

ITEM 9-A

PLANNING BOARD STAFF REPORT

DATE: November 23, 2009

TO: HONORABLE PRESIDENT AND MEMBERS OF THE PLANNING BOARD

FROM: Laura Ajello, Planner I
510.747.6870
lajello@ci.alameda.ca.us

APPLICATION: **Planned Development Amendment – PLN09-0234 – 1109 Chestnut Street – The St. Joseph Community.**
A request to extend the St Joseph Community Master Plan Planned Development, PD-98-01, for a period of 15-years. As conditioned, any part of the project not completed by November 30, 2009 requires approval of a new Planned Development application. The applicant is requesting an amendment to this condition to allow the remaining portions of the project to be completed by November 30, 2024.

ZONING DISTRICT: R-4-PD (Neighborhood Residential Planned Development Zoning District)

GENERAL PLAN: Medium-Density Residential

EXECUTIVE SUMMARY




The applicant is requesting an extension of the current term period, which requires that all work approved in the Master Plan Planned Development be completed by November 30, 2009. If granted, the term would extend the time to complete the work until November 30, 2024. No other changes to the Master Plan are being sought. Staff recommends approval of the Planned Development Amendment.

BACKGROUND

On November 29, 1999, the Planning Board approved Planned Development Application PD-98-01 (also referred to as the Master Plan) and Use Permit UP-99-22 for the St. Joseph site at 1109 Chestnut Street. This decision was appealed to the City Council. The Planning Board decision was upheld by the

City Council (Resolution No. 13190). Pursuant to this resolution, "Any part of the project not completed within ten (10) years from November 30, 1999, shall require a new Planned Development approval prior to proceeding with the remaining construction."

Currently, there are no projects under construction that are threatened by the pending deadline. The approved Master Plan had a number of elements, many of which have yet to be started. The following table is a list of completed and pending elements of the approved master plan.

ST. JOSEPH COMMUNITY MASTER PLAN		
Completed Projects		
<ul style="list-style-type: none"> • Driveway at south side of the Marianist Hall parking lot • Parish Center parking lot • New play structure for the St. Joseph Elementary School • Elementary school and high school music rooms • High school library • Perimeter architectural fencing • High school science labs and gym remodel 		
Pending Projects		
<ul style="list-style-type: none"> • Interior gathering space for Marianist Hall • Outdoor gathering space between Marianist Hall and the Rectory • Completion of the Science/Communication Arts Facility Building and 2nd floor offices • High school administration building second floor addition • Raised play structure in the Marianist Hall parking lot • Notre Dame Hall expansion 		
		
<p>Site of future Marianist Hall outdoor gathering space</p>	<p>Site of future Communication Arts facility (between gym & San Jose Hall)</p>	<p>Site of future high school admin building 2nd floor addition</p>

In addition to this table, the property owner's representative has submitted a master plan completion diagram that graphically represents those elements of the master plan that have been completed and those elements that are pending (attachment 4). A letter, dated November 3, 2009 (attachment 5), has also been submitted that provides the expected cost to complete the project, a forecast of the capital that can be generated annually by fund raising efforts, and anticipated phasing of remaining projects. As this letter indicates, fundraising and construction phasing is based on past experience and the total cost to complete the project is based on discussions with contractors. These were all factors used by the applicant to arrive at the requested extension for completion. As noted in the letter, it may take less time to raise funds and complete the project, but the applicant felt it was better to be conservative and request a fifteen year extension due to the current state of the economy. Given the economy and continued uncertainty with respect to an economic recovery, staff feels it is fair to say that these types of projections are probably more art than science, but they at least provide a basis that supports the request.

DISCUSSION

In anticipation that the entire project may not be completed by the date identified in the subject condition, the property owner's representative has been meeting with city planning staff over the past couple of years regarding the process by which the completion date could be amended or changed. The requested amendment to the subject condition is the product of those discussions and meetings. If the requested change to the completion date is granted, all remaining elements of the project approved under the Planned Development will have until November 30, 2024 to be completed. Each of the remaining construction projects (except interior renovations) are subject to the Design Review process and will be publicly noticed. If this amendment request is denied, approval of a new Planned Development application would be required prior to the remaining construction being allowed to proceed.



Existing Rectory outdoor gathering space

The requested amendment to the condition, which will allow the applicant an additional fifteen years to complete the construction projects authorized by the approved Planned Development, is a result of economic situations that are beyond the applicants control, especially the economic climate of the past two years. Although efforts to raise and acquire funds to allow full build out of the project have continued, they have not resulted in the capital necessary to prudently complete the remaining improvements. Those elements of the Planned

Development that had adequate funding have been completed, which is an indication that the applicants are committed to completing the project as it has been approved.

Based on discussions with and information provided by a representative of the St. Joseph Community, staff understands that the requested time frame extension, fifteen years, is the best estimate of time necessary to raise needed capital and complete the project. Staff, like many, is aware that the current economy has made it difficult to raise the funds necessary for construction projects and that adequate time is needed to secure needed capital. It is for this reason that staff is in support of the requested time frame and recommends that the Planning Board approve the requested amendment to the condition as proposed. The project will be subject to compliance with all other conditions of approval and it must obtain any other required permits before construction on the next phase can begin.

FINDINGS

- 1. The Planned Development zoning designation is consistent with the General Plan.** The General Plan does not designate locations for places of religious assembly or private schools. However, the use is consistent with the General Plan designation of Medium-Density Residential because residential areas typically contain churches, schools, parks, and day care facilities. Therefore, the proposed Planned Development is consistent with the General Plan.
- 2. The location of the proposed use is compatible with other land uses in the general neighborhood area.** The planned development of this site selected the most appropriate locations for new development and mitigated parking and traffic impacts. This project's conditions of approval were meant to ensure the comprehensive plan for this site would be carried out; thus, resulting in a more effective use of the site overall. The proposed amendment provides the additional time necessary to effectively carry out the planned development of the site.
- 3. The proposal, if it complies with all conditions upon which approval is made contingent, will not adversely affect other property in the vicinity.** The original conditions of approval, other than the vesting period, shall remain in effect. These conditions address parking and traffic impacts and provide for a maximum student population. Approval of the Planned Development required the site to be planned as a whole and established more control by the City over the site than originally existed, and monitoring assured compliance with all conditions of approval. The project resulted in improvements to the appearance of the site by replacing an existing chain-link fence with a wrought iron fence and adding landscaping. The project also provides for improvements in the operations of the schools.

ENVIRONMENTAL REVIEW

A Mitigated Negative Declaration, IS-98-8, and Mitigation Monitoring Program were adopted by the City Council on March 11, 2000 (Resolution No. 13191). The future expansion of the St. Joseph's community was considered in the original Planned Development application. No substantial changes are proposed; therefore, this project is exempt from further environmental review pursuant to the CEQA Guidelines, Section 15162 - Subsequent Environmental Impact Reports.

PUBLIC NOTICE

A notice for this hearing was mailed property owners and residents within 300 feet of this site, published in the Alameda Journal and posted at the subject property. As of October 20, 2009 staff has received one written public comment opposing this project (see attachment 5).

RECOMMENDATION

Find the project Categorically Exempt from CEQA and hold a public hearing and approve of this Planned Development Amendment (File No. PLN09-0234) at 1109 Chestnut Street to extend the 10-year vesting period for another 15 years.

Respectfully Submitted By:

Reviewed By:

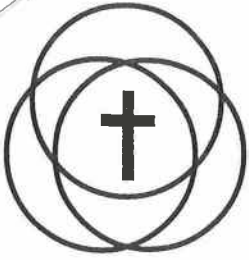
Laura Ajello
Planner I

Jon Biggs
Planning Services Manager

Attachments:

1. Resolution
2. City Council Resolution No. 13190, March 11, 2000
3. City Council Resolution No. 13191, March 11, 2000
4. Saint Josephs Community Master Plan Completion Diagram
5. November 3, 2009 Letter, that provides Construction Cost, Fundraising and Project Phasing Estimates
6. Public comment received October 20, 2009

The St. Joseph Community



Mr. Doug Garrison
Supervising Planner
Planning and Building Department
2263 Santa Clara Room 190
City of Alameda, CA 94501

April 29, 2009

Re: St. Joseph's Master Plan Project Completion Time Extension Request

Dear Mr. Garrison,

Per our meeting October 16, 2008, this letter and enclosed aerial image are submitted on behalf of St. Joseph Notre Dame to formally request a modification to the *Conditions of Approval* of the *Planned Development and Use Permit* for the Master Plan of the St. Joseph Campus.

St. Joseph's is requesting an extension of overall years to complete the approved Master Plan. Per item 5a. Vesting and Phasing, under the Analysis of Compliance with Conditions, we request modification of the time frame of *ten* (10) years to be an overall time frame of *twenty-five* (25) years. We are not requesting changes to any other Conditions of Approval.

The reason for this request has to do with the capacity of the St Josephs community to effectively and prudently raise capital to execute the projects in full, particularly within the current economic climate where both donations and lending are compromised.

Enclosed please find an aerial view of the current campus for your reference.

Thank you for your time and consideration of this request.

Sincerely,

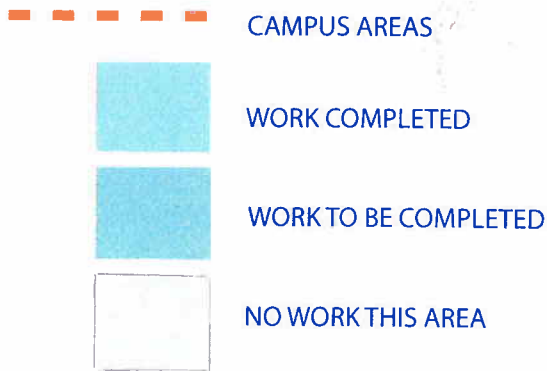
Andrew Reed
Owner's Representative

St. Joseph Elementary School
1910 San Antonio Avenue
Alameda, CA 94501
510.522.4457

St. Joseph Basilica
1109 Chestnut Street
Alameda, CA 94501
510.522.0181

St. Joseph Notre Dame High School
1011 Chestnut Street
Alameda, CA 94501
510:523.1526

Saint Josephs Community Master Plan Completion Diagram April 29, 2009



CITY OF ALAMEDA RESOLUTION NO. 13190

DENYING THE APPEAL OF LEILA MONCHARSH, ATTORNEY FOR JACOB ROSENBERG AND UPHOLDING THE PLANNING BOARD'S APPROVAL OF PLANNED DEVELOPMENT PD-98-01, AND USE PERMIT UP-99-22, FOR THE ST. JOSEPH SITE AT 1109 CHESTNUT STREET

WHEREAS, an application was made on February 25, 1998, by Jerry Holland, Pastor of St. Joseph, requesting a Planned Development approval (PD-98-01), and Use Permit, UP-99-22 to make the existing church and school facilities conforming with the R-4 Zoning District, and to permit the construction of 19,191 square feet of building space, demolishing 6,559 square feet of building space, remodeling existing school and church buildings, providing off-street parking, and temporarily closing Chestnut Street between San Jose Avenue and San Antonio Avenue during school hours at 1109 Chestnut Street (St. Joseph Basilica, St. Joseph Elementary School and St. Joseph Notre Dame High School); and

WHEREAS, the application was accepted as complete on April 28, 1999; and

WHEREAS, the subject property is designated Medium Density Residential on the General Plan Diagram; and

WHEREAS, the Board held a public hearing on this application on November 29, 1999, and November 30, 1999, and examined pertinent maps, drawings, and documents; and

WHEREAS, the Board approved the Planned Development and Use Permit with conditions; and

WHEREAS, Leila Moncharsh, attorney for Jacob Rosenberg filed an appeal of the Planning Board's decision on December 10, 1999; and

WHEREAS, the City Council held a public hearing on the appeal on March 11, 2000, and examined pertinent maps, drawings, and documents; and

WHEREAS, the City Council considered the bases of the appeal set out in a letter from Leila Moncharsch, attorney for Jacob Rosenberg, and the responses prepared by Planning Staff contained in Attachment #1 to the Staff Report to the City Council on the appeal, which responses are incorporated herein by reference, together with the other information regarding the project; and

WHEREAS, the City Council found that the appeal does not have any merits and is hereby denied; and

Approved as to Form
Paul Kande
CITY ATTORNEY

WHEREAS, the Council has made the following findings to uphold the Planning Board's approval of the Planned Development :

1. **The proposed Planned Development is consistent with the General Plan.** The General Plan does not designate locations for places of religious assembly or private schools. However, the use is consistent with the General Plan designation of Medium Density Residential because residential areas typically contain churches, schools, parks, and day care facilities. Policy 2.4.1 of the General Plan states, "Preserve historic districts and buildings of architectural significance." The St. Joseph Basilica is a designated Historical Monument, and the proposed Planned Development would improve the appearance of the Basilica with new fencing and landscaping. Therefore, the proposed Planned Development is consistent with the General Plan.
2. **The location of the proposed use is compatible with other land uses in the general neighborhood area.** A church and school are compatible with the surrounding residential uses, and the site has been used for these purposes since 1881. The existing school would be permitted to continue, even if these approvals are not granted. The conditions of approval contained herein would ensure that the site would be planned comprehensively which would result in more effective use of the site overall, the selection of the most appropriate locations for new development and mitigation of the impacts of parking and traffic.
3. **The proposal, if it complies with all conditions upon which approval is made contingent, will not adversely affect other property in the vicinity.** Conditions of approval would address parking and traffic impacts and would provide for a maximum student population. Approval of the Planned Development would require the site to be planned as a whole and would establish more control by the City over the site than now exists, and would enable monitoring to assure compliance with all conditions of approval. The project would result in improvement to the appearance of the site by replacing the existing chain-link fence with a wrought iron fence and adding landscaping. The project would provide the improvements in the operations of the schools; and

WHEREAS, the City Council has made the following findings relating to the Use Permit application to legalize a church and school use in a residential district:

1. **That the location of the proposed use is compatible with other land uses in the general neighborhood area because** a church and school are compatible with the surrounding residential uses, and the site has been used for these purposes since 1881. The use is consistent with the General Plan designation of Medium Density Residential because residential areas typically contain churches and schools.
2. **That the proposed use will be served by adequate transportation and other facilities because** the proposal would increase off-street parking, and there is bus service near the site. The increase of a maximum of 10 percent over existing enrollment would not create an

excessive demand for other services. Special events held evenings and weekends have the greatest parking impact. The conditions of approval place a limit on the number of special events where more than 500 persons attend require implementation of Transportation Systems Management measures for these special events.

3. **That the proposed use, if it complies with all conditions upon which approval is made contingent, will not adversely affect other property in the vicinity because** conditions of approval would mitigate parking and traffic impacts; the project would provide for improvements in the operations of the school; approval of the Planned Development would establish more control by the City over the site than now exists, and would enable monitoring to assure compliance with all conditions of approval; and the project would result in improvements in the appearance of the site by replacing the existing chain-link fence and adding landscaping.

WHEREAS, the Council upholds the Planning Board's approval of the Planned Development and Use Permit to make conforming a church and school use in a residential district and to permit its expansion subject to the following conditions:

1. Contingent on Approvals. This approval is of no force and effect unless and until the City Council adopts the proposed Mitigated Negative Declaration (IS-99-22), approves the Rezoning (R-98-01) to reclassify the property from R-4 (Neighborhood Residential District) to R-4-PD (Neighborhood Residential, Special Planned Development Combining District), and the Rezoning is in effect.
2. Approved Plans. All construction, development and use of the project site shall be in compliance with the following exhibits which are on file with the City of Alameda Planning Department, except as modified by the conditions of this resolution:
 - a. plans titled "St. Joseph Community Master Plan, Planned Development Application" dated August 28, 1998, revised through September 25, 1998, consisting of 4 sheets, marked Exhibit "A"
 - B. the text description titled "St. Joseph Community Master Plan, Planned Development Application Package," dated August 28, 1998 and amended September 25, 1998, and March 9, 1999 marked Exhibit "B,"

The proposal to permanently close the 1000 block of Chestnut Street has been modified by the applicant to closure during school hours only. The elevations shown on sheets PD-10 and PD-11 are considered illustrative only and are expressly not approved.

3. Maximum Enrollment and Staff. The uses approved in use Permit UP 99-22 include the existing church, a private school for grades kindergarten through grade 12 with the following maximum enrollment: a maximum of 325 students in elementary (kindergarten through grade 8) and 600 students in high school (grades 9 through 12). The maximum number of school staff on site shall not exceed 98.
4. Prior Use Permit Rescinded. This Use Permit approval rescinds Use Permit #316, approved in 1964 for the construction of the St. Joseph gymnasium.
5. Vesting and Phasing.
 - a. This Planned Development approval shall terminate one year from November 30, 1999, unless development in reliance upon valid permits has begun, or the applicant applies for and is granted an extension prior to said expiration. No more than a one-year extension may be granted. Any part of the project not completed within ten (10) years from November 30, 1999, shall require a new Planned Development approval prior to proceeding with the remaining construction.
 - b. This Use Permit approval shall terminate one year from November 30, 1999 unless the Use Permit is vested or the applicant applies for and is granted an extension prior to said expiration. No more than a one-year extension may be granted. Vesting shall consist of signing and returning the acknowledgment of the conditions of approval and the establishment of three off-street parking spaces required for the change of San Jose Hall from a convent to a classroom and offices.
 - c. Prior to the approval of any construction pursuant to this approval, the applicant shall submit a phasing plan which shall show the following:
 - I. total number of phases;
 - ii. what construction is included in each phase;
 - iii. The likely sequence of phases;
 - iv. the construction time required for each phase. Total construction time for all phases should not exceed 48 months.

The property owners within at least 300 feet of the site shall receive notice that the phasing plan has been submitted so that they may review and comment on the plan. The Planning Director may take action on the phasing plan ten (10) days after notices have been mailed to the adjacent property owners. The phasing plan may be amended from time to time by the same process used for original approval.

6. Construction Noise. Construction noise impacts shall be minimized by restricting construction activities to the daytime hours specified by the Alameda Municipal Code. The current provisions limit construction to Monday through Friday, between 8 a.m. and 5 p.m., and on Saturday between 9 a.m. and 5 p.m., with no Sunday construction.
7. Parking. A total of 86 off-street parking spaces shall be provided on-site. This includes the 19 spaces already on the site, 64 spaces for the new construction, and 3 spaces for the conversion of San Jose Hall. The site plan will have to be revised to locate and additional three spaces. A total of 137 off-street parking spaces shall be provided for the school's special events, including parking provided on the school's asphalted play areas. The parking lot behind the Parish Center shall be installed no later than 24 months of the final approval of this application, regardless of whether other construction has occurred.
8. Fire Code. All improvements shall conform to the requirements of the Uniform Fire Code, and all other requirements of the Fire Department, including emergency access and installation of a new fire alarm system for the whole campus, to meet State codes for fire alarms in schools.
9. Tandem Parking. The 32 tandem parking spaces shall be marked as available for staff only, and the applicant shall monitor the parking spaces to ensure that staff uses them. Appropriate signage shall be approved by the Planning Director and permanently installed. The applicant shall provide to the Planning Director for review and approval proposed procedures to ensure that staff use the spaces and to ensure that staff can move their cars if they need to leave on an unscheduled basis.
10. Special Events Calendaring. Special events are all events held at the site which are not regularly scheduled church services, including holiday services, funerals, or routine instructional activities. However, persons attending regularly scheduled church services, including holiday services, funerals, and routine instructional activities, shall be included in counts of persons on site when special events are held concurrent with church services and instructional activities. The applicant shall establish a scheduling system to coordinate and comprehensively list all special events occurring at the Basilica, the parish offices and meeting spaces, the elementary school and the high schools. The listing shall include estimated numbers of attendees, when the event is scheduled to start, and estimation of how long the event will last. The scheduling system shall track the total number of attendees on the St. Joseph's site and ensure that no special events are scheduled which would result in the total number of attendees on the site exceeding the limits set out in Condition #11. Beginning in August following the final approval of this application and from then on a semi-annual basis, the applicant shall provide the Planning Director a copy of the special events scheduling and make copies available to members of the public at the school's administrative office. The schedule shall be provided a minimum of 30 days prior to the beginning of the time period summarized in the schedule.

11. Mitigation for Special Event Parking. In order to ensure that the parking impacts related to St. Joseph's are no greater than they are for the current operation, the following requirements shall apply. The total attendance on the St. Joseph's site during special events may not exceed 500 persons, except up to 28 events per year as follows:
- a. Up to twelve times a year, St. Joseph's may schedule one or more special events which result in a total site population of more than 500 persons but less than 625 persons.
 - b. In addition to events allowed in Condition #1a, up to eleven times a year, St. Joseph's may schedule one or more special events which result in a total site population of more than 500 persons but less than 826 persons.
 - c. St. Joseph's may schedule up to 4 basketball play-off games per year or games to determine final standing during the school year which result in a total site population of no more than 825 persons.
 - d. Once a year, St. Joseph's may hold a one day event currently known as El Rancho Day provided that the Marianist Parking Lot, the new parking lot behind the Parish Center once it is built and the accessible, paved area adjacent to the High School be made available for parking. Total on site population for this event shall not exceed 700 persons at any one time, in addition to persons attending regular church services.

To reduce the parking impacts associated with special events, Transportation System Management (TSM) programs shall be implemented for all special events where the on site population exceeds 500 persons. TSM programs include measures such as valet parking for various on-site parking lots, satellite parking, carpooling incentives, alternative transit, and/or shuttle buses. All TSM programs shall be reviewed and approved by the Public Works Director prior to implementation and shall be submitted at least 60 days prior to the special event. The approved TSM program shall be made available to the public for review in the school's administrative office.

12. Monitoring. The applicant shall submit a semi-annual report to the Planning Director listing all special events where the population on the site exceeds 500 persons (or 430 persons until the new parking lot behind the Parish Center is constructed) conducted during the prior six months, actual attendance and, previously estimated attendance, and the TSM measures used. The following schedule for reporting is suggested: in February for the previous July through December period, and in August for the previous January through June period. This report shall be made available to the public in the school's administration office.
13. Street Closure. The closure of Chestnut Street between San Antonio Avenue and San Jose Avenue during school hours is approved subject to the following requirements:

- a. Prior to any street closure, the applicant shall secure City Council approval of the street closure pursuant to Section 21102 of the California Vehicle Code.
- b. Prior to the issuance of any building permit establishing new student instructional space on the east site of Chestnut Street, the applicant shall have complied with all conditions necessary to begin the school hours street closure.
- c. There shall be no dwelling units within the portion of the street to be closed which need to use the street for vehicular access.
- d. In order to accommodate the morning and afternoon loading and unloading of students, street closure barriers shall not be placed until after the first school period has commenced and shall be removed prior to the end of the last school period.
- e. Prior to beginning the school hours street closure, the applicant shall submit and obtain approval of a Traffic Control Plan, including but not limited to a Signing, Striping and Detour Plan, acceptable to the Public Works Director, in consultation with the Police and Fire Departments. The applicant shall also be responsible for the design, construction, and maintenance of the school hours closure and shall reimburse the City for all City staff costs, including the cost of engineering review and construction inspection costs associated with the school hours street closure.
- f. Prior to beginning the school hours street closure, the applicant shall enter into a Hold Harmless Agreement with the City in a form acceptable to the City Attorney. The Agreement shall include, but not necessarily be limited to the following provisions: times of school hours closure, procedures for school hours closure, type of physical barrier(s) use for school hours closure, responsibilities and procedures for erecting and removing the barrier(s) for the school hours closure, responsibilities of the applicant and responsibilities of the City and a hold harmless wherein the applicant indemnifies the City.
- g. The specific design of the street closure barriers shall be subject to Design Review. The barrier shall be attractive, and shall be a manual, not an electronic closure. The street closure barriers may be of a temporary nature for the first year of operation which is subject to review by the Planning Board. If the closure is permitted to continue, then permanent barriers for the school hours closure shall be designed and installed.
- h. The school hours closure shall be subject to a trial for one school year after which the Planning Board shall hold a noticed public hearing to review the experience of the school hours closure and determine whether the closure may continue, whether there should be revised or additional conditions for the closure, or whether some other method of improving pedestrian safety, such as crossing guards or a pedestrian

activated light, should be used. The applicant shall submit for Board review a report showing the effect of the school hours street closure on student safety and any measurable detriment to the neighborhood. The report shall be submitted within 14 days after the end of the school year and shall be to the satisfaction of the Planning Board. The applicant shall be responsible for all City costs for the review.

14. Driveway Safety. In response to concern that the most northerly driveway approach on the west side of Chestnut Street (to the Marianist Parking Lot) may result in operational problems or safety impacts, such as excessive queuing into Encinal Avenue or significant restrictions in traffic flow along Chestnut Street, the following requirement shall apply. If the Public Works Director (PWD) determines that there may be potential operational problems or safety impacts related to this driveway, the PWD may require the applicant to address the potential impacts to the satisfaction of the PWD. If the applicant disputes the PWD's determination or requirements, then the Public Works Department may monitor the driveway at the applicant's expense to document the operation of the driveway, and/or the matter shall be agendaized for Planning Board review. If the Planning Board, following a noticed public hearing, determines that there are potential problems, then the Board may impose new conditions under this Use Permit to address the potential problems.
15. Bicycle Parking. The applicant shall maintain 40 bicycle parking spaces on the site located adjacent to Notre Dame Hall. The existing bike parking shall be maintained until an alternative location is shown on plans submitted for Design Review and the new location has been approved by the Planning Director.
16. Loading and Unloading Students. The applicant shall provide persons to direct and manage traffic during the hours when students are being loaded and unloaded, with the goal of assuring that vehicles move along expeditiously, that double parking and backup into intersections related to school loading and unloading is minimized. At its own expense, the applicant shall arrange for a professional traffic engineer to observe and provide a written report about the effectiveness of loading and unloading operations. The qualifications of the engineer and the scope of the report shall be satisfactory to the Public Works Director. The report shall be submitted on the same schedule as the monitoring required under Condition #12 and may be done by the same engineer. Based on a review of the report, the Public Works Director may recommend changes, if appropriate, to be considered by the Planning Board in conjunction with the monitoring review on special events scheduling and parking provided for in Condition #18.
17. Monitoring Costs. The applicant shall pay the costs of the monitoring and periodic review required by the conditions of this Use Permit. Reimbursement for staff time shall be at the rates as approved by the City Council in the Master Fee Resolution, together with the costs of any consultants plus 25 percent overhead on the cost of the consultants.

18. Board Review. The Planning Board shall conduct a review of condition compliance, with particular attention to Condition #10 (Special Events Calendaring) and Condition #11 (Mitigation for Special Events Parking), following receipt of the second semi-annual report (Condition #12). The Board shall review the submitted information and take public testimony, and then determine whether the applicant is in compliance with all conditions of approval, and if additional requirements are necessary to address special events parking. If the Board determines that additional measures are necessary to address the special event parking, then these shall be the subject of a noticed public hearing to be held subsequent to the monitoring hearing and what the next monitoring period, if any, shall be.
19. Facilities Rental. As agreed to by the applicant, the use of the site shall be limited to activities directly related to the school and church and shall not be provided for compensation for outside use. Any outside use of the site is limited to non-profit or civic groups, including the City's Recreation and Park Department, where no compensation other than reimbursement for direct expenses (e.g. janitorial, security, utilities, etc.) is received by the church or school and where the use results in a total site population of less than 500 persons. The non-profit and civic uses shall be defined as special events and is subject to the calendaring requirements and parking mitigations set out in Conditions #10 and #11.
20. Historic Resources. The applicant shall comply with all conditions of the Certificate of Approval (HAB Resolution #CA-98-09, approved December 3, 1998, by the HAB and upheld on appeal by the City Council on February 3, 1999), issued by the Historical Advisory Board for the demolition of the addition to the Parish Center building, which is on the Historic Building Study List.
21. Housing Impacts. Prior to the issuance of any building permit, the applicant shall submit a plan showing how the requirements of the Affordable Housing/Fee Ordinance will be met for review and approval by the City's Housing Development Manager.
22. Electricity. Alameda Power and Telecom (AP&T) shall continue to have access to its facilities along Chestnut Street between San Antonio Avenue and San Jose Avenue. The applicant shall coordinate with the AP&T regarding power requirements or changes in its existing electrical loads.
23. Outdoor Lighting. Prior to the construction of any parking area, the lighting of any parking area, or changing the lighting of any parking area, the applicant shall submit a lighting plan, as part of a Design Review application. The level of illumination shall be limited to a maximum of 2 footcandles at the ground, and the fixtures shall be hooded and oriented so that the lighting element is not generally visible off site. Fixtures may be mounted on buildings or on poles, but no fixture shall be mounted more than 20 feet above grade.

24. Encroachments Over Parcel Lines. To resolve the encroachment of existing and proposed buildings over parcel lines, prior to the issuance of any building permit, the applicant shall submit to the Planning Director for approval a lot line adjustment or other appropriate application to erase all underlying property lines within each of the three areas of the campus, west of Lafayette, between Lafayette and Chestnut, and east of Chestnut.
25. Solid Waste Control. The applicant shall incorporate solid waste control and recycling procedures as required by the City of Alameda Public Works Department.
26. Stormwater/Wastewater. The applicant shall meet conditions of approval of the Alameda County-Wide Clean Water Program, as implemented by the City of Alameda. The applicant shall comply with urban runoff standards required by the City of Alameda Public Works Department, Urban Runoff Manager, to be specified at the time of Design Review.
27. Planned Development Approval of the Proposed Building and Additions. The site plan, including the location and general massing of the proposed building is approved, but the specific exterior design of the buildings is not approved, including the tower on the Main Campus Building, and shall be subject to review through the Design Review process. The exceptions to the development requirements of the R-4 Zoning District incorporated into this approval include:
 - a. Placement of the buildings, with the proposed additions to existing buildings with the setbacks as shown on Exhibit "A" Portions of these buildings do not comply with the setback and building coverage requirements of the R-4 Zoning District.
 - b. Tandem parking is approved for 32 spaces for the church and school although tandem parking is otherwise limited to residential uses only.
 - c. Parking may be located within the front 50% of the lot.
28. Tree Planting. Three trees shall be planted in front of the Marianist Hall parking lot, facing Lafayette Street. The species and size shall be determined in the Design Review process.
29. Planned Development Amendments. Any change in plans that would require an increase of more than 10 percent of floor space in any given building, or that would increase the total square footage above that approved in this proposal, shall require a Planned Development Amendment. Minor increases in the square footage of any building (up to 10 percent) may be considered as part of Design Review.
30. Design Review. Prior to issuance of a building permit the applicant shall submit a Design Review application for approval by the Planning Director. All new structures shall be compatible in appearance with existing buildings. The existing historic stone wall shall be retained, and the existing chain link fencing atop parts of this stone wall shall be replaced by

wrought iron fencing to the satisfaction of the Planning Director. As part of the final Design Review application, the applicant shall submit a construction plan, which shall include but is not limited to: staging area for construction materials and construction debris, placement of construction trailers, dumpsters, and portable toilets, expected truck routes, provisions for parking for construction workers, noise abatement especially for construction equipment and audio equipment on site, and an overall construction schedule relative to other events occurring on the site.

31. Deed Restrictions. The site is being approved as a single site, although it consists of three parcels located on three separate blocks. The parking is not located on the same parcels where new development is being approved. Therefore, a deed restriction shall be recorded against all of the subject property prohibiting the conveyance of any of the three parcels without the other two unless parking easements have been recorded over the other parcel or parking requirements are otherwise satisfied. The parking easements shall be to the satisfaction of the Planning Director and approved prior to their execution and recordation.
32. Hold Harmless. The City of Alameda requires that the applicant, or its successors in interest, defend, indemnify, and hold harmless the City of Alameda or its agents, officers, and employees from any claim, action, or proceeding against the City or its agents, officers, and employees to attach, set aside, void, or annul, an approval of the City concerning this Planned Development and Use Permit approval, which action is brought within the time period provided for in Government code Section 66499.37. The City of Alameda shall promptly notify the applicant of any claim, action or proceeding, and the City shall cooperate fully in the defense. If the City fails to promptly notify the applicant of any claim, action, or proceeding, or if the City fails to cooperate fully in the defense, the applicant shall not hereafter be responsible to defend, indemnify, or hold harmless the City.
33. Revocation. This Use Permit may be modified or revoked by the Planning Board, pursuant to Alameda Municipal Code Section 30-21.3.d should the Board determine that the proposed use or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance, or pursuant to conditions of this Use Permit.
34. Acknowledgment of Conditions. The applicant shall acknowledge in writing all of the conditions of approval and must accept this approval subject to those conditions.

* * * * *

I, the undersigned, hereby certify that the foregoing Resolution, with the exception of Conditions 7 [Parking] and 13 [Street Closure], was duly and regularly adopted and passed by the Council of the City of Alameda in special meeting assembled on the 11th day of March, 2000, by the following vote to wit:

AYES: Councilmembers Daysog, DeWitt, Johnson, Kerr and Mayor Appezzato - 5.
NOES: None.
ABSENT: None.
ABSTENTIONS: None.

