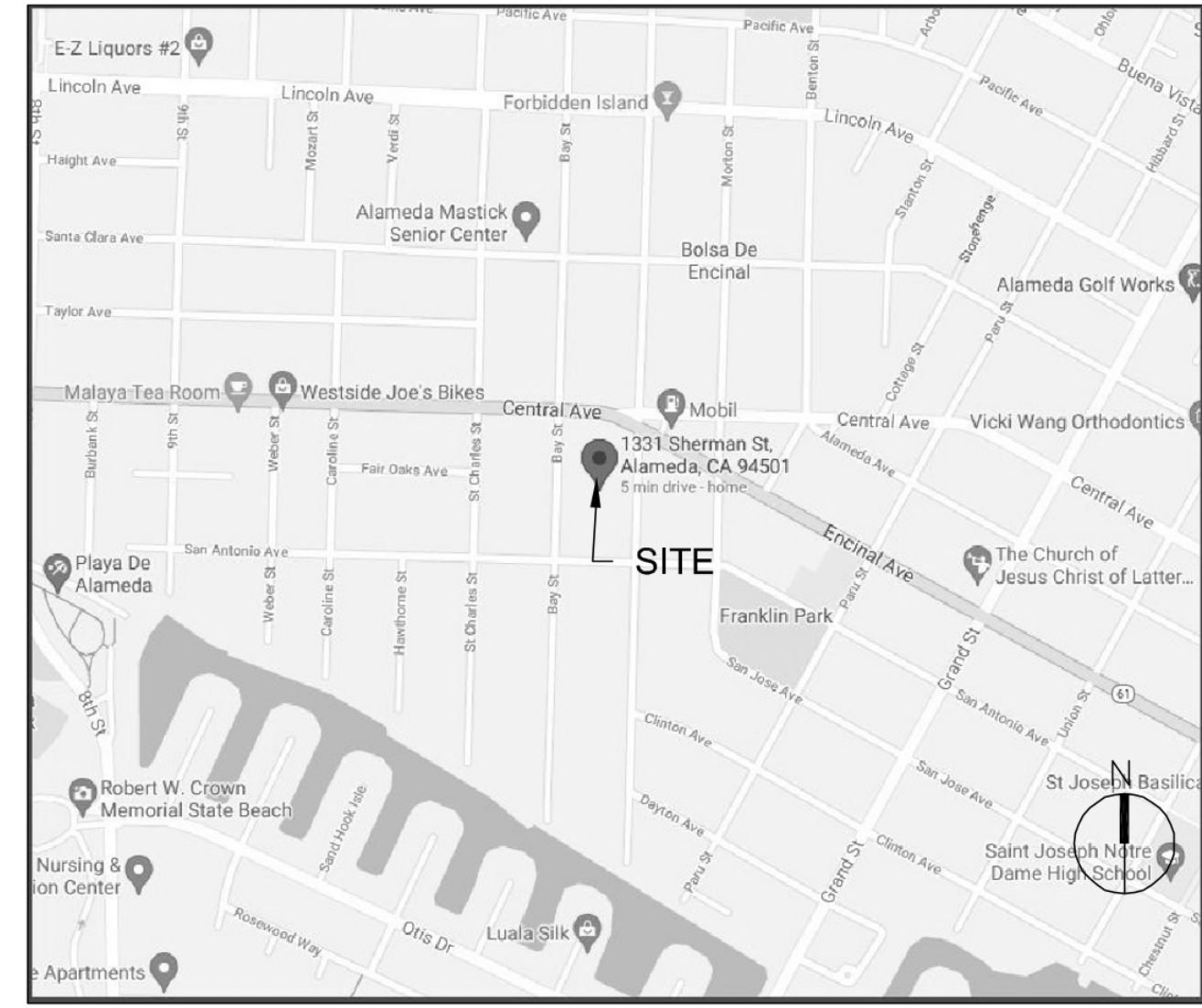


LOCATION MAP



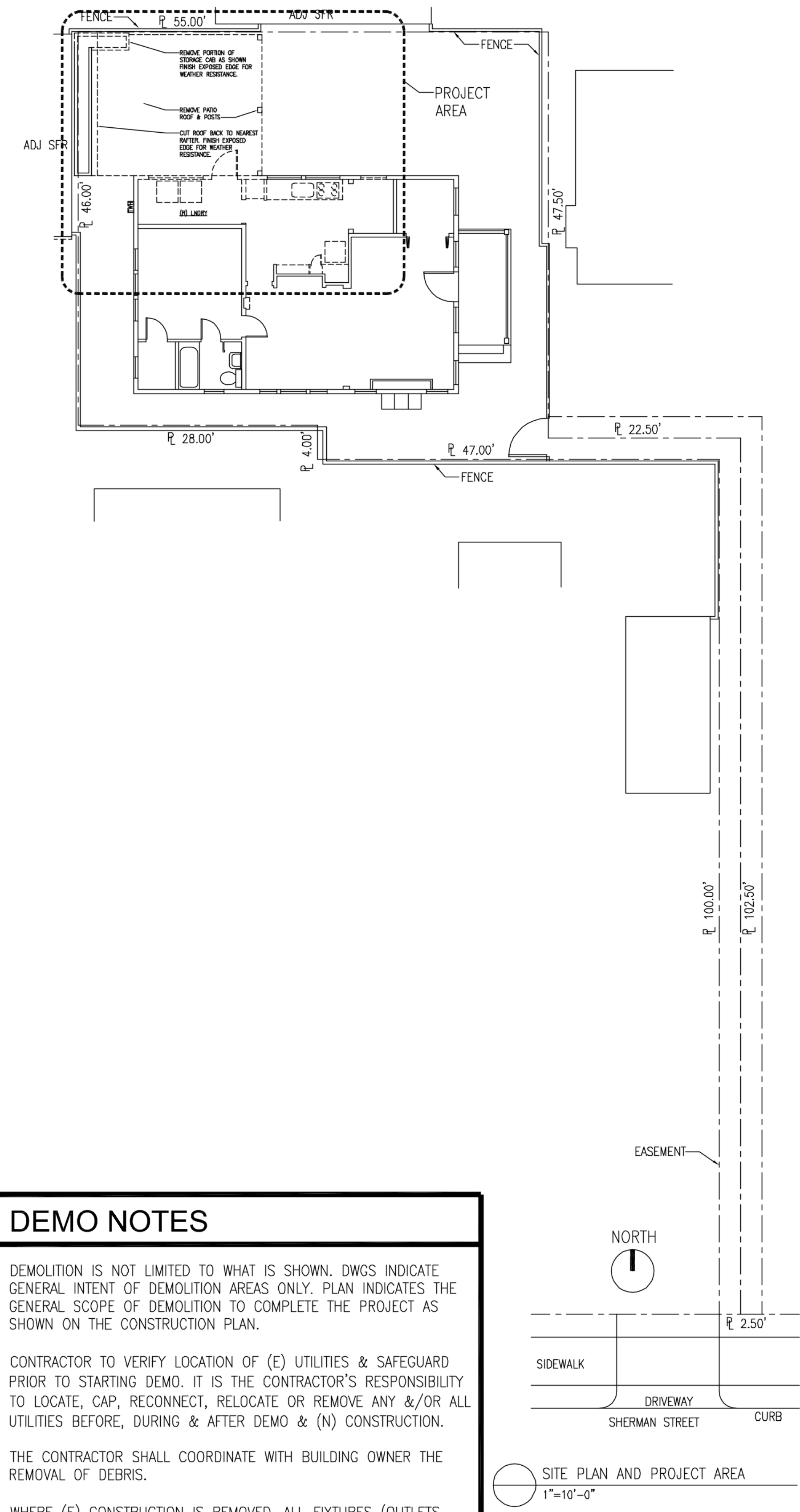
ABBREVIATIONS

AC	AIR CONDITIONING	FIN	FINISH FLOURESCENT	PSI	POUNDS PER SQUARE INCH
A/C	ACQUISITION	FLR	FLOOR	PTD/R	POINT/PRESSURE TREATED
AD	AREA DRAIN	FLSH	FLUSH HANDLE	PVC	PAPER TOWEL DISPENSER
ADJ	ADJUSTABLE	FOC	FACE OF CONCRETE	REF	RECEPTACLE
AFF	ABOVE FINISH FLOOR	FOF	FACE OF FINISH	RCP	REFLECTED CEILING PLAN
AIA	AMERICAN INSTITUTE OF ARCHITECTS	FOD	FACE OF STUDS	RD	ROOF DRAIN
AL/ALUM	ALUMINUM	F.O.S.	FACE OF STRUCTURE	REF	REFERENCE/REFRIGERATOR
ADW	AREA OF WORK	FR	FIRE RESISTANT	REFR	REFRIGERATOR
AP	ACCESS PANEL	FPS	FULL SIZE	REIN	REINFORCED
AP	ENGINEERED WOOD ASSOCIATION	FTG	FOOT OR FEET	REQD	REQUIRED
APL	APPLIES	FUT	FURRING FUTURE	RESIL	RESILIENT
APPROX	APPROXIMATES			REV	REVISION
ARCH	ARCHITECTURAL			RM	ROUGH OPENING
ASPH	ASPHALT			ROW	RIGHT OF WAY
ASTM	AMERICAN SOCIETY OF TESTING & MATERIALS			RSL	RESILIENT TILE
AWN	AWNING			RWL	RAIN WATER LEADER
BC	BOTTOM OF CURB				
BD	BITUMINOUS				
BLDG	BUILDING				
BLKG	BLOCKING				
BM	BEAM				
BS	BOTTOM				
BUB	BOTTOM OF SLOPE				
CAB	CABINET				
CAL	CALIPER				
CAR	COLD AIR RETURN				
CB	CATCH BASIN				
CEM	CEMENT				
CEM	CERAMIC				
CF	CUBIC FEET				
CI	CAST IRON				
CJ	CONSTRUCTION JOINT				
CL	CENTER LINE				
CLC	CHAIN LINK FENCE				
CLG	CAULKING				
CLG	CLOSET				
CLR	CLEAR				
CMU	CONCRETE MASONRY UNIT				
CN	CHAIN LINK				
CNTR	COUNTER				
CO	CLEANOUT				
COL	COLUMN				
COMP	COMPOSITION				
CONC	CONCRETE				
CONB	CONCRETE				
CONST	CONSTRUCTION				
CONT	CONTINUOUS				
CORR	CORROSION				
CR	COLD ROLLED				
CRM	CLASSROOM				
CSMT	CASEMENT (WINDOW)				
CUL	CERAMIC TILE				
CTR	CENTER				
CTSK	COUNTERSUNK				
CT	CUBIC YARD				
(D)	DEMO				
DBL	DOUBLE				
DED	DEDICATED				
DEPT	DEPARTMENT				
DET	DETAIL				
DF	DOUBLE FOUNTAIN				
DH	DOUBLE HUNG				
DIA	DIAMETER				
DIM	DIMENSION				
DISP	DISPOSAL				
DN	DOWN				
DOOR	DOOR OPENING				
DR	DOWN				
DS	DOWN SPOUT				
DW	DISHWASHER				
DWG	DRAWING				
DWS	DOMESTIC WATER SUPPLY				
E	EAST				
(E)	EXISTING				
EA	EACH				
EU	EXPANSION JOINT				
ELEV	ELEVATION				
ELEC	ELECTRICAL				
ELEV	ELEVATION				
EMER	EMERGENCY				
ENCL	ENCLOSURE				
ENT	ENTRANCE				
EQ	EQUIPMENT				
EQPT	EQUIPMENT				
EWEF	EACH WAY EACH FACE				
EXT	EXISTING				
EXP	EXPANSION				
EXPO	EXPOSED				
EXT	EXTERIOR				
F	FIXED (WINDOW)				
FA	FIRE ALARM				
FG	FORCED AIR UNIT				
FBO	FURNISHED BY OWNER				
FDR	FLOOR DRAIN				
FEN	FOUNDATION				
FEC	FIRE EXT. CABINET				
FIC	FIRE EXTINGUISHER				
FIF	FINISHED FLOOR				
FIL	FINISHED FLR LEVEL				
FGL	FIBER GLASS				
FHC	FIRE HYDRANT, FLAT HEAD				
FHC	FIRE HOSE CABINET				
G	GLOSS (PAINT)				
GAL	GALLON				
GALV	GALVANIZED				
GC	GENERAL CONTRACTOR				
GD	GRADE				
GGL	GALVANIZED IRON				
GND	GROUND				
GSA	GENERAL SERV. AGENCY				
GWB	GYP				
GYP	GYP				
H	HOSE BIBB				
HD	HANDICAP				
H/C	HOT & COLD SUPPLY				
HDWR	HEADWARE				
HM	HOLLOW METAL				
HORIZ	HORIZONTAL				
HP	HIGH POINT				
HOUR	HOUR				
HT	HEIGHT				
HTR	HEATER				
HVAC	HEATING, VENTILATION AND AIR CONDITIONING				
ID	INSIDE DIAMETER				
IE	INVERT ELEVATION				
IN	INCHES				
INSUL	INSULATION				
INT	INTERIOR				
JAN	JANITOR				
JOINT(S)	JOINT(S)				
KD	KILN DRIED				
LANDSCAPE ARCHITECT	LANDSCAPE ARCHITECT				
LAM	LAMINATE				
LAV	LAVATORY				
L/C	LANDSCAPE CONTRACTOR				
LF	LINE FEET				
LOCKER	LOCKER				
LOU	LOUVER				
LT	LIGHT				
LSP	LINENUM SHEET				
LP	LOW POINT				
LING	LIGHTING				
MANUF.	MANUFACTURER				
MAT	MATERIAL				
MAX	MAXIMUM				
MECH	MECHANICAL				
MEM	MEMBRANE				
MET	METAL				
MFR	MANUFACTURER				
MH	MANHOLE				
MI	MINUTE				
MIN	MINIMUM				
MISC	MISCELLANEOUS				
MSC	MASONRY OPENING				
MS	MOTION SENSOR FIXTURE				
MT	MOUNT				
MTD	MOUNTED				
MTL	METAL				
MUL	MULLION				
MW	MICROWAVE				
N	NEW				
NORTH	NORTH				
NA	NOT APPLICABLE				
NC	NOT IN CONTRACT				
NL	NARROW LITE				
NO	NUMBER				
NOM	NOMINAL				
NTS	NOT TO SCALE				
OA	OVERALL				
OC	ON CENTER				
OD	OUTSIDE DIAMETER				
OPNG	OPENING				
OPP	OPPOSITE				
P	PAINT				
P&S	POLE & SHELF				
PART	PARTITION				
PC	PRECAST CONCRETE				
PL	PLASTER				
P LAM	PLASTIC LAMINATE				
P LWD	PLYWOOD				
PNT	POINT OF CONNECTION				
POT	POT				
PR	PAIR				
PROP	PROPERTY				
R	RELOCATE				
REF	REFERENCE				
REFR	REFRIGERATOR				
REIN	REINFORCED				
REQD	REQUIRED				
RESIL	RESILIENT				
REV	REVISION				
RM	ROUGH OPENING				
ROW	RIGHT OF WAY				
RSL	RESILIENT TILE				
S	SOUTH OR SLOPE				
SC	SOLID CORE				
SCD	SCHEDULE				
SCM	SOLID CORE METAL				
SCWD	SOLID CORE WOOD				
SD	STORM DRAIN				
SEC	SECTION				
SECT	ELECTRICAL DRAWINGS				
SEP	SEPARATION				
SF	SQUARE FEET				
SF	SMOOTH FOUR SIDES				
SG	SEMI-GLOSS (PAINT)				
SHT	SHEET				
SHT	SINGLE HUNG				
SIM	SIMILAR				
SLD	SLIDING (WINDOW OR DOOR)				
SMD	SEE MECHANICAL DRAWINGS				
SMP	SUMP PUMP				
SND	SANITARY NAPKIN DISPENSER				
SNR	SANITARY NAPKIN RECEPTACLE				
SPEC	SPECIFICATION				
SPKR	SPEAKER				
SS	SQUARE				
SS	STAINLESS STEEL				
STL	SERVICE SINK				
SSD	SEE STRUCTURAL DRAWINGS				
STD	STANDARD				
STN	STAIN				
STOR	STORAGE				
STR	STRUCTURAL				
SUSP	SUSPENDED				
SYM	SYMMETRICAL				
T	TREAD				
T GL	TEMPERED GLASS				
T&G	TONGUE AND GROOVE				
TB	TIE BAR				
TB	TO BE DETERMINED				
TB	TRENCH DRAIN				
TELE	TELEPHONE				
TEMP	TEMPERATURE				
THK	THICK				
T.O.	TOP OF				
TOP	TOP OF CONCRETE				
TOP	TOP OF PLATE				
TOS	TOP OF STEEL				
TP	TOP OF PAVEMENT				
TPD	TOILET PAPER DISPENSER				
T/R	TOP OF RAIL				
TV	TELEVISION				
TOW	TOP OF WALL				
TYP	TYPICAL				
TW	TO MATCH EXISTING				
TWH	TANKLESS WATER HEATER				
UBC	UNIFORM BUILDING CODE				
UC	UNDERGROUND				
UNC	UNIFORM MECHANICAL CODE				
UNF	UNFINISHED				
UNO	UNLESS NOTED OTHERWISE				
UNO	UNDERSIDE OF STRUCTURE				
UPC	UNIFORM PLUMBING CODE				
URINAL	URINAL				
UWP	UPPER WORKING POINT				
V	VINYL				
VCT	VINYL COMPOSITION TILE				
VERT	VERTICAL				
VEST	VESTIBULE				
VIF	VERIFY IN FIELD				
W	WEST				
W/	WITH				
WD	WOOD				
WD	WOOD CLOSET				
W/O	WITHOUT				
WP	WATERPROOF				
WSP	WET STAND PIPE				
WGT	WEIGHT				
WWF	WELDED WIRE FABRIC				

