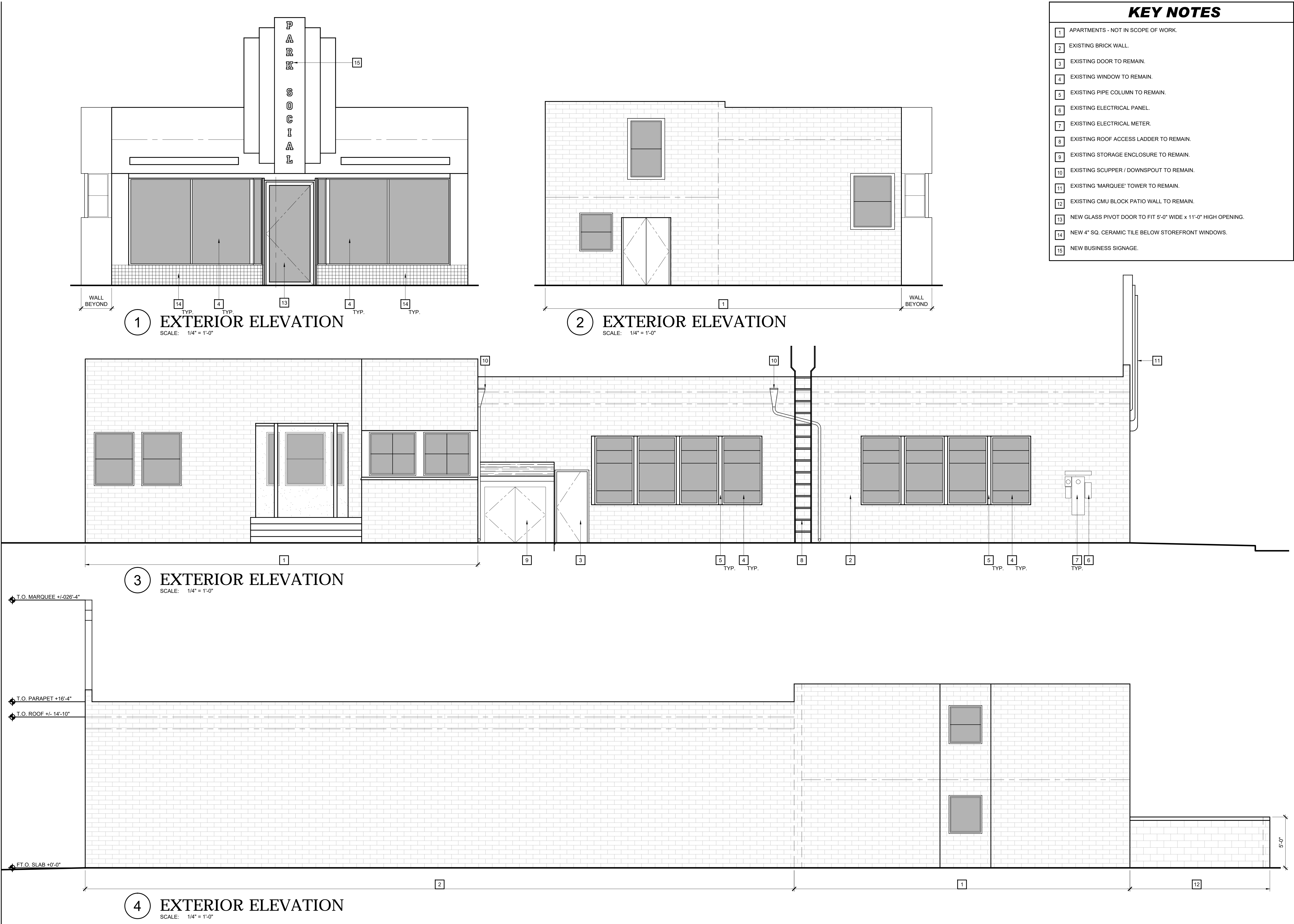
SHEET NAME:

ROOF PLAN

SHEET NO.:

A230

FILE NAME: 20041-A230



KEY NOTES	
1	APARTMENTS - NOT IN SCOPE OF WORK.
2	EXISTING BRICK WALL.
3	EXISTING DOOR TO REMAIN.
4	EXISTING WINDOW TO REMAIN.
5	EXISTING PIPE COLUMN TO REMAIN.
6	EXISTING ELECTRICAL PANEL.
7	EXISTING ELECTRICAL METER.
8	EXISTING ROOF ACCESS LADDER TO REMAIN.
9	EXISTING STORAGE ENCLOSURE TO REMAIN.
10	EXISTING SCUPPER / DOWNSPOUT TO REMAIN.
11	EXISTING 'MARQUEE' TOWER TO REMAIN.
12	EXISTING CMU BLOCK PATIO WALL TO REMAIN.
13	NEW GLASS PIVOT DOOR TO FIT 5'-0" WIDE x 11'-0" HIGH OPENING.
14	NEW 4" SQ. CERAMIC TILE BELOW STOREFRONT WINDOWS.
15	NEW BUSINESS SIGNAGE.

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SHEET NAME:
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ELEVATIONS

SHEET NO.:
A401

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