* * *

I, the undersigned, hereby certify that **Condition 7 [Parking]** of the foregoing Resolution was duly and regularly adopted and passed by the Council of the City of Alameda in special meeting assembled on the 11th day of March, 2000, by the following vote to wit:

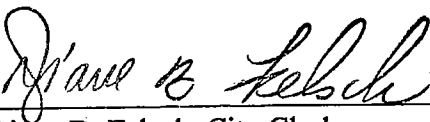
AYES: Councilmembers Daysog, DeWitt, Johnson, and Mayor Appezzato - 4.
NOES: Councilmember Kerr - 1.
ABSENT: None.
ABSTENTIONS: None.

* * *

I, the undersigned, hereby certify that **Condition 13 [Street Closure]** of the foregoing Resolution was duly and regularly adopted and passed by the Council of the City of Alameda in special meeting assembled on the 11th day of March, 2000, by the following vote to wit:

AYES: Councilmembers DeWitt, Johnson, and Mayor Appezzato - 3.
NOES: Councilmembers Daysog and Kerr - 2.
ABSENT: None.
ABSTENTIONS: None.

IN WITNESS, WHEREOF, I have hereunto set my hand and affixed the official seal of the City this 13th day of March, 2000.



Diane B. Felsch, City Clerk
City of Alameda

CITY OF ALAMEDA RESOLUTION NO. 13191

ADOPTING MITIGATED NEGATIVE DECLARATION, IS-98-8, AND MITIGATION MONITORING PROGRAM FOR A REZONING OF THE ST. JOSEPH SITE, INCLUDING THE ST. JOSEPH BASILICA, ST. JOSEPH NOTRE DAME HIGH SCHOOL, AND ST. JOSEPH ELEMENTARY SCHOOL, 1109 CHESTNUT STREET, FROM R-4 (NEIGHBORHOOD RESIDENTIAL DISTRICT) TO R-4-PD (NEIGHBORHOOD RESIDENTIAL, SPECIAL PLANNED DEVELOPMENT COMBINING DISTRICT), A PLANNED DEVELOPMENT APPROVAL FOR BUILDING EXPANSION AND IMPROVEMENTS, AND A USE PERMIT TO MAKE CONFORMING THE EXISTING CHURCH AND SCHOOL FACILITIES IN A RESIDENTIAL ZONING DISTRICT

WHEREAS, an application was made on February 25, 1998, by Jerry Holland, Pastor of St. Joseph, requesting a Rezoning (R-98-01) to reclassify the St. Joseph site at 1109 Chestnut Street from R-4 (Neighborhood Residential District) to R-4-PD (Neighborhood Residential, Special Planned Development Combining District); a Planned Development approval (PD-98-01), for adding 19,191 square feet of building space, demolishing 6,559 square feet of building space, remodeling existing school and church buildings, providing off-street parking, and temporarily closing Chestnut Street between San Jose Avenue and San Antonio Avenue during school hours; and for a Use Permit (UP-99-22) to legalize existing church and school facilities in a residential zoning district, for the St. Joseph site, 1109 Chestnut Street; and

WHEREAS, the application was accepted as complete on April 28, 1999; and

WHEREAS, the City of Alameda is the lead agency in the preparation of an Initial Study, IS-98-8, to determine the potential environmental effects that would be associated with the proposal; and

WHEREAS, a proposed Mitigated Negative Declaration was circulated for public comment between September 14, 1999, and October 4, 1999, the following written comments were received:

Linda R. Bytof and Mark S. Renner, letter dated October 4, 1999

Leila H. Moncharsh, letter dated October 4, 1999

Frank Skiles, letter dated September 25, 1999

Jeremiah Holland, SS.CC, letter dated September 30, 1999

Kerry S. Kurasaki, letter received October 4, 1999

Paul Breitkopf, letter dated October 4, 1999

Judy Pollard, letter dated October 3, 1999

Bill Long, letter dated October 4, 1999

Carolyn Lie and Alan Mullendore, letter October 4, 1999

Lois Breitkopf, letter dated October 4, 1999

Tom Caulfield, letter dated September 30, 1999; and

Carl Kowalski
CITY ATTORNEY

WHEREAS, staff has provided written responses to these comments contained in Responses to Comments, Initial Study (IS-98-08), St. Joseph Community Master Plan dated October 11, 1999, marked Attachment "T", of the Administrative Record (Attachment #3 of the Staff Report dated March 8, 2000) and incorporated by reference herein; and

WHEREAS, the Planning Board held a public hearing on this Mitigated Negative Declaration on November 29/30, 1999, and examined pertinent maps, drawings, and documents related to the application and considered all testimony, found that the environmental impacts, were adequately addressed, and recommended that the City Council adopt the Mitigated Negative Declaration; and

WHEREAS, the Planning Board approved Planned Development, PD-98-01, and Use Permit, UP-99-22, and recommended that the City Council approve Rezoning, R-98-01 on November 29/30, 1999; and

WHEREAS, the City Council held a public hearing on the Mitigated Negative Declaration on March 11, 2000 and has examined pertinent documents and comments; and

WHEREAS, the City Council made the following findings:

- a. The project does not have the potential to degrade the quality of the environment, substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife population to drop below sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or pre-history because there is no identified area which is habitat for rare or endangered species, the project is within the scope of use contemplated in the General Plan, and the project does not have any significant adverse impacts.
- b. The project does not have the potential to achieve short-term, to the disadvantage of long-term, environmental goals. The project conforms to the requirements of the R-4 (Neighborhood Residential) Zoning District, and is consistent with the goals of the General Plan because residential areas typically contain such uses as churches, schools, parks and day care centers, and the project will not have any significant adverse impacts.
- c. The project does not involve impacts which are individually limited or cumulatively considerable because the described project constitutes all intended changes to project area and is not related to any other project or policy change.
- d. The project does not have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly because the construction of the proposed homes will be compatible with the existing community and land uses within the immediate area.

- e. The City Council substituted a mitigation measure relating to special events proposed in the Mitigated Negative Declaration/Initial Study because it found that a new mitigation measure proposed by the applicant is equivalent and more effective in mitigating potential impacts relating to parking in the neighborhood.
- f. The applicant has agreed to incorporate all the mitigation measures set forth in the Mitigated Negative Declaration into the project. These mitigations would either avoid adverse impacts or lessen the potentially significant environmental impacts to less than significant levels. There is not substantial evidence that the project as revised may have a significant effect on the environment.

NOW, THEREFORE BE IT RESOLVED that the Council of the City of Alameda hereby adopts Mitigated Negative Declaration, IS-99-22, and the Mitigation Monitoring Program, Attachment "A".

* * * * *

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ATTACHMENT A
ST. JOSEPH COMMUNITY MASTER PLAN
MITIGATION MONITORING PROGRAM

The following sets forth all significant effects of the project, all of which can be reduced to a level of insignificance, and for each effect makes findings and sets forth facts in support of the findings.

1. Cultural Resources.

Significant Effect. The project involves the demolition of a 1936 addition to a 1902 structure that is on the Historic Building Study List. The Historical Advisory Board on December 3, 1998, issued a Certificate of Approval for this demolition, based on findings that the addition does not contribute to the historic or architectural significance of the 1902 house. The City Council sustained this decision on appeal on February 3, 1999.

Findings. The Planning Board makes Finding 1: Changes or alternations have been required in, or incorporated into the Project which avoid or substantially lessen the significant environmental effect as identified in the Mitigated Negative Declaration/Initial Study.

Facts in Support of Findings. The following facts or mitigation measures indicate the identified impact will be reduced to a level of insignificance:

Mitigation 1. (Conditions of the Certificate of Approval) In order to protect the character and appearance of the 1902 building on the Historic Building Study List, restore the rear elevation and the front steps of the house to their original design. Submit a landscape plan for the parking lot at the rear of 1119 Lafayette Street, including a list of proposed species and plant sizes and showing adequate separation and protection of the historic resource from the parking lot, for review by the Historical Advisory Board.

Responsibility. Applicant, Historical Advisory Board, Planning Department

Action: Prior to the issuance of the grading permit for the parking lot at the rear of 1119 Lafayette Street, staff for the Historical Advisory Board shall submit the landscape plan to the Board for review to assure compliance with these conditions.

2. Population and Housing

Significant Effect. The project would remove two duplex units owned by the parish, in order to develop the Communication Arts and Science Facility. The addition of staff members to the campus would increase the demand for housing.

Findings. The Planning Board makes Finding 1: Changes or alternations have been required in, or incorporated into the Project which avoid or substantially lessen the significant environmental effect as identified in the Mitigated Negative Declaration/Initial Study.

Facts in Support of Findings. The following facts or mitigation measures indicate the identified impact will be reduced to a level of insignificance:

Mitigation 2. The applicant shall comply with the Alameda Affordable Housing/Fee Ordinance by providing housing units, paying an in lieu fee, or preparing an Affordable Housing Unit/Fee Plan for approval by the City.

Responsibility. Applicant and Housing Development office.

Action: Prior to the issuance of any building permit, the applicant shall submit a plan showing how the requirements of the Affordable Housing/Fee Ordinance will be met for review and approval by the City's Housing Development Manager.

3. Transportation and Circulation

3.1 Street Closure

Significant Effect. The applicant proposes the school hour closure of one block of Chestnut Street, which would affect traffic circulation in the neighborhood and surrounding streets. The school hour street closure was proposed by the applicant to address the increased hazard for pedestrians which would result from adding additional classrooms and other space on the east side of Chestnut. The number of students crossing the 1000 block of Chestnut Street would increase from the current 1,700 crossings per school day to 2,400 crossings. This impacts was identified as less than significant in the Initial Study.

Findings. The Planning Board makes Finding 1: Changes or alternations have been required in, or incorporated into the Project which avoid or substantially lessen the significant environmental effect as identified in the Mitigated Negative Declaration/Initial Study.

Facts in Support of Findings. The following facts or mitigation measures indicate the identified impact will be reduced to a level of insignificance:

Mitigation 3. Prior to installation of school hour closure of Chestnut Street between San Antonio Avenue and San Jose Avenue, the applicant shall obtain an approved Signing, Striping and Detour Plan acceptable to the City Engineer and CalTrans (if applicable). In addition, the applicant shall enter into a Hold Harmless Agreement with the City in a form acceptable to the City Attorney. The Agreement shall include, but not necessarily be limited to, the following provisions: times of school hour closure, procedures for school hour closure, type of physical barrier(s) used for school hour closure, responsibilities and procedures for erecting and removing the barrier(s) for the school hour closure, responsibilities of the applicant and responsibilities of the City. School hour closure barriers and procedures shall be reviewed and approved by the City Engineer in consultation with

the Fire and Police Departments. The applicant shall reimburse the City for all Engineering costs of school hour street closure.

Mitigation Close one block of Chestnut Street during school hours only as described in Mitigation Measure #3.

Responsibility Applicant, Planning Department, Public Works Department, City Attorney, Fire and Police Department.

Action. If the proposed school hour street closure is approved, the applicant shall submit plans for review by the Planning Department, Public Works Department, City Attorney, Fire and Police Departments to assure compliance with all conditions, prior to issuance of permits for school hour closure and enter into an acceptable hold harmless agreement. If the applicant proceeds with the recommended alternatives of crossing guards or pedestrian-activated traffic signals, the applicant shall submit plans for review and approval by the Planning Director, Public Works Director, City Attorney, Fire and Police Departments prior to the issuance of any building permits.

3.2 Driveway

Significant Effect. The proposed plan would provide a driveway approach on the west side of Chestnut Street for access to the center of the Marianist Parking Lot. The driveway approach is 100 feet south of the intersection of Encinal Avenue at Chestnut Street, with 80 feet of queuing length available for vehicles entering the lot. There is a potential for vehicles queuing into the intersection, causing traffic congestion.

Findings. The Planning Board makes Finding 1: Changes or alternations have been required in, or incorporated into the Project which avoid or substantially lessen the significant environmental effect as identified in the Mitigated Negative Declaration/Initial Study.

Facts in Support of Findings. The following facts or mitigation measures indicate the identified impact will be reduced to a level of insignificance:

Mitigation 4: To reduce potential safety impacts associated with the driveway approach on the west side of Chestnut Street to access the center of the Marianist Parking Lot, the applicant and Public Works Department shall monitor the operations of the driveway. Should the Public Works Director determine that excessive queuing into Encinal Avenue results from the location of the driveway or traffic flow along Chestnut Street is significantly restricted because of the vehicular activity at the driveway approach, following the determination by the Planning Board, the applicant shall be required to address any impacts to the satisfaction of the Public Works Director after receiving written notification of said determination.

Responsibility: Applicant and Public Works Department.

Program: Prior to the issuance of an encroachment permit for the driveway, the applicant shall submit a proposal for monitoring of the driveway. The Public Works Department shall report to the Planning Board should the operations of the driveway result in operational problems and recommend either closure of the driveway or other measures to resolve the operational problems.

3.3 Tandem Parking

Significant Effect. The plan proposes 32 new tandem parking spaces, which are not permitted for these types of uses. Tandem parking presents management and circulation problems.

Findings. The Planning Board makes Finding 1: Changes or alternations have been required in, or incorporated into the Project which avoid or substantially lessen the significant environmental effect as identified in the Mitigated Negative Declaration/Initial Study.

Facts in Support of Findings. The following facts or mitigation measures indicate the identified impact will be reduced to a level of insignificance:

Mitigation 5. Tandem parking spaces shall be available for school staff parking only during school hours. The applicant shall establish procedures to ensure that staff use the spaces and to ensure that staff can move their cars if they need to leave on an unscheduled basis.

Responsibility. Applicant and Planning Department

Action: Prior to the issuance of any building permits, the applicant shall submit signage and a tandem parking management plan for approval by the Planning Director.

3.4 Parking Demand

Significant Effect. Parking demand in excess of parking supply for special events would create significant parking impacts unless mitigated.

Findings. The Planning Board makes Finding 1: Changes or alternations have been required in, or incorporated into the Project which avoid or substantially lessen the significant environmental effect as identified in the Mitigated Negative Declaration/Initial Study.

Facts in Support of Findings. The following facts or mitigation measures indicate the identified impact will be reduced to a level of insignificance:

Mitigation 6: To reduce the parking impacts associated with special events, limit the total attendance at all evening events on the site to 624 persons, the number that can be accommodated by available on-site and on-street parking spaces. For any time at which more than 624 persons are anticipated, the applicant shall implement Transportation Systems Management (TSM) programs, including such measures as valet parking in the Marianist Lot and the Elementary Lot, satellite parking, carpooling incentives, alternative transit, and/or shuttle buses. All TSM programs shall be reviewed and approved by the Public Works Director prior to implementation.

The applicant requested, and the Board concurred, an alternative mitigation as follows:

Mitigation for Special Event Parking. In order to ensure that the parking impacts related to St. Joseph's are no greater than they are for the current operation, the following requirements shall apply. The total attendance on the St. Joseph's site during special events may not exceed 500 persons, except up to 28 events per year as follows:

- a. Up to twelve times a year, St. Joseph's may schedule one or more special events which result in a total site population of more than 500 persons but less than 625 persons.
- b. In addition to events allowed in Condition #11a, up to eleven times a year, St. Joseph's may schedule one or more special events which result in a total site population of more than 500 persons but less than 826 persons.
- c. St. Joseph's may schedule up to 4 basketball play-off games per year or games to determine final standing during the school year which result in a total site population of no more than 825 persons.
- d. Once a year, St. Joseph's may hold a one day event currently known as El Rancho Day provided that the Marianist Parking Lot, the new parking lot behind the Parish Center once it is built and the accessible, paved area adjacent to the High School be made available for parking. Total on site population for this event shall not exceed 700 persons at any one time, in addition to persons attending regular church services.

To reduce the parking impacts associated with special events, Transportation System Management (TSM) programs shall be implemented for all special events where the on site population exceeds 500 persons. TSM programs include measures such as valet parking for various on-site parking lots, satellite parking, carpooling incentives, alternative transit, and/or shuttle buses. All TSM programs shall be reviewed and approved by the Public Works Director prior to implementation and shall be submitted at least 60 days prior to the special event. The approved TSM program shall be made available to the public for review in the school's administrative office.

The Board found that the new mitigation is equivalent to the original mitigation because it mitigates parking impacts by limiting the number of special events which may take place during the year, setting a maximum population allowed, and requires TSM measures for special events with an on-site population of more than 500 persons.

Mitigation 7: St. Joseph shall establish a scheduling system to coordinate evening events among the parish, high school, and elementary school. On a regular basis, such as annually or semiannually, this schedule shall be filed with the Planning Director and made available to the neighbors and the general public at least 30 days prior to the time period covered in the schedule. The schedule shall show the various special events and the estimated attendance at each event. The applicant shall also be responsible for monitoring the actual number of persons attending various events and providing a report semi-annually to the Planning Director to check that attendance estimates are reasonable.

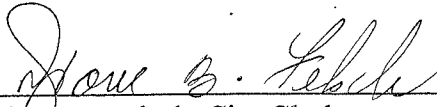
Responsibility. Applicant, Planning Department, Public Works Department.

* * * * *

I, the undersigned, hereby certify that the foregoing Resolution was duly and regularly adopted and passed by the Council of the City of Alameda in special meeting assembled on the 11th day of March, 2000, by the following vote to wit:

AYES:	Councilmembers Daysog, DeWitt, Johnson, Kerr and Mayor Apezzato - 5.
NOES:	None.
ABSENT:	None.
ABSTENTIONS:	None.

IN WITNESS, WHEREOF, I have hereunto set my hand and affixed the official seal of the City this 13th day of March, 2000.



Diane B. Felsch, City Clerk
City of Alameda

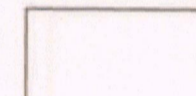





Muller & Caulfield ARCHITECTS

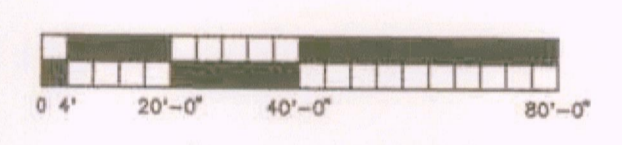
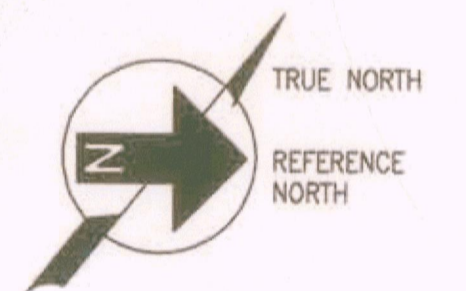
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FIFTEENTH
STREET
OAKLAND
CALIFORNIA
9 4 6 1 2

TELEPHONE
510 832 8560
FACSIMILE
510 836 0942

PROPOSED PLANNED DEVELOPMENT ACTIONS

LEGEND

-  EXISTING CONSTRUCTION
-  INTERIOR RENOVATION
-  NEW CONSTRUCTION
-  EXISTING TREE
-  NEW TREE
-  NIGHT-TIME AREA LIGHTING



8 / 28 / 98

9 / 25 / 98

PARKING GARAGE SETBACK TO EQUAL RECTORY PARISH CENTER DEMOLITION REVISED. ONLY BACK PORTION TO BE REMOVED. PARKING REDUCED.

3 / 9 / 99

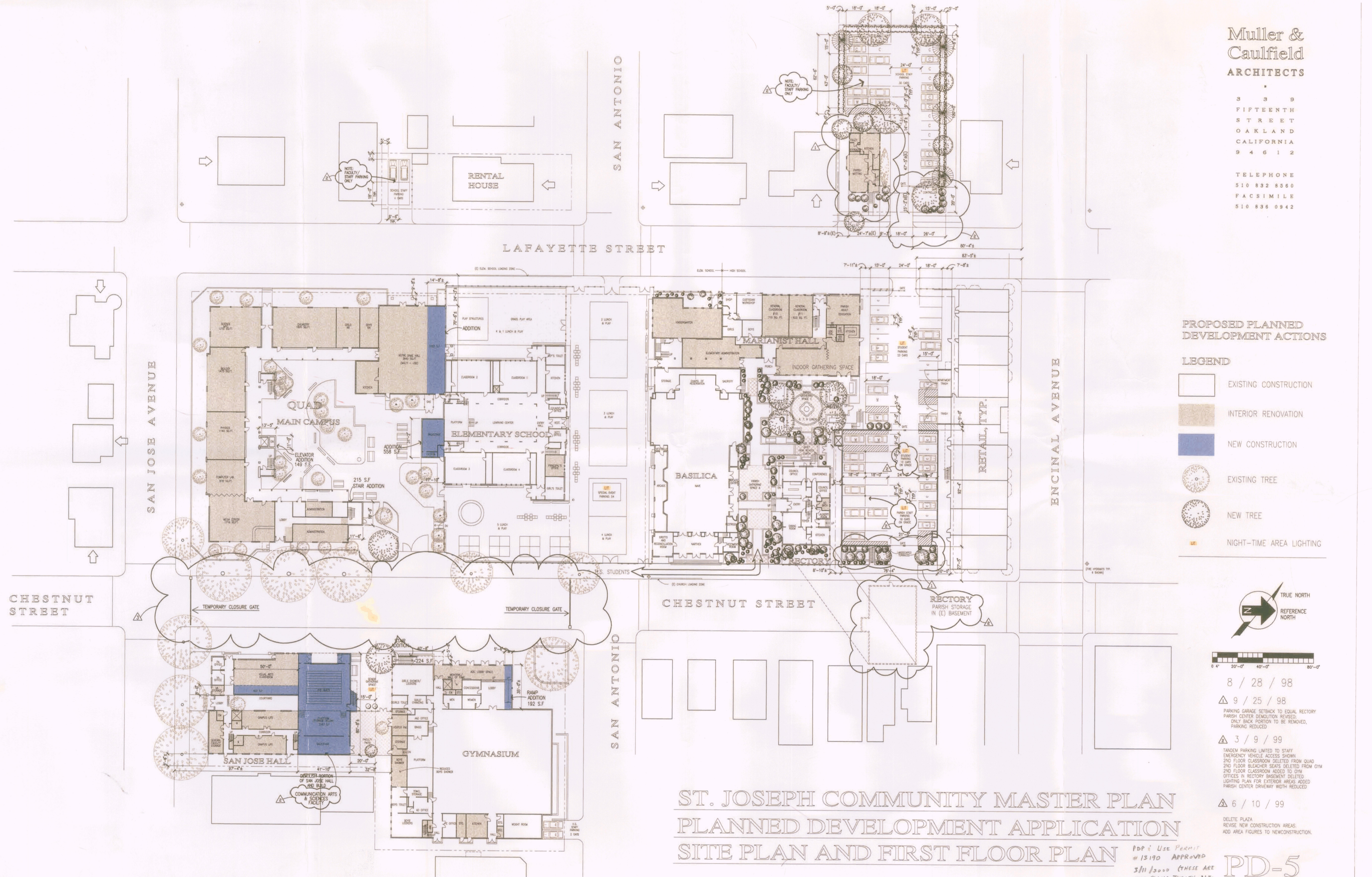
TANDEM PARKING LIMITED TO STAFF
EMERGENCY VEHICLE ACCESS SHOWN
2ND FLOOR CLASSROOM DELETED FROM QUAD
2ND FLOOR BLEACHER SEATS DELETED FROM GYM
2ND FLOOR CLASSROOM ADDED TO GYM
OFFICES IN RECTORY BASEMENT DELETED
LIGHTING PLAN FOR EXTERIOR AREAS ADDED
PARISH CENTER DRIVEWAY WIDTH REDUCED

6 / 10 / 99

DELETE PLAZA
REVISE NEW CONSTRUCTION AREAS
ADD AREA FIGURES TO NEWCONSTRUCTION.

ST. JOSEPH COMMUNITY MASTER PLAN
PLANNED DEVELOPMENT APPLICATION
SITE PLAN AND FIRST FLOOR PLAN

PDP Use Permit # 13190 APPROVED
3/11/2000 (THESE ARE THE PLANS JUDITH ALT-SHULER IS WORKING WITH AS APPROVED PLANS)
PD-5



1109 CHESTNUT ST PD98-1

HISTORICAL ADVISORY BOARD
STAFF REPORT

HISTORICAL ADVISORY BOARD MEETING OF AUGUST 2, 1990

ITEM NO: 4.B.

APPLICATION FOR: Alterations to St. Joseph's Basilica

LOCATION: 1109 Chestnut Street

APPLICANT: Cindy Maxwell Beckman

HISTORICAL DESIGNATION: City Historical Monument; National Register

ZONING: R-4 (Neighborhood Residential)

GENERAL PLAN: Special Single Family

ENVIRONMENTAL DETERMINATION: Not Determined

BACKGROUND:

St. Joseph's Basilica is listed on both the City Historical Monument list and the National Register. All structural modifications to the exterior and the interior are therefore subject to review by the Historical Advisory Board.

DISCUSSION:

A variety of interior and exterior modifications are proposed. Some are required for the purpose of seismic strengthening, some would remove c. 1960's alterations and restore the original appearance, and some would modify the basilica to reflect modern church ceremonial practices.

Design details are not yet complete. At this time the Board is being asked to approve the basic concepts, and the exterior modifications.

RECOMMENDATION:

Parts of this proposal raises one of the most difficult issues related to preservation: to what degree will modifications be permitted to allow a historic building to remain functional? Staff recommends that each Board member visit the basilica and review the proposed work in light of present conditions. The basilica should be open every day between about 6 a.m. and 4:30 p.m.. If you cannot inspect the site during these hours, please contact the office in advance at 522-0181 to make arrangements to visit the building in the evening.

Staff recommends that no final approval of interior work be granted until after detailed drawings are prepared.

FINDINGS:

(Findings to be determined at the meeting)

CONDITIONS:

(Conditions be be determined at the meeting)

ATTACHMENTS:

- (1) National Register Nomination Form
- (2) Plans submitted by the applicant

HISTORICAL ADVISORY BOARD
STAFF REPORT

HISTORICAL ADVISORY BOARD MEETING OF SEPTEMBER 6, 1990

ITEM NO: 4.A:

APPLICATION FOR: Alterations to St. Joseph's Basilica

LOCATION: 1109 Chestnut Street

APPLICANT: Cindy Maxwell Beckman

HISTORICAL DESIGNATION: City Historical Monument; National Register

ZONING: R-4 (Neighborhood Residential)

GENERAL PLAN: Special Single Family

ENVIRONMENTAL DETERMINATION: Categorically Exempt, Section 15301 (Existing Facilities)

BACKGROUND:

St. Joseph's Basilica is listed on both the City Historical Monument list and the National Register. All structural modifications to the exterior and the interior are therefore subject to review by the Historical Advisory Board.

This item is continued from the Historical Advisory Board meeting of August 2, 1990.

DISCUSSION:

A variety of interior and exterior modifications are proposed. Some are required for the purpose of seismic strengthening, some would remove c. 1960's alterations and restore the original appearance, and some would modify the basilica to reflect modern church ceremonial practices.

At the last meeting there was extensive discussion of the proposed plans. The Board voted to continue the item to this meeting, in part because the interior design plans were not yet complete, and in part because two members of the Board were absent.

The proposed project represents a balancing of the desire to retain and restore the original structure, on the one hand, and to perform seismic strengthening and functional modernization, on the other hand.

For those Board members who have not yet been able to inspect the building, the basilica should be open every day between about

6 a.m. and 4:30 p.m.. If you cannot inspect the site during these hours, please contact the office in advance at 522-0181 to make arrangements to visit the building in the evening.

RECOMMENDATION:

Staff recommends approval of proposed project, based on the following findings:

FINDINGS:

- (1) The work is consistent with the Secretary of the Interior's Standards for Rehabilitation, as follows:
 - (a) The proposed work will improve the ability of the property to continue to function as originally intended (Standard #1).
 - (b) The distinguishing original qualities of the building are retained, and the removal of historic materials is kept to the minimum (Standard #2).
- (2) The proposed project will correct prior inappropriate alterations.
- (3) The proposed alterations are the minimum needed to achieve the functional needs of the church as defined by Vatican II.

ATTACHMENTS:

- (1) Secretary of the Interior's Standards are Rehabilitation.
- (2) Plans submitted by the applicant



INTRODUCTION

St. Joseph Roman Catholic Basilica is an important historic and architectural landmark, for both the City and County of Alameda and the Catholic Archdiocese, as well as the St. Joseph parish community. Its architectural design reflects the exuberant vitality of a period in which a variety of historic styles and building materials were combined to create a visual richness in the community.

Constructed in 1921, the nave and sanctuary areas of the church interior have been subject to the greatest change over time. Work begun in the early 1960's and continuing through the end of the decade resulted in the removal of the original high altar reredos and mural work, as well as the general painted ornamentation within the church.

The existing conditions of the church vary from good to poor, with an overriding recognition that past deferred maintenance has greatly contributed to visible problems. The mechanical/electrical and structural engineering examinations of the building performed earlier this year have indicated areas of concern which need to be addressed.

In recent years, the maintenance program has taken on a coordinated schedule. The work that has been done has been accomplished through the determination of the Renovation and Restoration Committee, though without benefit of a master plan. To insure that the Basilica will enter its seventh decade of service with renewed strength and ability to serve its primary mission, a new scope of work has been undertaken to improve the structural stability and the liturgical efficacy of the existing church. With a \$300,000 construction budget, the church cannot undertake a complete rehabilitation and renovation of the existing space. The attached plans illustrate the scheme chosen by the parish which most adequately addresses the problems highlighted in their scope of renovation while meeting their limited budget. The project can be divided into two areas of work to be approached within this project: seismic structural rehabilitation, and liturgical space renovation.

SEISMIC STRUCTURAL REHABILITATION

The structural renovations proposed will not significantly change the exterior appearance of the areas being upgraded, and will be worked into areas where plan changes are proposed for liturgical improvements. The scope of work to be undertaken includes:

1. Reinforce the lower level of the bell tower by adding a new shear wall under the upper tower's second level perimeter. This change will be incorporated into the existing interior of the grotto while created additional storage space for flexible seating storage.
2. Reinforce the sacristy walls behind the side altars with new shear walls. Visible changes caused by this work will be isolated at the side altars, including the probable loss of the two 1960's mosaics and the marble tables. There is no economically feasible way to save the



mosaics while completing the necessary structural changes. The marble side altars themselves are no longer a functional or desirable aspect to the Catholic Church, and would be replaced by statuary positioned within the niche.

3. Reinforce the exterior side arcades. This will incorporate new shear walls and steel bracing ties, which will be incorporated into the proposed plan changes.
4. Brace selected areas of the hollow clay tile walls to prevent their "explosion" during seismic activity. Walls will be patched to match their original appearance.

LITURGICAL RENOVATIONS

Four significant changes are being proposed to the Basilica interior based on the church's need for a change in their Liturgical celebrations.

1. **Interior Gathering Space:** The only change which will affect the exterior of the building envelope is the proposed expansion into the side arcades. On the north facade, the wall between the two confessional extensions is being pushed out to align with the existing exterior walls. The existing confessionals are no longer usable to the church in modern context, and it is preferred that the booths be removed and the space left open to the nave. This will allow for a larger and more functional side aisle and devotional space while simultaneously allowing for the incorporation of necessary seismic upgrade elements. It also removes a section of dangerous hollow clay tile which would otherwise need to be braced. In removing this wall area, an existing mosaic will need to be removed. This is one of the pieces added over existing murals during the 1962 renovation, and fails to enhance the artistic style of the basilica interior. If the mosaic can be removed without major damage to the piece itself, the work can be relocated to another area of the facility at the church's discretion.

On the south facade, the wall and mosaic between the existing confessional will be similarly handled. On this side of the church, three sets of entrance doors will be incorporated to create a new connection between indoor circulation and an exterior area available for outdoor gathering. The church currently has a problem with the lack of "milling area" at the front entrance to the church due to its proximity to the street curb. In addition, a second archway of the arcade has been enclosed to mirror the existing vestibule enclosure for the addition of a new bathroom for parishioners use. Storage areas shown are needed for the flexible furniture used by the new choir location.

2. **Grotto:** The grotto area will need to be torn into to add the new shear wall proposed. In so doing, the church has requested that the grotto area be reduced in size to allow for an



additional storage area. The new doors of the storage closet proposed are located in the same position as the existing wrought iron gate now in the grotto. The use, style and rock finishes of the grotto space will remain unchanged.

3. **The Altar:** In keeping with the changes specified within the Catholic Church by the Vatican II Reform Council, it is important to the liturgical growth of the parish community to relocate the altar and ambo within the church space. A more central location, where parishioners can be seated on three sides of the altar, is a modern relationship encouraged for the liturgy. A new platform will be built under the original chandelier, as proposed on the attached plans.
4. **The Sanctuary:** In moving the altar forward, the original sanctuary is no longer used as a focal point for the liturgical celebration. The baldachino, added in the 1962 renovation, is felt by the parish to be out of place and inappropriate to the existing church interiors. The original ornate plaster reredos surrounding the altar were destroyed in the baldachino's installation, and an existing stained glass window which completes the series of four major windows around the church (north, east, south and west) was covered. The intent is to remove the baldachino, renovate the existing window, and use the original high altar as a new eucharistic chapel of reservation. Vatican II reforms specify the need for a separate chapel of prayer associated with the tabernacle for reservation, and the proposed plan uses the now empty sanctuary for this purpose. A screen wall which will still allow visibility of the apse and the refurbished stained glass window is proposed for the front of the sanctuary. Full public access will be allowed through and around the screen.