GENERAL NOTES

- ALL WORK SHALL BE PERFORMED TO THE FOLLOWING CODES:
  - CALIFORNIA BUILDING CODE 2019 EDITION
  - CALIFORNIA MECHANICAL CODE 2019 EDITION
  - CALIFORNIA PLUMBING CODE 2019 EDITION
  - CALIFORNIA ELECTRICAL CODE 2019 EDITION
  - CALIFORNIA ENERGY CODE 2019 EDITION
  - CALIFORNIA FIRE CODE 2019 EDITION
  - CALIFORNIA GREEN BUILDING STANDARDS CODE 2019 EDITION
  - CALIFORNIA HISTORIC BUILDING CODE 2019 EDITION
  - CALIFORNIA RESIDENTIAL CODE 2019 EDITION
- CONTRACTOR SHALL ADHERE TO ALL CODES, RULES & REGULATIONS GOVERNING CONSTRUCTION, BUILDING ACCESS & THE USE OF FACILITIES AS SET BY FEDERAL, STATE & LOCAL BUILDING CODES.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS IN THE DESIGN DWGS.
- ASSUMPTIONS HAVE BEEN MADE REGARDING THE (E) STRUCTURE & CONDITIONS OF WALLS, FLOORS, CEILING & BUILDING COMPONENTS. CONTRACTOR SHALL VERIFY (E) CONDITIONS AS BUILDING STRUCTURE IS UNCOVERED. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY OF CONDITIONS DIFFERENT FROM DWGS. ARCHITECT DOES NOT ASSUME RESPONSIBILITY FOR (E) STRUCTURE OR ITS LOCATION & CONDITION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS & WORKMANSHIP (U.N.O.) IN ACCORDANCE WITH ALL FEDERAL, STATE & LOCAL CODES
- THE CONTRACTOR SHALL VERIFY ALL DIMS & (E) CONDITIONS IN THE FIELD & NOTIFY ARCHITECT, IN WRITING, OF ANY DISCREPANCIES PRIOR TO START OF WORK.
- LARGE SCALE DWGS TAKE PRESEDENCE OVER SMALL SCALE DWGS.
- ALL DIMS SHOWN ARE TO FACE OF FINISHED WALLS U.N.O.
- SEE STRUCTURAL DWGS FOR FOUNDATION, SLAB & ALL OTHER STRUCTURAL INFORMATION & DETAILS.
- NOTIFY THE OWNER & ARCHITECT IF MODIFICATIONS TO STRUCTURAL COMPONENTS ARE REQUIRED TO COMPLETE THE WORK & ARE NOT DESCRIBED IN THE CONTRACT DOCUMENTS.
- THESE DWGS SHALL NOT BE SCALED.
- PROVIDE NATURAL LIGHT (8% MIN. OF ROOM AREA) & NATURAL VENTILATION (5% MIN OF ROOM AREA) OR MECHANICAL VENTILATION PER CODE.
- PROVIDE ESCAPE/EGRESS WINDOWS IN BEDROOMS. MIN. NET CLEAR OPENING: H=24" OR W=20" & AREA=5.7 SQ.FT. MAX 44" AFF TO CLR OPNG. OR PROVIDE DOORWAY DIRECTLY TO EXTERIOR.
- EXTERIOR DOOR LANDING OR DECK LEVEL SHALL BE LESS THAN 7 3/4" LOWER THAN THE FLOOR OF THE HOUSE WHERE THE (N) DOOR IS LOCATED. LANDINGS SHALL NOT BE MORE THAN 7 3/4" LOWER THAN THE FLOOR LEVEL AT DOORS SWINGING AWAY FROM THE LANDING. IF DOOR IS TO SWING OUTWARD OVER LANDING, THEN DISTANCE OF THRESHOLD SHALL BE MAX 1 1/2" HT.
- CONTRACTOR IS RESPONSIBLE FOR THE DESIGN & CONSTRUCTION OF ANY TEMPORARY SHORING &/OR BRACING FOR ANY CONSTRUCTION.
- REVIEW ALL EXISTING INTERIOR AND EXTERIOR CONDITIONS INCLUDING EXTERIOR SIDING, TRIM, FASCIAS, STRUCTURAL ELEMENTS, PLUMBING, ELECTRICAL, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD INSPECT ALL SURFACES AND CONSTRUCTION COMPONENTS PRIOR TO SUBMITTING BIDDING DOCUMENTATION. IF CONDITIONS ARE FOUND WHERE REPLACEMENT OF COMPONENTS OR FINISHES ARE REQUIRED THAT ARE NOT INDICATED IN THE DRAWINGS OR SPECIFICATIONS THEN A LINE ITEM IN THE BIDDING DOCUMENTS MUST BE PROVIDED INDICATING THE EXTENT OF WORK, COST OF THE MATERIALS, FABRICATION, INSTALLATION, ETC. & TIME REQUIRED TO EXECUTE THE LINE ITEM(S).
- IT IS THE OWNER'S & GENERAL CONTRACTOR'S RESPONSIBILITY TO DISTRIBUTE THE ASSOCIATED SPECIFICATION BOOK FOR THIS PROJECT TO ALL SUBCONTRACTORS FOR REVIEW PRIOR TO BIDDING & CONSTRUCTION. THE SPECIFICATIONS ARE INTERGRAL TO THE PROJECT AND ARE A LEGAL & BINDING DOCUMENT PERTAINING TO THE PROJECT.
- SMOKE & CARBON MONOXIDE DETECTORS SHALL BE FIELD VERIFIED OR INSTALLED IN ACCORDANCE W/CODE.
- TITLE 24 ENERGY COMPLIANCE MAY REQUIRE "HERS" AND/OR "OII" TESTING BEFORE, DURING AND/OR AFTER CONSTRUCTION. CAREFULLY REVIEW THE ENCLOSED TITLE 24 DOCUMENTATION FOR THESE REQUIREMENTS. GENERAL CONTRACTOR IS RESPONSIBLE FOR RESPONDING TO THE REQUIREMENTS & COORDINATING & CALLING FOR THESE INSPECTIONS.

SITE PLAN & PROJECT AREA



DEMO NOTES

- DEMOLITION IS NOT LIMITED TO WHAT IS SHOWN. DWGS INDICATE GENERAL INTENT OF DEMOLITION AREAS ONLY. PLAN INDICATES THE GENERAL SCOPE OF DEMOLITION TO COMPLETE THE PROJECT AS SHOWN ON THE CONSTRUCTION PLAN.
- CONTRACTOR TO VERIFY LOCATION OF (E) UTILITIES & SAFEGUARD PRIOR TO STARTING DEMO. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE, CAP, RECONNECT, RELOCATE OR REMOVE ANY &/OR ALL UTILITIES BEFORE, DURING & AFTER DEMO & (N) CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE WITH BUILDING OWNER THE REMOVAL OF DEBRIS.
- WHERE (E) CONSTRUCTION IS REMOVED, ALL FIXTURES (OUTLETS, SWITCHES, THERMOSTATS, ETC.) SHALL ALSO BE REMOVED & CAPPED BEHIND FINISHED WALL UNLESS FIXTURES ARE TO BE REUSED &/OR RELOCATED. CONCEAL NO SWITCHES, JCT. BOXES, ETC. IN WALLS.
- WHERE (E) CONSTRUCTION IS DISTURBED BY DEMOLITION, IT SHALL BE REPAIRED &/OR PATCHED TO MATCH (E) FINISH OR AS SPECIFIED IN THE DWGS.
- PATCH & REPAIR ROOF WHERE NEW CONSTRUCTION OCCURS. MATCH (E) MATERIALS & SYSTEMS.
- ALL WASTE MANAGEMENT MONITORING IS TO BE PERFORMED ON THE "GREENHALO" REPORTING WEB SITE.