All of these proposed renovations have been given great thought by the church in terms of their religious practice within the space, the Catholic Church's views on modern celebration, and the nature of the space being renovated. It is St. Joseph's desire to bring the interior of the church into greater harmony with the original church design, while incorporating the functional aspects important to the continued life of the modern religious community. It is the parish's and the architects' belief that the enclosed submittal provides the best solution to all concerns.

EKONA Ehrenkrantz Kamages was chosen by St. Joseph because of our long and successful history in the rehabilitation, renovation, restoration and preservation of historically significant structures, both in Northern California and across the United States. Our engineering consultants have been chosen for their similar expertise, thereby providing a team which is sensitive to the delicate issues involved in working with regional and national historic structures. EKONA also has a current focus on liturgical work in the Catholic, Greek Orthodox, Lutheran and Episcopal churches, in California, Arizona and Nevada, thereby providing expertise in the specialized needs of religious architecture.



ST. JOSEPH'S BASILICA
Alameda, California

EKONA



HISTORIC DOCUMENTATION

St. Joseph's Catholic Church has a long and distinguished history in the city of Alameda. The congregation was first established on the island-city as a mission church in 1873, becoming an independent parish in 1895. Built to serve as the assembly's "domus ekklesia" (house of the gathered people), the Basilica replaces a Gothic-style wooden church which was destroyed by fire on September 27, 1919. The present day St. Joseph's was designed by W. D. Shea and H. A. Minton Associate Architects of San Francisco, and built by the construction firm of J. J. Leonard.

H. A. Minton was one of a delegation of architects sent to San Francisco by the Mayor of Boston to help in reconstruction efforts after the 1906 earthquake.¹ In his design for St. Joseph, Minton chose to replicate the old mission at Monterey, with its basilica plan, flanking bell tower and arcades. The parish's desire to create a building which would become a permanent and fitting structure for the assembly resulted in the architects' incorporation of a reinforced concrete structure. Following the completion of St. Joseph's Church, Mr. Minton relocated to Alameda and joined the Catholic parish, where he remains a member today.

The cornerstone for the new church was laid by The Most Reverend Archbishop Edward Hanna on August 22, 1920.² Though only the exterior shell was complete, the first official mass was celebrated on Christmas Day 1921. Interior improvements, furnishings and artwork were installed as money became available. According to the St. Joseph Parish History, "The building was in regular use despite the stark concrete walls and floors, the scaffolding and the plain wooden pews. Gradually, the marble altar and sanctuary floor were placed and the ornate reredos of white plaster were set behind the altar."³ Final completion of the interior came in 1927.

A solemn consecration of the altar and church was performed by The Most Reverend Archbishop John J. Mitty on August 17, 1935.⁴ Consecration of an entire building was rare, usually being confined to the altar alone. To qualify, the church had to be of solid construction, have a fixed altar and be free of debt. St. Joseph's met these criteria, and the building was thereby designated as a holy space reserved for sacred purposes only.

In 1969, nearing the new church's 50th anniversary, interior renovations were begun under the direction of the pastor, Father Alvin P. Wagner. These renovations would include the mosaics and Stations of the Cross seen in the building today.

On January 21, 1972, the Church of St. Joseph's in Alameda was elevated to the status of Basilica, as bestowed by Pope Paul IV through the Sacred Office of Divine Worship.⁵ During celebrations for the Golden Jubilee of the St. Joseph's Church Building on June 4, 1972, the church was rededicated as one of only three basilicas on the West Coast, joining Mission Dolores of San Francisco, Mission San Carlos Borromeo in Carmel, and Mission San Diego de Alcalá in San Diego. Only 31 churches in the United States have been designated as Basilicas.⁶ Honored for their



devotional and religious spirit, artistic and architectural beauty, and historical significance, basilicas share in the rights and privileges accorded the four Major Basilicas of Rome: St. John Lateran (the Pope's Cathedral), St. Peter's Basilica, the Basilica of St. Mary, and St. Paul's-outside-the-walls.⁷ Also granted are the use of the Basilican insignias, the pavilion or "caneoepum", the bell or "tintinabulum", and a special coat-of-arms incorporating the pavilion. The display of the Pope's own coat of arms publicizes their special Papal affiliation.

Further honors were bestowed upon St. Joseph's Basilica when, in 1977, the church was listed as an Alameda Historic Monument, and again in 1978 when the structure was added to the National Register of Historic Places.

The Basilica is now the focal point of a complex of Mission Revival style buildings housing the parish's elementary school, high school functions, and rectory functions.

In 1983, the Reverend Patrick A. Goodwin SS.CC. was named pastor. On January 23, 1987, fourteen members of St. Joseph's parish community were asked by Father Goodwin to form the St. Joseph's Renovation and Restoration Committee to represent the community of St. Joseph in examining the liturgical needs of St. Joseph's Basilica. In studying the exterior and interior environments of their church building, the committee intends to improve their liturgical space in accordance with the renewals initiated by the Second Vatican Council in 1965. To date, improvements instigated by this group have included the refurbishing of the Basilica's exterior ornamentation, exterior painting of the structure, repair of the roof substructure and replacement of the roofing tiles, the cleaning and attendant birdproofing of the bell tower, the installation of a new sound system, and a reconfiguration of the existing interior furnishings to afford better circulation during the sacraments.

The committee has now set their sights on the renovation of the interior of the Basilica, while simultaneously addressing structural seismic safety considerations. The Parish's "Continuing His Vision . . ." fund raising program is the prime source of funding for this project. In the 1988 fiscal year, \$350,000 in pledged revenue from this program went towards needed maintenance, repairs and renovation of parish buildings (for which a total of \$800,000 was spent).⁸ The realization of the Renovation and Restoration Committee's planned improvements will be tied to the continued success of St. Joseph's fund raising efforts.

In June, 1989, EKONA was hired to do the initial studies and master planning for the continuing Basilica renovation. Through the joint efforts of the architect and the parish committee, a revitalized church environment is now closer to becoming reality.



1. The Alameda Historical Society, Historical Element - City of Alameda Draft, Alameda, p.42.
2. St. Joseph's Souvenir Book Committee, Saint Joseph's of Alameda, St. Joseph's, 1960, p. 13.
3. St. Joseph Parish, St. Joseph's Parish History, 1988.
4. St. Joseph's Souvenir Book Committee, op. cit., p. 15.
5. Homeletic & Pastoral Review, "The basilica after Vatican II", October 1989, pp. 54 - 61.
6. The Catholic Voice, "St. Joseph Basilica celebrates 50 years", 10th year, No. 5; June 8, 1972, pp. 10-11.
7. Alameda Times Star, "Basilica Status for St. Joseph's Here", March 15, 1972, p. 1.
8. St. Joseph Parish, The Annual Report of St. Joseph Parish 1988.





DESIGN REVIEW

NOTICE OF FINAL APPROVAL

ADDENDUM

Note: This is for approval of Design Review only. Please check with the Central Permit Office (748-4530) to see if the Building Permit is ready to issue.

Applicants name: Cindy Beckman, EKONA
Applicants address: 855 Front St., SF, CA 94111
Project Number: DR-90-133
Project Address: 1109 Chestnut St
Project Description: Structural rehabilitation and remodeling of St. Joseph Basilica

Conditions:

- (1) The Final Design Review fee payment, to be paid at the Central Permits counter is \$36.00.
- (2) This approval is valid for six months. The building permit for this work must be obtained prior to 13 February 1992.
- (3) Any changes to exterior details from approved plans shall be submitted for Planning Staff review and approval.
- (4) Planning Staff site inspection is required prior to Final Occupancy Permit.

Environmental Determination:

- (1) The proposal is Categorically Exempt from CEQA, Guidelines, Section 15301.

Findings:

- (1) The project will have no significant adverse effects on persons or property in the vicinity.
- (2) The project is compatible and harmonious with the design and use of surrounding properties.
- (3) The project is consistent with the City's Design Review Guidelines.

Note: The above determination is appealable to the Planning Board by filing notice thereof within 15 days of approval and paying the appeal fee.

Approved By: JM ASL

Date: 13 Aug 91

cc: DR-90-133
Chron File

Planning Department, Room 102

City Hall
Santa Clara Avenue at Oak Street · 94501
415.748 4554



DESIGN REVIEW

NOTICE OF PRELIMINARY APPROVAL

Applicants name: Cindy Beckman, EKONA
Applicants address: 855 Front Street, SF, CA 94111
Project Number: DR-90-133
Project Address: 1109 Chestnut Street
Project Description: Structural Rehabilitation and remodeling
of St. Joseph Basilica

Conditions:

- (1) The Preliminary Design Review fee payment, to be paid to the City of Alameda, c/o Planning Department, is \$158.00.
- (2) This approval is valid for six months. The building permit for this work must be obtained prior to March 12, 1990.
- (3) Details not available at the time of this Preliminary Approval must be reviewed and approved prior to issuance of the Building Permit. The review can be done concurrently with the review of the Building Permit application.

Environmental Determination:

- (1) The proposal is Categorically Exempt from CEQA, Guidelines, Section 15301, (Existing Facilities), per Historical Advisory Board action on September 6, 1990.

Findings:

- (1) The project will have no significant adverse effects on persons or property in the vicinity.
- (2) The project is compatible and harmonious with the design and use of surrounding properties, and the historic nature of the building.
- (3) The project is consistent with the City's Design Review Guidelines.

Note: The above determination is appealable to the Planning Board by filing notice thereof within 15 days of approval and paying the appeal fee.

Approved By: John Wardley Date: 10/12/90

Planning Department, Room 102

City Hall
Santa Clara Avenue at Oak Street - 94501
415.748 4554

PLANNING DEPARTMENT

MINOR DESIGN REVIEW APPLICATION

Project Address: St. Joseph Basilica, 1109 Chestnut Street, Alameda

Contact Person: Cindy Maxwell Beckman Phone No.: 543.0707

Mailing Address: EKONA Architecture + Planning, 501 Second St., Suite 415, S.F., 94107

Owner of Property (if different from above): Roman Catholic Welfare Corp.

Address of Property Owners (if different from above): _____

Signature of Property Owner: _____

Describe the project, including existing structures related to it: _____

Renovation to existing church: 1) Rebuild existing ext. confessional walls within the south arcade for seismic stability (remove hollow clay tile), and remove confession doors at interior; 2) Rebuild south nave wall for seismic stability (remove hollow clay tile) and add new entry doors; 3) Enclose eastern edge of north arcade for future H.C. bathroom; 4) Interior revision existing north vestibule into new reconciliation chapel.

Design features and materials:

Walls: Stucco exterior to match existing

Roofing: N/A

Fences: N/A

Trim: Stucco to match existing style

Colors: To match int. and ext. existing.

Windows: Fixed wood to match existing

<u>For Office Use Only</u>	
Central Permit Application No. _____	Design Review Application No. _____
Fees Paid: Date: _____	Amount: _____
Date: _____	Amount: _____

RECEIVED
AUG 1991
CENTRAL PERMIT OFFICE
CITY OF ALAMEDA



CITY OF ALAMEDA • CALIFORNIA

CITY HALL • SANTA CLARA AT OAK STREET 94501 • (415) 522-4100

PLANNING DEPARTMENT

PLANNING DEPARTMENT

MINOR DESIGN REVIEW APPLICATION

Project Address: 1109 Chestnut Street

Contact Person: EKONA - Cindy Beckman or Karen Gibb Phone No.: 956-4394

Mailing Address: 855 Front Street, San Francisco, CA 94111

Owner of Property (if different from above): St. Joseph Parish/Roman Catholic Diocese of Oakland.

Address of Property Owners (if different from above): _____

Signature of Property Owner: *Jeremiah Holland*

Describe the project, including existing structures related to it: _____

Structural rehabilitation and functional renovation of existing church building.

Exterior changes will be limited to the expansion of the interior a small distance into the existing arcades at the north and south sides of the building. New entry/exit doors will be added to the north facade to incorporate new interior gathering space and a future exterior gathering area. New doors will replace the worn main entry doors at the east facade. These will be paneled wood doors to harmonize with the exterior

Design features and materials:

Walls: Masonry or wood frame with exterior stucco and interior plaster. Roofing: N/A

Fences: N/A Trim: To match existing exterior.

Colors: To match existing exterior. Windows: Wood frame fixed windows painted to match existing exterior windows.

For Office Use Only	
Central Permit Application No. _____	Design Review Application No. _____
Fees Paid: Date: _____	Amount: _____
Date: _____	Amount: _____

24 August 1990

Mr. John Woodbury
 Alameda Planning Department
 Alameda, California 94501

Subject: St. Joseph Basilica Renovation and Rehabilitation
 1109 Chestnut Street, Alameda
 Limited Design Review Submittal

*I couldn't find
 a deposit in
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Dear Mr. Woodbury:

Per our telephone discussion today, I have enclosed one set of the schematic design plans for the proposed renovation and structural rehabilitation of St. Joseph Basilica. Both existing conditions and proposed changes to the floor plan and exterior elevations are included for the Limited Design Review process. A narrative describing the proposed scheme and the functional aspects affecting the design chosen has been attached to the set of plans.

The proposed revisions to the exterior arcades of the church deal with the replacement of dangerous hollow clay tile walls, while increasing the liturgical viability of the space. The church is currently without acceptably sized gathering areas, either interior or exterior in location. The existing narthex is too tight to allow both social mingling and required circulation between the masses, and the entrance steps front directly on the street curb. The slight expansion of the interior into the existing arcades affords the incorporation of these needed gathering areas. We have also included the intentions of the Phase II completion of the project (as yet unscheduled) to define the practical and aesthetic nature of the improvements proposed.

Our intent has been to maintain the style and nature of the existing building exteriors by using matching materials and details wherever possible. The north elevation arcade will continue the detail of the arches within the proposed wall closure of the eastern archway. The new entry doors will be designed to match the existing interior narthex entrance doors (which were originally the exterior doors before the enclosure of the front arcades with full doors). And the existing main entrance doors will be replaced with new wood panel doors to enhance the street face of the building.

DISC\STJOSEPH\PLANDEPT.SUB.E1

EHRENKRANTZ KAMAGES

855 Front Street
 San Francisco, CA 94111
 Tel: 415-956-4394
 Fax: 415-956-3699

EKONA

Architecture + Planning

If any questions should arise during the department's review of the proposed exterior renovations, please call me, or Karen Gibb in my absence, will be happy to provide any information needed. The parish eagerly awaits the completion of this project, and both St. Joseph and EKONA look forward to your comments on the St. Joseph project.

Sincerely,
EKONA Ehrenkrantz Kamages



Cindy Maxwell Beckman
Project Architect

attachments

cc: Christ J. Kamages, AIA
Peter Hourihan
Tim Craig, AIA
Rich Davis



October 1, 1990

Dear Resident:

This will inform you that the proposed alterations at 1109 Chestnut Street, Alameda, CA 94501 are being reviewed for design by Planning Department Staff prior to building permit approval. The description of proposed work is provided below. There is a 10 day period for public review and comment on the proposal ending October 11, 1990. If desired, further information and plans for review are available at the Alameda City Planning Department Offices, City Hall, Alameda during regular business hours. Please refer to Design Review Application Number DR-90-133. The planner working on this project is John Woodbury. You should call 748-4554 and schedule an appointment prior to coming in.

Description of Work:

Interior and exterior modifications to St. Joseph's Basilica. Very little of the work will be visible from the street.

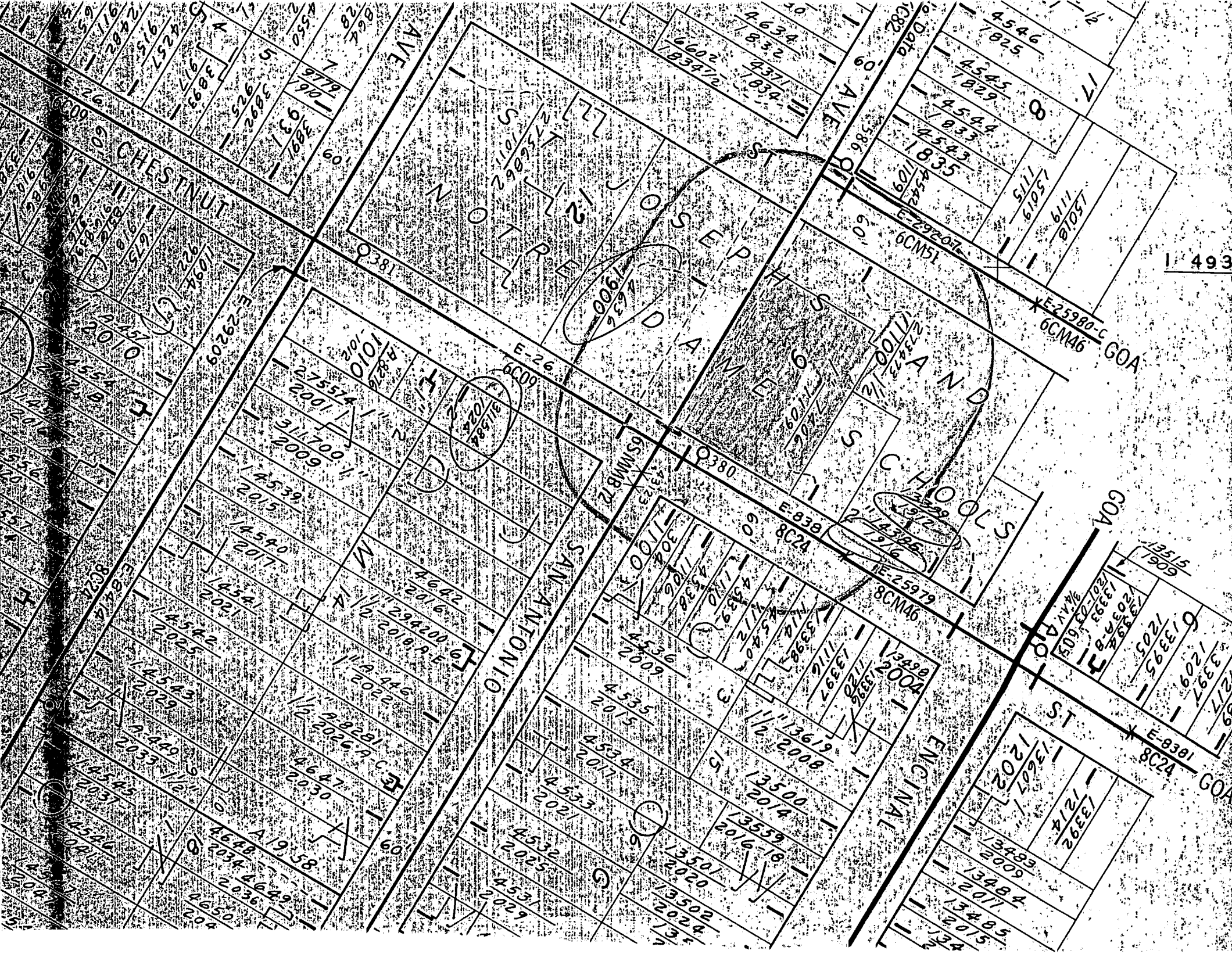
Sincerely,

A handwritten signature in cursive script, which appears to read "DeWayne Guyer". The signature is written in black ink and is positioned below the word "Sincerely,".

DeWayne Guyer
Planning Director

Planning Department, Room 102

City Hall
Santa Clara Avenue at Oak Street · 94501
415.748 4554



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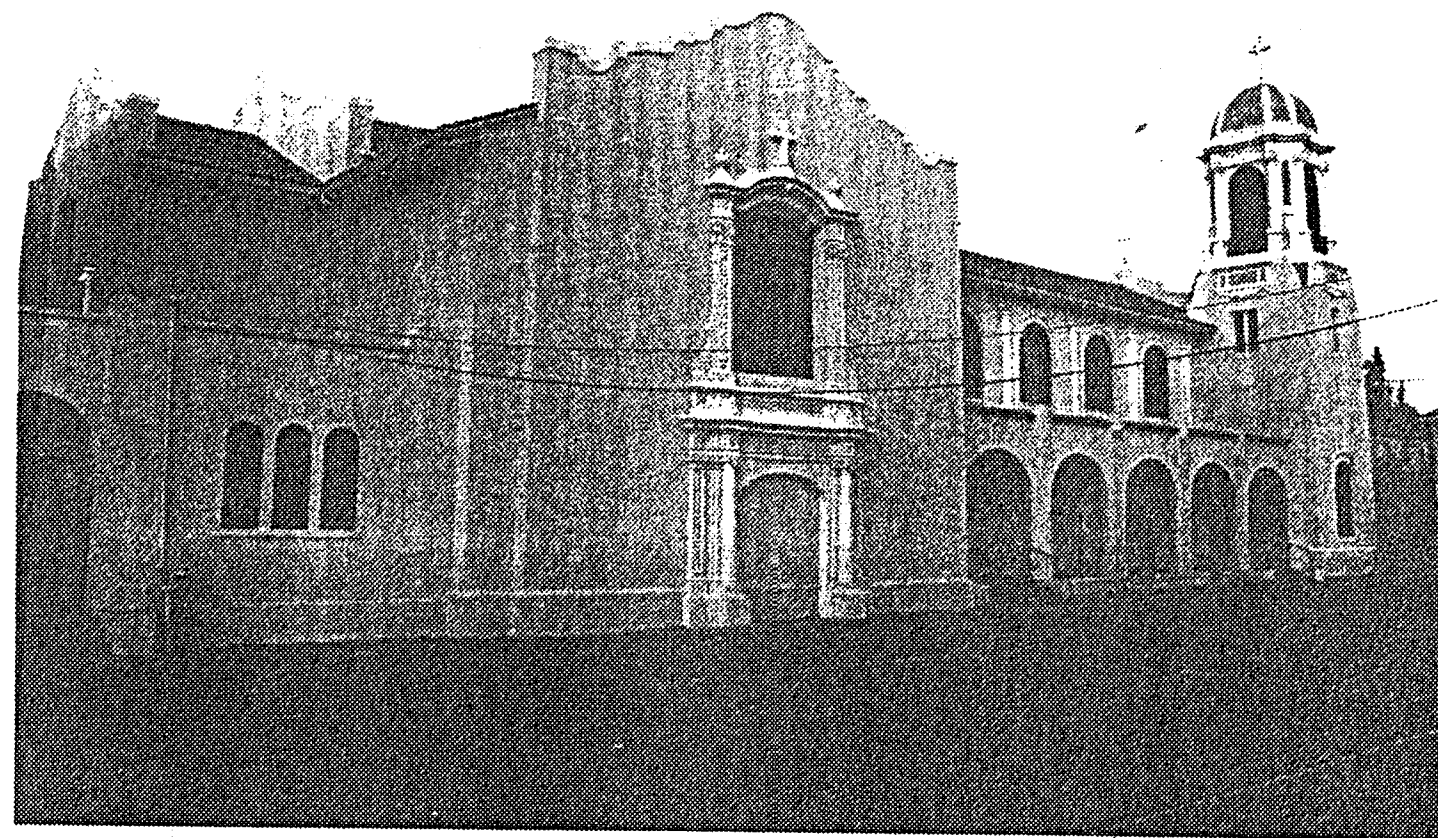
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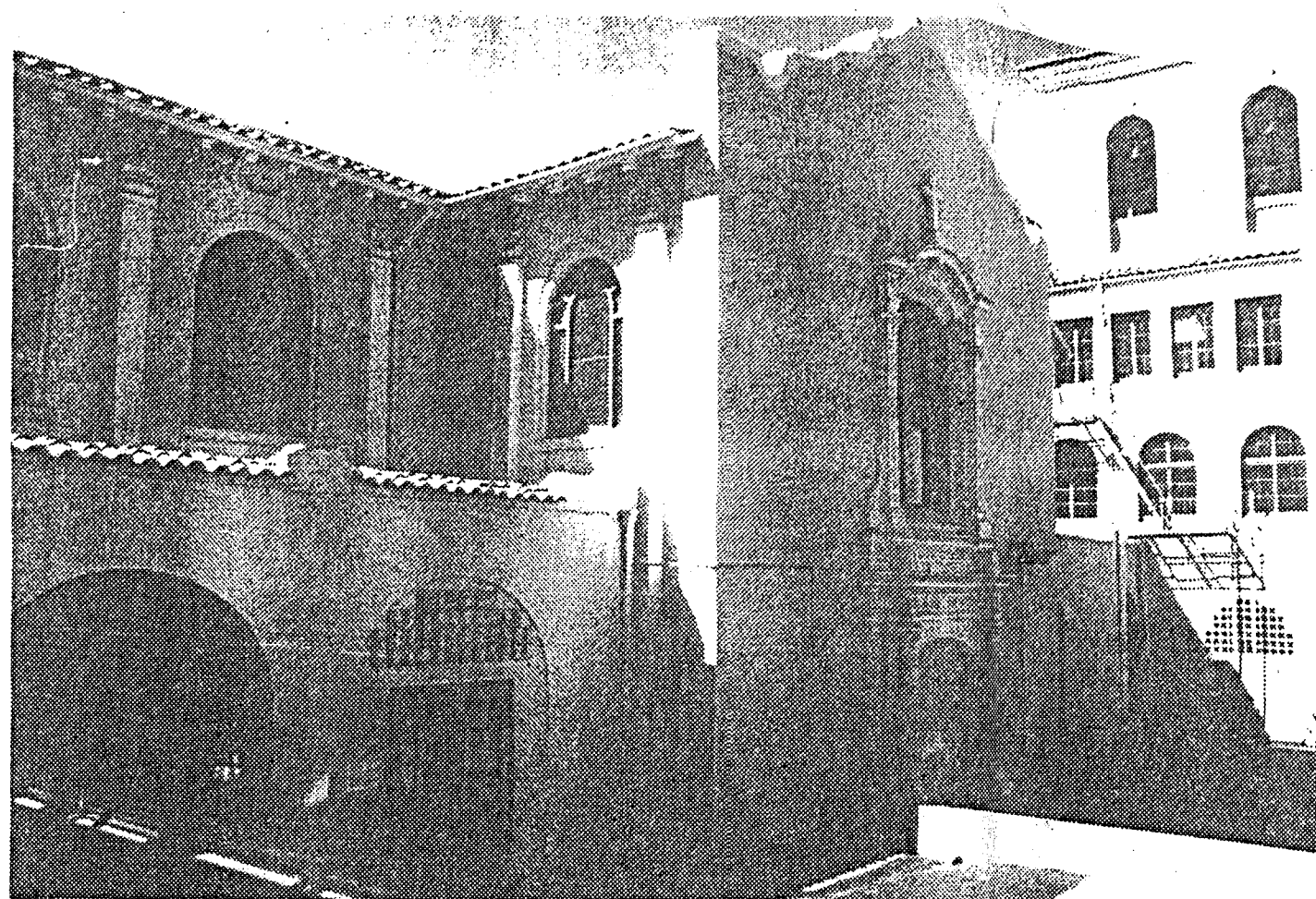
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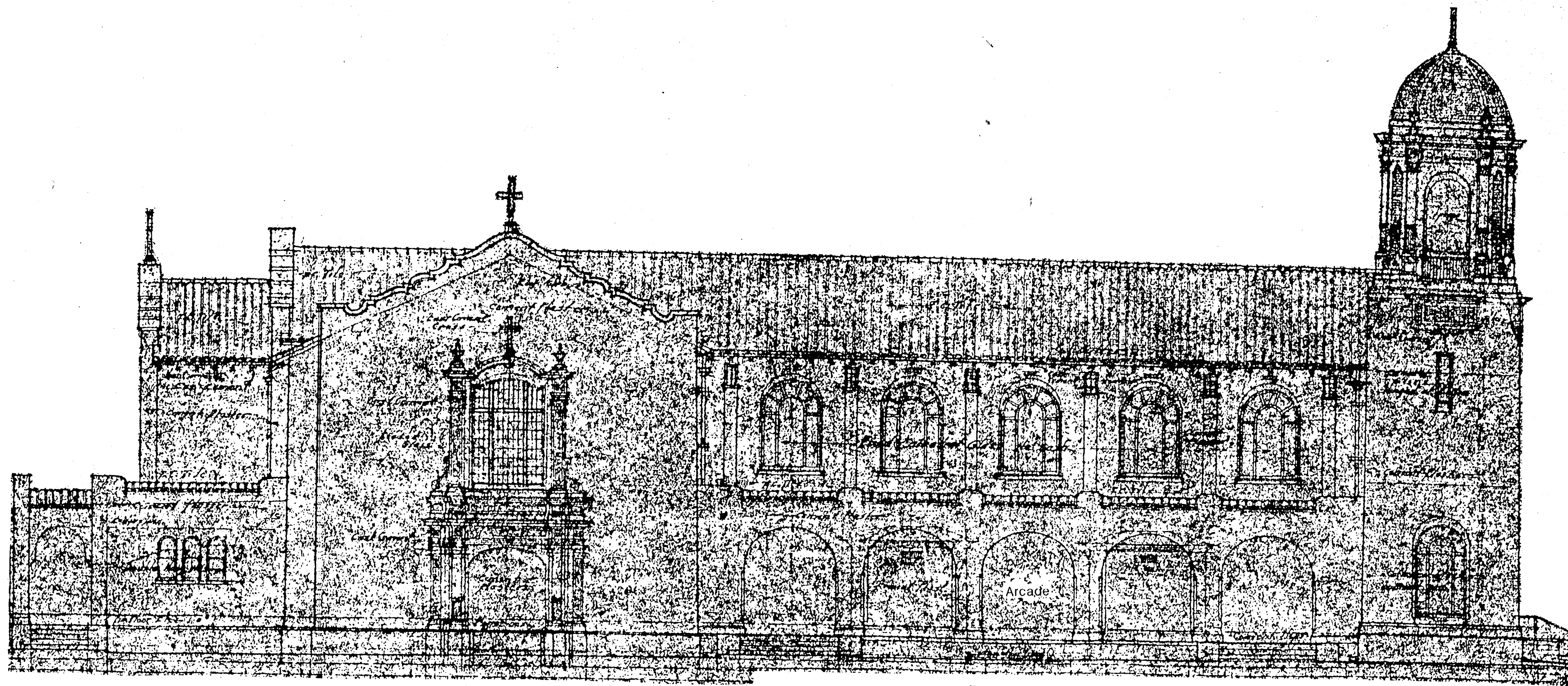
South Facade (originally the San Antonio Street Facade), 1989



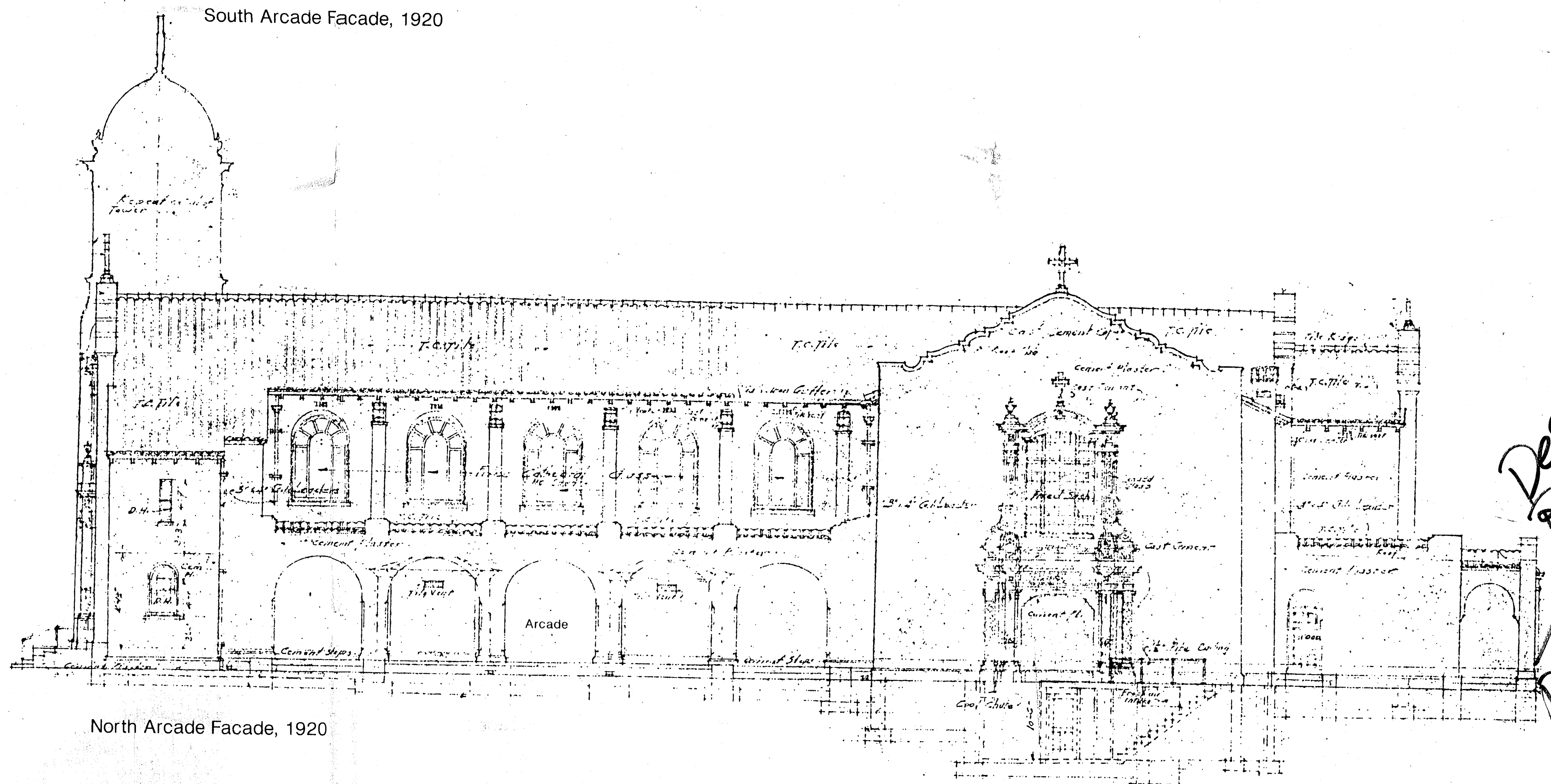
East and North Facade w/Parish Hall Entry in foreground and High School Bell Tower in background, 1989



North Facade: Transept ornamentation and entry vestibule, 1989

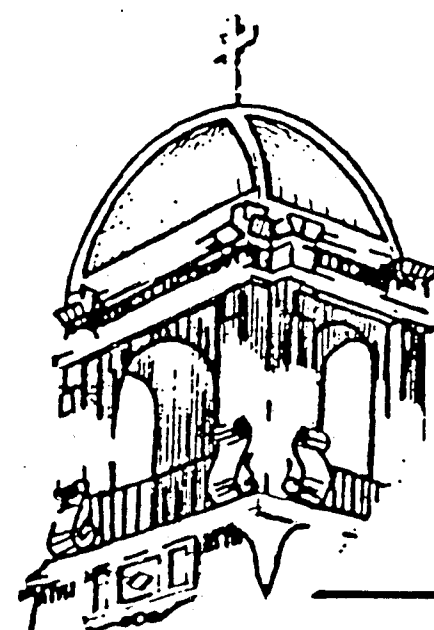


South Arcade Facade, 1920



North Arcade Facade, 1920

Design Review Planning 91-0-891



ST. JOSEPH BASILICA
Alameda, California

EXISTING EXTERIOR ELEVATIONS

EKONA

EHRENKRANTZ KAMAGES

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CITY OF ALAMEDA


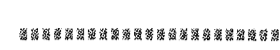

SHEET NOTES

- Existing base building conditions are represented by this drawing. Existing materials to be removed are circled and keynoted. Refer to Structural and Electrical/Mechanical drawings for additional demolition notes.
- The Contractor is responsible for verifying the full extent of the work in the field. The extent of work in areas concealed prior to the start of demolition is unknown.
- Remove and save all existing surface mounted and accessible conduit, piping, hangers and incidental attachments from all finish surfaces to be demolished. Refer to mechanical and electrical drawings for items to remain.
- Salvage all doors, frames, casings and jamb paneling for reinstallation. As indicated, unless otherwise noted, refer to the Renovation Plan, Series A1 Demolition and Existing Conditions Elevations, Interior Elevations and Schedules for finished conditions.