CONTACT INFO

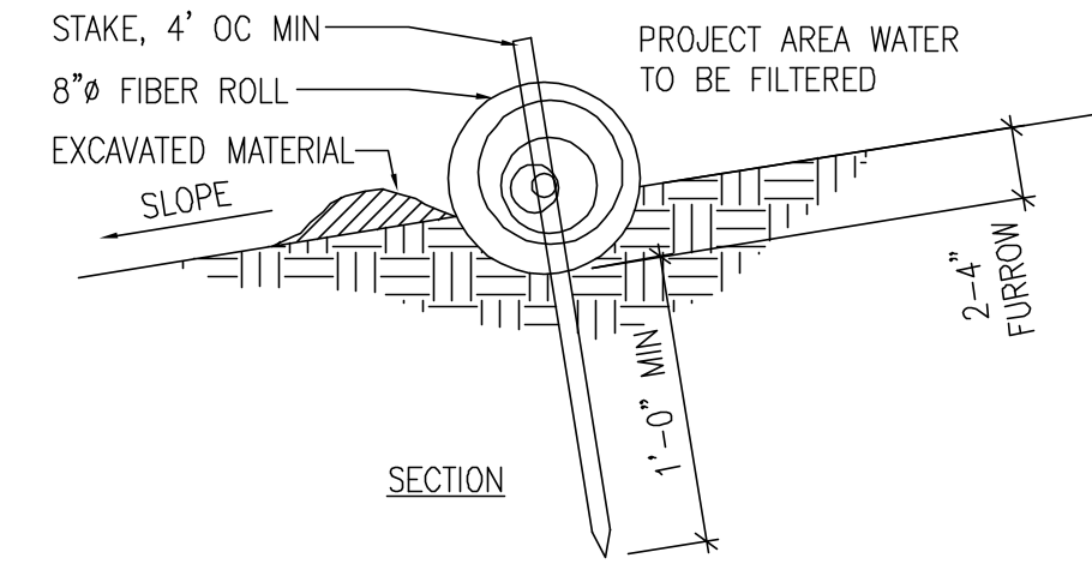
OWNERS:  
CHRISTINE BAUER  
1331 SHERMAN STREET  
ALAMEDA, CA 94501  
(415) 517-2619

STRUCTURAL ENGINEER:  
LOU XIAO, S.E.  
723 CAMINO PLAZA #115  
SAN BRUNO, CA 94066  
(415) 601-9686



CALGREEN MANDATORY MEASURES:

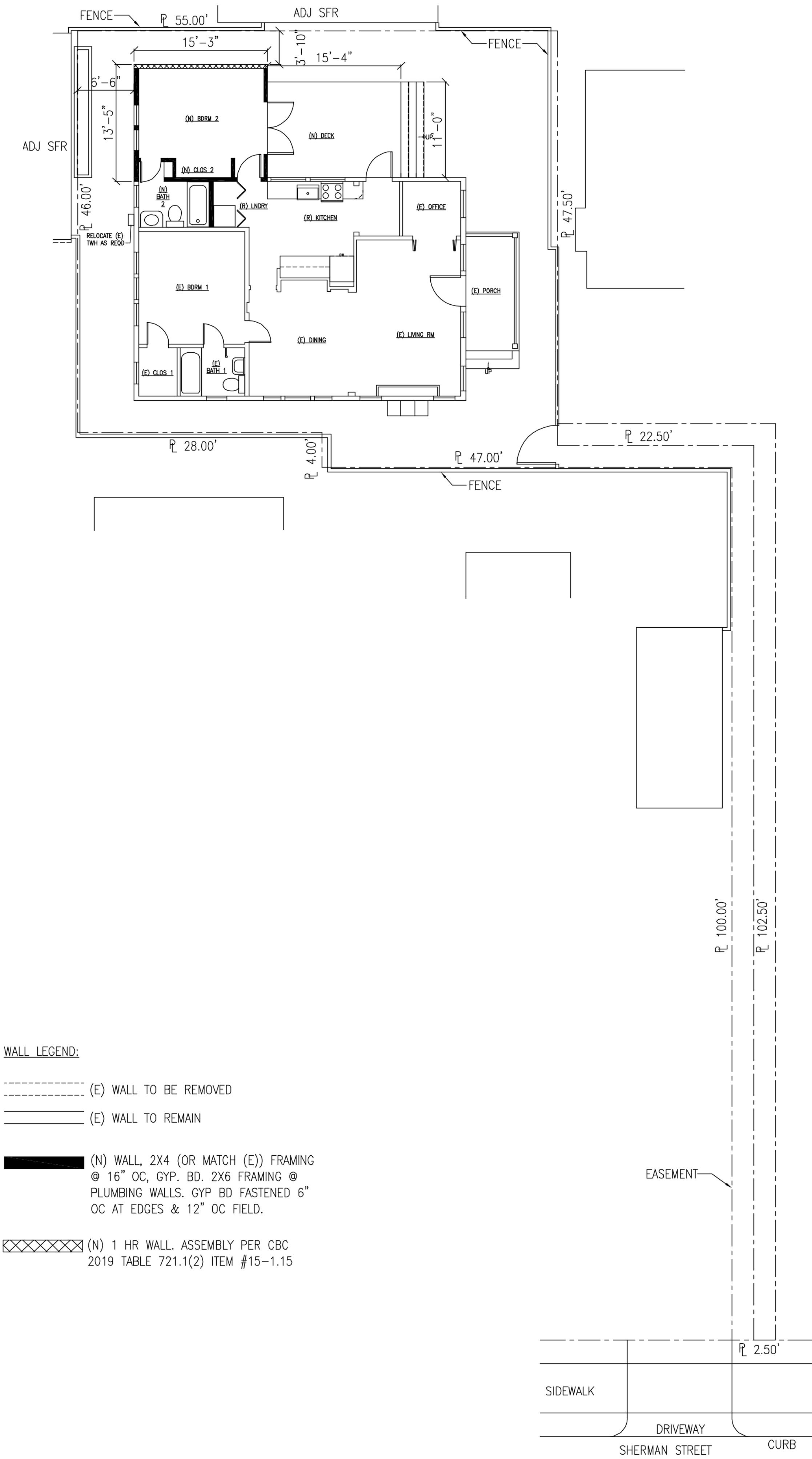
1. DIVERT A MIN OF 65% OF THE CONSTRUCTION WASTE TO RECYCLE OR SALVAGE PER SECTION 4.408.1. CONTRACTOR SHALL REPORT WASTE MANAGEMENT USING THE CITY OF ALAMEDA "GREEN HALO" ON-LINE REPORTING SYSTEM. GREENHALOSYSTEMS.COM
2. DUCT SYSTEMS TO BE SIZED, DESIGNED AND EQUIPMENT SELECTED PER SECTION 4.507.2. HVAC SYSTEM INSTALLERS MUST BE TRAINED & CERTIFIED & SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.
3. PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS @ EXT. WALLS AGAINST THE PASSAGE OF RODENTS (4.406.1).
4. ADHESIVES, SEALANTS & CAULKS SHALL BE COMPLIANT W/VOC & OTHER TOXIC COMPOUNDS DURING CONSTRUCTION (4.504.2.1).
5. PAINTS, STAINS & OTHER COATINGS SHALL BE COMPLIANT W/VOC LIMITS (4.504.2.2).
6. AEROSOL PAINTS & COATINGS SHALL BE COMPLIANT W/PRODUCT WEIGHTED MIR LIMITS FOR ROC & OTHER TOXIC COMPOUNDS (4.503.2.3). DOCUMENTATIONS SHALL BE PROVIDED TO VERIFY COMPLIANCE.
7. CARPET & CARPET SYSTEMS SHALL BE COMPLIANT W/VOC LIMITS (4.504.3).
8. MIN. 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY W/THE VOC EMISSION LIMITS PER SECTION 4.504.4.
9. PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) & HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY W/LOW FORMALDEHYDE EMISSION STANDARDS (4.504.5).
10. INSTALL CAPILLARY BREAK & VAPOR RETARDER @ SLAB ON GRADE FOUNDATIONS (4.505.2).
11. CHECK MOISTURE CONTENT OF BLDG MATERIALS USED IN WALL & FLR FRAMING BEFORE ENCLOSURE (4.505.3).
12. AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED (4.304.1).
13. COMPLY WITH CALGREEN SECTION 4.506.1 FOR BATHROOM EXHAUST FANS. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED WITH AN ENERGY STAR EXHAUST FAN, AND FAN MUST BE CONTROLLED BY A HUMIDITY CONTROL (4.506.1)
14. DEVELOP AND IMPLEMENT A PLAN TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION PER CALGREEN SECTION 4.106.2. CONTRACTOR SHALL PROVIDE SITE GRADING SO THAT SURFACE WATER SHALL BE KEPT CLEAR FROM BUILDINGS & DRAIN AWAY FROM BUILDINGS TO APPROVED SITE DRAINAGE LOCATIONS PER CAL GREEN SECTION 4.106.3.
15. PER CA CIVIL CODE ARTICLE 1101.4 & CALGREEN SECTION 301.1, FOR ALL BLDG ALTERATIONS OR IMPROVEMENTS TO A SINGLE FAMILY RESIDENTIAL PROPERTY, (E) PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET COMPLIANT FLOW RATES WILL REQUIRE TO BE UPGRADED.
  - 15.1. WATER CLOSETS W/A FLOW RATE IN EXCESS OF 1.6 GPF ARE TO BE REPLACED W/WATER CLOSETS W/MAX FLOW RATE OF 1.28 GPF.
  - 15.2. SHOWER HEADS W/A FLOW RATE GREATER THAN 2.5 GPM ARE TO BE REPLACED W/A MAX 1.8 GPM SHOWER HEAD.
  - 15.3. LAV & KITCHEN FAUCETS W/A FLOW RATE GREATER THAN 2.2 GPM ARE TO BE REPLACED W/A MAX FAUCET FLOW RATE OF 1.2 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS).



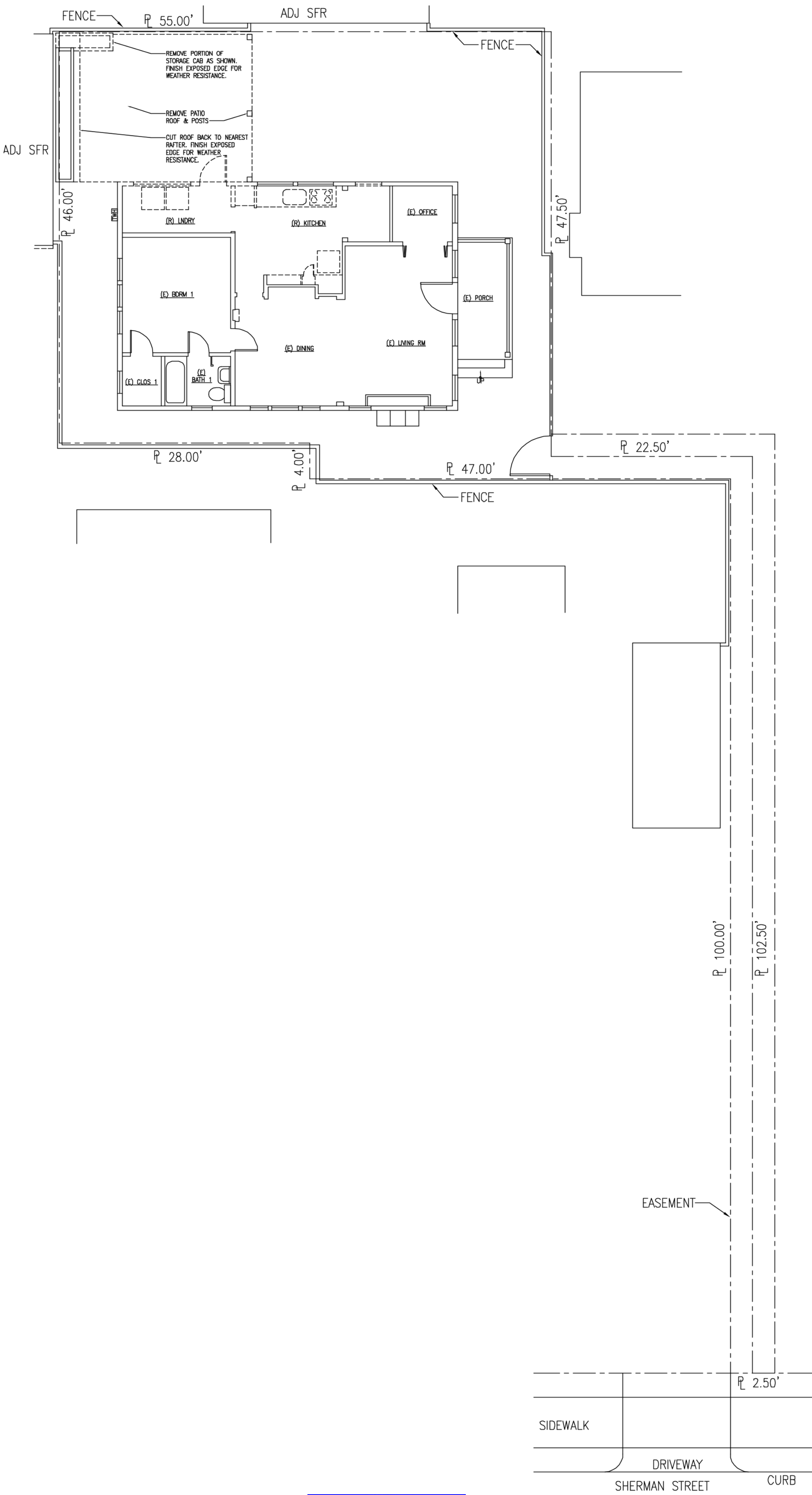
3 FIBER ROLL DETAIL  
1 1/2"=1'-0"

PROVIDE STORM WATER DRAINAGE MANAGEMENT PROTECTIONS DURING CONSTRUCTION TO PREVENT EROSION & RETAIN SOIL RUNOFF ON THE SITE PER CALGREEN 4.106.2.  
MIN.: FIBER ROLL 8" @ TO P, PLACED 2-4" WITHIN GRADE. PROVIDE STAKING ON DRY SIDE OF ROLL AS NEEDED, SPACED 4' MIN.  
CONTRACTOR IS RESPONSIBLE FOR DESIGN, INSTALLATION & MAINTENANCE OF THE STORM WATER MANAGEMENT PROTECTION TO COMPLY WITH CALGREEN REQUIREMENTS.

PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE, MIN 2% SLOPE TO APPD SITE DRAINAGE LOCATION. SURFACE WATER SHALL DIVERT AWAY FROM STRUCTURE & SHALL NOT ENTER BLDG PER CALGREEN 4.106.3



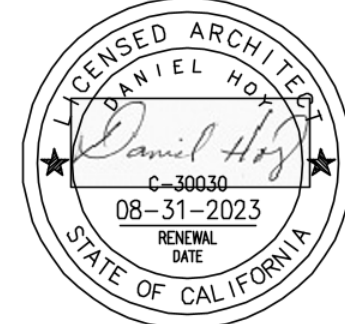
2 PROPOSED SITE PLAN  
1/8"=1'-0"



1 EXISTING SITE PLAN  
1/8"=1'-0"



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PLANS & SPECIFICATIONS ARE PREPARED AS INSTRUMENTS OF SERVICE FOR THE CLIENT AND ARE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED FOR OTHER WORK WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

1331 SHERMAN STREET  
ALAMEDA, CALIFORNIA 94501

RESIDENTIAL  
RENOVATION

Project Number	Drawn By AH	Checked By DH
Issues	Revisions	
Number	Date	Description
1	2021-08-10	PLANNING SUBMITTAL

CHRISTINE BAUER  
RESIDENTIAL RENOVATION  
1331 SHERMAN STREET  
ALAMEDA, CA 94501

SITE PLANS &  
CALGREEN NOTES

A1.2



WINDOW SCHEDULE

SYMBOL		TYPE	MATERIAL (EXT/INT)	RO W	RO HT	CLR W	CLR HT	HT. FROM FIN. FLR.	NOTE
1		CASEMENT	WD/WD	-	-	2'-6"	2'-0"	-	(E) TO REMAIN
2		CASEMENT	WD/WD	-	-	2'-6"	2'-0"	-	(E) TO REMAIN
3		DH	WD/WD	-	-	2'-0"	4'-6"	-	(E) TO REMAIN
4		DH	WD/WD	-	-	3'-0"	4'-6"	-	(E) TO REMAIN
5		DH	WD/WD	-	-	2'-0"	4'-6"	-	(E) TO REMAIN
6		DH	WD/WD	-	-	2'-4"	3'-0"	-	(E) TO REMAIN
7		DH	WD/WD	-	-	2'-6"	2'-6"	-	(E) TO REMAIN
8		DH	WD/WD	-	-	2'-6"	4'-6"	-	(E) TO REMAIN
9		DH	WD/WD	-	-	2'-6"	4'-6"	-	(E) TO REMAIN
10		DH	WD/WD	-	-	2'-6"	4'-6"	-	(E) TO REMAIN
11		DH	WD/WD	-	-	2'-10"	4'-6"	-	(E) TO REMAIN
12		DH	WD/WD	-	-	3'-0"	4'-6"	-	(E) TO REMAIN
13		DH	WD/WD	-	-	3'-0"	4'-6"	-	(E) TO REMAIN
14		DH	WD/WD	-	-	2'-10"	4'-6"	-	(E) TO REMAIN
15		DH	WD/WD	-	-	4'-0"	2'-6"	-	(E) TO REMAIN
16		DH	WD/WD			4'-0"	2'-6"		(E) TO REMAIN
17	(N)	DH	WD/WD	2'-7"	2'-7"	2'-6"	2'-6"	±4'-1"	TG
18	(N)	DH	WD/WD	2'-5"	4'-7"	2'-4"	4'-6"	±2'-1"	
19	(N)	DH	WD/WD	2'-5"	4'-7"	2'-4"	4'-6"	±2'-1"	

WINDOW NOTES:

- VIF ALL RO MEASUREMENT REQS. W/WINDOW MANUF. PRIOR TO CONSTRUCTION.
- ALL REPLACEMENTS TO BE MARVIN OR APPD EQ., LOW E, DUAL GLAZE.
- SEE FINISH NOTES FOR ADDITIONAL INFO.
- VIF, PRIOR TO BID, ANY REQD REPAIRS OR REPLACEMENTS.
- PROVIDE "OGEE" LUGS OR TRUE DIVIDED LITES WHERE WINDOW STYLE IS TO MATCH (E).
- NEW WINDOWS TO BE NFRC RATED. SEE T24 REPORT FOR U FACTOR AND SHGC REQUIREMENTS.

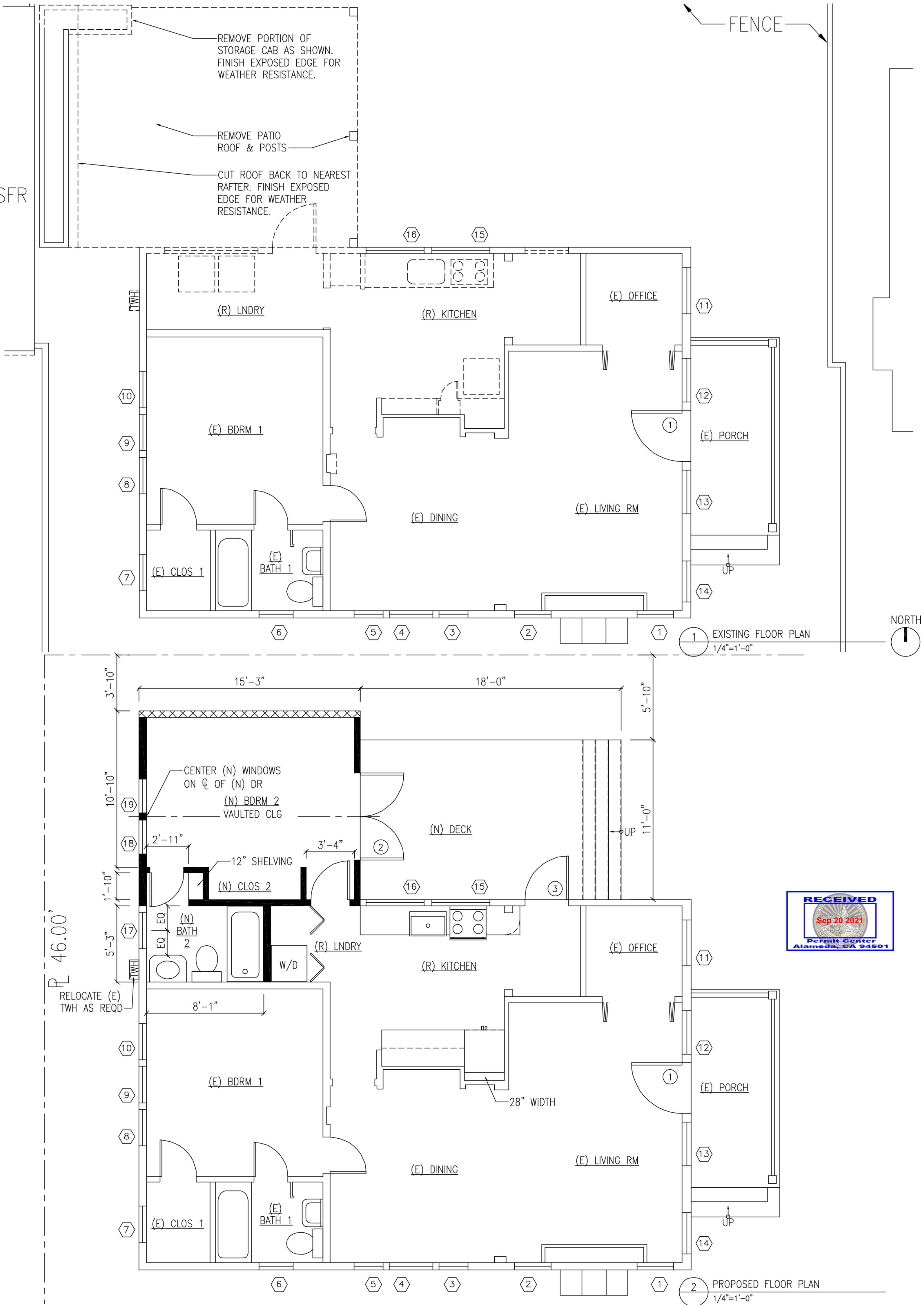
DOOR SCHEDULE

SYMBOL	TYPE	WIDTH	HT.	THICK	HARDWARE	NOTE
D	DEMO DOOR	-	-	-	-	TO BE REMOVED
1	(E) EXT. DOOR	3'-6"	6'-8"	-	-	(E) TO REMAIN
2	(N) FRENCH DR, PAIR	6'-0"	6'-8"	1 3/4"	LOCKSET	TG
3	(N) EXT. DOOR	±3'-0"	6'-8"	1 3/4"	LOCKSET	TG. (N) DR TO FIT IN (E) WINDOW WIDTH
4						
5						
6						
7						
8						
9						
10						
11						
12						

DOOR NOTES:

- VERIFY ALL DIMS W/OWNER PRIOR TO FINAL FRAMING.
- ALL DOOR STYLES TO BE APPD BY OWNER PRIOR TO ORDERING.
- DECK LEVEL TO BE LESS THAN 7 3/4" LOWER THAN THE FLOOR OF THE HOUSE WHERE A DOOR IS LOCATED. LANDINGS SHALL NOT BE MORE THAN 7 3/4" LOWER THAN THE FLOOR LEVEL AT DOORS SWINGING AWAY FROM THE LANDING.
- (N) TRIMS TO BE APPD BY OWNER.

ADJ SFR



NOTE:

ALL INTERIOR WALLS AND BEDROOM FLOORS TO BE INSULATED FOR SOUND REDUCTION

WALL LEGEND:

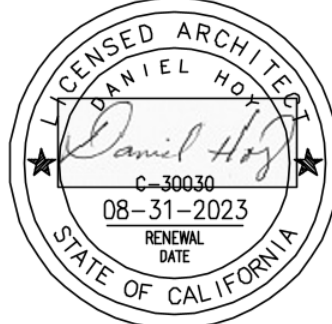
----- (E) WALL TO BE REMOVED

===== (E) WALL TO REMAIN

===== (N) WALL, 2X4 (OR MATCH (E)) FRAMING @ 16" OC, GYP. BD. 2X6 FRAMING @ PLUMBING WALLS. GYP BD FASTENED 6" OC AT EDGES & 12" OC FIELD.

XXXXXX (N) 1 HR WALL. ASSEMBLY PER CBC 2019 TABLE 721.1(2) ITEM #15-1.15

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RESIDENTIAL  
RENOVATION

Project Number Drawn By Checked By

Issues Revisions

Number Date Description

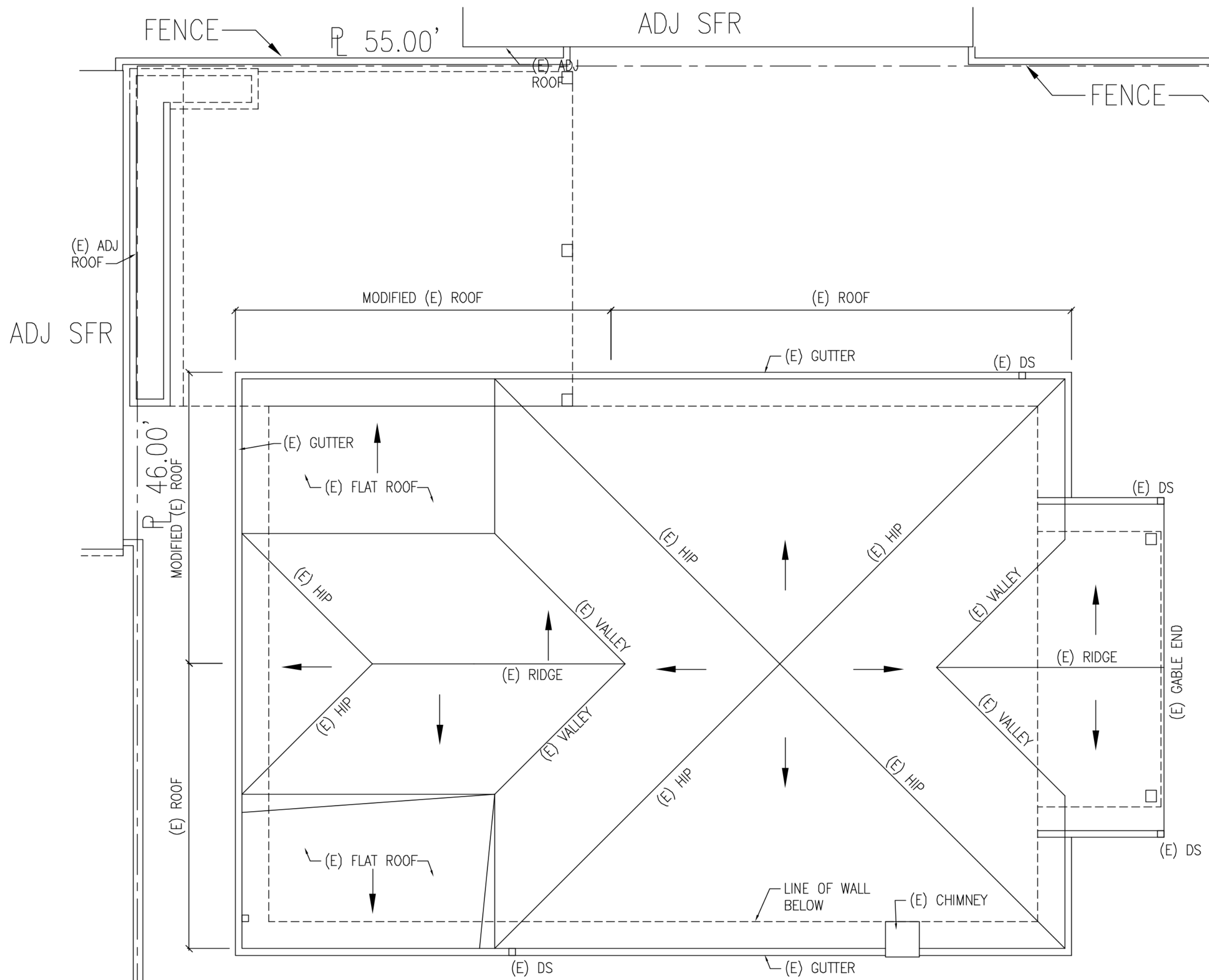
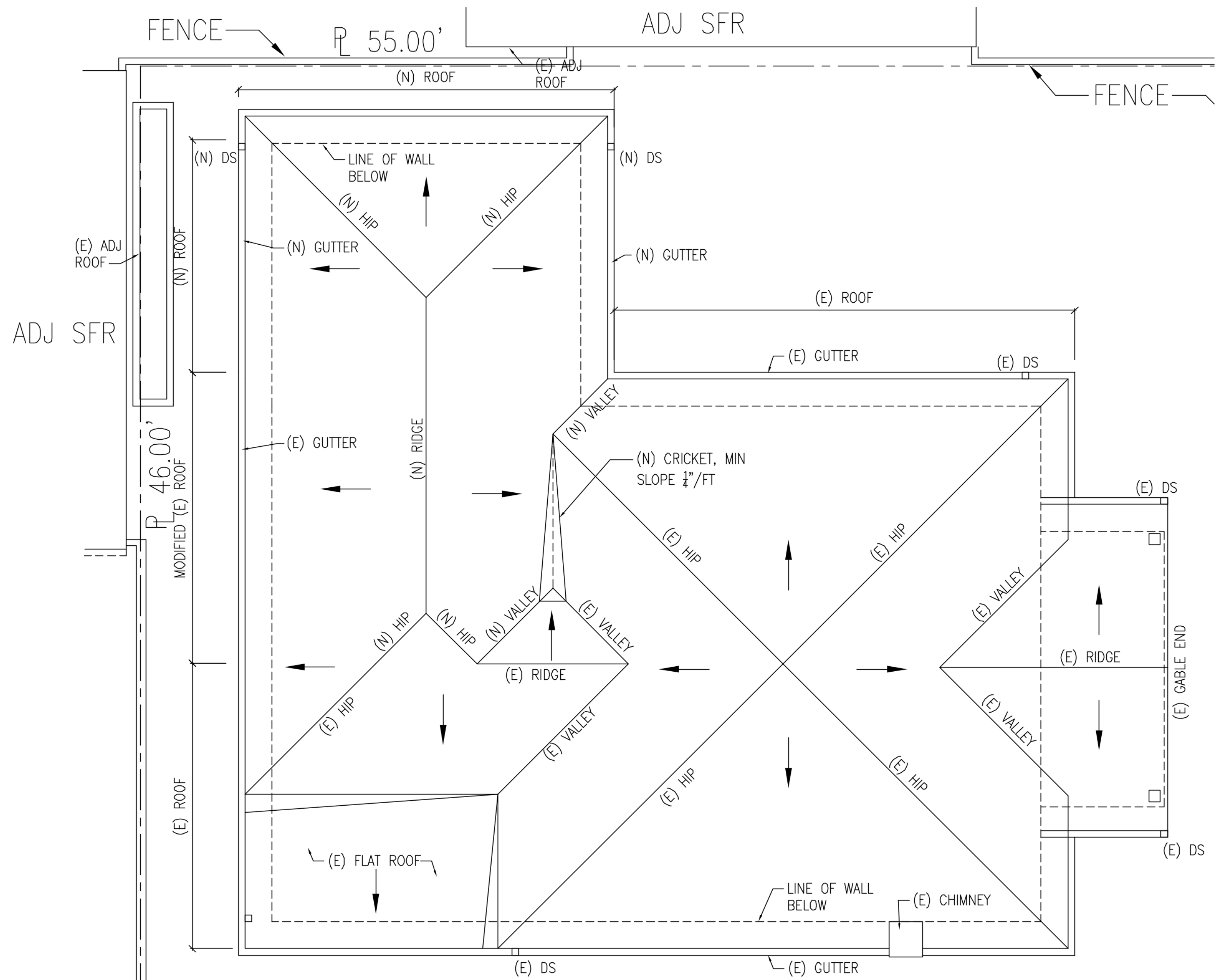
1 2021-08-10 PLANNING SUBMITTAL

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EXISTING & PROPOSED  
FLOOR PLANS  
& SCHEDULES

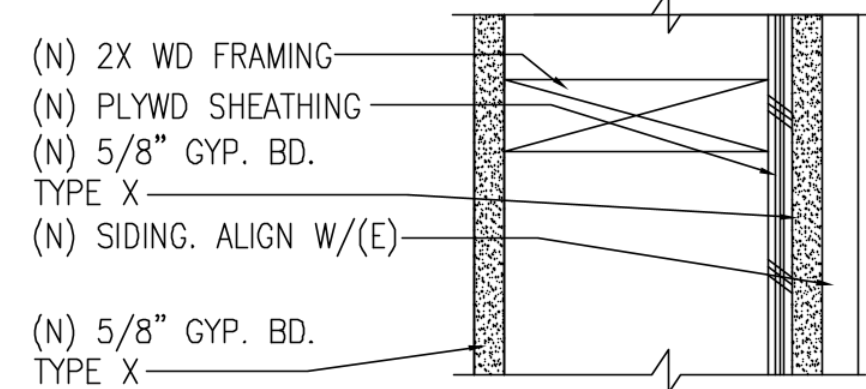
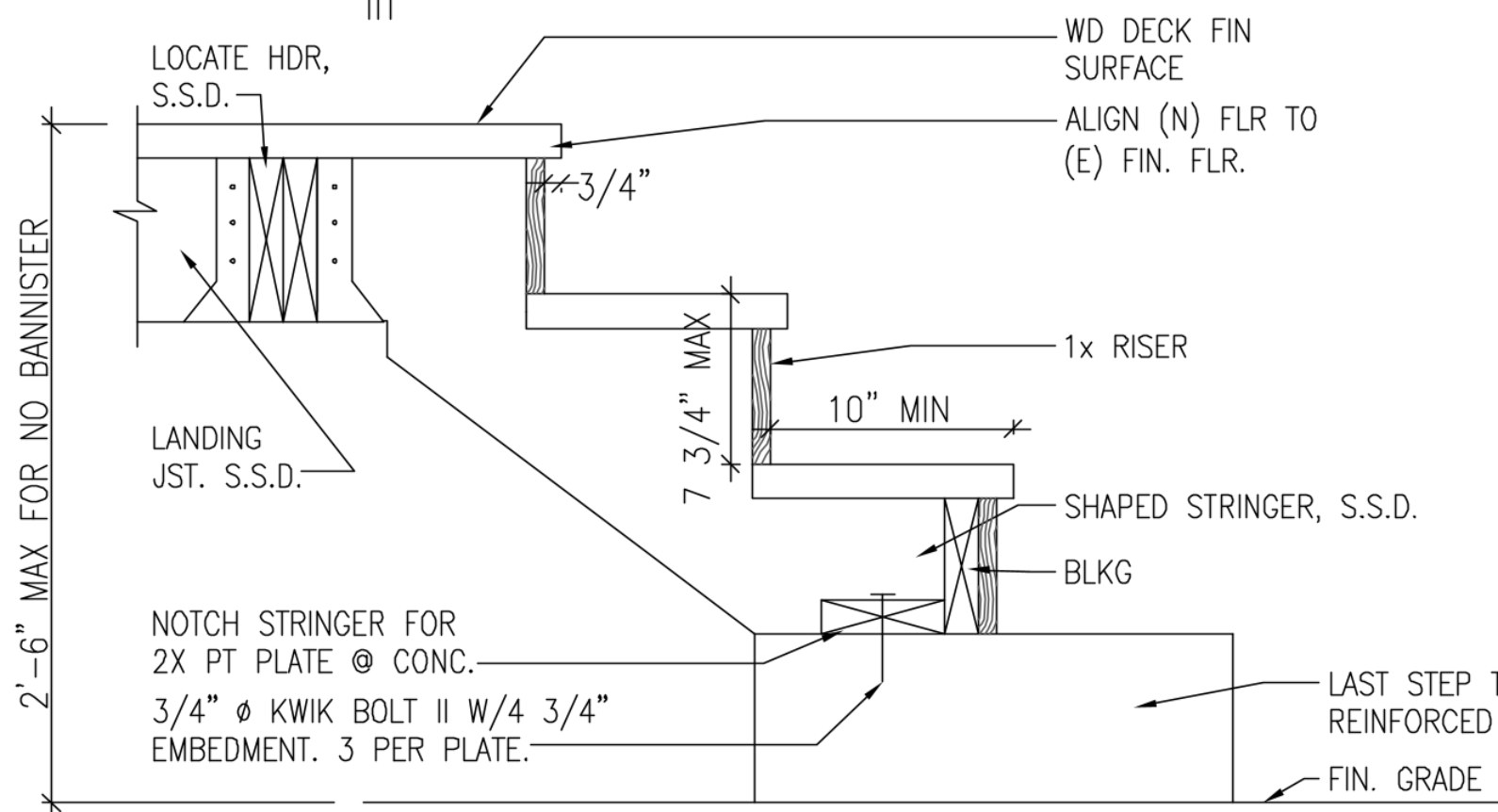
A2.0



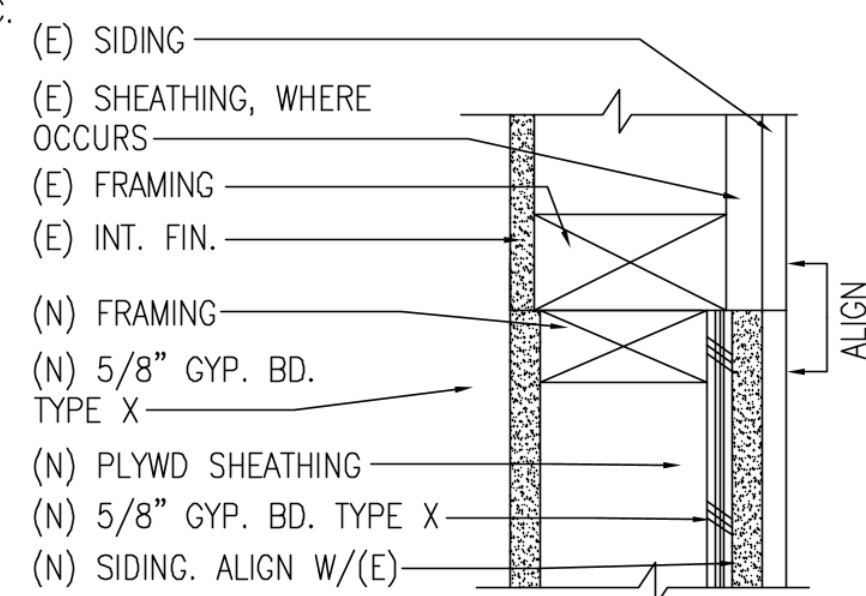


2 PROPOSED ROOF PLAN  
1/4"=1'-0"

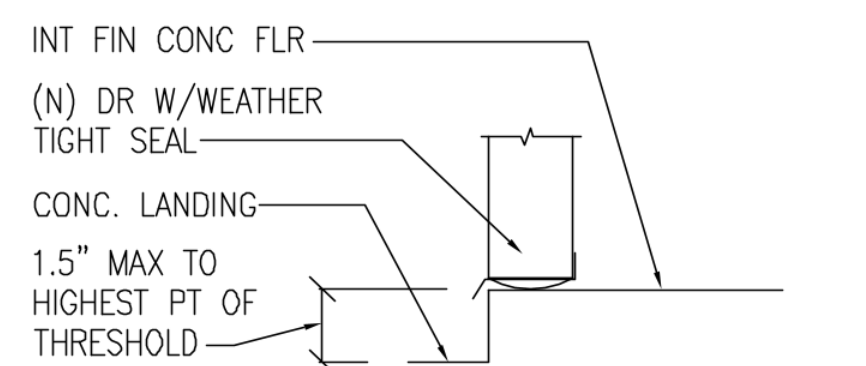
1 EXISTING ROOF PLAN  
1/4"=1'-0"