KEYNOTES

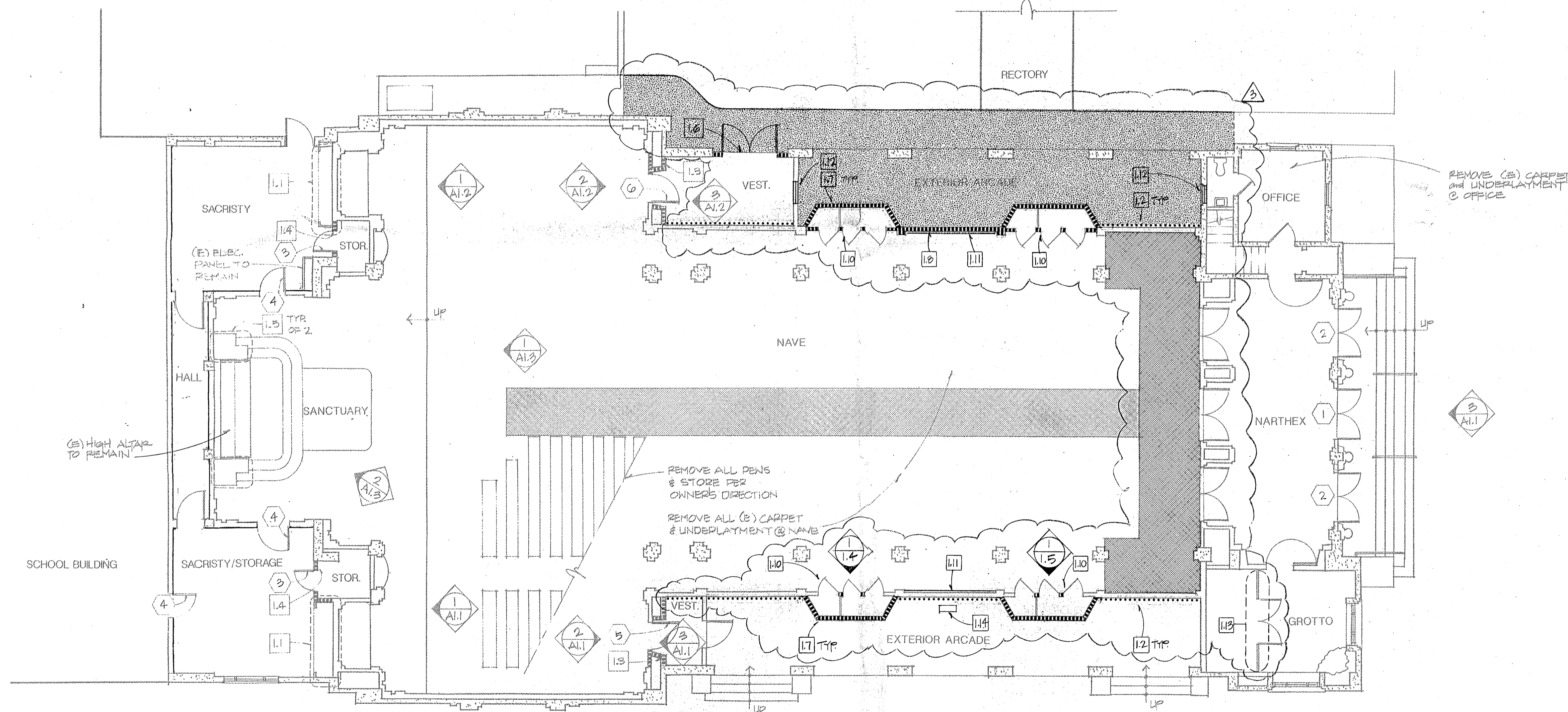
- 1.1 Remove existing cabinet frame and doors and store for reuse.
- 1.2 Remove existing plaster to expose hollow clay tile wall on one side of wall as noted. Sandblast to clean tile of all remaining plaster. S.S.D.
- 1.3 Demolish existing hollow tile masonry and plaster partition. Remove only vestibule side wall, leaving nave-side wall intact. S.S.D.
- 1.4 Demolish existing hollow tile masonry wall as shown. Take all necessary precautions to not disturb existing side altar wall during the demolition. S.S.D.
- 1.5 Remove marble baldachino base to expose existing marble steps. See demolition elevation /A1.3. BID ALTERNATE: Leave marble baldachino base in place - clean and repair as needed.
- 1.6 Remove existing double doors and discard per owner's direction. Save hardware for reuse if feasible.
- 1.7 Demolish existing hollow tile masonry walls and low roof at confessional box extension. Leave surrounding masonry walls in tact where shown. Protect any electrical wiring which may be reused. S.S.D.
- 1.8 Demolish existing hollow tile masonry walls floor to roof structure as shown. S.S.D.
- 1.9 Remove existing confessional doors, casework and interior partition and discard per owner's direction.

DEMOLITION LEGEND

-  Demolish mosaic tile and concrete mortar bed. Salvage enough tile for infill areas outlined on Sheet A2.0. Take all necessary precautions to protect concrete subfloor during demolition.
-  Demolish existing hollow clay tile wall. Refer to structural drawings for reinforcement and shoring details.
-  Remove existing plaster on hollow clay tile walls. Refer to structural drawings for demolition information.

DEMOLISH EXISTING ARCADE PAVING CONCRETE PAVING AND CONCRETE WALK AS SHOWN. TAKE ALL NECESSARY PRECAUTIONS TO PRESERVE SURROUNDING SURFACES.

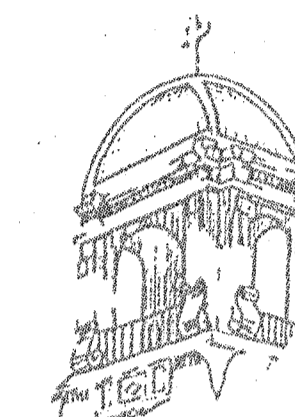
- 1.10 Remove existing confessional doors, center posts interior partitions and all acoustic tile wall and ceiling covering. Discard per Owner's direction. See Sheet A1.4 for preservation of jamb surround.
- 1.11 Remove existing wall mosaic. Store or discard per Owner's directions.
- 1.12 Remove existing window for wall infill.
- 1.13 Remove existing wrought iron fence and gate. Patch anchor holes to match existing surrounding materials. Discard per Owner's direction.
- 1.14 Remove existing crucifix statue and all anchors. Store for reinstallation in same location after renovation work is complete.



1 A1.0 GROUND FLOOR DEMOLITION PLAN

EKONA

EHRENKRANTZ KAMAGES
Architecture + Planning
501 Second Street
Studio Suite 415
San Francisco, CA 94107
Tel: 415-543-0707
Fax: 415-543-0706



St. Joseph Roman
Catholic Basilica
Rehabilitation and
Renovation

1109 CHESTNUT STREET
ALAMEDA, CA 94501

7/10/91 PHASE II REV.

No. Date Issues/Revisions

Title DEMOLITION FLOOR PLAN

Scale 1/8"=1'-0"

Project Number 28909.01

Date 12/27/90

Drawn by CB and MS

Checked by

A1.0

SHEET NOTES

- See Sheet A6.0 for door schedule and types.
- See Sheet A8.0 for window schedule and types.
- See Sheet A8.0 for relationship of furniture to flooring dimensions shown here.
- At all locations where new flooring is installed or doors are relocated, reuse (e) thresholds where feasible. New thresholds are to be installed if necessary to bridge the transition of new floor surface to (e) floor surface. Contractor shall determine threshold type appropriate for each specific condition. Submit to Architect for approval.
- See Sheet A7.1 for typical framing details.
- New construction work is denoted by darker line quality. Existing and Phase I building conditions are represented by screened background sheet.

KEYNOTES

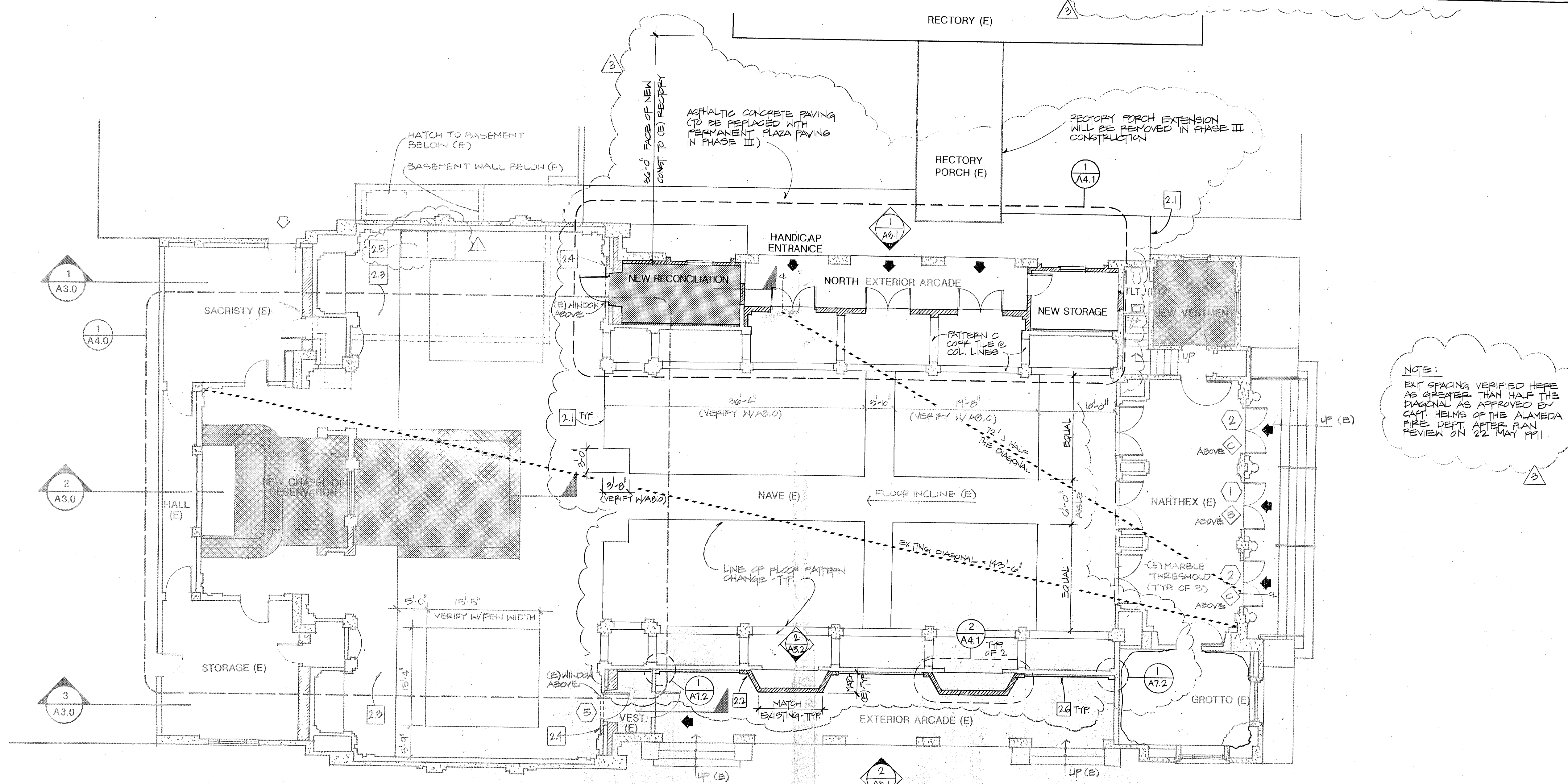
- 2.1 This line indicates change of flooring material only, not a change of floor elevation.
 - 2.2 New shear wall construction - S.S.D. and 2/A4.1.
 - 2.3 (E) Marble tile at raised sanctuary floor surrounding new Chapel of Reservation.
 - 2.4 Rebuild demolished hollow clay tile wall section at decorated face wall with 6" x 20 ga. metal studs @ 16" o.c. with plaster facing to match existing wall surround.
 - 2.5 3'-6" wide x 7'-6" long movable ramp (1:15 max. slope) - see Detail 14/A7.0.
 - 2.6 New exterior HCT wall bracing - S.S.D. and 2/A4.1.
- PRIVATE ENTRANCE/EXIT
 PUBLIC ENTRANCE/EXIT
 NEW WALL - SEE ENLARGED PLANS, SHEET A4.1

FINISH LEGEND

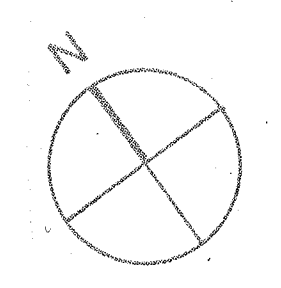
- New carpet over pad. See SPECIFICATIONS for carpet weight.
 - NEW EXTERIOR PAVING. SEE FIN SCHED. 1/A3.0 and 1/A4.1 FOR TYPE and BOUNDARIES.
 - New cork tile flooring. Boxed areas denote Pattern B location, while remaining field area at nave floor, U.N.O., is Pattern A cork tile.
- ① (E) concrete - patch to match.
 - ② Flat latex paint.
 - ③ Semi-gloss latex paint.
 - ④ Refer to Sheets A1.1 thru A1.3 for areas to be repainted.
 - ⑤ Match (E) paint.
 - ⑥ New concrete - flqat finish, tint to match arcade and seal.
 - ⑦ NEW CONCRETE TINTED and SCORED TO MATCH ORIGINAL ARCADE FLOOR.

FINISH SCHEDULE

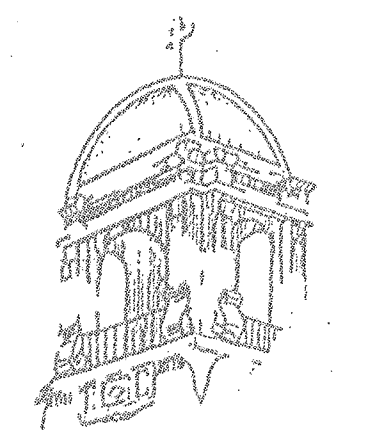
ROOM NAME	FLOOR	WALL	BASE	CEILING	COMMENTS
NEW VESTMENT	①	④	④	④	
NAVE	⑦	④	④	④	
NEW CHAPEL OF RESERVATION	⑦	④	④	④	SEE PLAN FOR FLOORING LOCATIONS
STORAGE	⑥	④	④	④	
SACRISTY	⑥	④	④	④	
VESTIBULE	①	④	④	④	
NEW RECONCILIATION ROOM	⑦	④	④	④	
NEW STORAGE	⑥	④	④	④	
NORTH EXTERIOR ARCADE.	⑦	④	④	④	



1 A2.0 RENOVATION FLOOR PLAN



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 EHRENKRANTZ KAMAGES
 Architecture + Planning
 501 Second Street
 Studio Suite 415
 San Francisco, CA 94107
 Tel: 415-543-0707
 Fax: 415-543-0706



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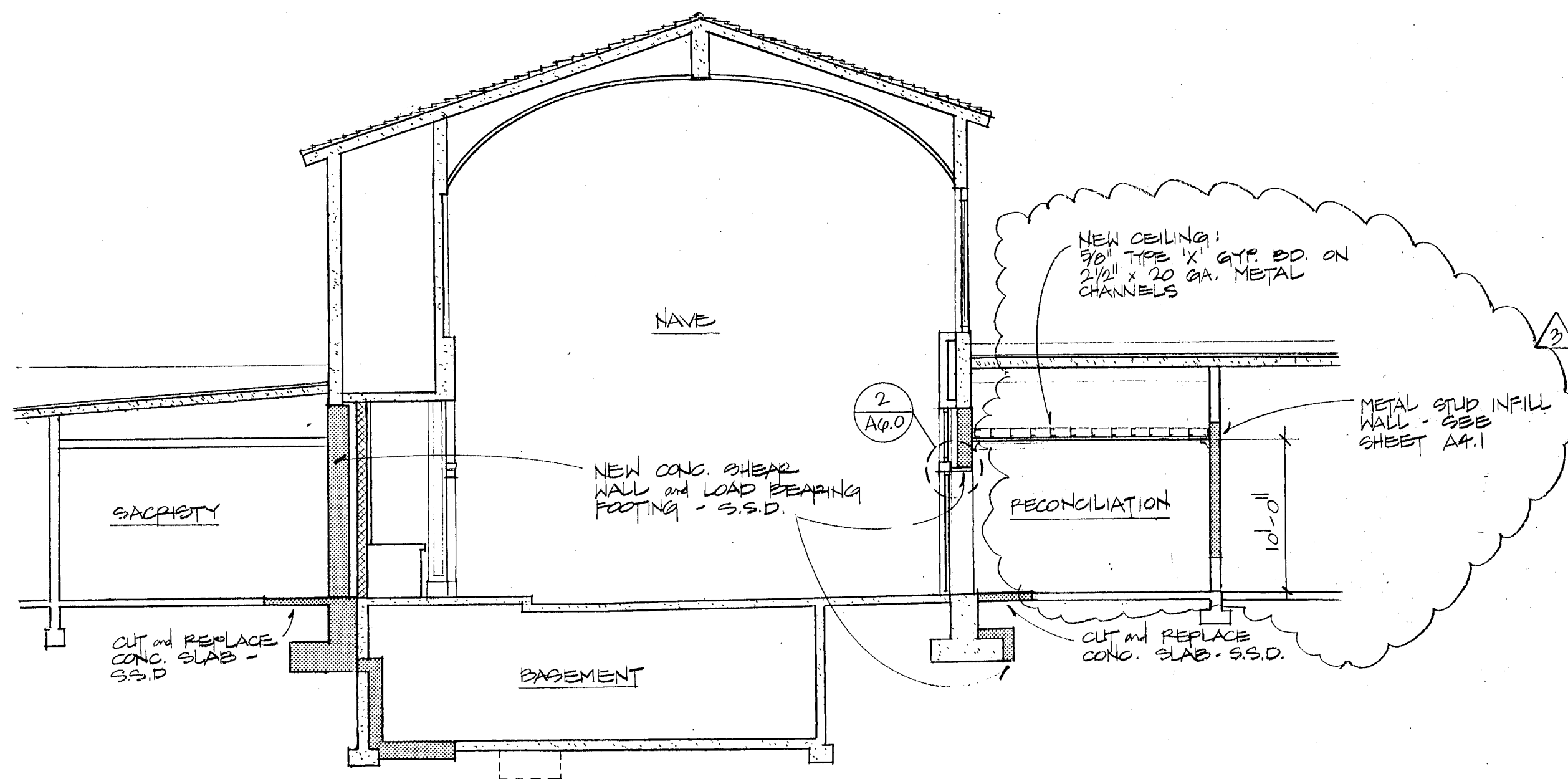
3/1/91	PLAN CHECK CORRECTION
4/22/91	VALUE ENGRG.
7/10/91	PHASE II REV.

No.	Date	Issues/Revisions
Title: RENOVATION FLOOR PLAN		
Scale: 1/8" = 1'-0"		
Project Number: 28909.03	Sheet Number: A2.0	
Date: 12/27/90	Drawn by: CB and MB	
Checked by:		

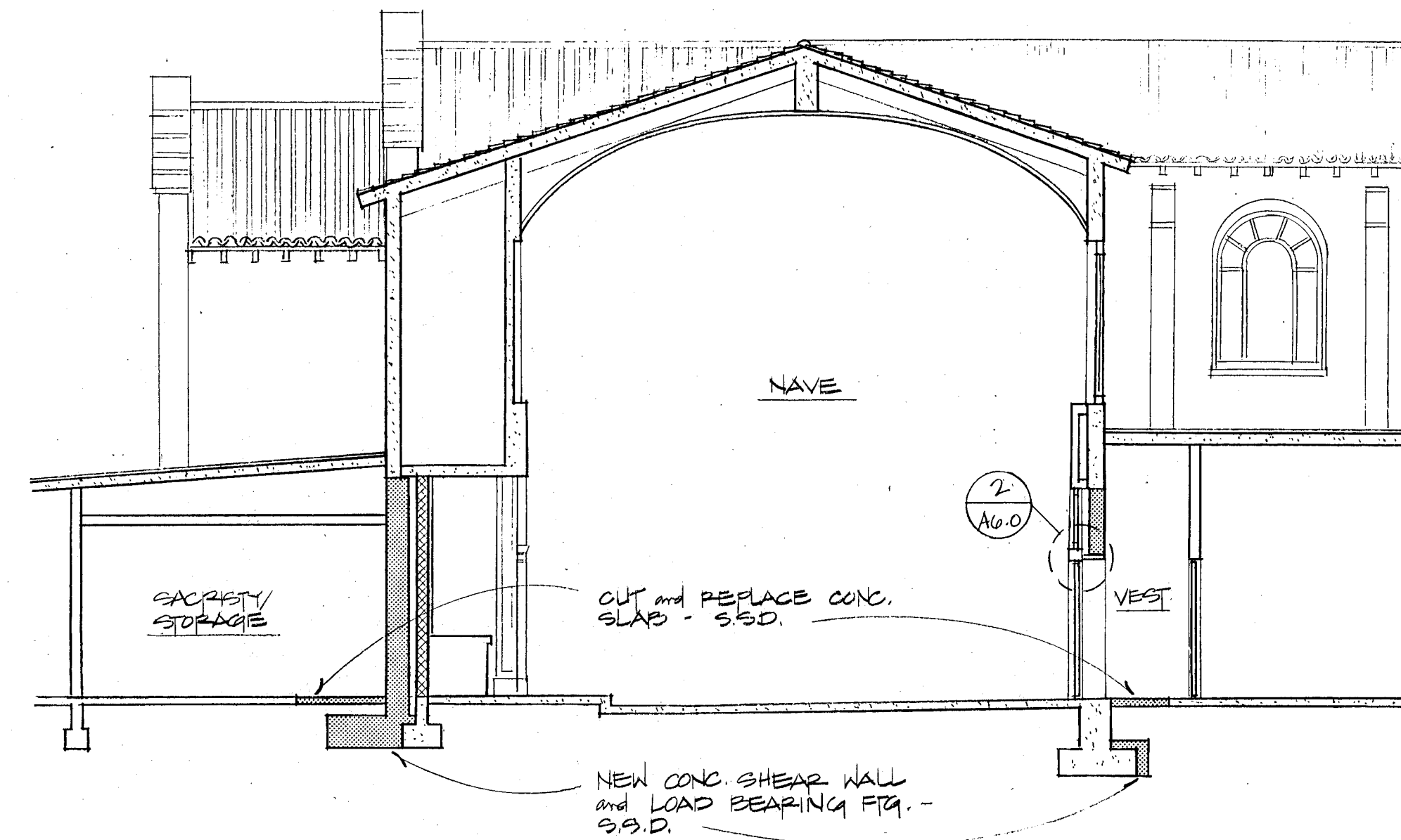


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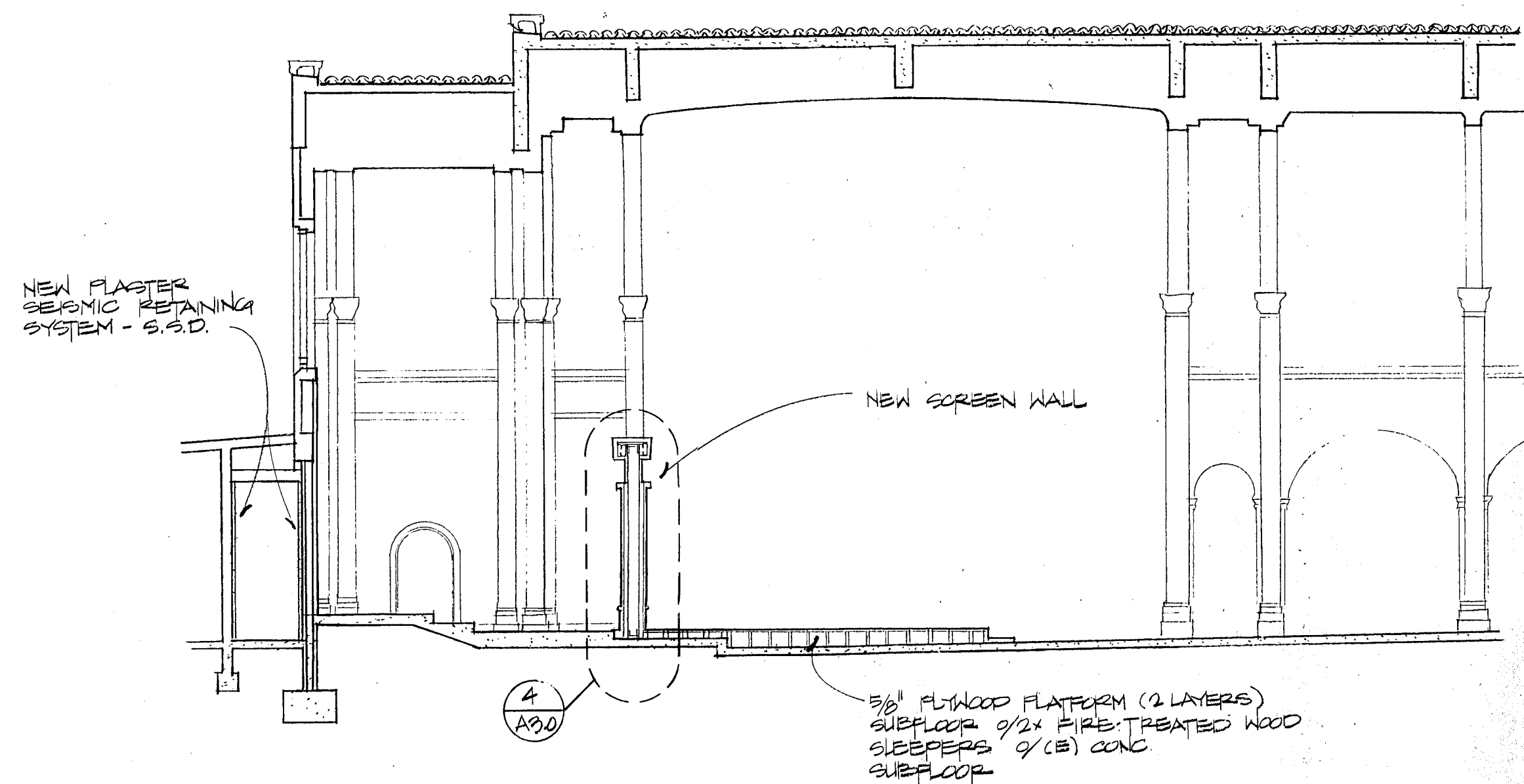
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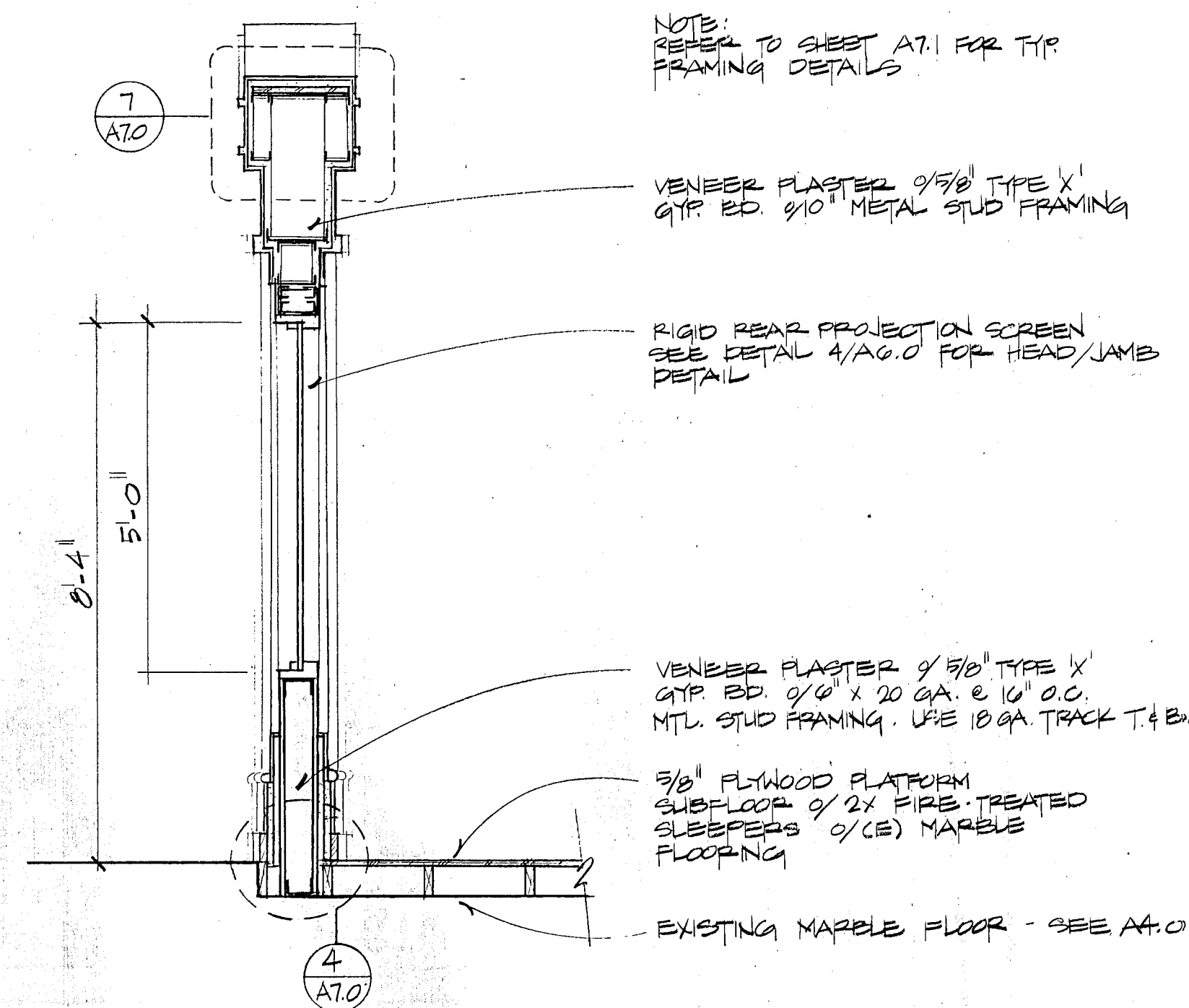
1 PARTIAL SECTION @ NORTH TRANSEPT
A3.0



3 PARTIAL SECTION @ SOUTH TRANSEPT
A3.0



2 CHAPEL OF RESERVATION AND PARTIAL NAIVE SECTION
A3.0



4 SCREEN WALL SECTION 1/2" = 1'-0"
A3.0

5/10/91	STAMP REV.
7/10/91	PHASE II REV.

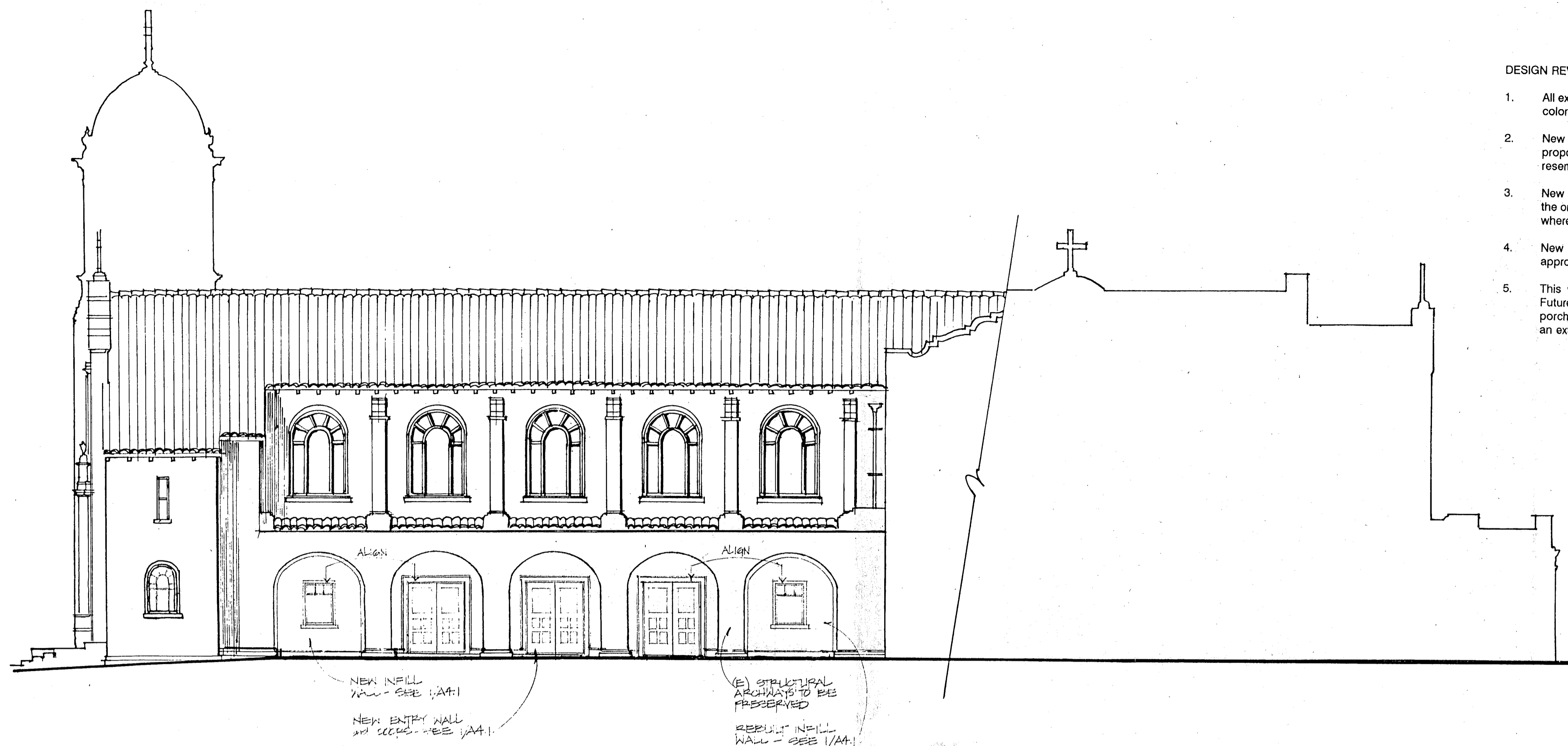
No. Date Issues/Revisions

Title PARTIAL BUILDING SECTIONS

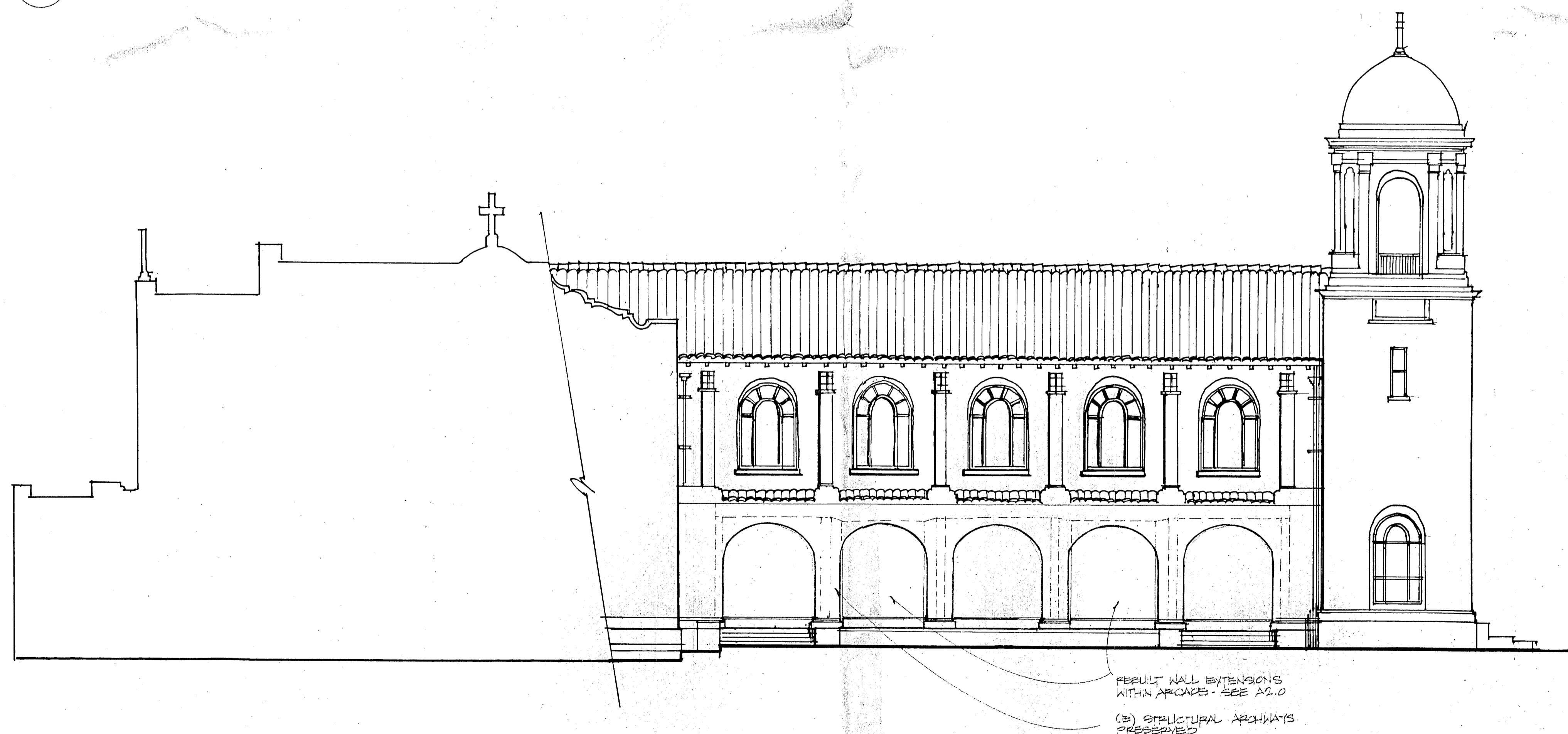
Scale 1/8" = 1'-0" U.N.O.

Project Number 28909.03
Date 12/27/90
Drawn by
Checked by

A3.0



1. EXTERIOR ELEVATION @ NORTH ARCADE
A3.1



2. EXTERIOR ELEVATION @ SOUTH ARCADE
A3.1

DESIGN REVIEW NOTE:

1. All exterior and interior walls are to match existing abutting walls in color, texture and material. See floor plans for specific detailing.
2. New wood window frames shall match existing wood frames in proportion, material and color. Privacy glass shall as closely resemble existing privacy glass as possible.
3. New exterior concrete paving at the existing arcades shall match the original paving in color and pattern (replacing concrete scoring where demolished).
4. New exterior doors shall be finished in a transparent stain to approximate the color of the existing interior doors, a dark oak.
5. This work constitutes Phase II of the master planned project. Future Phase III will include the demolition of the existing rectory porch extension and the renovation of the existing side yard into an exterior courtyard and gathering area.

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EHRENKRANTZ KAMAGES
Architecture + Planning

501 Second Street
Studio Suite 415
San Francisco, CA 94107
Tel: 415-543-0707
Fax: 415-543-0706



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7/10/91 PHASE II REV - FULL SHIT

No. Date Issues/Revisions

Title EXTERIOR ELEVATIONS

Scale 1/8" = 1'-0"

Project Number 28909.03 Sheet Number

Date 7/10/91

Drawn by db

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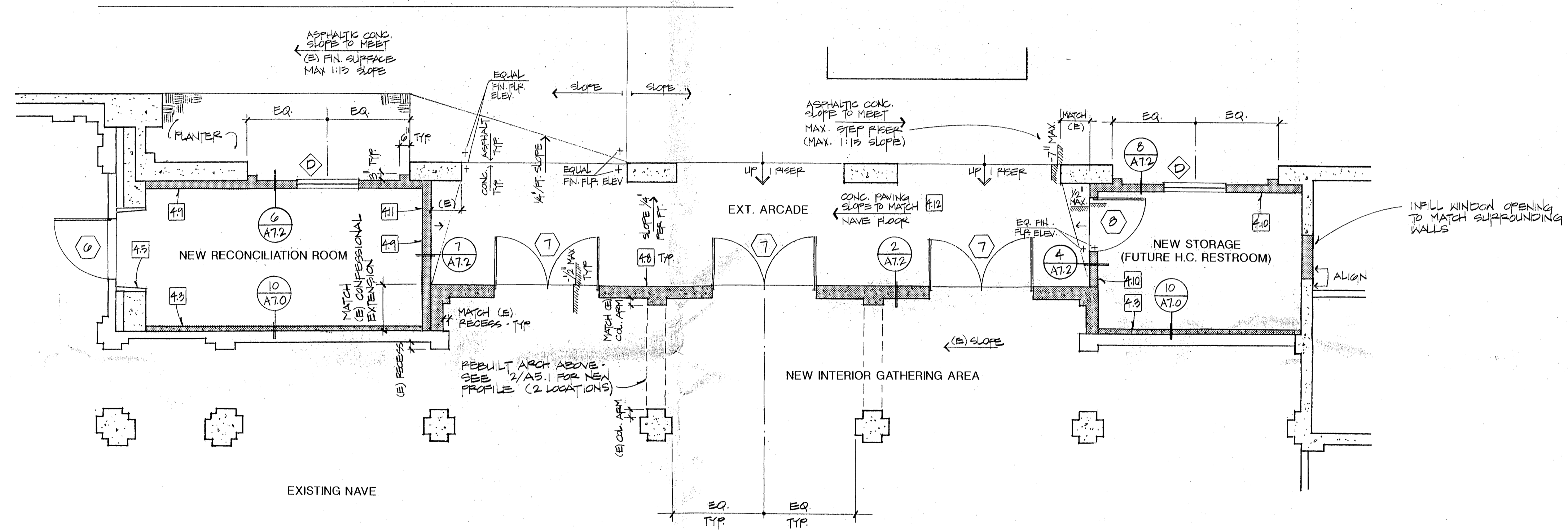
A3.1

SHEET NOTES

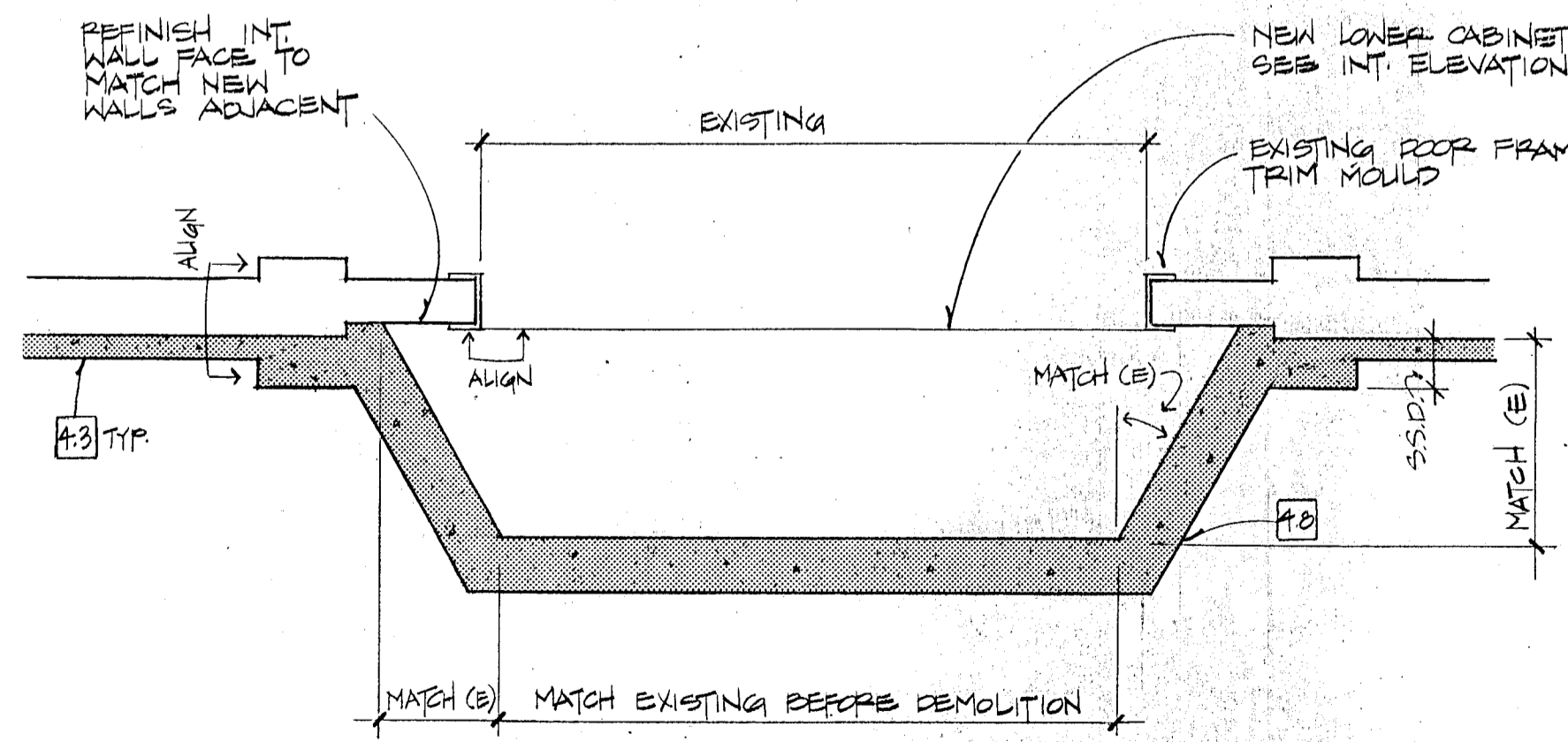
1. See Sheet A6.0 for door schedule and types.
2. See Sheet A6.0 for window schedule and types.
3. Refer to Demolition Plan A1.0 for existing conditions referred to here.
4. See sheet A7.1 for typical framing details.

KEY NOTES

- 4.3 New cement plaster seismic enhancement - S.S.D. Exposed interior wall shall receive veneer plaster over bond coat. Finish to match existing adjacent walls.
- 4.5 Rebuild plaster door recess to fit door in new recess location. See Door Schedule on A6.0 for detail references. Refer to Demolition and Existing Conditions Elevations, Sheets A1.1 - A1.3 for limits of wall reconstruction. (Reconstruction completed in Phase I)
- 4.6 See Furnishing Plan A8.0 for pew notes and locations.
- 4.8 New structural shear wall - S.S.D. for wall type. Exposed interior side of wall shall receive veneer plaster over bond coat. Exposed exterior side of wall shall receive exterior cement plaster over paper-backed, self-furring metal lath. Finish to match existing. 8" conc. wall = 4 hr. rating.
- 4.9 New 6" metal stud non-bearing wall. Exposed interior side of wall shall receive veneer plaster over Type 'X' gypsum base. Exposed exterior side of wall shall receive exterior cement plaster over paper-backed, self-furring metal lath. Finish to match existing. 1 hr. non-bearing wall, per UBC 2003 (a) Exception no. 2. See sheet A6.0
- 4.10 New 6" metal stud non-bearing wall with 5/8" Type 'X' W.R. gypsum board at exposed interior. See finish schedule. Exposed interior side of wall shall receive exterior cement plaster over paper-backed, self-furring metal lath. Finish to match existing. 1 hr. non-bearing wall, per UBC 2003 (a) Exception no. 2. See sheet A6.0.
- 4.11 BID ALTERNATE: Infill glass block demolition area only: metal stud infill framing to match existing wall width; exterior side of wall shall receive exterior cement plaster over paper-backed self-furring metal lath, finished to match existing exterior; interior shall receive new 3" thick cement plaster seismic enhancement (S.S.D.) with veneer plaster over bond coat. See Sheet A1.0 for the area of glass block demolition.
- 4.12 New exterior arcade concrete floor - tint and score to match original arcade floor (also matching the existing south exterior arcade floor).



1 ENLARGED NORTH ARCADE RENOVATION PLAN
A4.1



2 ENLARGED SOUTH ARCADE RENOVATION PARTIAL PLAN
A4.1 1/2" = 1'-0"

EKONA
EHRENKRANTZ KAMAGES
Architecture + Planning
501 Second Street
Studio Suite 415
San Francisco, CA 94107
Tel: 415-543-0707
Fax: 415-543-0706



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No. Date Issues/Revisions

Title **ENLARGED FLOOR PLAN**

Scale 1/4" = 1'-0" U.N.O.

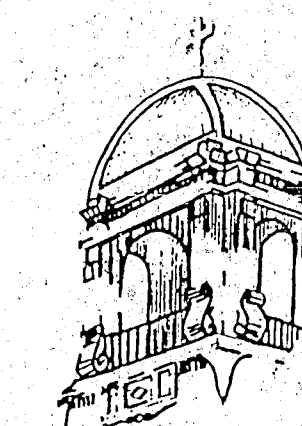
Project Number 28909.03 Sheet Number

Date 7/10/91

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7/10/91 PHASE II REV. - FULL SHET

No. Date Issues/Revisions

Title NORTH NAVE WALL
INTERIOR ELEVATION
PARTIAL SECTION

Scale 1/2" = 1'-0"

Project Number 28909.03 Sheet Number
Date 7/10/91
Drawn by CB
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A5.1



PANEL PROPORTIONS TO
MATCH EXISTING NAVE
ENTRY DOORS

MOULDING ARCH TO
MATCH CURVE LINE OF
MAIN ARCH

SEE DOORS @
LEFT FOR
TYP. DETAILING

SEE DOORS @
FAR LEFT FOR
TYP. DETAILING

MATCH (E) HEAD
PATTERN @ NEW
ARCH

(E) ROOF BEAM ENCLOSED IN ARCH
NEW CEILING - 2 1/2" x 20 GA. METAL
STUD FRAMING W/ 5/8" TYPE IV GYP
BD. W/ PLASTER VENEER. KEEP
CEILING LEVEL AND AS TIGHT AS
POSSIBLE TO ROOF SLAB

(E) OPENING
BEHIND

(E) EXT. PAVEMENT LEVEL

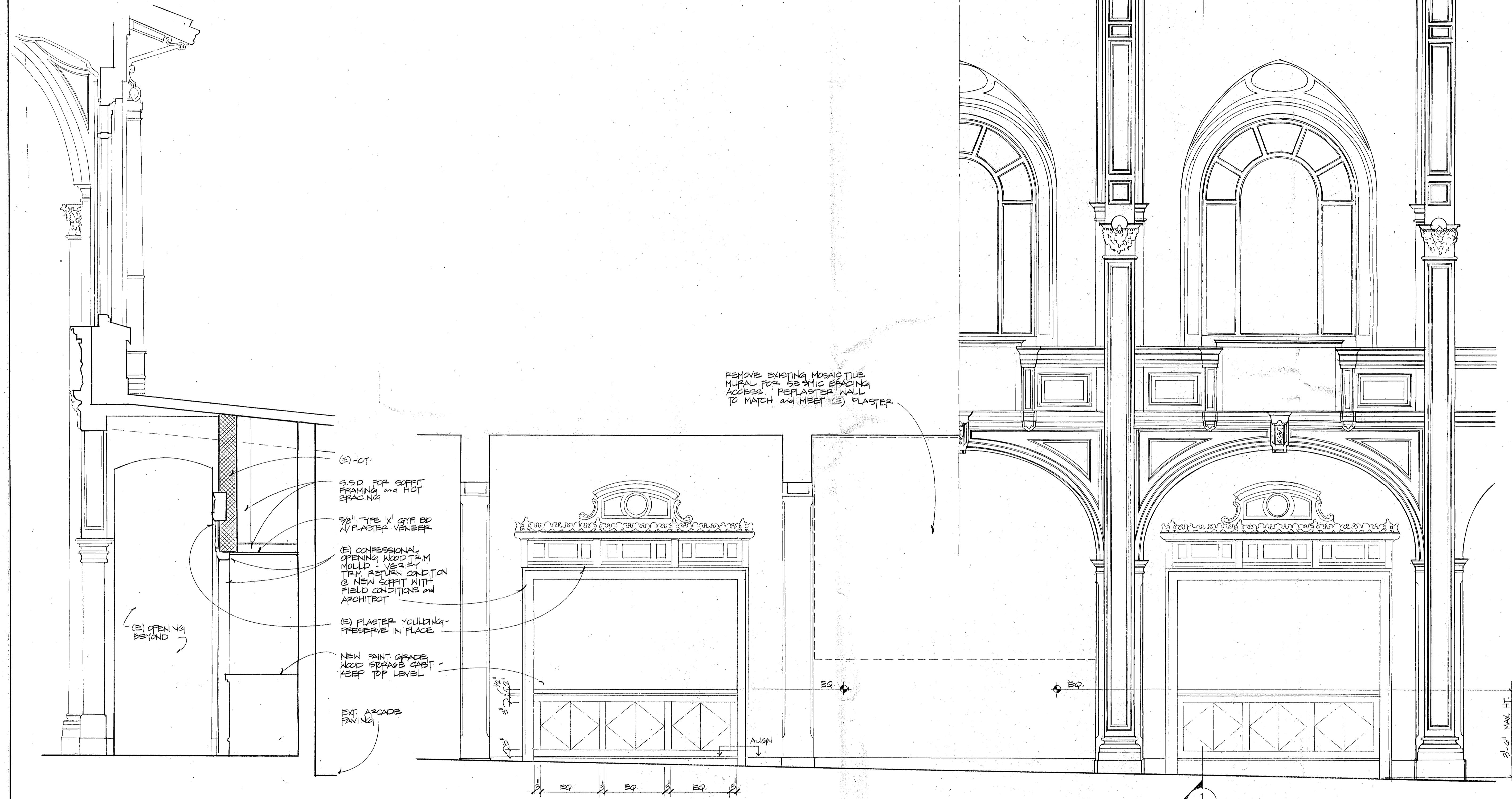
1 NAVE NORTH WALL ENTRY ELEVATION
A5.1

2 ENTRY RECESS
SECTION/ELEVATION
A5.1



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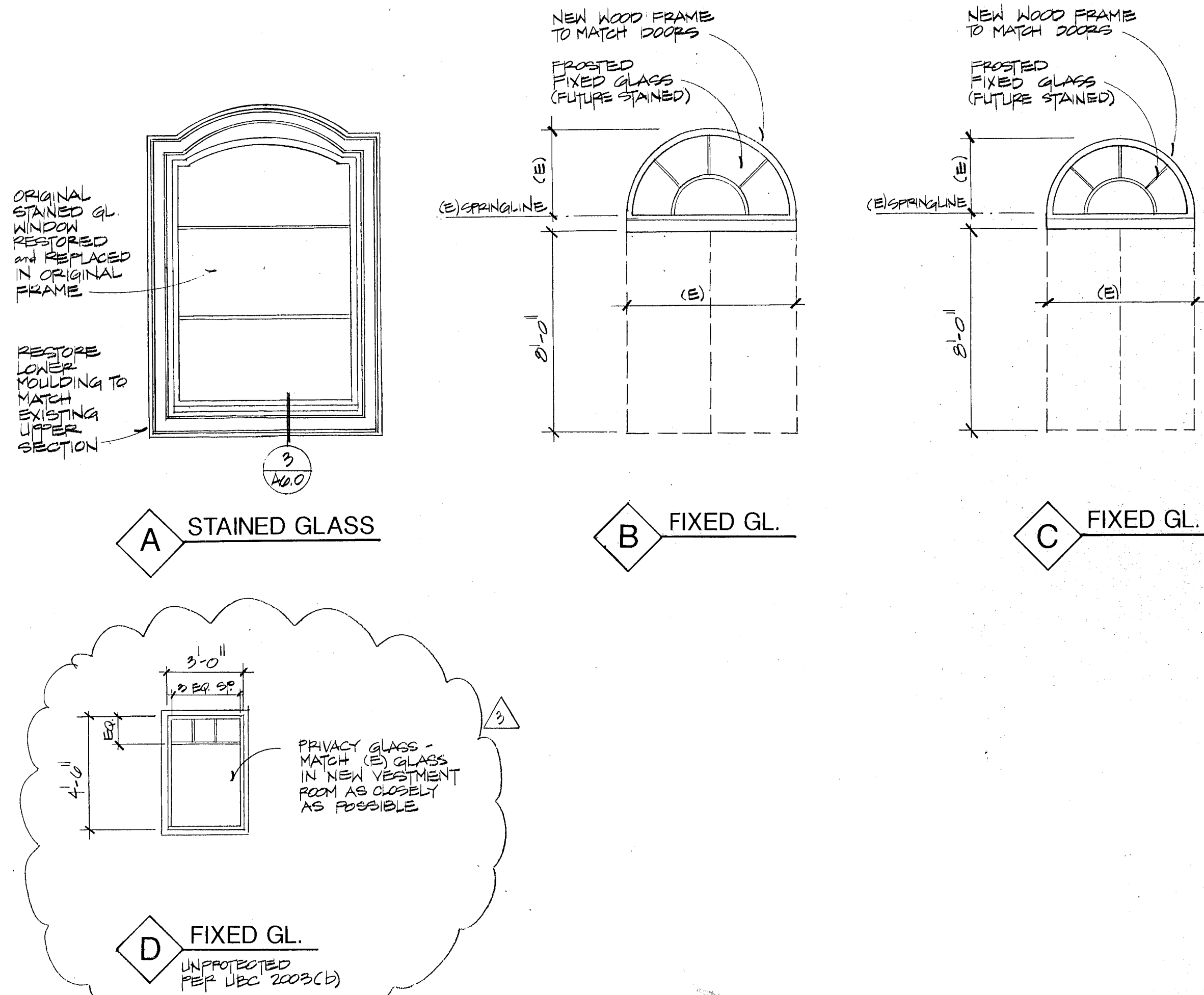


1
 A5.2 STATUE/STORAGE NICHE
 SECTION/ELEVATION

2
 A5.2 NAVE SOUTH WALL ELEVATION

No.	Date	Issues/Revisions
Title: SOUTH NAVE WALL INTERIOR ELEVATION PARTIAL SECTION		
Scale: 1/2" = 1'-0"		
Project Number	Sheet Number	
28909.03	A5.2	
Date	7/10/91	
Drawn by	CB	
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WINDOW SCHEDULE



DOOR SCHEDULE

DOOR	OPENING SIZE	TYPE	CONSTRUCTION	FINISH	GLAZING	HARDWARE	COMMENTS
1	7'-0" x 8'-0" EXISTING Field verify	A	WD PANEL NON-RATED	TRANSPARENT FINISH	-	1	See Note #1
2	6'-0" x 8'-0" EXISTING Field verify	A	WD PANEL NON-RATED	TRANSPARENT FINISH	-	1	See Note #1
3	EXISTING Field verify	(E)	WD PANEL	(E)	(E)	(E)	See Note #2
4	EXISTING	(E)	WD PANEL	(E)	(E)	(E)	See Note #3
5	EXISTING	(E)	WD PANEL	(E)	(E)	(E)	See Note #4
6	6'-0" x 7'-0" MIN. VARIES - SEE ELEV.	B	WD PANEL	TRANSPARENT FINISH	1/2" TEMP. GLASS TO MATCH (E)	1	See Note #5
7	3'-0" x 7'-0"	C	WD PANEL	TRANSPARENT FINISH	-	3	

NOTES:

#1: Refinish and reuse existing frame and trim moulding, if feasible. Contractor to submit budget allowance for new doors, to be approved by the Architect.