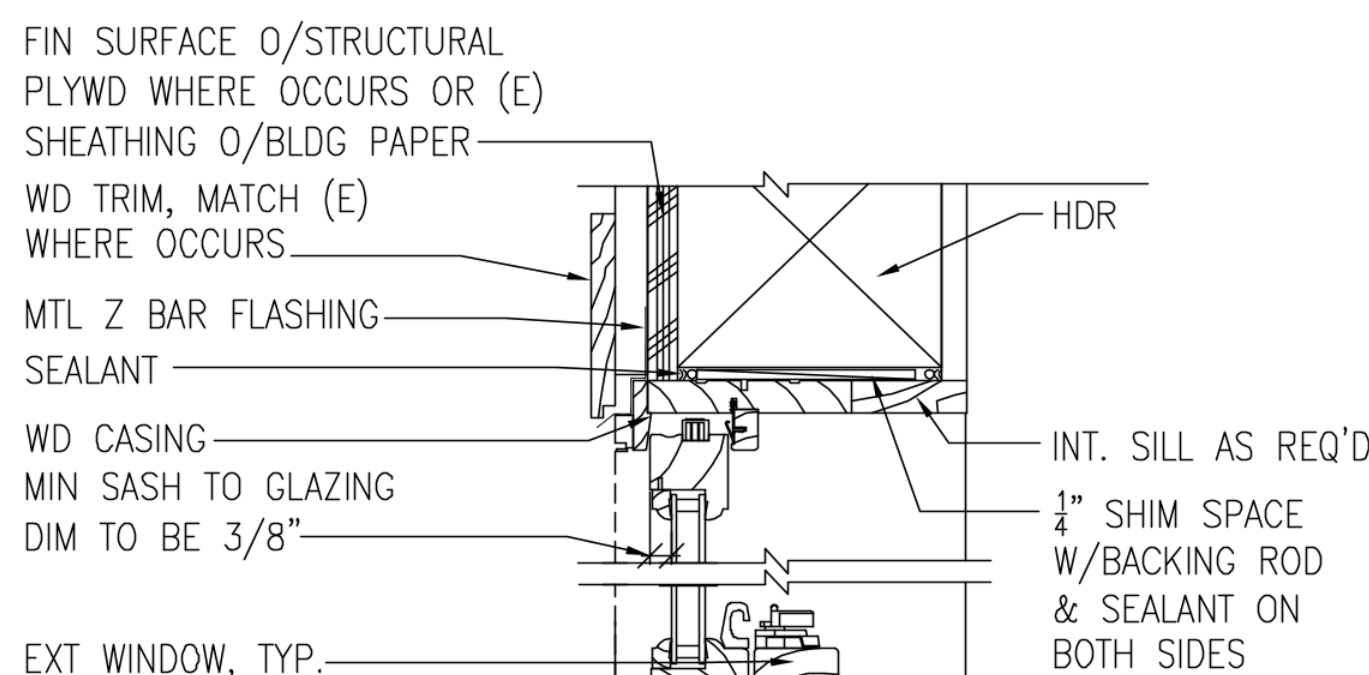
6 1 HR FIRE RATED WALL ASSEMBLY  
3\"/>



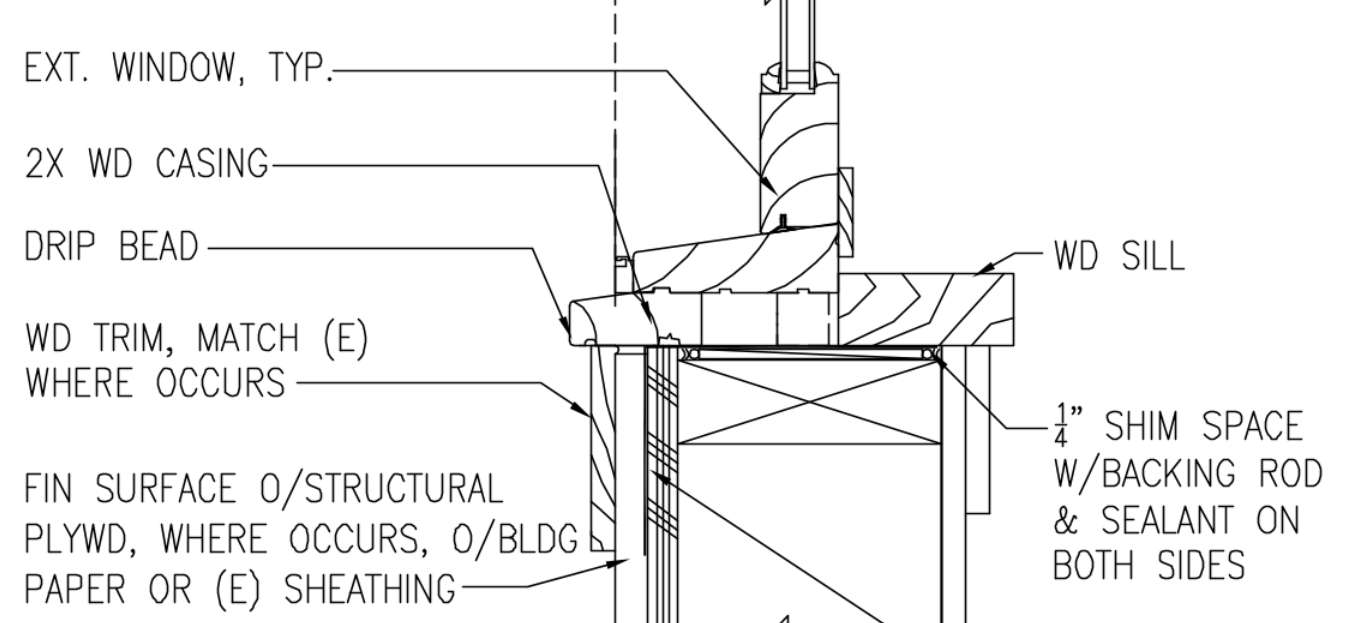
7 (N) SIDING @ (E) WALL  
3\"/>



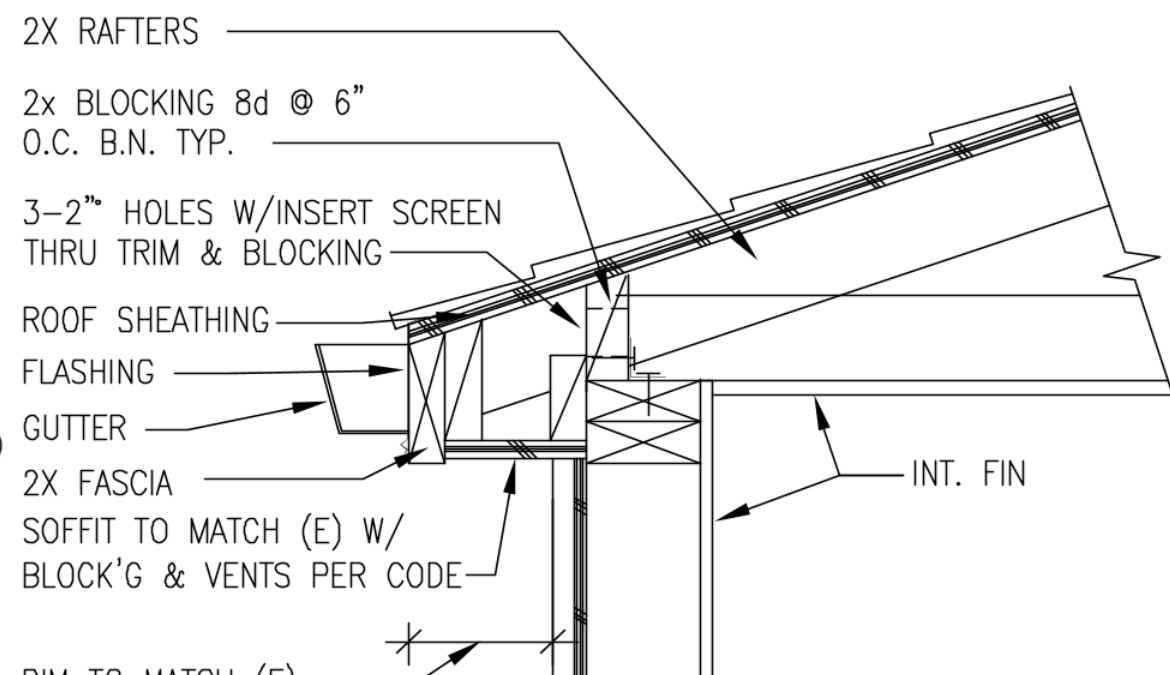
8 DR THRESHOLD  
3\"/>



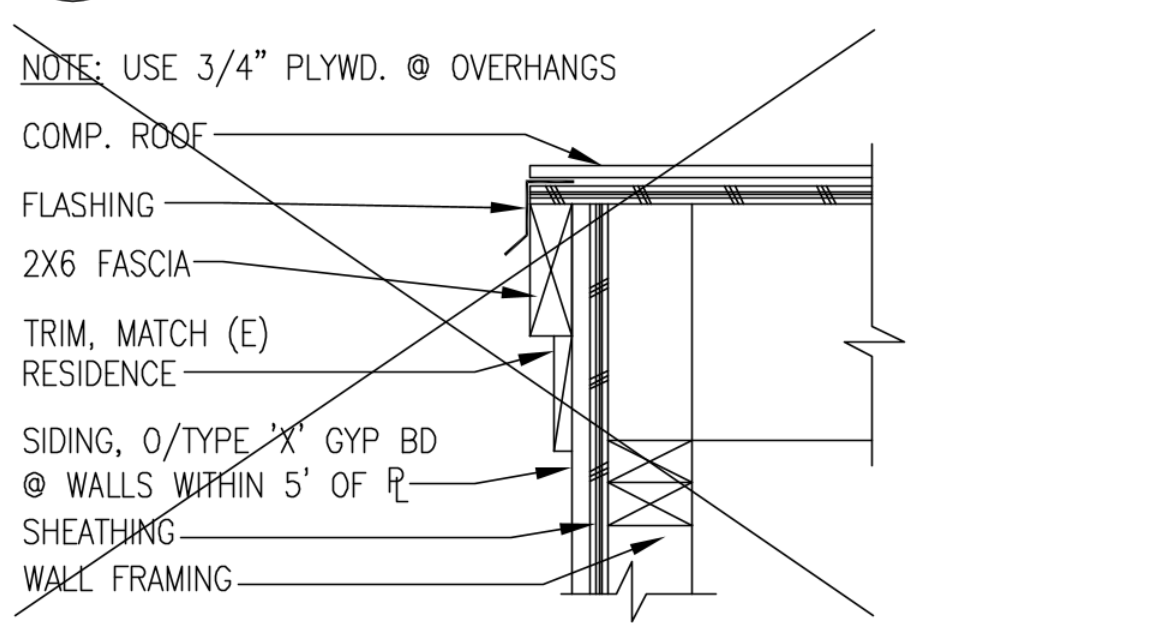
5 WINDOW DETAIL  
3\"/>



5 WINDOW DETAIL  
3\"/>



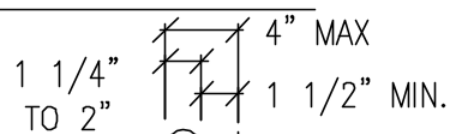
3 EAVE DETAIL  
1 1/2\"/>



4 RAKE DETAIL  
1 1/2\"/>

- NOTES:
- ALL RISERS & RUNS MUST BE EQ.
  - NOSING TO BE MIN 3/4" BUT NOT MORE THAN 1 1/4" WHERE TREAD DEPTH IS LESS THAN 11".
  - COMPONENTS ARE DIAGRAMMATIC ONLY. FINAL DESIGN AND CONSTRUCTION TO MEET ALL CODE REQUIREMENTS. FINISHES TO BE APPD BY OWNER. ACTUAL CONSTRUCTED DECORATIVE FEATURES MAY VARY.

9 STAIR DETAIL  
1 1/2\"/>

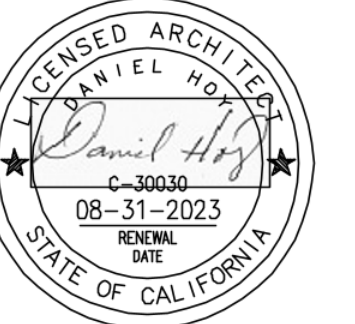


HANDRAIL GRIP DETAIL

- HANDRAIL NOTES:
- HANDRAILS OTHER THAN CIRCULAR SHAPES SHALL HAVE AN O.D. OF 4" MIN & 6 1/4" MAX, W/MAX CROSS SECTION DIM OF 2 1/4". EDGES SHALL HAVE A MIN RADIUS OF 0.01".
  - HANDRAIL MUST BE 34"-38" ABOVE RUN COMMENCING @ FIRST RISER TO LAST & MUST RETURN WALL OR END IN A NEWEL POST.
  - 42" HT @ GUARDRAIL LOCATIONS WHEN REQD.