#2: Remove (E) door, frame and trim moulding during wall demolition - store to protect from damage. Relocate (E) door, frame and trim moulding at new location as shown on 1/A4.0. Verify concrete wall opening size necessary for (E) door and new jamb construction. (This is not an exit door)

#3: Remove trim mould at replastering side of door and store to protect from damage during demolition and construction work. Take all necessary precautions to protect jamb mould remaining in place from any damage during demolition or construction. Refer to detail 1/A6.0 for trim reinstallation at new plaster wall face. (This is not an exit door)

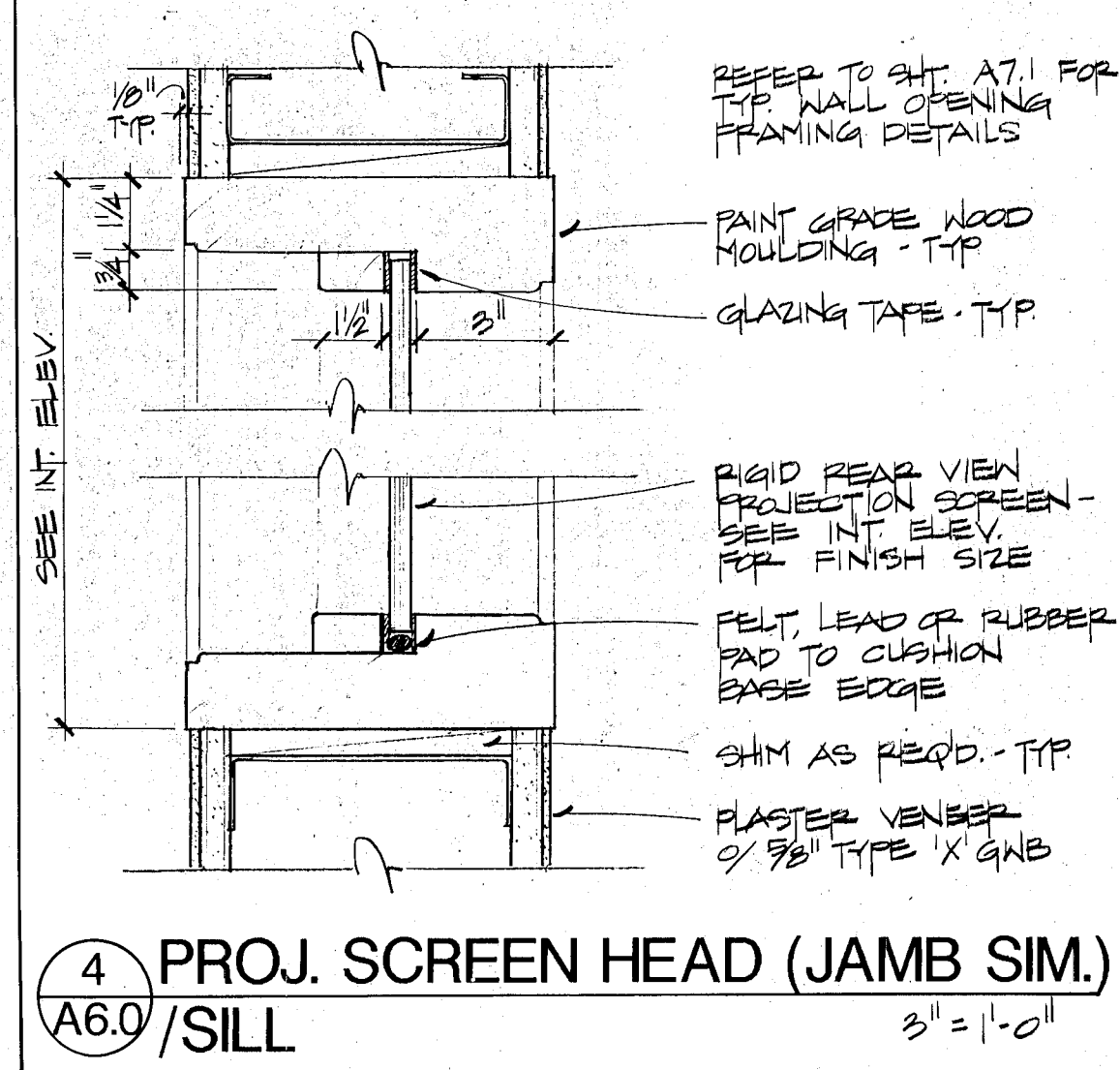
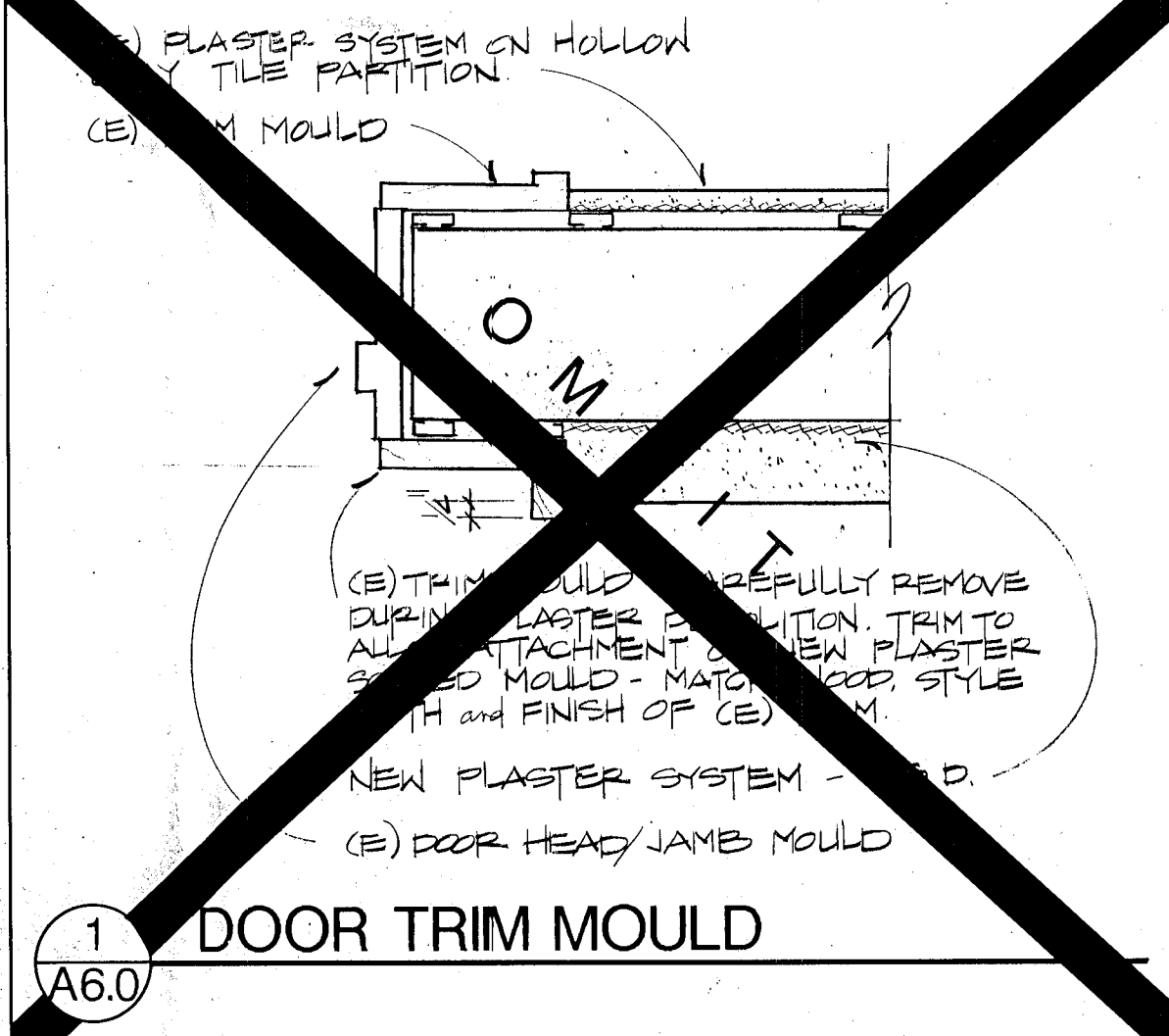
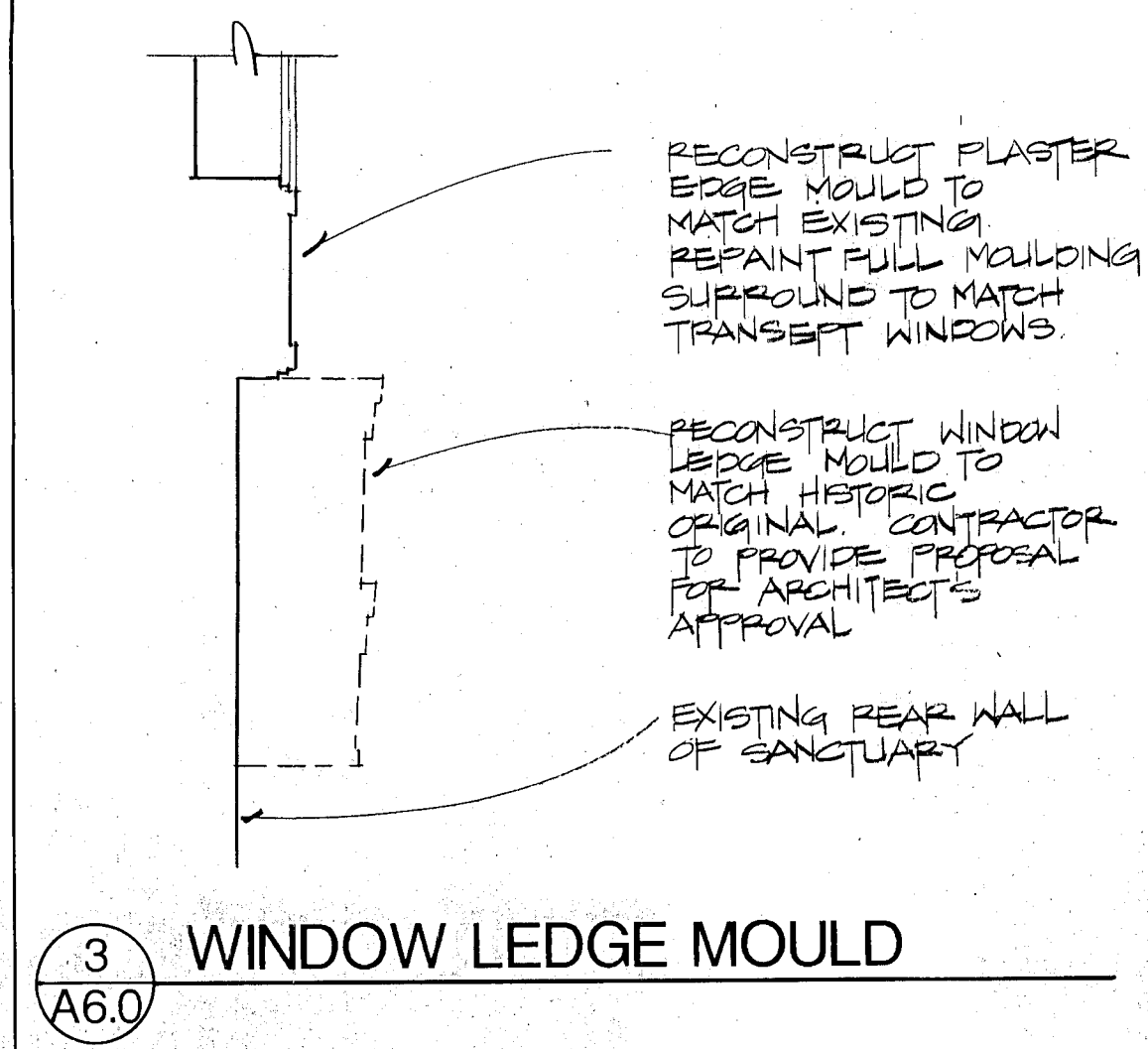
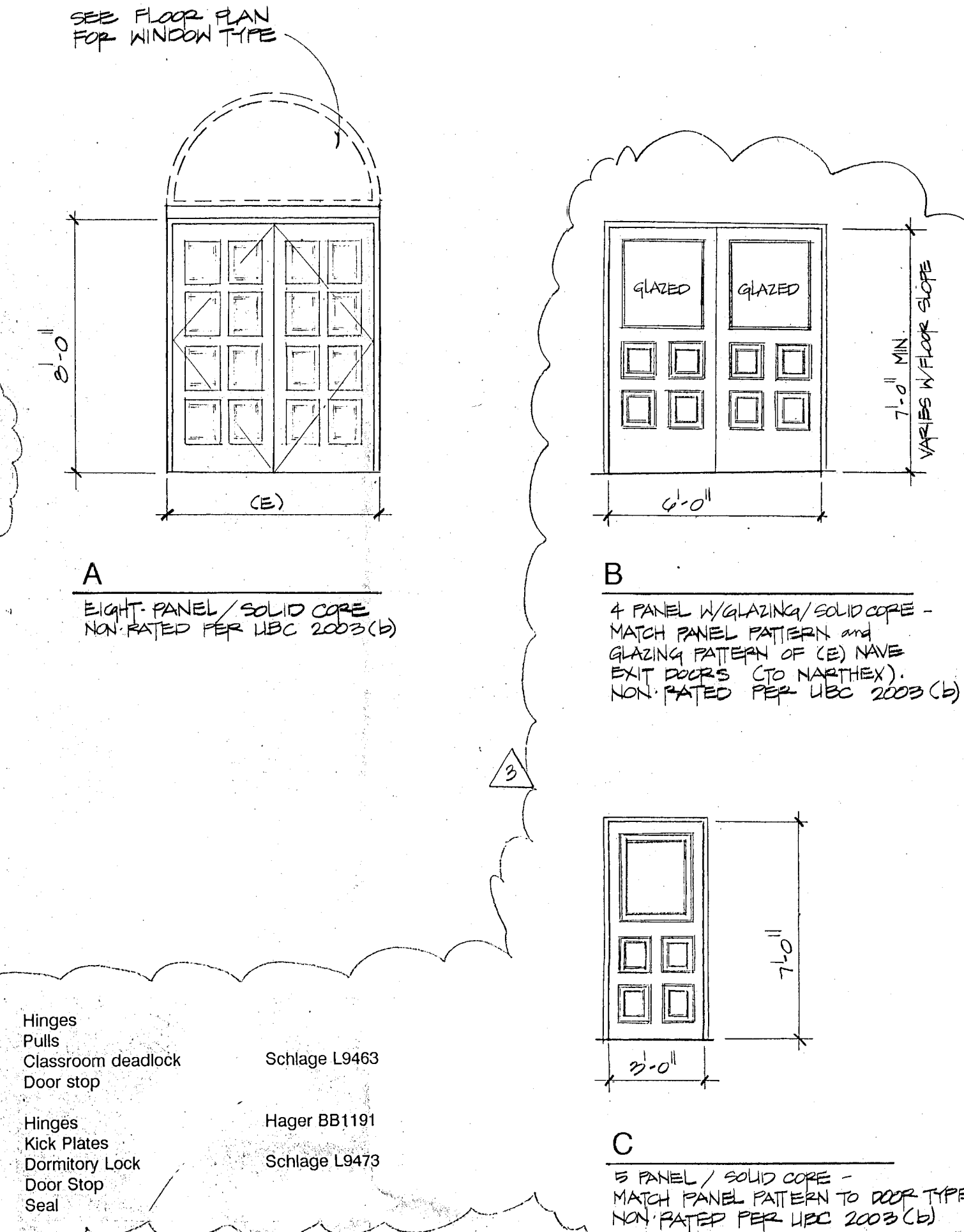
#4: Remove (E) door (and window above) and store to protect from damage during demolition and construction. Remove and store (E) frame and trim moulding if necessary to prevent damage. (This door has no lock or latch)

#5: Rehang door with reverse swing, per plan. Install new hardware as noted.

HARDWARE GROUPS:

Group 1:	3 Pr.	Hinges: Hager WTBB1191 @ Door #7	Group 2:	(E)	Hinges	
	2	Closers	(E)	1	Pulls	
	2	Kick Plates	(E)	1	Classroom deadlock	Schlage L9463
	2	Pulls		1	Door stop	
	1	Cylinder	Group 3:	1-1/2 pr.	Hinges	Hager BB1191
	2	Exit Devices (H.C. APPROVED)		2	Kick Plates	
	2	Door Stops		1	Dormitory Lock	Schlage L9473
	*	Seal		1	Door Stop	
				*	Seal	

DOOR TYPES



EKONA
EHRENKRANTZ KAMAGES
Architecture + Planning
855 Front Street
San Francisco, CA 94111
Tel: 415-956-4394
Fax: 415-956-3699



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3/1/90 PLAN CHECK CORRECTIONS

7/10/91 PHASE II REV.

No. Date Issues/Revisions

Title: DOOR & WINDOW SCHEDULES
DOOR & WINDOW DETAILS

Scale: 1-1/2" = 1'-0" U.N.O.

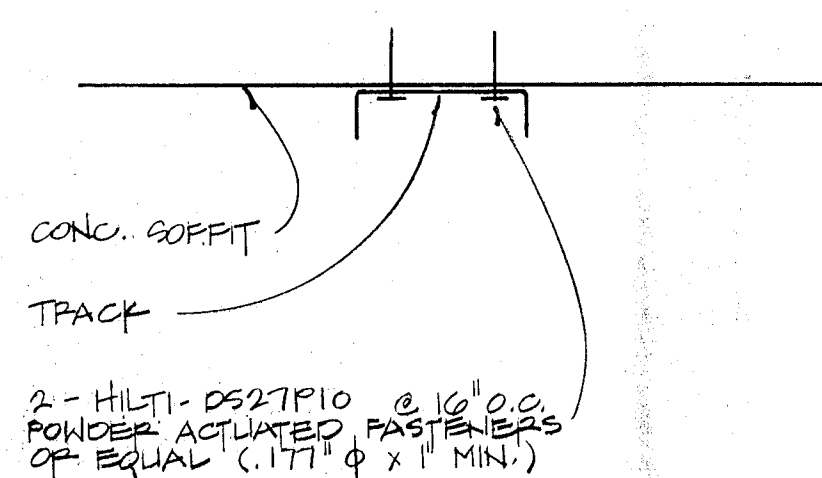
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Sheet Number: A6.0



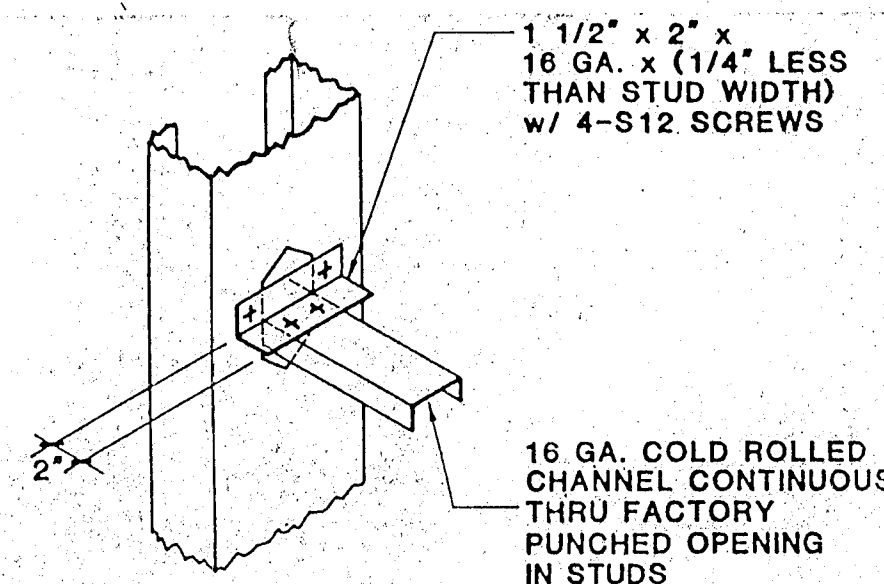
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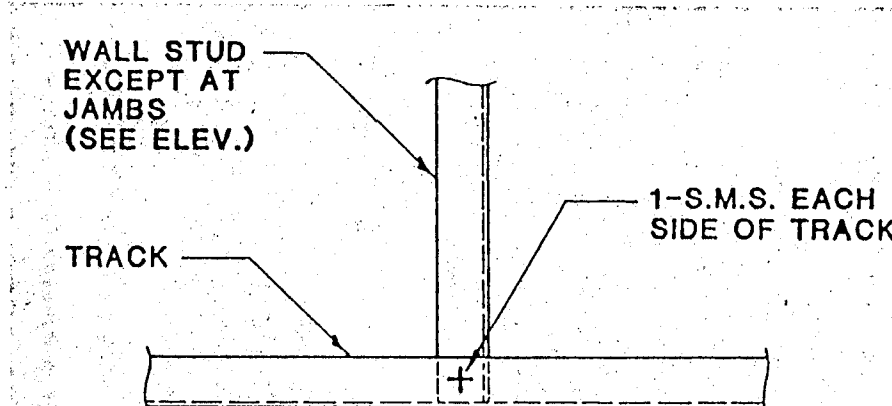
NOTE:
USE DETAIL 1/A7.1 FOR STUD TO TRACK
CONNECTION.

8 TYPICAL TOP TRACK
A7.1



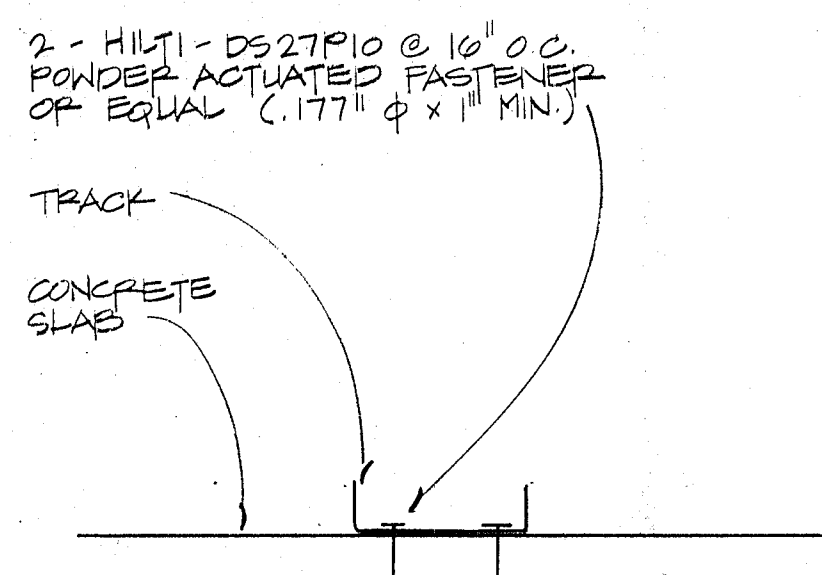
WALL HEIGHT "H"	APPROXIMATE LOCATION
0' - 10'	ONE ROW AT MIDSPAN
10' - 15'	TWO ROWS AT THIRDS PAN

4 BRIDGING DETAIL
A7.1



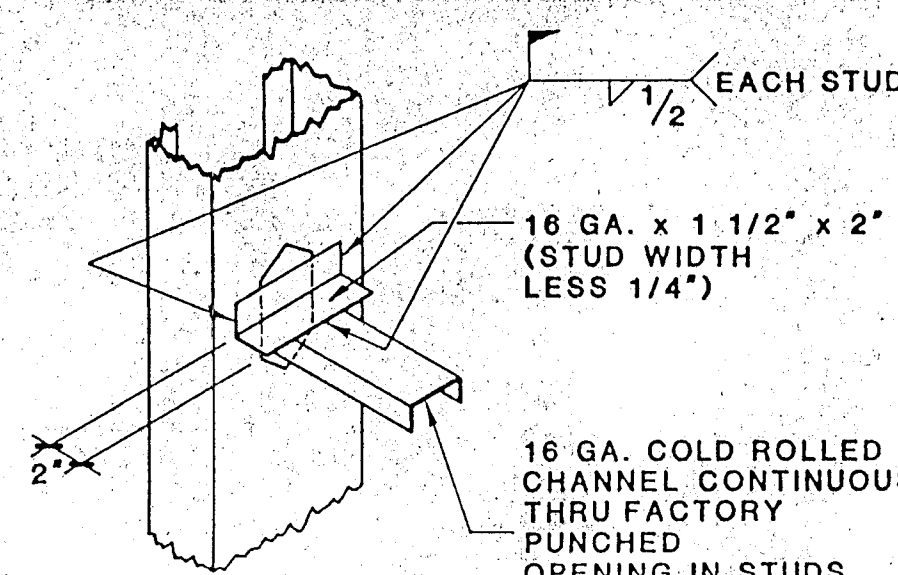
FOR CONNECTION TO TOP TRACK SEE TOP TRACK DETAILS

1 WALL STUD TO BOTTOM TRACK
A7.1



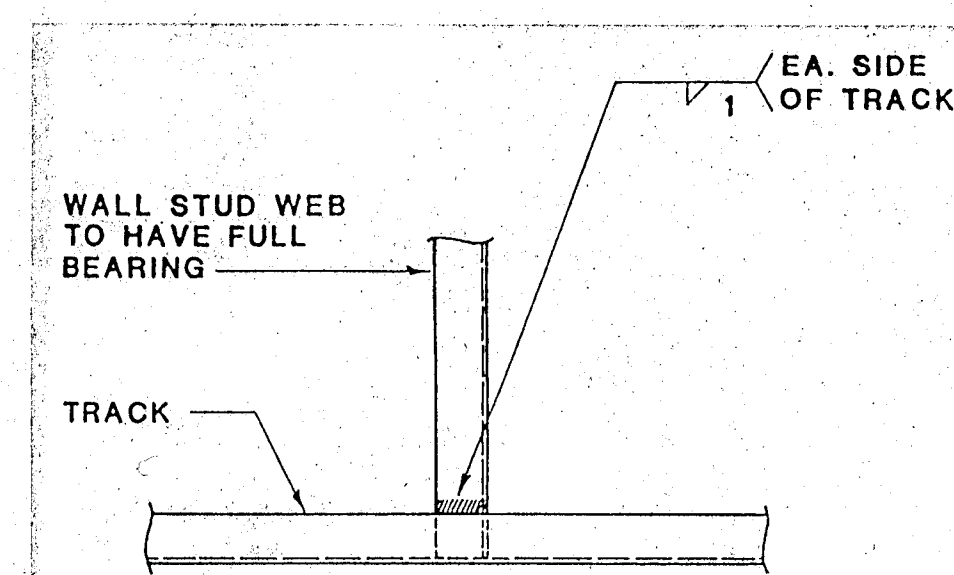
NOTE:
USE DETAIL 1/A7.1 OR 2/A7.1 FOR STUD TO
TRACK CONNECTION.

9 TYPICAL BOTTOM TRACK
A7.1



WALL HEIGHT "H"	APPROXIMATE LOCATION
0' - 10'	ONE ROW AT MIDSPAN
10' - 15'	TWO ROWS AT THIRD SPAN

5 BRIDGING DETAIL
ALTERNATE
A7.1



FOR CONN. TO TOP TRACK SEE TOP TRACK DETAILS

2 WALL STUD TO BOTTOM TRACK
ALTERNATE
A7.1

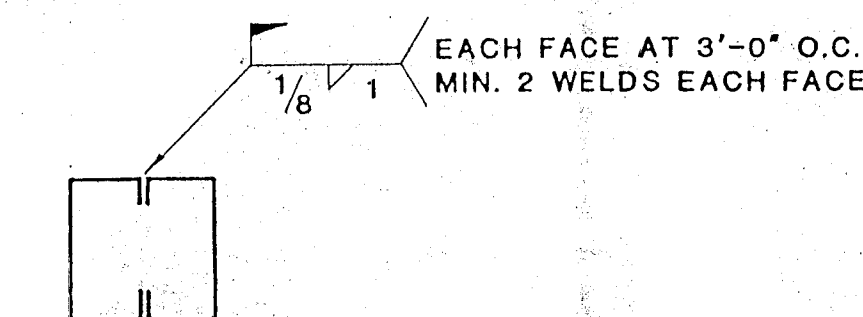
AREA	MAXIMUM STUD
WALL STUD ≤ 13'-0"	C6 x 20 ga @ 16" O.C.
JAMBS	DOUBLE C6 x 20 ga
TRACKS	T6 x 18 ga

FOR SILL & HEADER, SEE DETAILS

13 SCHEDULE OF WALL STUDS
A7.1

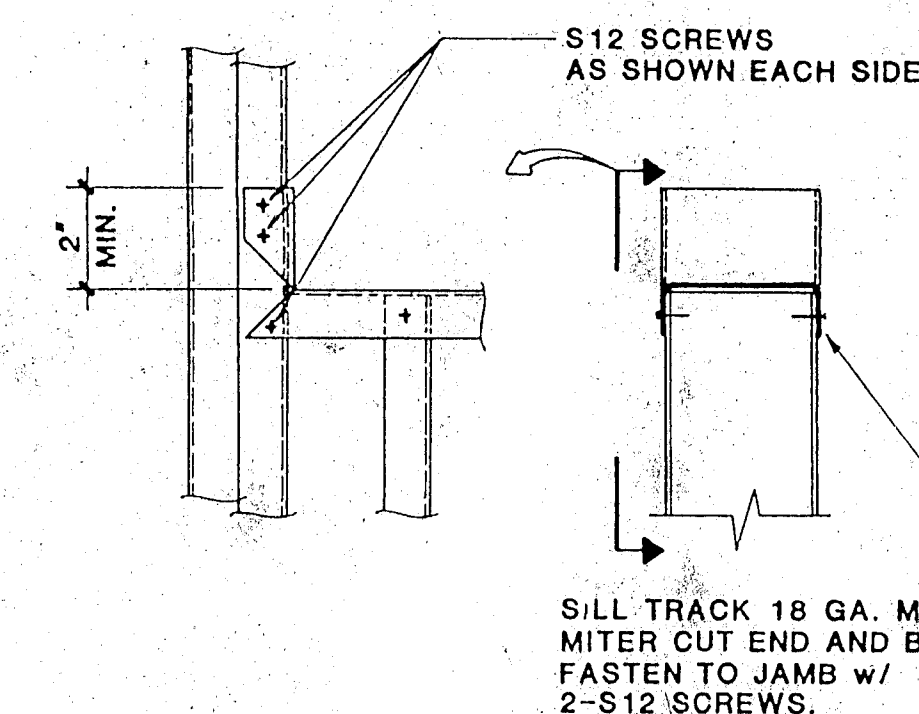
SHEET METAL 4" LONG w/
4-S TYPE SCREWS
AT 4'-0" O.C. EACH FACE

AT STUDS LESS THAN 18 GAGE



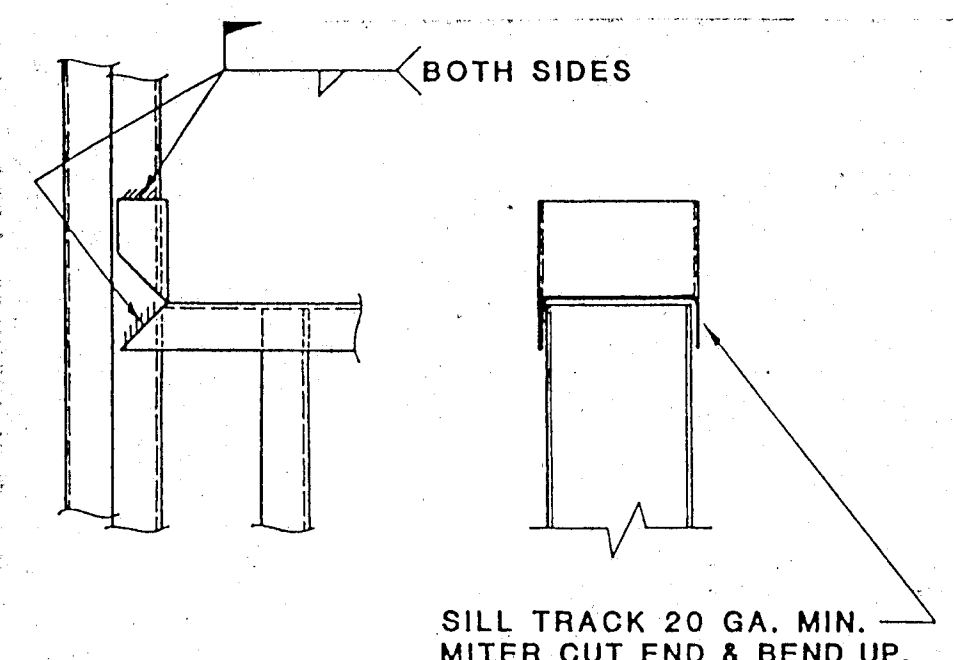
AT STUDS 18 GAGE AND THICKER

10 TYPICAL DOUBLE STUD
STITCH DETAIL
A7.1

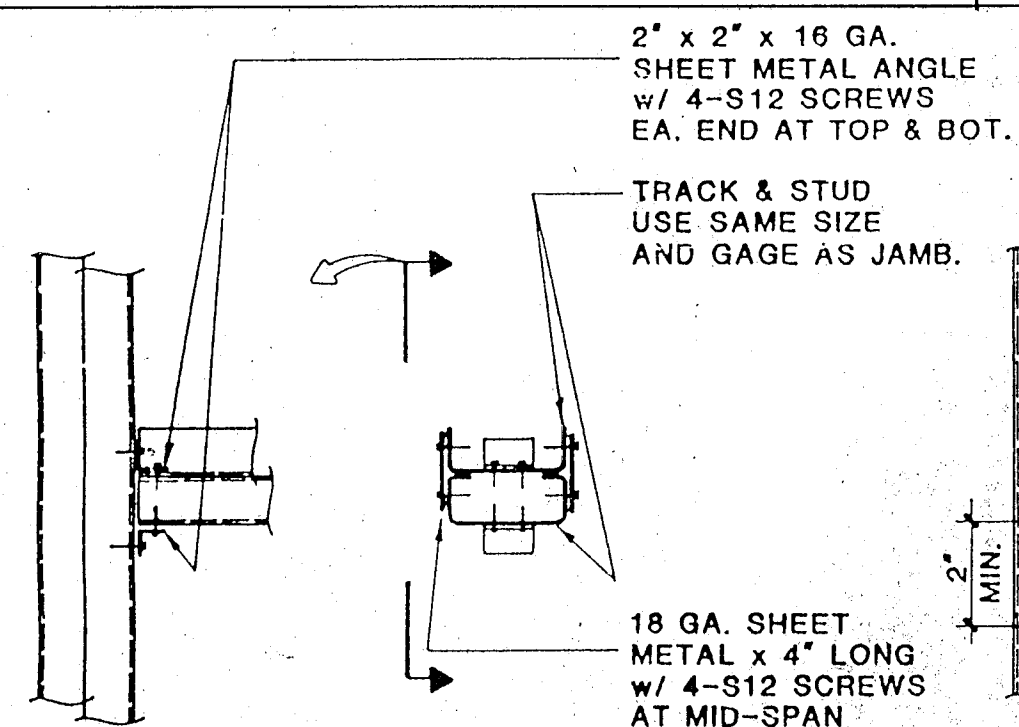


SILL TRACK 18 GA. MIN.
MITER CUT END AND BEND UP
FASTEN TO JAMB w/
2-S12 SCREWS.

6 SILL DETAIL
A7.1

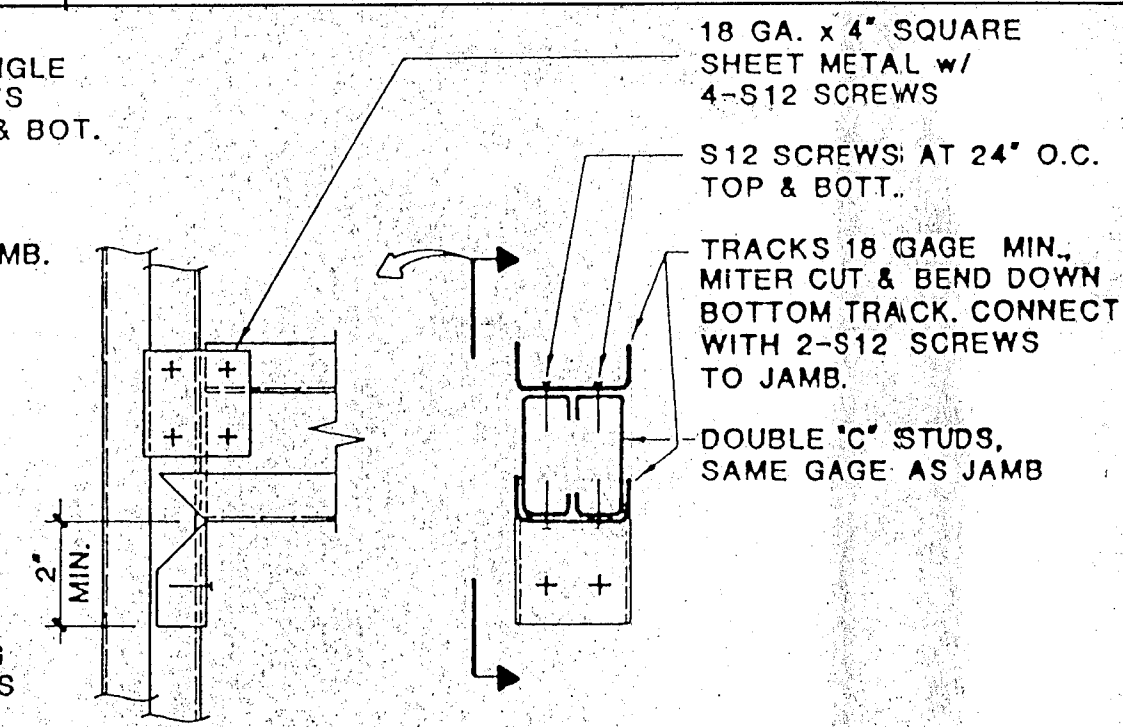


3 SILL DETAIL
ALTERNATE
A7.1

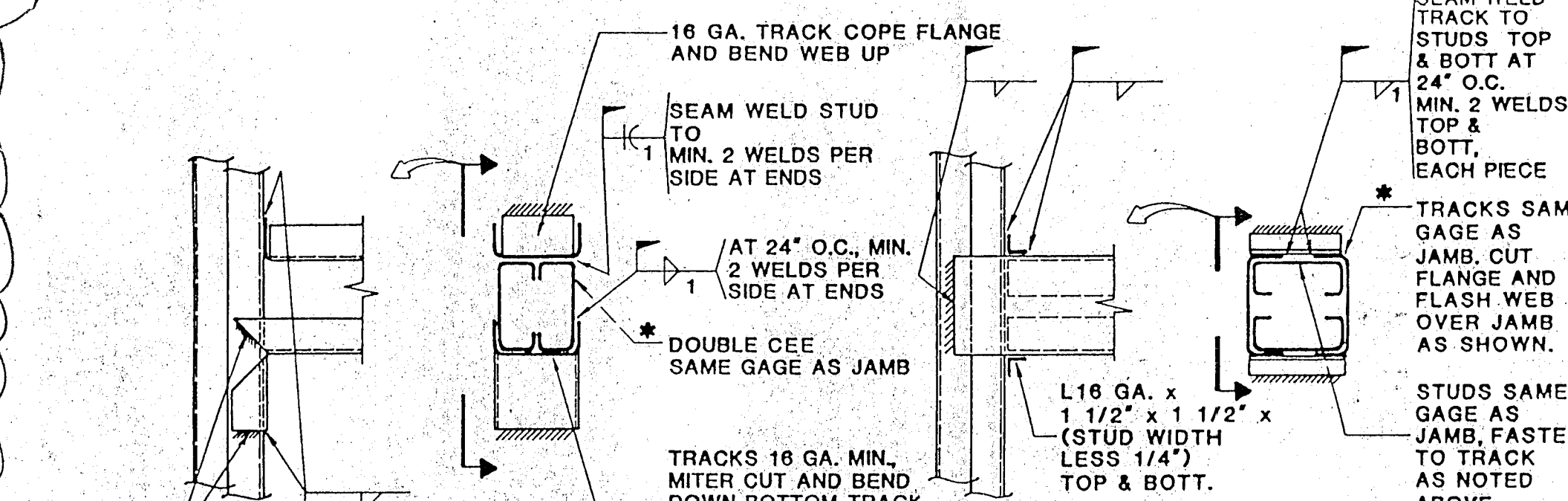


"W" LESS THAN OR EQUAL TO 4'-0"

14 TYPICAL HEADER DETAILS
A7.1



"W" BETWEEN 4'-0" AND 8'-0"



"W" LESS THAN 8'-0"-INTERIOR OPENINGS
* 4" STUDS AT OPNG. LESS THAN OR EQUAL TO 4'-0"
6" STUDS AT OPNG. LESS THAN OR EQUAL TO 6'-0"
8" STUDS AT OPNG. LESS THAN OR EQUAL TO 8'-0"
"W" LESS THAN 8'-0"-EXTERIOR OPENINGS, U.O.N.
* 4" TRACKS AT OPNG. LESS THAN OR EQUAL TO 4'-0"
6" TRACKS AT OPNG. LESS THAN OR EQUAL TO 6'-0"
8" TRACK AT OPNG. LESS THAN OR EQUAL TO 8'-0"

7 TYPICAL HEADER DETAILS
ALTERNATE
A7.1

7/19/91 PHASE II REV.

No. Date Issues/Revisions

Title: TYPICAL FRAMING
DETAILS

Scale

Project Number
28901.01

Sheet Number

Date
12/27/90

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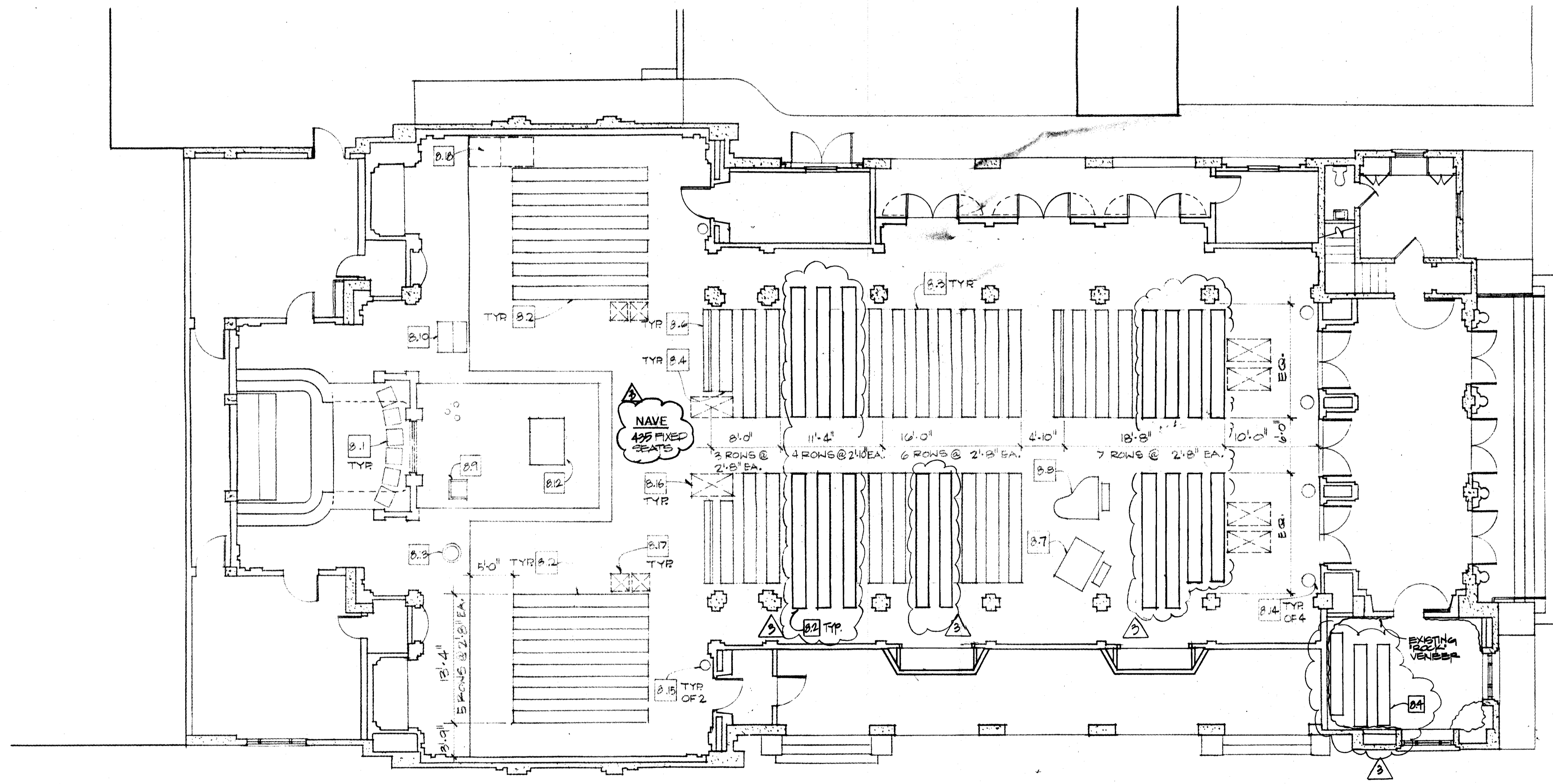
A7.1

SHEET NOTES

- See Renovation Floor Plan A2.0 for flooring finishes and boundaries.

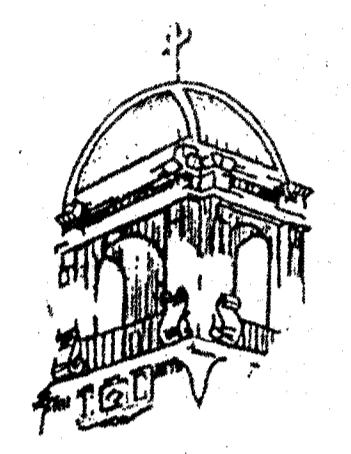
KEY NOTES

- 8.1 New flexible seating. Architect to specify.
- 8.2 Relocate existing 15'-5" pews as shown.
- 8.3 Relocate existing 12'-5" pews as shown.
- 8.4 Relocate existing 9'-5" pews as shown.
- 8.5 (2) 12'-5" pews restructured from existing 15'-5" pews to match existing 12'-5" pews. See Specification Section 6406. Verify number of pews needing restructuring.
- 8.6 Relocate existing 9'-5" pew kneeler as shown.
- 8.7 Relocate existing organ console and bench from loft - S.M.D.
- 8.8 Relocate existing piano and bench as shown.
- 8.9 Relocate existing president's chair as shown.
- 8.10 Relocate existing ambo as shown. Refinish raised step to match wood veneer.
- 8.11 Relocate existing lectern as shown.
- 8.12 New wood altar.
- 8.13 Relocate existing 24" dia. hexagonal marble baptismal font as shown.
- 8.14 Relocate existing 18" dia. hexagonal marble holy water font as shown.
- 8.15 Relocate existing 12" dia. hexagonal marble holy water font as shown.
- 8.16 Wheelchair seating clearance of 30"x60" - 6 locations required for 301 - 500 seat capacity per CAL/ABL California Architectural Barriers Laws 1989 edition, and Title 24 CCR Building Code Section 611.
- 8.17 Semi-ambulatory seating clearance of 24"x24" in front of fixed seat - 1% of total seating capacity required (4 locations) per CAL/ABL California Architectural Barriers Laws 1989 edition, and Title 24 CCR Building Code Section 611.
- 8.18 3'-6" wide x 7'-6" long movable ramp (1:15 max. slope) - see Detail 14/A7.0.



1 FURNISHING FLOOR PLAN
A8.0

EKONA
EHRENKRANTZ KAMAGES
Architecture + Planning
501 Second Street
Studio Suite 415
San Francisco, CA 94107
Tel: 415-543-0707
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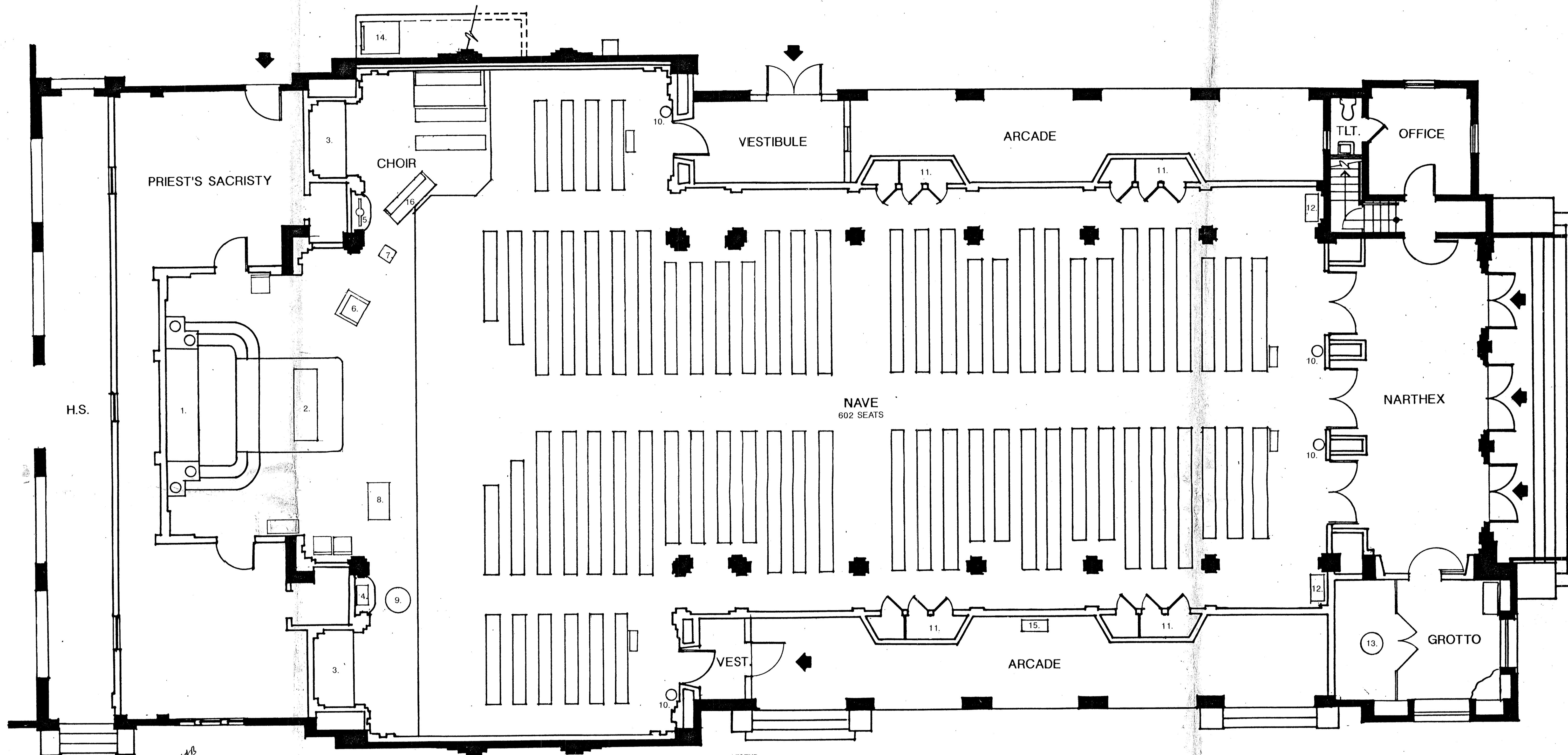
3/1/90 PLAN CHECK CORRECTIONS
PAGE II REV.

No.	Date	Issues/Revisions

The **FURNISHING FLOOR PLAN**

Scale: 1/8" = 1'-0"

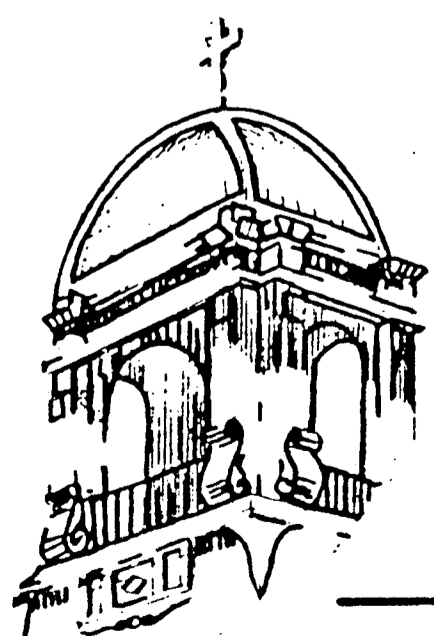
Project Number: 28909.03 Issue Number:
 Date:
 Drawn by:
 Checked by: **A8.0**



*Approved by HAZ
7/15/90
f.w.*

LEGEND

- 1. Original high altar and tabernacle w/added baldichino
- 2. Main Altar
- 3. Side Altar w/statuary
- 4. Ambry
- 5. Tintinabulum
- 6. Presider's chair
- 7. Auxiliary lectern
- 8. Ambo
- 9. Baptismal font
- 10. Free-standing holy water vessel
- 11. Confessionals
- 12. Votive candles
- 13. Canopeum
- 14. Boiler room access ladder
- 15. Exterior devotional statue
- 16. Piano



ST. JOSEPH BASILICA
Alameda, California

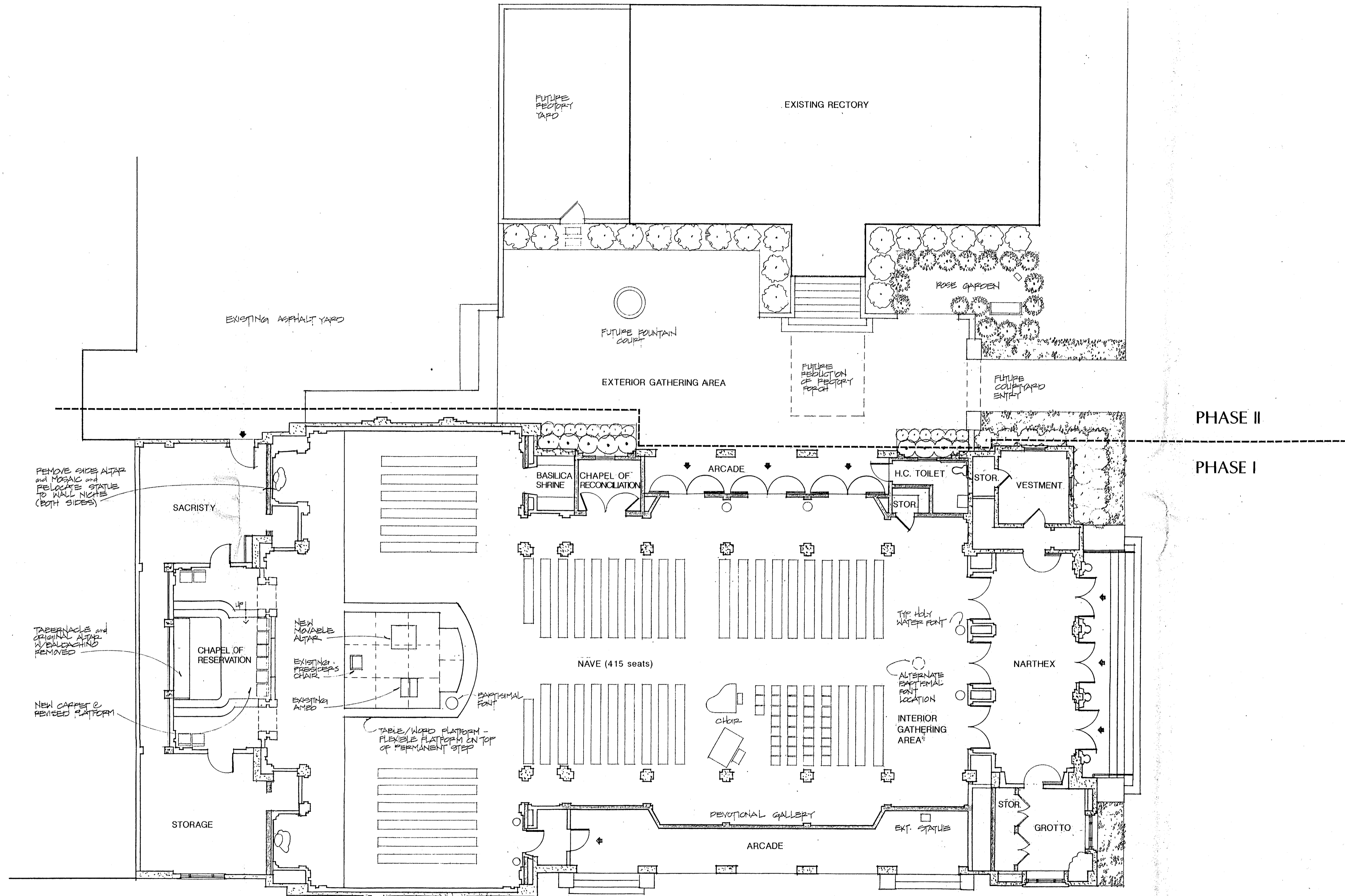
EXISTING BASILICA PLAN

EKONA
EHRENKRANTZ KAMAGES

RECEIVED
AUG 22 1990
PLANNING DEPARTMENT
CITY OF ALAMEDA

23 JULY 1990

3/16" = 1'-0"



PROPOSED BASILICA RENOVATION PLAN

EKONA

EHRENKRANTZ KAMAGES
Architecture + Planning
855 Front Street
San Francisco, CA 94111
Tel: 415-956-4394
Fax: 415-956-3699



St. Joseph Roman
Catholic Basilica
Rehabilitation and
Restoration

1109 CHESTNUT STREET
ALAMEDA, CA 94501

PHASE II

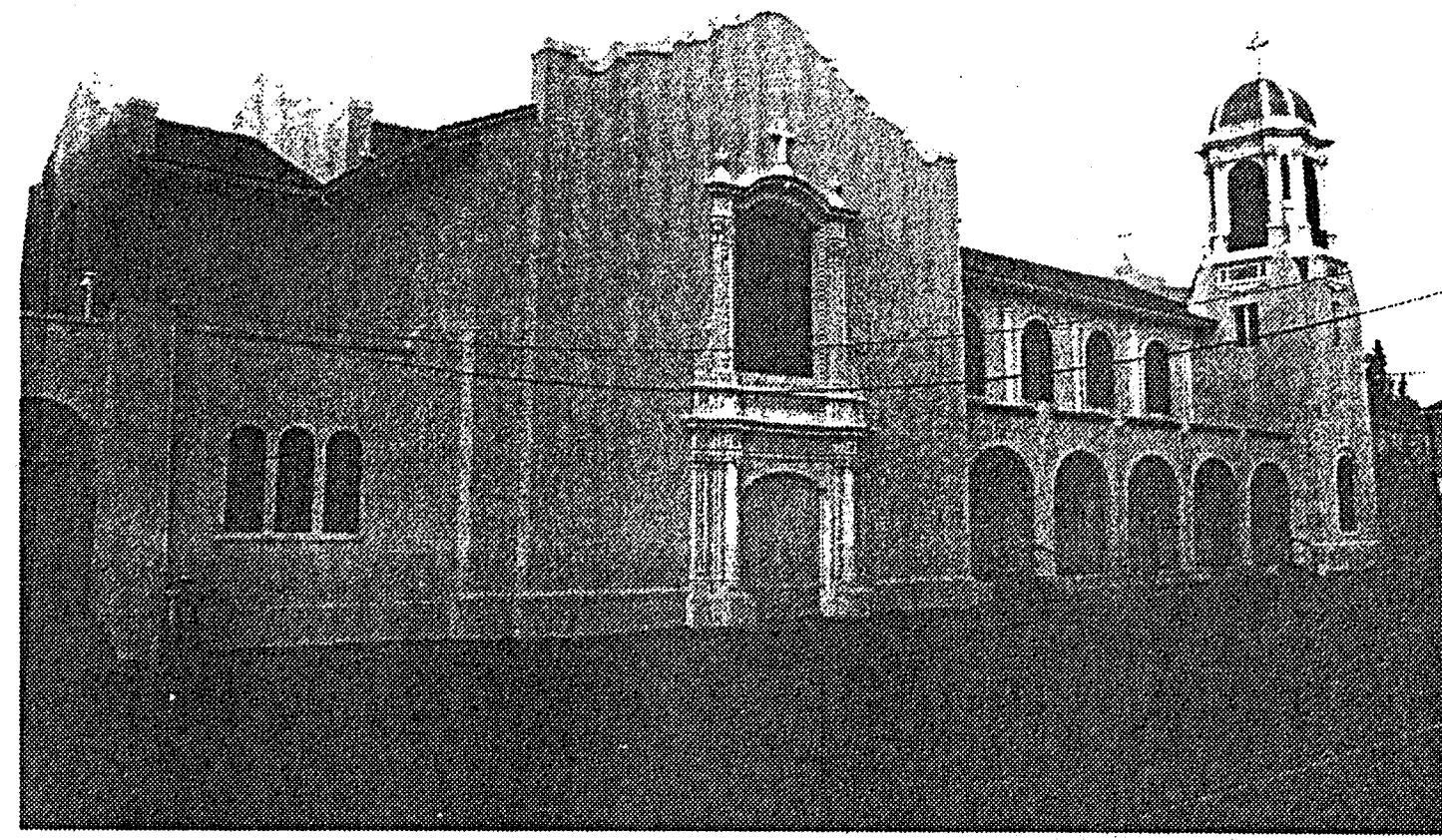
PHASE I

No	Date	Issues/Revisions

Title
FLOOR PLAN

Scale 1/8" = 1'-0"

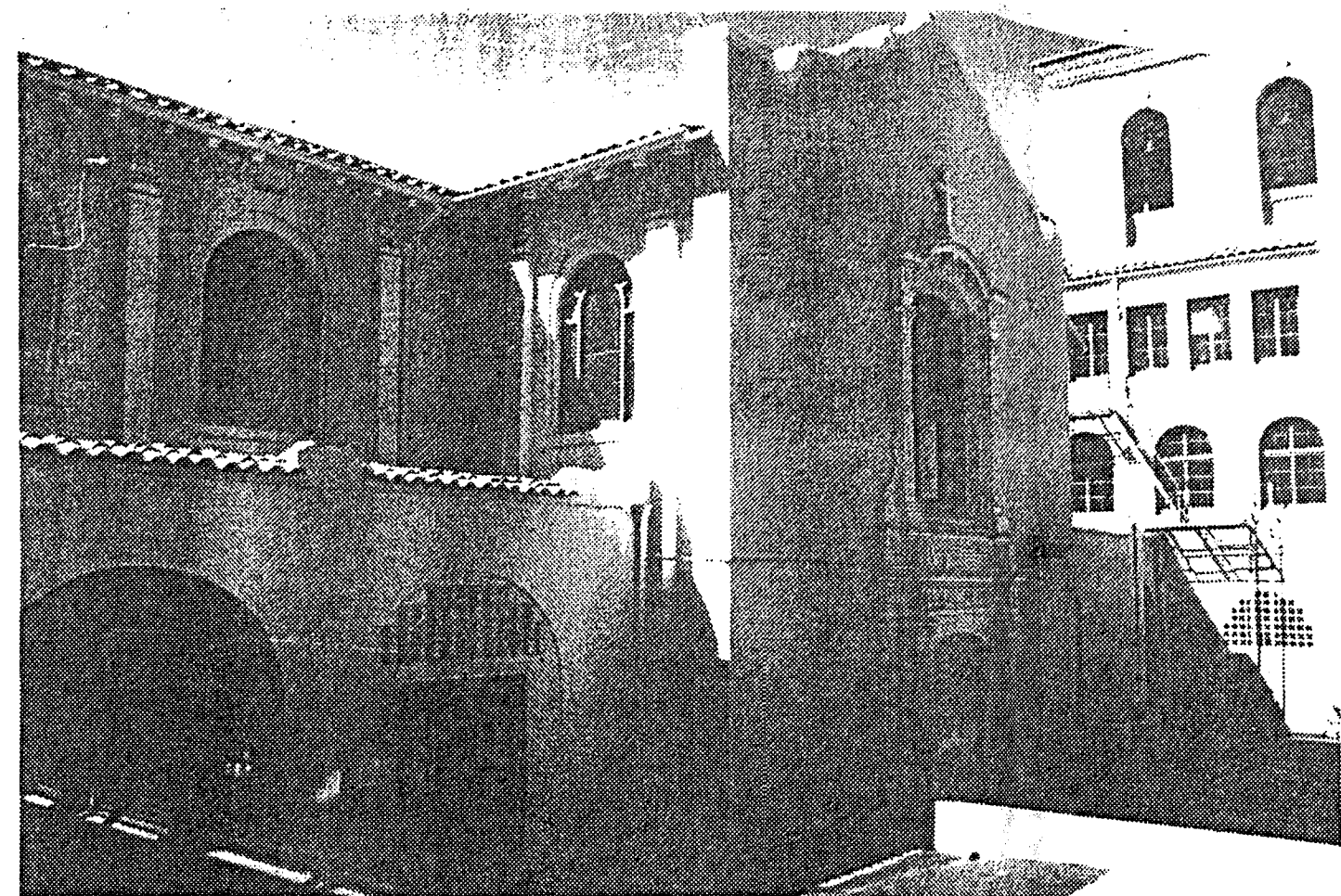
Project Number 28909.01	Sheet Number
Date 21 AUGUST 1990	
Drawn by	
Checked by	



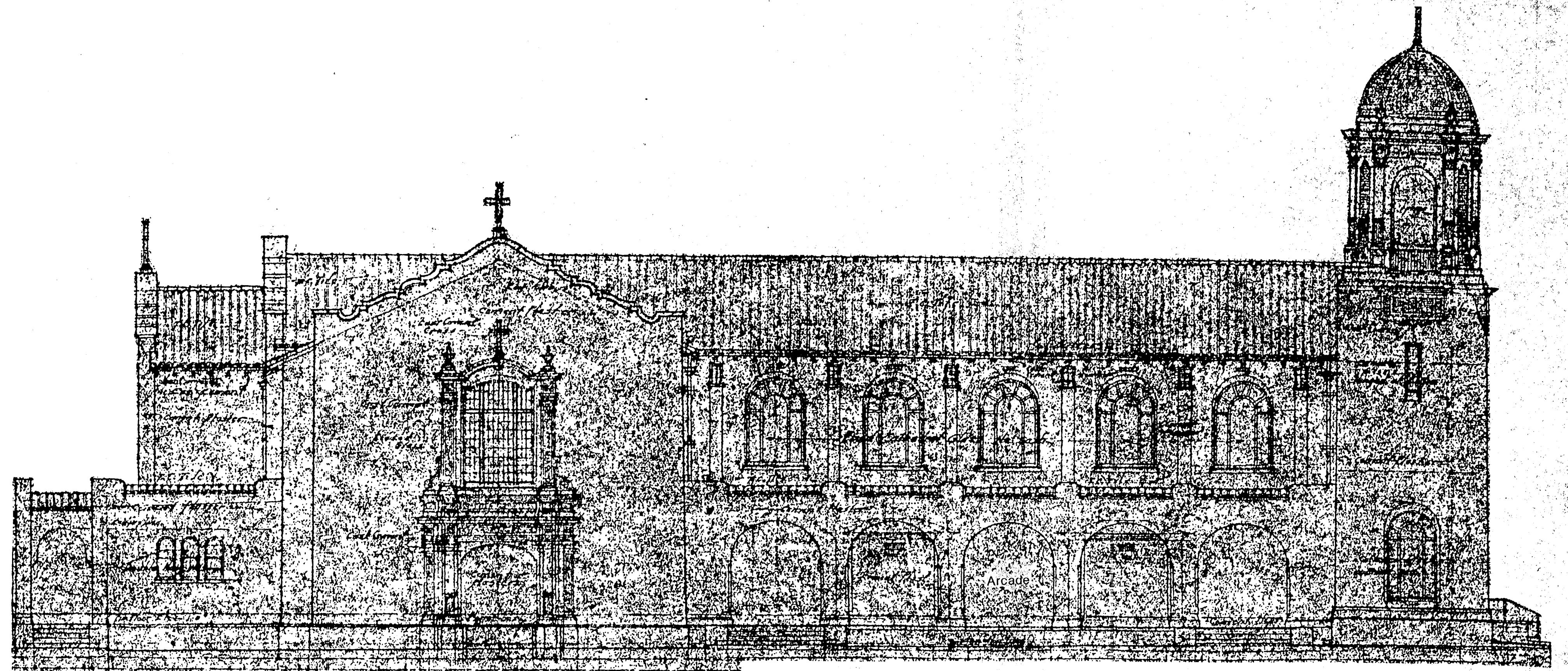
South Facade (originally the San Antonio Street Facade), 1989