10 HANDRAIL DETAIL  
NTS

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1	2021-08-10	PLANNING SUBMITTAL

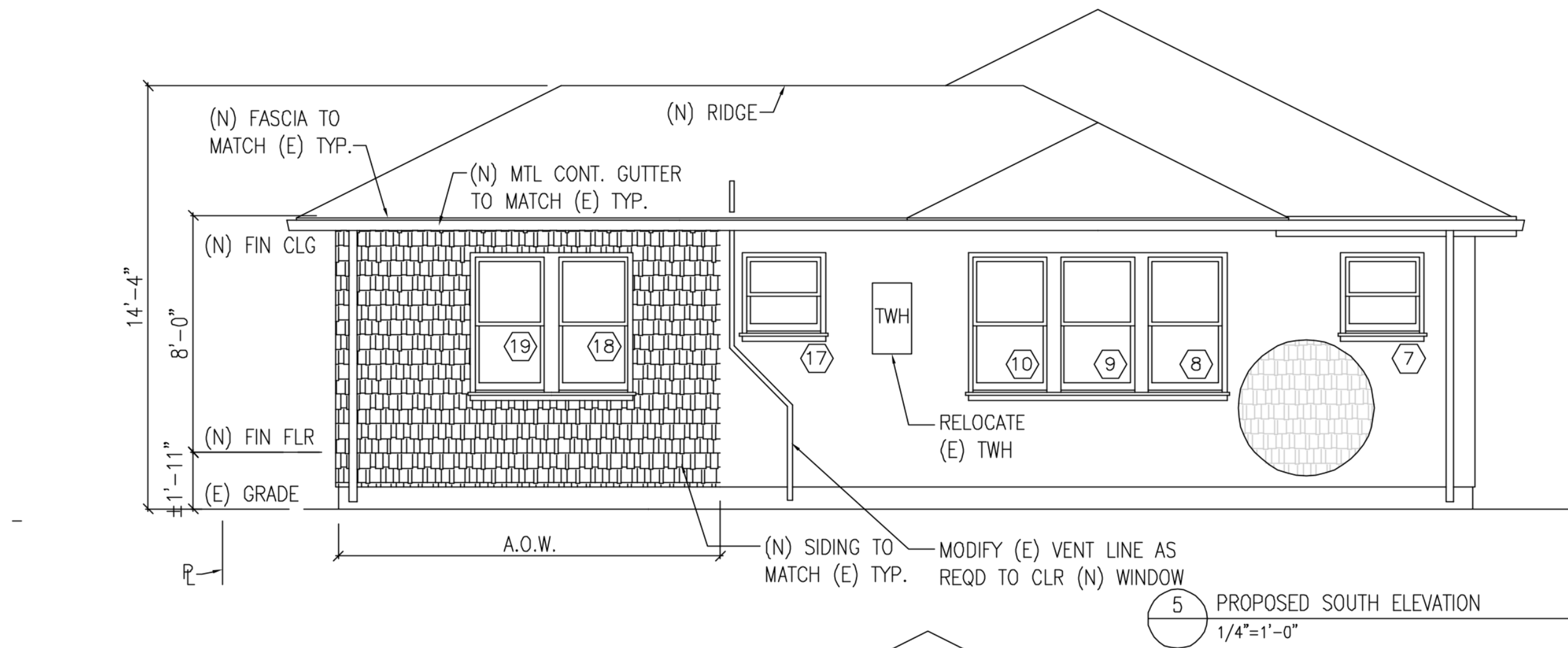
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EXISTING & PROPOSED  
ROOF PLANS  
& DETAILS

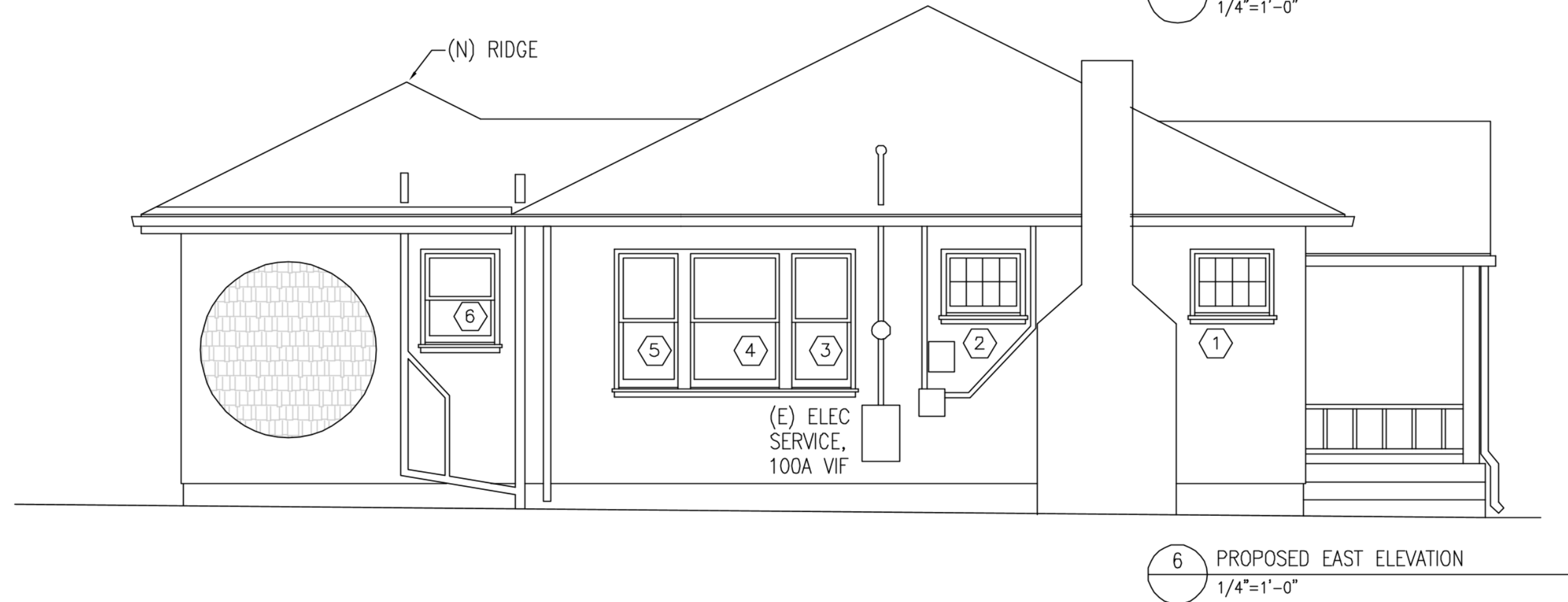
A2.1



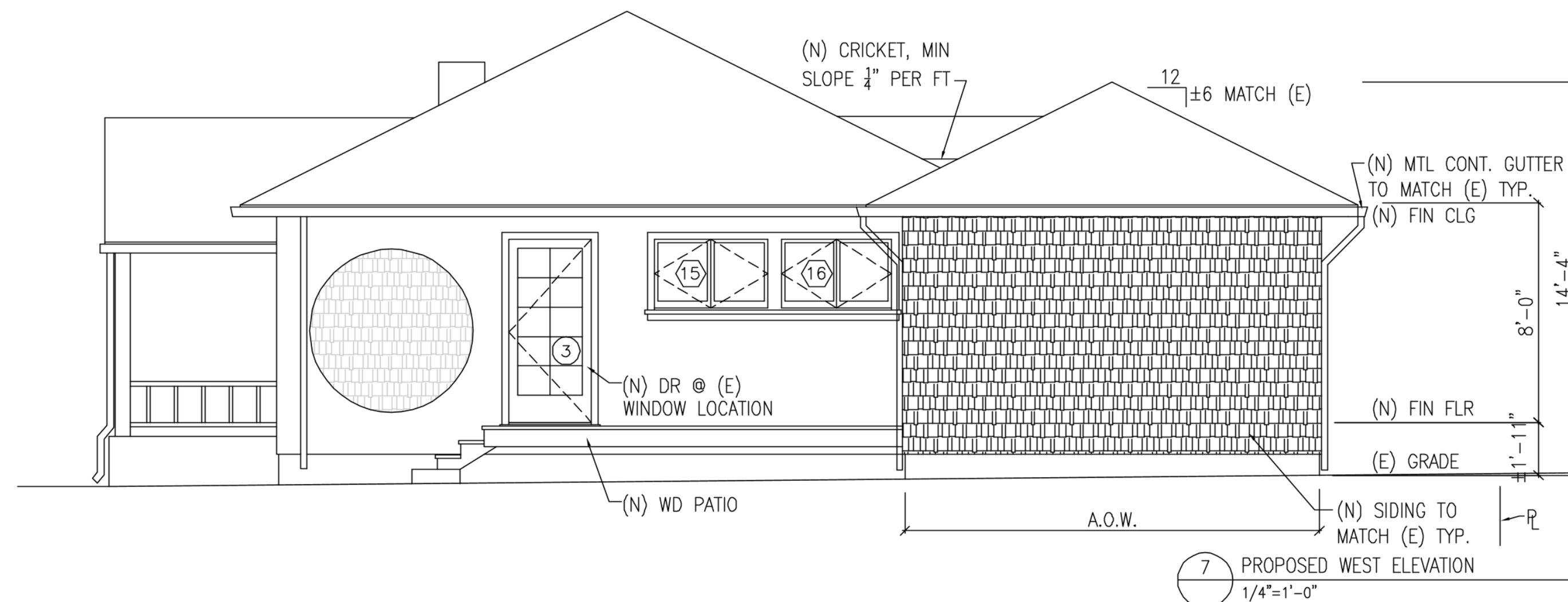




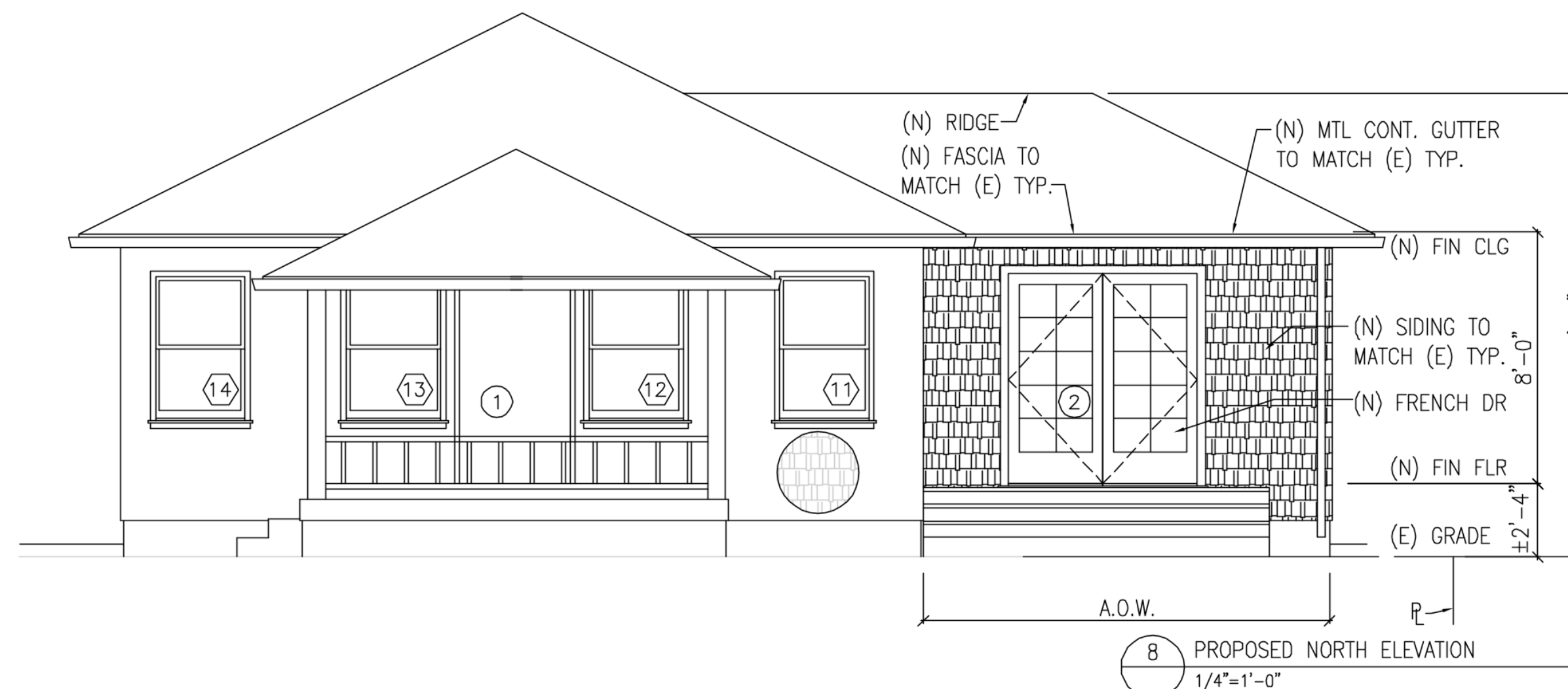
5 PROPOSED SOUTH ELEVATION  
1/4"=1'-0"