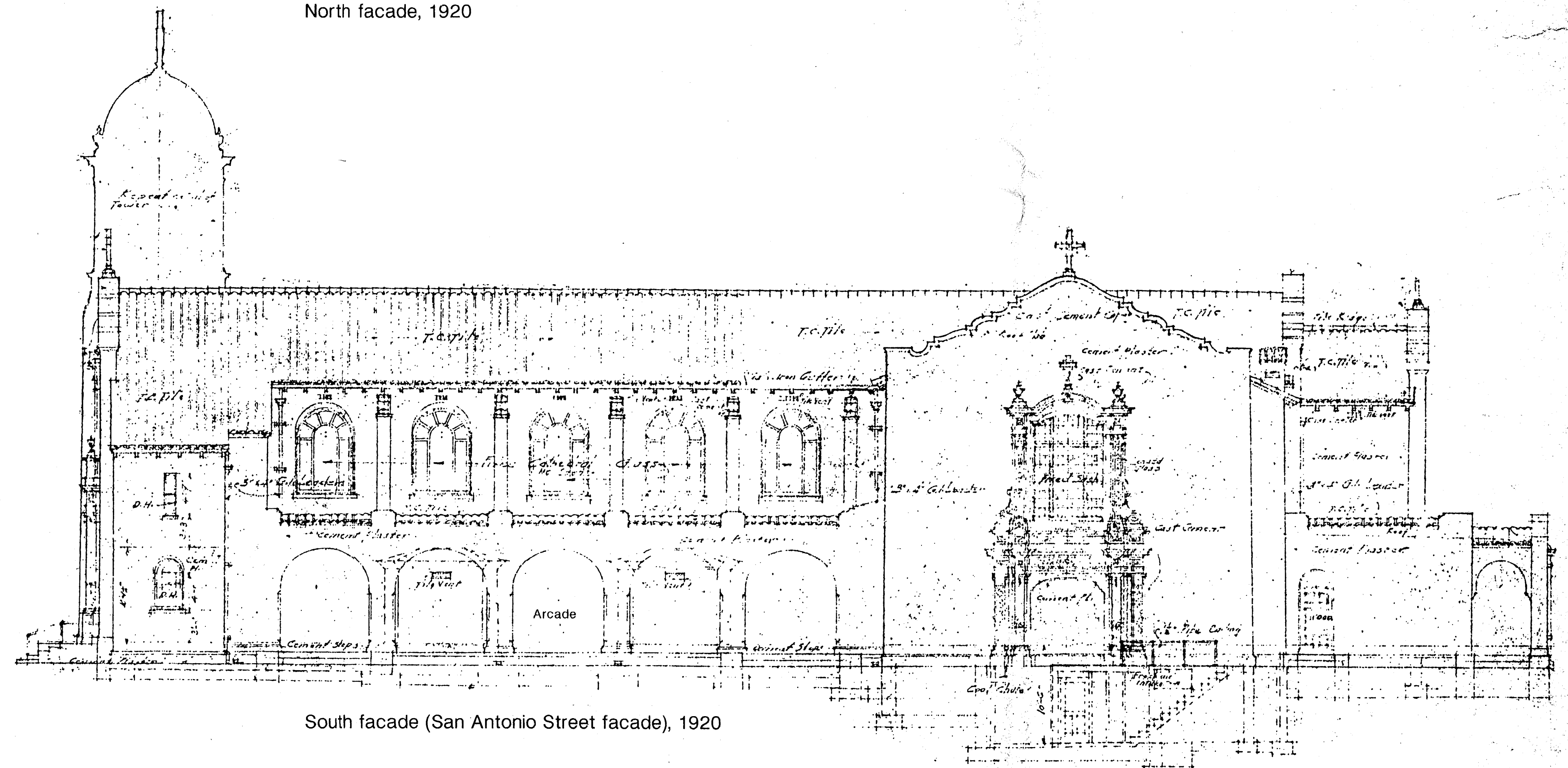
East and North Facade w/Parish Hall Entry in foreground and High School Bell Tower in background, 1989



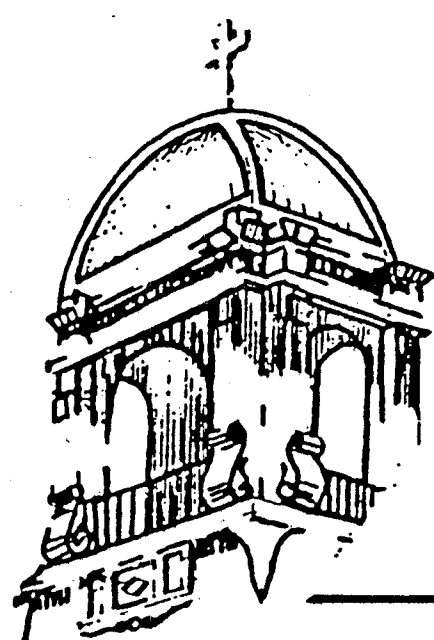
North Facade: Transept ornamentation and entry vestibule, 1989



North facade, 1920



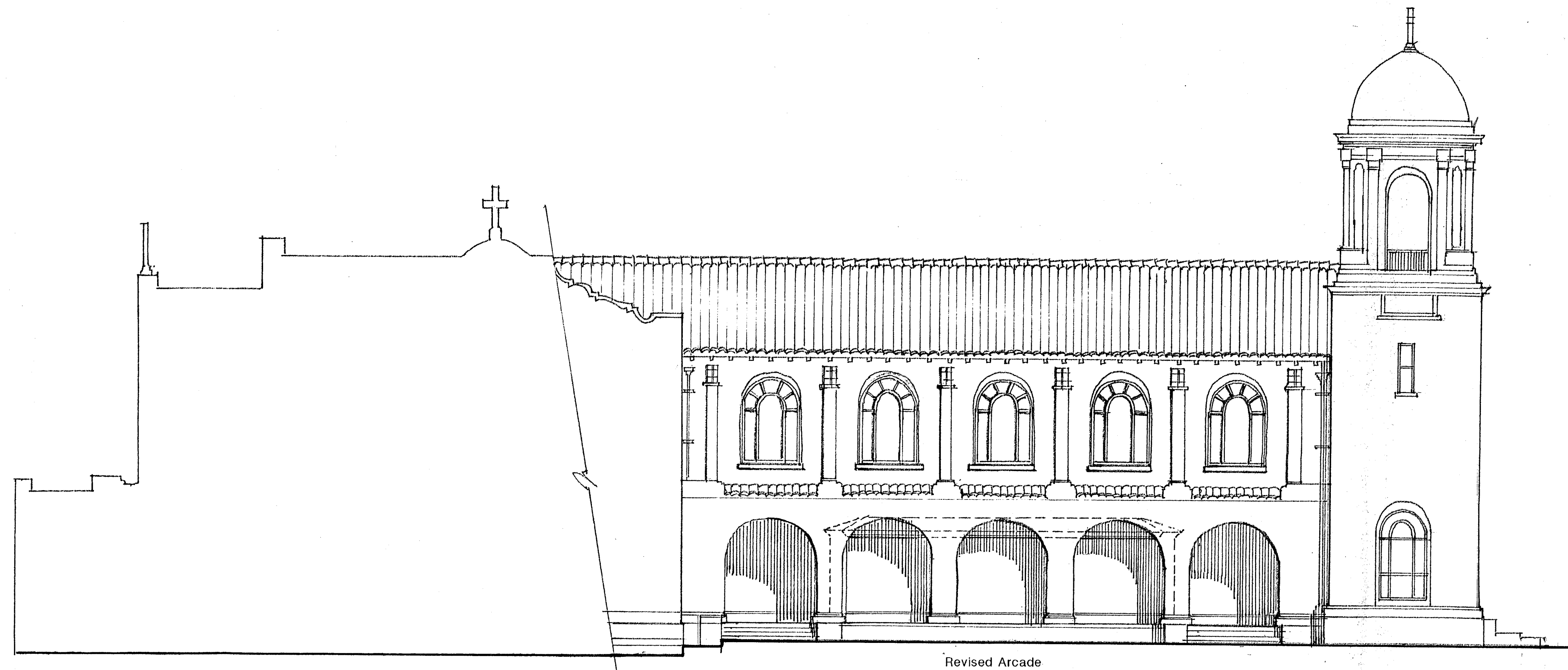
South facade (San Antonio Street facade), 1920



ST. JOSEPH BASILICA
Alameda, California

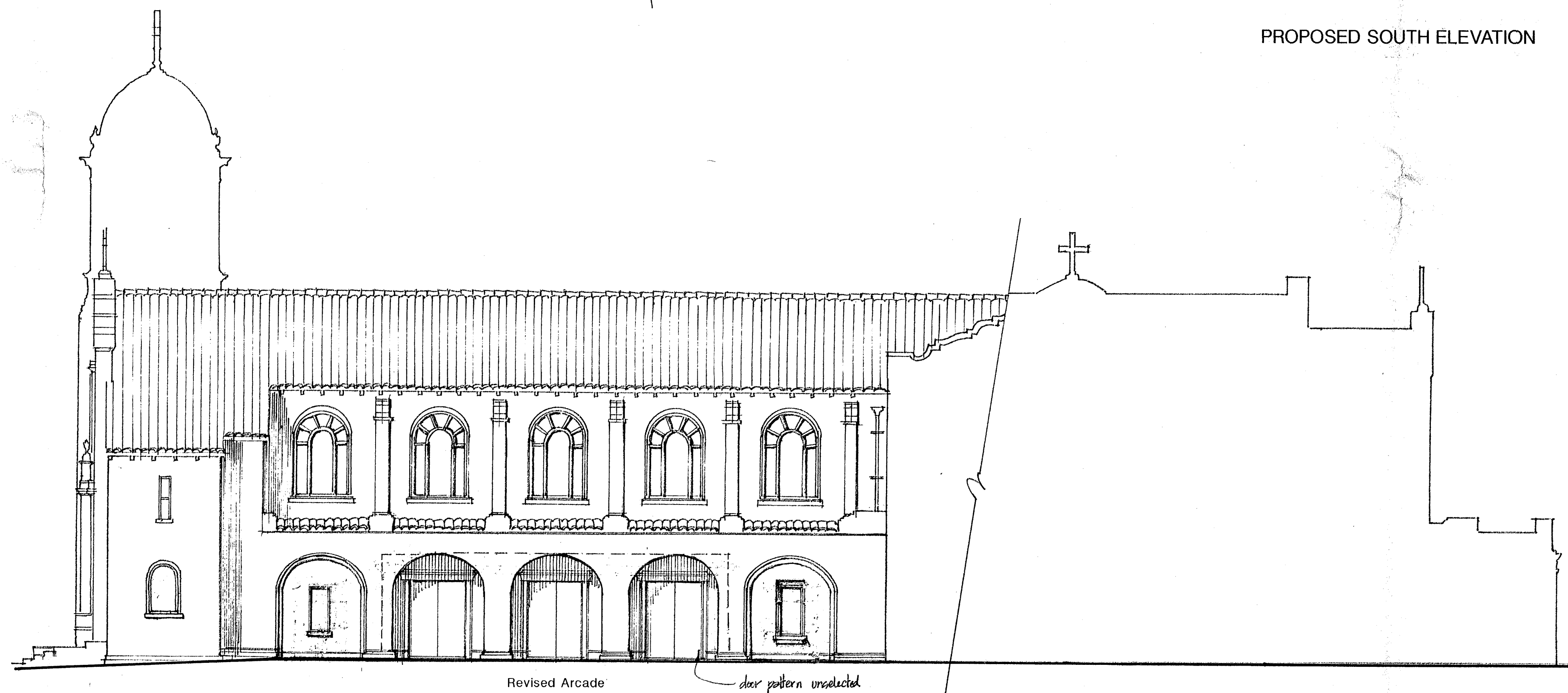
EXISTING EXTERIOR ELEVATIONS

EKONA
EHRENKRANTZ KAMAGES



Revised Arcade

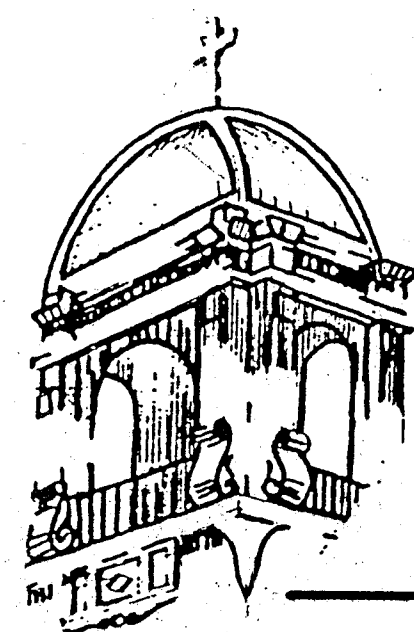
PROPOSED SOUTH ELEVATION



Revised Arcade

door pattern unselected

PROPOSED NORTH ELEVATION



ST. JOSEPH BASILICA
Alameda, California

PROPOSED EXTERIOR ELEVATIONS

EKONA
EHRENKRANTZ · KAMAGES

NEW CHAPEL SCREEN PROPOSED AT FRONT EDGE OF SANCTUARY.

~~PUT BACK MARBLE STEP TO FRONT EDGE OF THE SANCTUARY.~~

TRANSEPT SEATING TO BE REPOSITIONED.

CONFESSIONALS TO BE REMOVED. MID-SECTION OF WALL (OUT OF PHOTOGRAPH) TO BE MOVED OUT TO ALIGN WITH EXISTING BACK WALL OF CONFESSIONALS.



ORIGINAL STAINED GLASS WINDOW, COVERED IN THE 1962 RENOVATIONS, TO BE UNCOVERED and RESTORED.

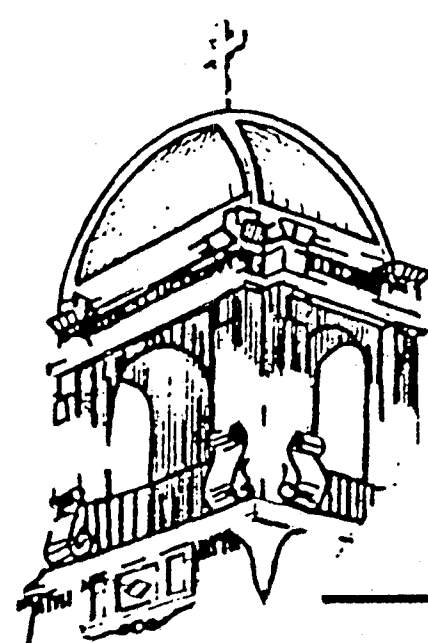
EXISTING BALDACHINO (circa 1962) TO BE REMOVED.

REAR SANCTUARY WALL TO BE REDEFINED WITH NEW MOULDING IN PLACE OF ORIGINAL PEREDES (REMOVED IN 1962).

ORIGINAL HIGH ALTAR and TABERNACLE TO BE RESTORED AFTER REMOVAL OF BALDACHINO.

ALTAR (TABLE) TO BE MOVED FORWARD ON A NEW PLATFORM CENTRALLY LOCATED UNDER THE BELL CHANDELIER.

NEW FLOORING TO BE INSTALLED FOR ACOUSTICS REFINEMENT.



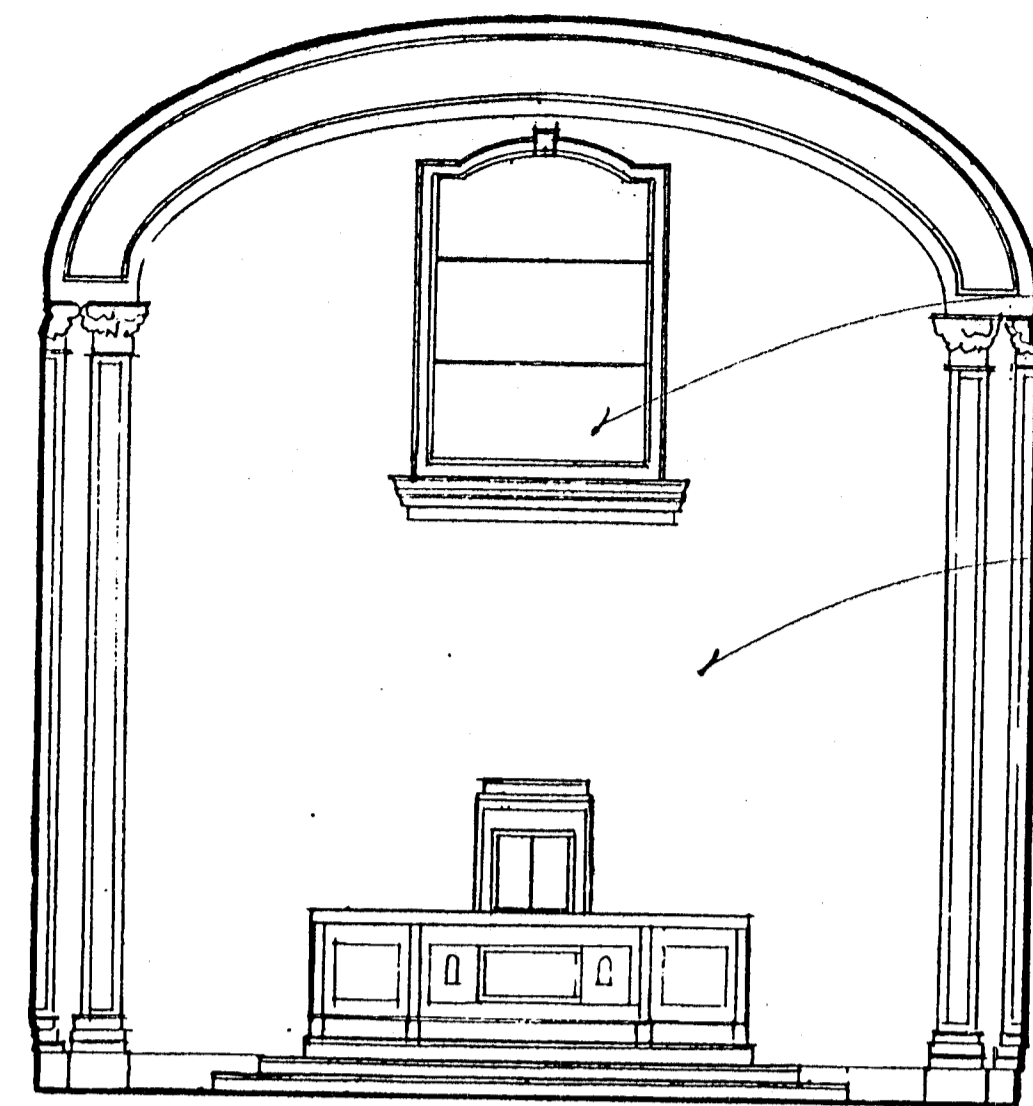
ST. JOSEPH BASILICA

Alameda, California

EXISTING INTERIOR

EKONA

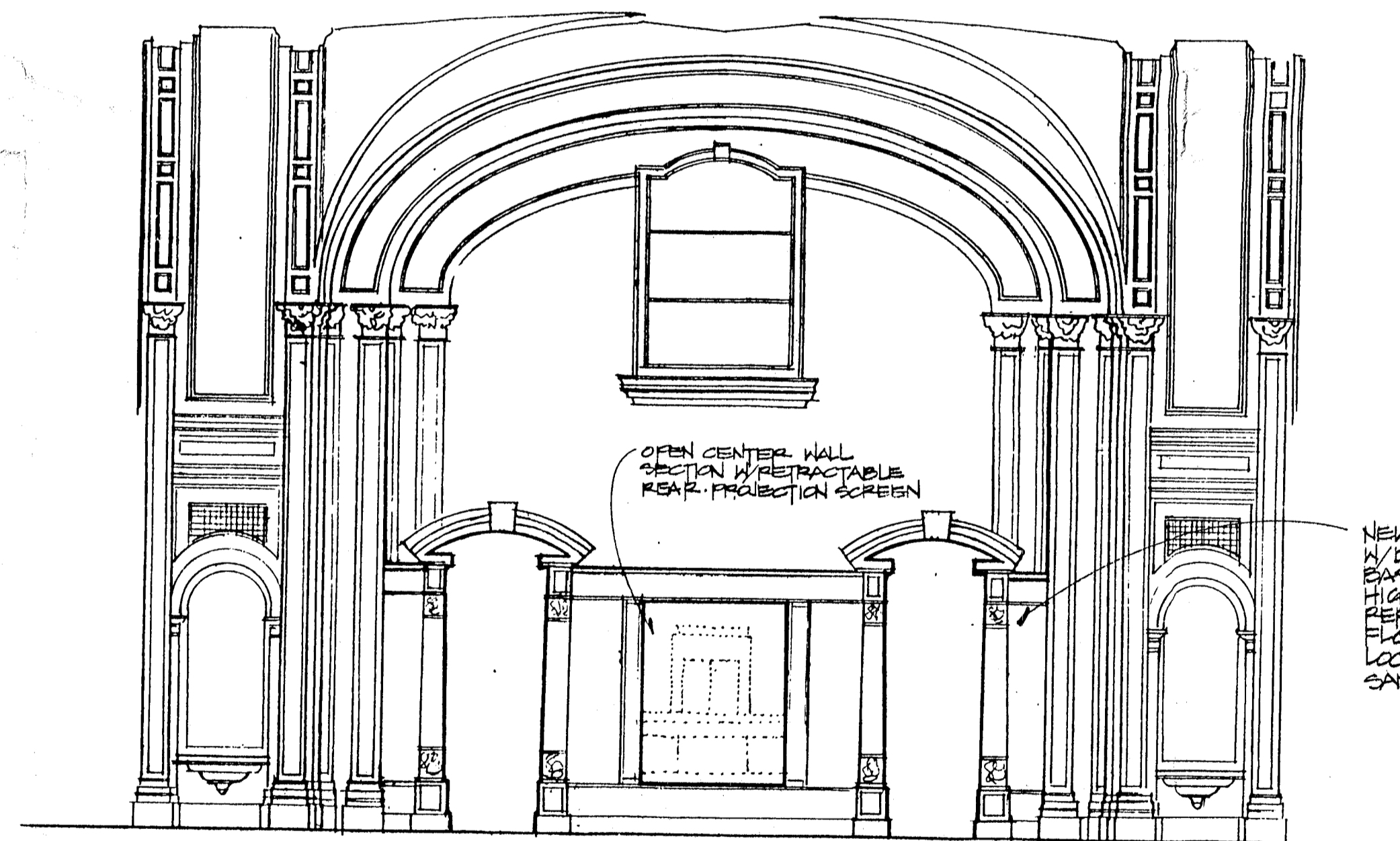
EHRENKRANTZ KAMAGES



RESTORATION OF EXISTING STAINED GLASS WINDOW NOW COVERED BY BALDACHINO.

FATCH AND FAINT REAR WALL AFTER REMOVAL OF BALDACHINO. WALL WILL BE LEFT FREE OF ADDITIONAL ORNAMENTATION TO CREATE A SERENE BACKDROP TO THE TABERNACLE, THE FOCUS OF ATTENTION WITHIN THE CHAPEL.

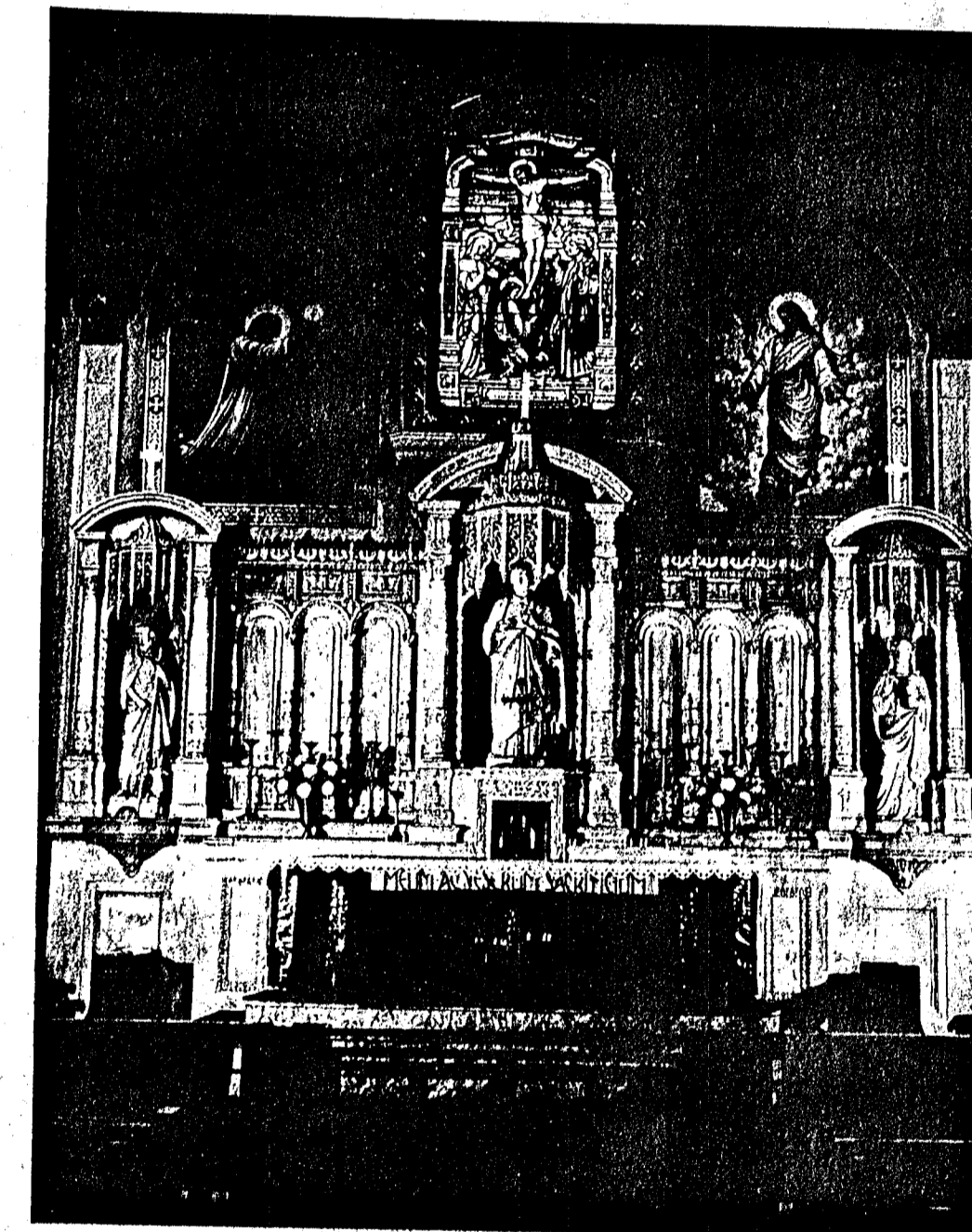
TABERNACLE WALL AT CHAPEL OF RESERVATION



OPEN CENTER WALL SECTION IN RETRACTABLE REAR PROJECTION SCREEN

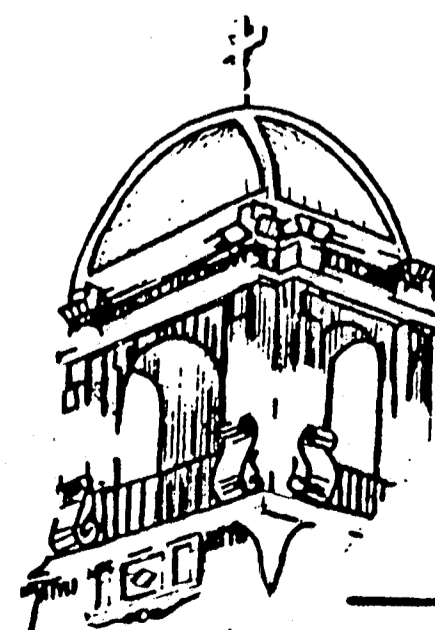
NEW SCREEN WALL W/ DESIGN DETAILING BASED ON ORIGINAL HIGH ALTAR PLASTER REREDOS. SEE FLOOR PLAN FOR LOCATION IN EXISTING SANCTUARY.

CHAPEL OF RESERVATION SCREEN



JOHN WOOD PHOTOGRAPHY

ORIGINAL REREDOS
REMOVED FOR BALDACHINO INSTALLATION IN 1960'S



ST. JOSEPH BASILICA
Alameda, California

PROPOSED CHAPEL OF RESERVATION ELEVATIONS

EKONA
EHRENKRANTZ KAMAGES



DOORS and MULLIONS TO MATCH
EXISTING INTERIOR NARTHEX
ENTRY DOORS.

PROPOSED ARCADE ENTRY DOORS - INTERIOR VIEW

SECTION AT PROPOSED ARCADE

No	Date	Issues/Revisions

Title	
Scale 1/2" = 1'-0"	
Project Number	Sheet Number
Date 22 AUGUST 1990	
Drawn by	
Checked by	

CITY OF ALAMEDA RESOLUTION NO. 13198

CLOSING CHESTNUT STREET BETWEEN SAN ANTONIO AVENUE AND
SAN JOSE AVENUE TO VEHICULAR TRAFFIC DURING SCHOOL HOURS

WHEREAS, Section 21102 of the California Vehicle Code authorizes local jurisdictions to close a public street to vehicle traffic if the street divides a school campus and the local jurisdiction finds that the closure is necessary for the protection of persons attending such school; and

WHEREAS, Chestnut Street between San Antonio Avenue and San Jose Avenue divides the campus of the St. Joseph's School; and

WHEREAS, the City has certified and adopted on March 11, 2000 a Mitigated Negative Declaration and has made findings which, in pertinent part, conclude that there are no significant adverse environmental effects from closing Chestnut Street between San Antonio Avenue and San Jose Avenue; and

WHEREAS, approximately 1,700 students cross Chestnut Street where it divides the St. Joseph's School every school day; and

WHEREAS, the use of this section of Chestnut Street by vehicles during the school day poses a significant safety risk to the students who attend the St. Joseph's School.

NOW, THEREFORE, BE IT RESOLVED, Chestnut Street shall be closed to vehicle traffic between San Antonio Avenue and San Jose Avenue only on the days and during the hours when St. Joseph's School is in session, beginning no earlier than 15 minutes after the first instructional period has commenced, and ending no later than 15 minutes prior to the end of the last period of instruction.

BE IT FURTHER RESOLVED, there shall be no dwelling units within the portion of the street to be closed which need to use the street for vehicular access.

BE IT FURTHER RESOLVED, prior to beginning the school hours street closure, the applicant shall submit and obtain approval of a Traffic Control Plan, including but not limited to a Signing, Striping and Detour Plan, acceptable to the Public Works Director, in consultation with the Police and Fire Departments. The applicant shall also be responsible for the design, construction, and maintenance of the school hours closure and shall reimburse the City for all City staff costs, including the cost of engineering review and construction inspection costs associated with the school hours street closure.

CITY ATTORNEY

Approved as to Form
[Signature]
CITY ATTORNEY

BE IT FURTHER RESOLVED, prior to beginning the school hours street closure, the applicant shall enter into a Hold Harmless Agreement with the City in a form acceptable to the City Attorney. The Agreement shall include, but not necessarily be limited to the following provisions: times of school hours closure, procedures for school hours closure, type of physical barrier(s) use for school hours closure, responsibilities and procedures for erecting and removing the barrier(s) for the school hours closure, responsibilities of the applicant and responsibilities of the City and a hold harmless wherein the applicant indemnifies the City.

BE IT FURTHER RESOLVED, the specific design of the street closure barriers shall be subject to Design Review. The barrier shall be attractive, and shall be a manual, not an electronic closure. The street closure barriers may be of a temporary nature for the first year of operation which is subject to review by the Planning Board. If the closure is permitted to continue, then permanent barriers for the school hours closure shall be designed and installed.

BE IT FURTHER RESOLVED, the school hours closure shall be subject to a trial period for one school year after which the Planning Board shall hold a noticed public hearing to review the experience of the school hours closure and determine whether the closure may continue, whether there should be revised or additional conditions for the closure, or whether some other method of improving pedestrian safety, such as crossing guards or a pedestrian activated light, should be used. The applicant shall submit for Board review a report showing the effect of the school hours street closure on student safety and any measurable detriment to the neighborhood. The report shall be submitted within 14 days after the end of the school year and shall be to the satisfaction of the Planning Board. The applicant shall be responsible for all City costs for the review.

* * * * *

I, the undersigned, hereby certify that the foregoing Resolution was duly and regularly adopted and passed by the Council of the City of Alameda in regular meeting assembled on the 21st day of March, 2000, by the following vote to wit:

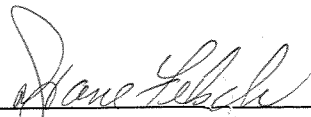
AYES: Councilmembers DeWitt, Johnson and Mayor Appezzato - 3.

NOES: Councilmembers Daysog and Kerr - 2.

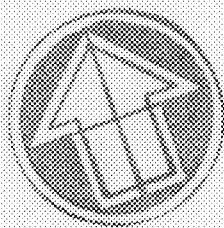
ABSENT: None.

ABSTENTIONS: None.

IN WITNESS, WHEREOF, I have hereunto set my hand and affixed the official seal of said City this 22nd day of March, 2000.



Diane Felsch, City Clerk
City of Alameda



BLOCK 8

216'

SAN ANTONIO AVE.

60'

216'

EASEMENT FOR PUBLIC
SEWERS AND UTILITIES
(SHADED AREA)
(Reserved to the City)

BLOCK 12

ST.

LAFAYETTE

ST.

CHESTNUT

BARTLETT TRACT

FEBRUARY, 1878
FILED, B2 - P 30

Vacated & Abandoned by
Res. No. 5906; R- 3 Oct 60;
Reel 178; Image 589.
(Refers specifically to
this Dwg.)

NO.	REVISED	BY	APVD.
COMPILED	W. TERRY		
DRAWN	W. TERRY		
CHECKED	R. REED		
DATE	SCALE		
JAN 1959	1" = 50'		

CITY OF ALAMEDA
CALIFORNIA
ENGINEERING DEPARTMENT

CLOSING OF SAN ANTONIO
AVE. BETWEEN LAFAYETTE
ST. & CHESTNUT ST.

SHEET 1 OF 1

APPROVED BY
M. J. Hanna
CITY ENGINEER
REG. C. E. NO. 7061

DATE 2-2-59

DWG. 4785 CASE 52