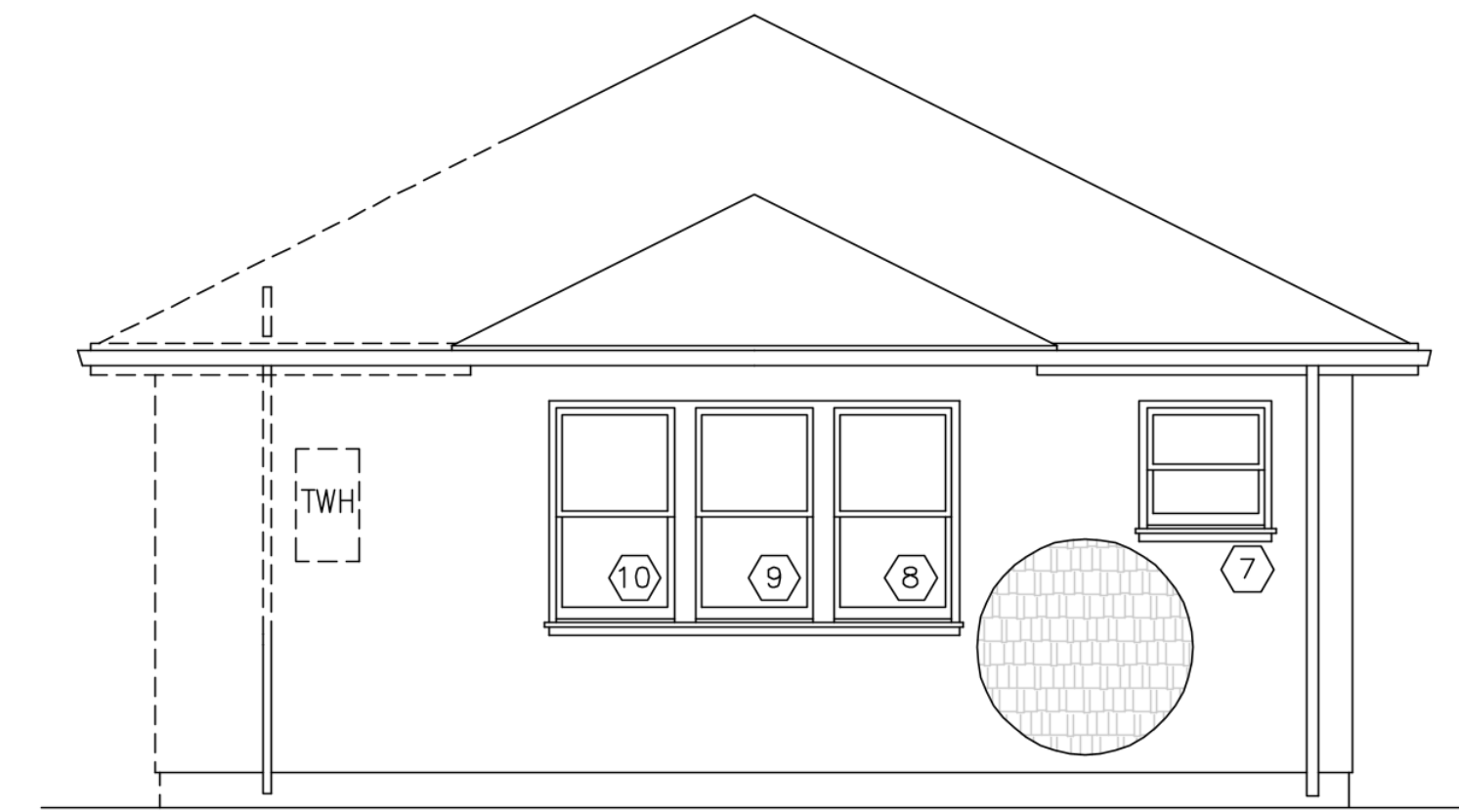
6 PROPOSED EAST ELEVATION  
1/4"=1'-0"



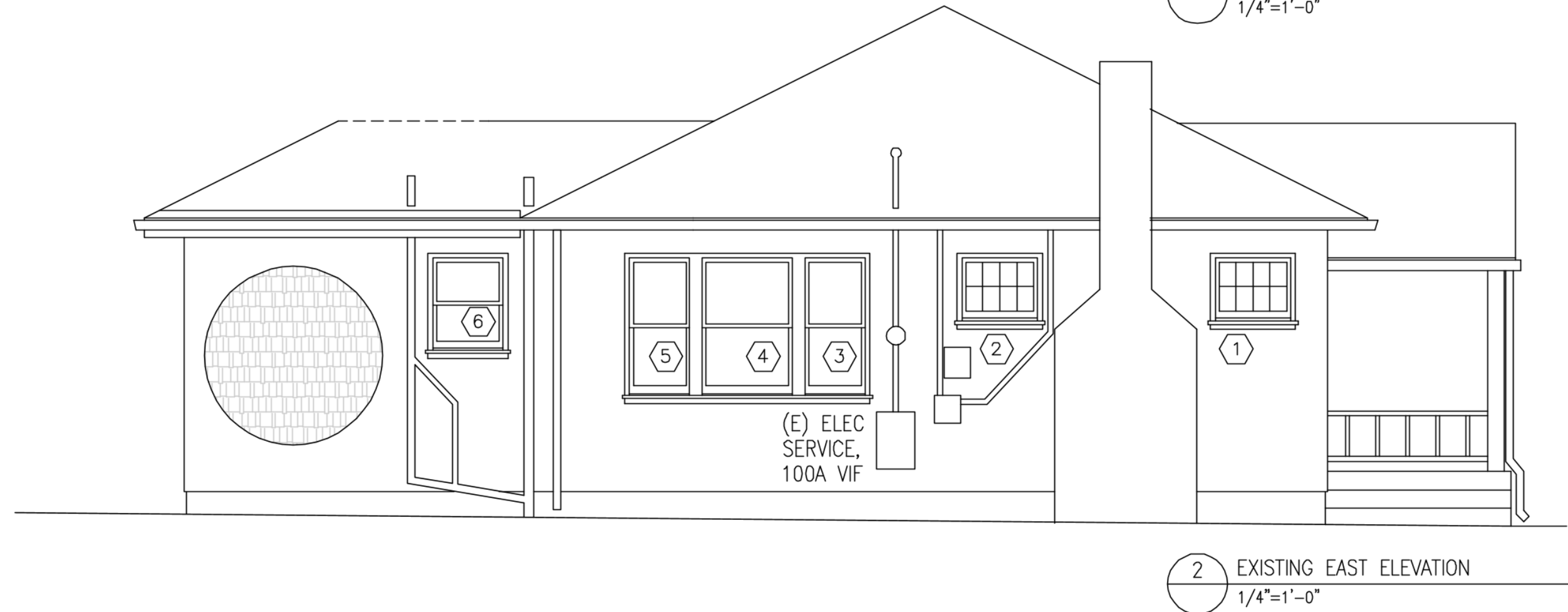
7 PROPOSED WEST ELEVATION  
1/4"=1'-0"



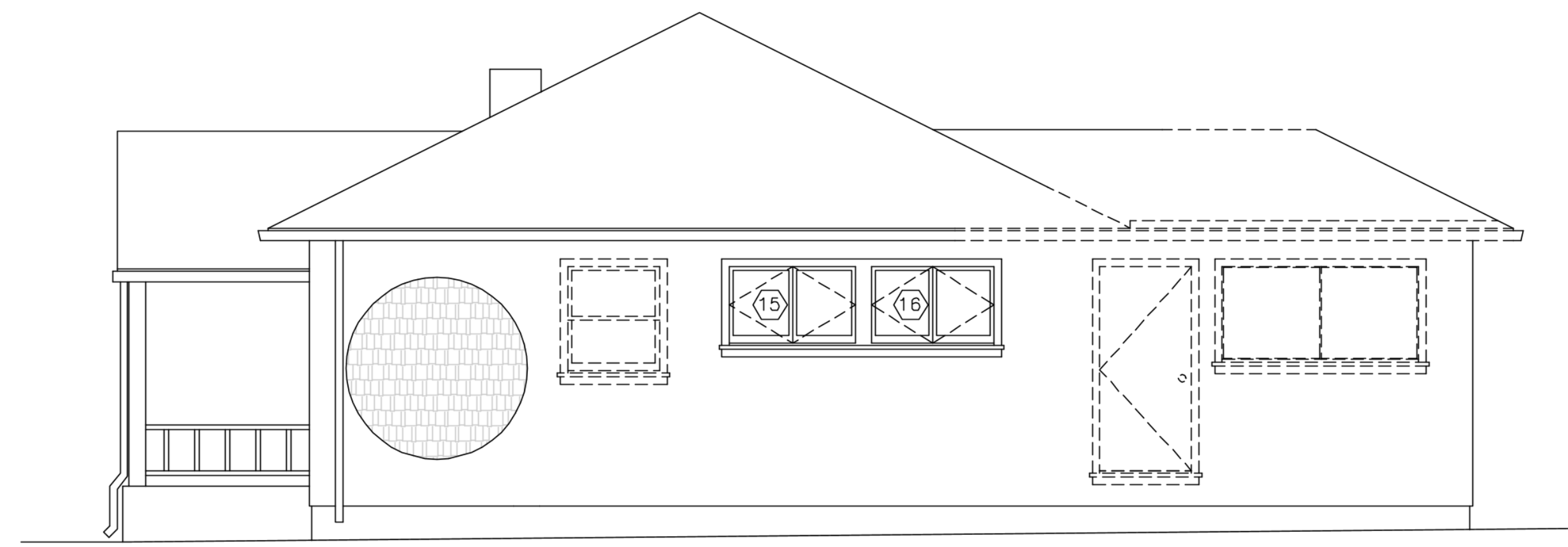
8 PROPOSED NORTH ELEVATION  
1/4"=1'-0"



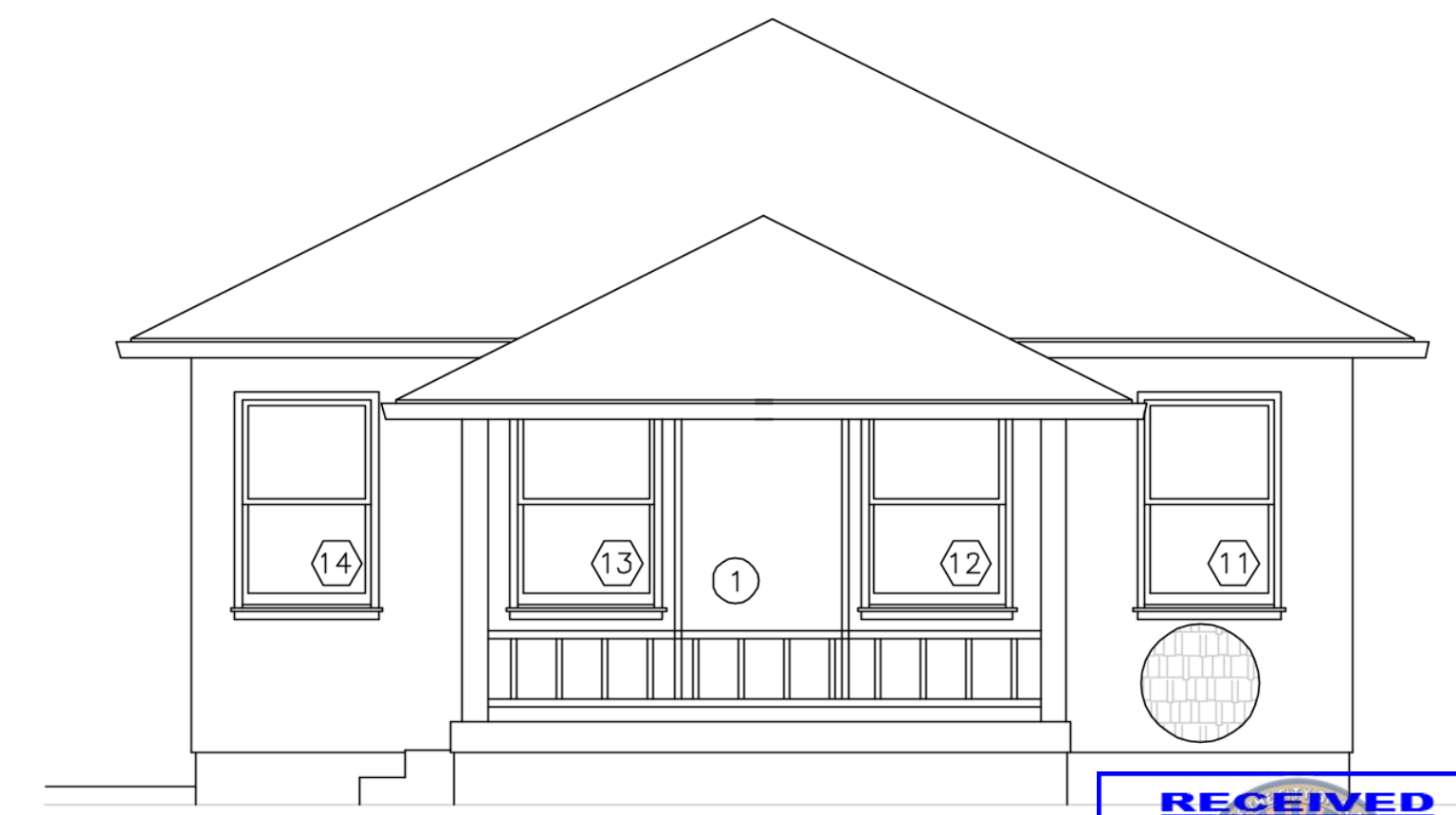
1 EXISTING SOUTH ELEVATION  
1/4"=1'-0"



2 EXISTING EAST ELEVATION  
1/4"=1'-0"

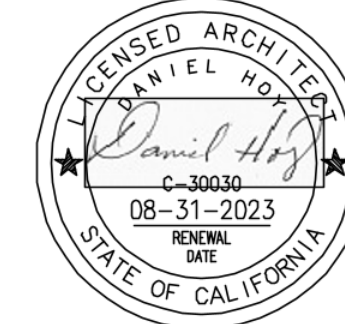


3 EXISTING WEST ELEVATION  
1/4"=1'-0"



4 EXISTING NORTH ELEVATION  
1/4"=1'-0"

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EXISTING & PROPOSED  
EXTERIOR  
ELEVATIONS

A3.0

